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IMAGE 1 - Subject site no 358 Shannon Avenue



IMAGE 2 - View to rear of the site



IMAGE 3 - View towards neighbouring no 356 Shannon Ave

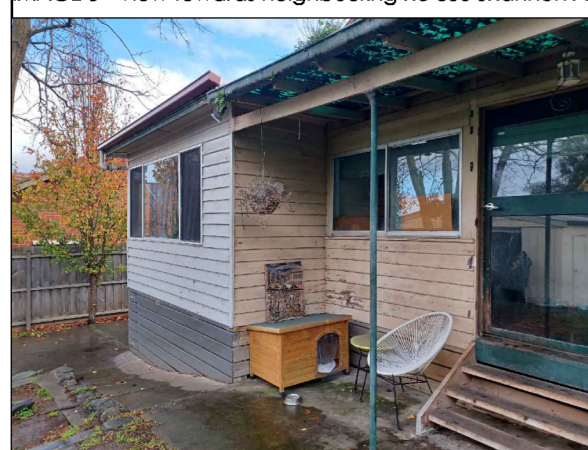


IMAGE 4 - View towards neighbouring no 360 Shannon Ave



CONTEXT PLAN
SCALE 1:200

EXISTING AREA SCHEDULE			
Existing Dwelling	131.41 m ²	14.14 sq	
Existing Verandah	9.20 m ²	0.99 sq	
Existing Shed	44.53 m ²	4.79 sq	
TOTAL BUILDING AREA	185.14 m²	19.92 sq	

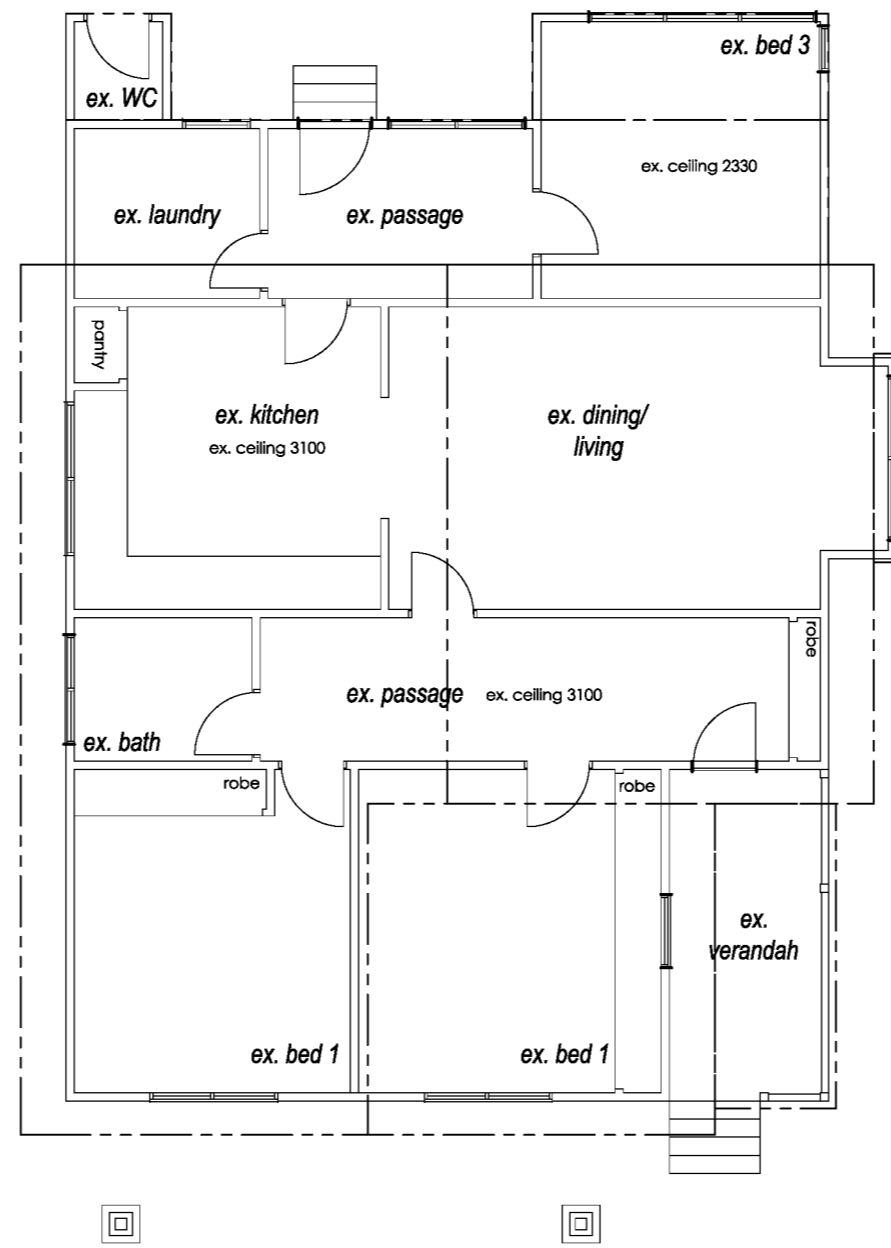
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rev	date	drw	chk	description
A	17 /12/ 2024	TZ	TPP	REQUESTED CHANGES
B	18 /05/ 2025	TP	TPP	RFI #2 CHANGES

project:	EXTENSION & ALTERATION 2 STOREY DEVELOPMENT
site address:	358 SHANNON AVE, NEWTOWN
client:	COUCH
client approval signature:	
TOWN PLANNING	

date:	18 / 05 / 2026	north:	
sheet no:	01 of 18		
drawn:	AA / TZ	checked:	TP
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title:	CONTEXT PLAN		
file no:	231918	rev:	B



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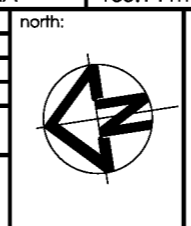
EXISTING FLOOR PLAN
SCALE 1:100

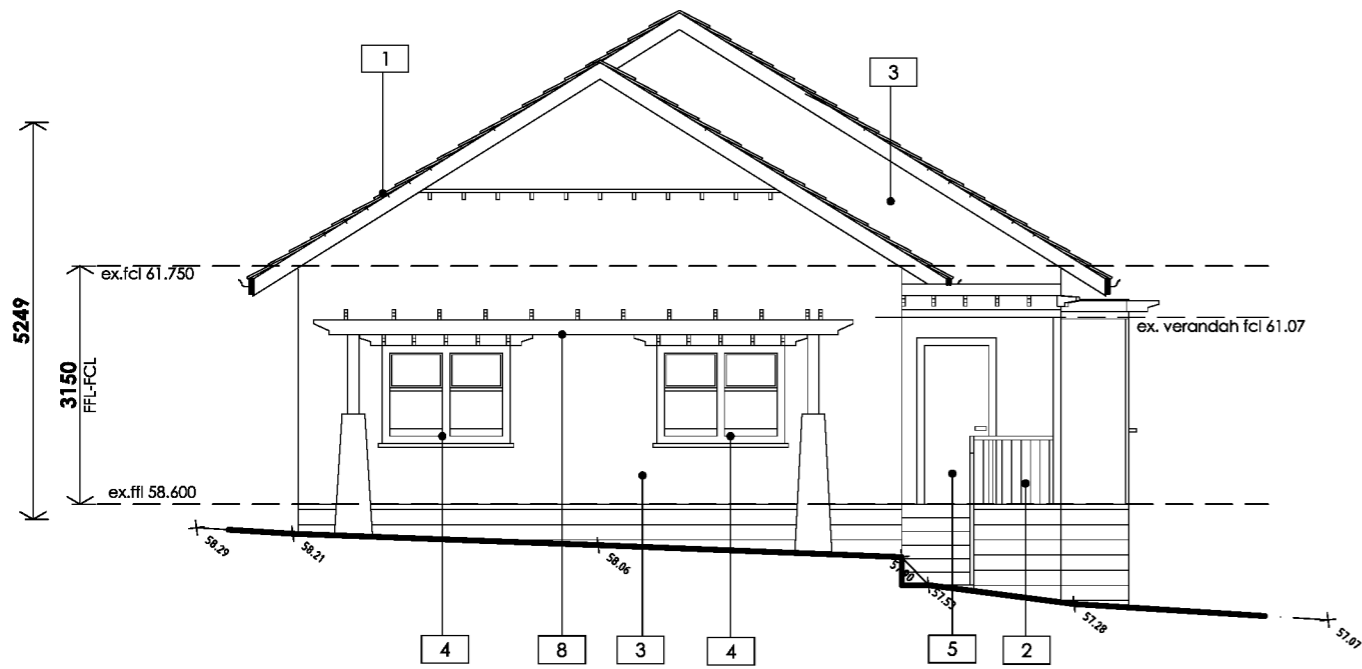
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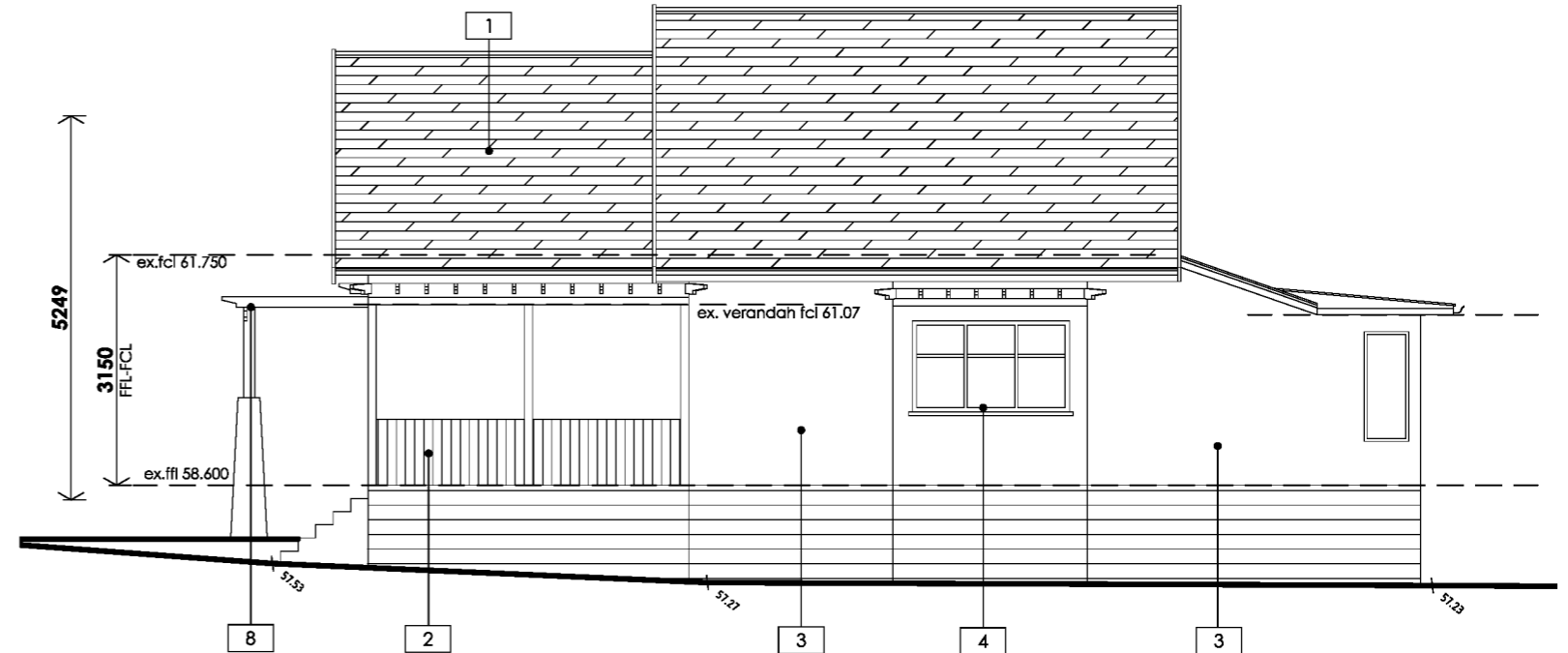
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client:	COUCH
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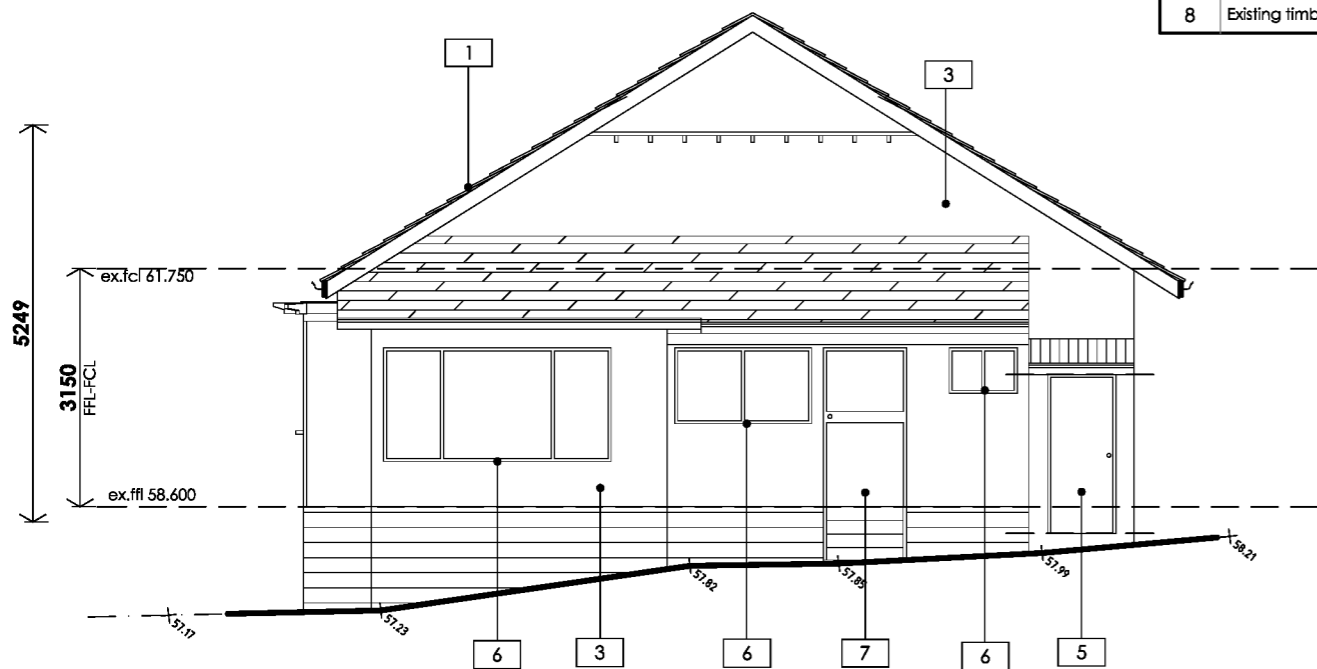
EXISTING WEST ELEVATION
SCALE 1:100



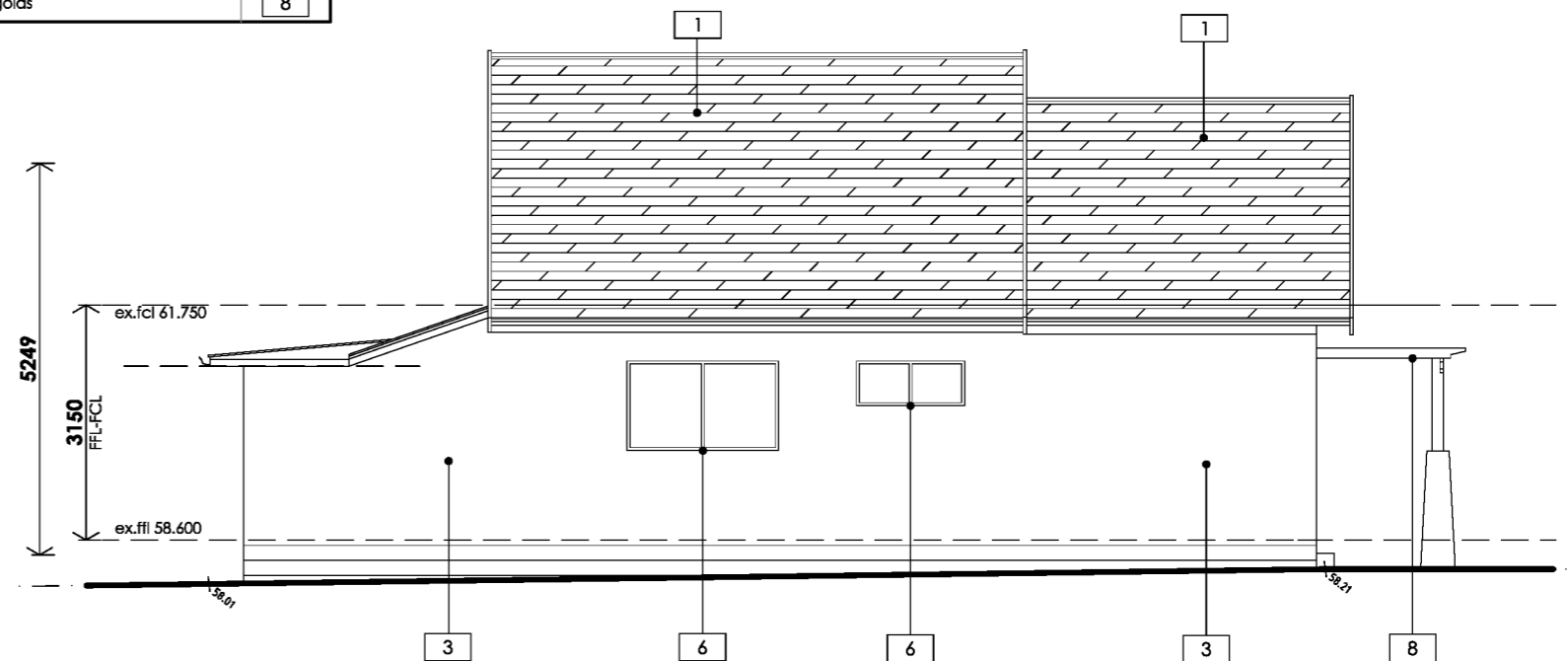
EXISTING SOUTH ELEVATION
SCALE 1:100

MATERIAL SCHEDULE		
CODE	MATERIAL & FINISH	SYMBOL
1	Existing clay tile roof sheets @ 32° pitch	1
2	Existing timber balustrade with timber post	2
3	Existing timber weatherboards	3
4	Existing timber framed hung windows	4
5	Existing solid timber door	5
6	Existing aluminium framed sliding windows	6
7	Existing solid timber door with glass panel	7
8	Existing timber pergolas	8

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EXISTING EAST ELEVATION
SCALE 1:100



EXISTING NORTH ELEVATION
SCALE 1:100

date commenced: XX / XX / 2020		project: EXTENSION & ALTERATION 2 STOREY DEVELOPMENT		site address: 358 SHANNON AVE, NEWTOWN		client: COUCH		date: 18 / 05 / 2026		north:	
date first issued:		stage: TOWN PLANNING		client approval signature:		sheet no: 03 of 18		drawn: AA / TZ		checked: TP	
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A	17 / 12 / 2024	TZ	TPP	REQUESTED CHANGES							
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DEMOLITION PROCEDURES

358 SHANNON AVE NEWTOWN

DEMOLITION PROCEDURES

358 SHANNON AVE NEWTOWN

All Demolition works are to be carried out in accordance with 'Building Regulation 117' and 'AS2601-2001 The Demolition of Structures'

STRUCTURAL

- Identify materials - primary, structural & Secondary lining materials
- Locate hazardous materials - notify authorities as required by OH & S legislation.
- Identify any special structural systems e.g. post tensioning, bracing systems, elements resisting vertical loads, elements resisting horizontal loads, etc.

SERVICES

- Locate & identify services & supply mains - water, electricity, gas & extent of reticulation.
- Locate & establish the extent of other services such as sewerage & drainage.

SITE

- Determine base level & location.
- Locate depths of adjoining property footings where building being demolished is close to the boundary or is likely to have an effect on the adjoining property. Notify the Building Surveyor if any form of protection of adjoining property is required.
- Locate & identify any common support structure for adjoining property.
- Determine the location of any underground tanks or the like.
- Determine suitable site entry points for personnel & plant, equipment etc., & access to & from the site for vehicles.
- Examine and record the condition of adjoining buildings particularly where they are close to the property boundary.
- Determine crossing & infrastructure protection by hoarding, crossover boarding etc.

WORK PLAN

- Disconnect all services, Power Water Gas etc.
- Determine stormwater & sewer drains and seal at points of discharge.
- Undertake any protection of the adjoining property as required &/or as determined by the Building Surveyor & provide temporary wall bracing & shoring where required.
- Remove loose or attached equipment, fittings & built in fixtures, internally & externally.
- Remove external wall cladding, chimneys AS required, detached outbuildings & lean to structures.
- Remove internal linings. Ensure the building is adequately braced during the removal of cladding.
- Remove plumbing & electrical reticulation.

- Remove roof covering restraining & loose materials to ensure against the possibility of materials becoming airborne.
- Remove roof structure & provided temporary bracing & shoring as required.
- Remove wall panel or framing & provide temporary bracing & shoring as required.
- Remove floor structure.
- Remove footings.
- Clean up site fill in excavations, check for any hazards, clean site entry points & infrastructure where necessary.

DAILY CHECKS

- Ensure all openings, elevated free edges are properly guarded.
- Ensure temporary hoarding, bracing, shoring & propping is tight & secure & in place as required to protect both workers & public.
- Ensure all potential fire & safety hazards are eliminated & services disconnected are secured.
- Ensure all hazardous materials are removed or covered as required by OH & S legislation.
- Ensure partly demolished elements are stabilized & loose materials are secured against inclement weather.
- Ensure emergency access routes are clear of debris.
- Ensure all boundaries are secured against unlawful entry.
- Ensure public access ways, footpaths & thoroughfares are clear of demolished materials & any hazards are properly lit, guarded & marked.
- Ensure demolished materials are not allowed to remain on any floor or structure if the weight of those materials exceeds the safe carrying capacity of the floor or structure.
- Ensure that no wall, chimney or other structure or part of a structure shall be left unattended or unsupported in such a condition that it may collapse due to wind or vibration or otherwise become dangerous.

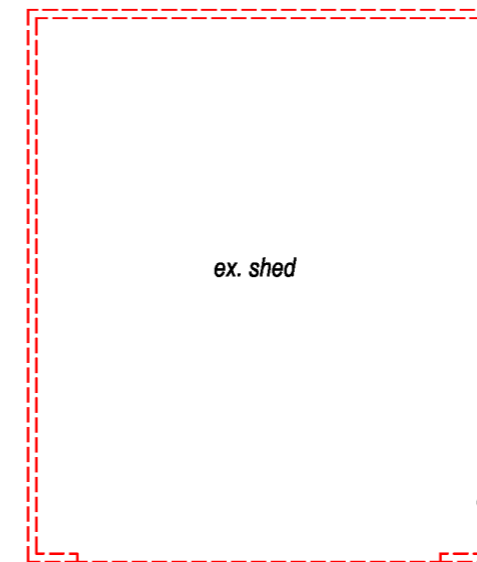
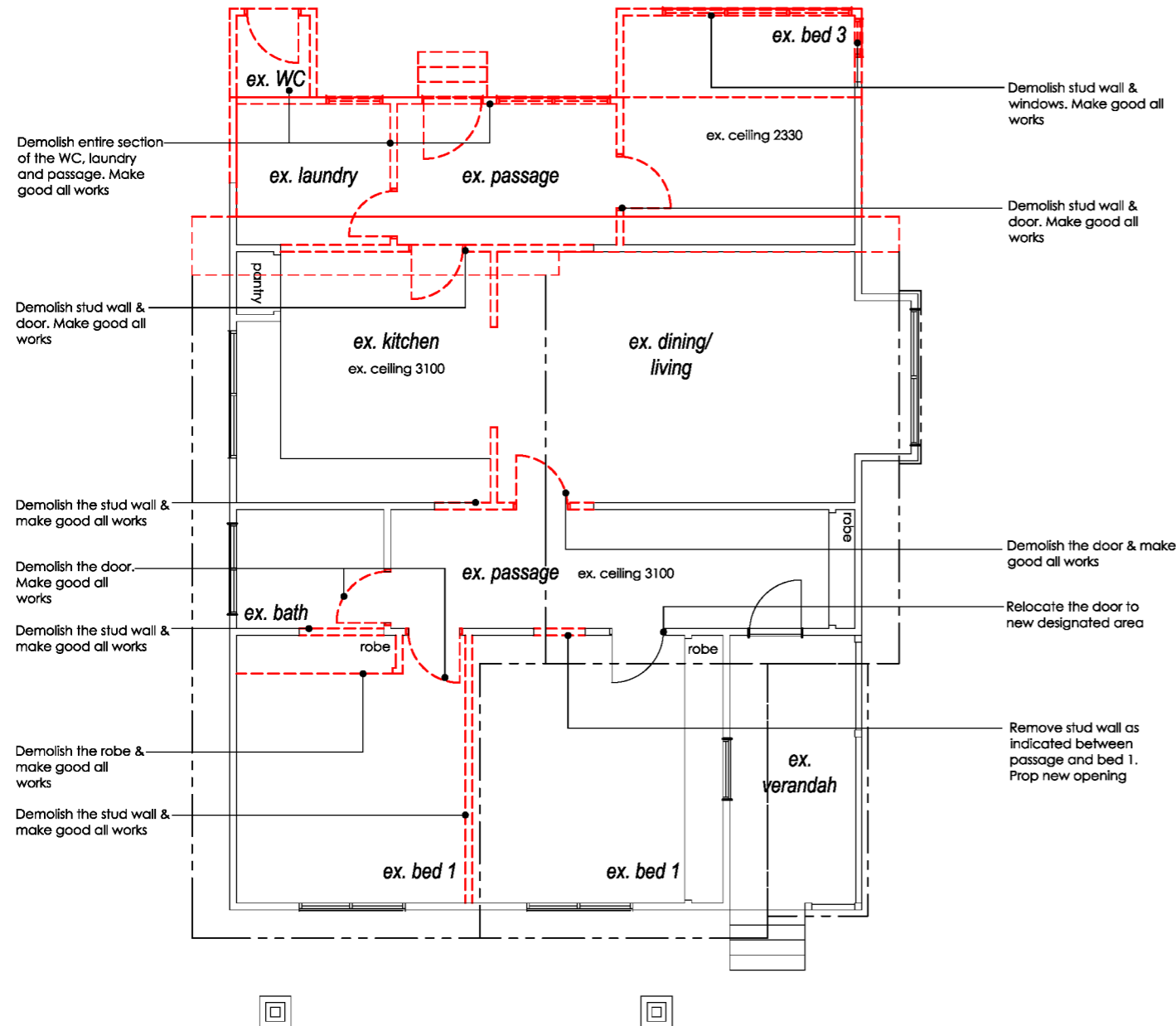
NOTE

- Demolition shall at all times be under the continuous supervision of the demolisher.
- The site shall be fenced or suitably barricaded to prevent public access during the demolition process.

Wall Opening

- Confirm that the existing stud walls above (ground floor) has a full bearing onto the timber floor joists above the wall to be demolished. Do not proceed further without consulting engineer if this cannot be confirmed.
- Install timber spreaders (2No. scaffold boards strapped together or similar) running parallel to the wall to be removed to the floor and ceiling of the lower ground floor offset approximately 300mm from the crosswall.
- Install Acrow props, minimum 4No. between the floor and ceiling spreaders at 600mm centres.
- Ensure the ground floor is not loaded.
- Remove section of stud wall as agreed. Brace studs with diagonal props in each direction.
- Install new beams as indicated on drawings. Bolt any steel beam to timber posts as indicated.
- Remove temporary propping and spreaders.

This method statement sets out to demonstrate our ability to carry out the works in the optimum time, in the most viable and safe manner to achieve a completed project to the satisfaction of all parties involved.

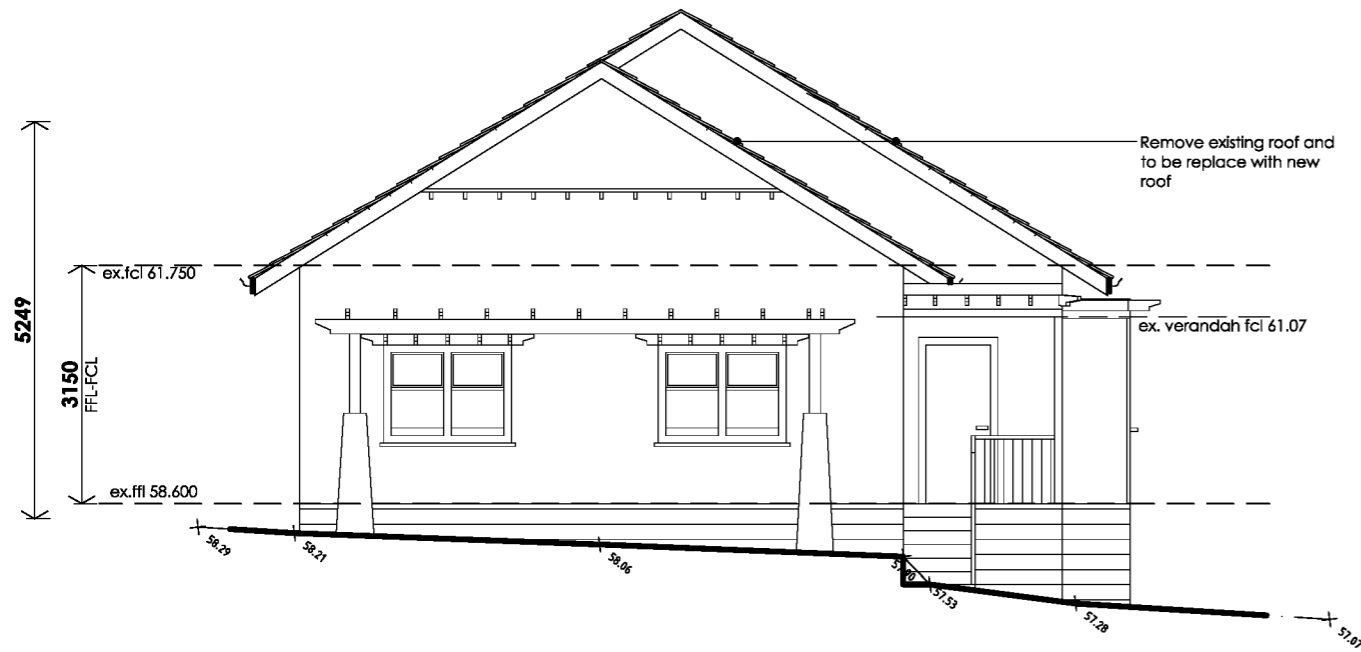


DEMOLITION FLOOR PLAN

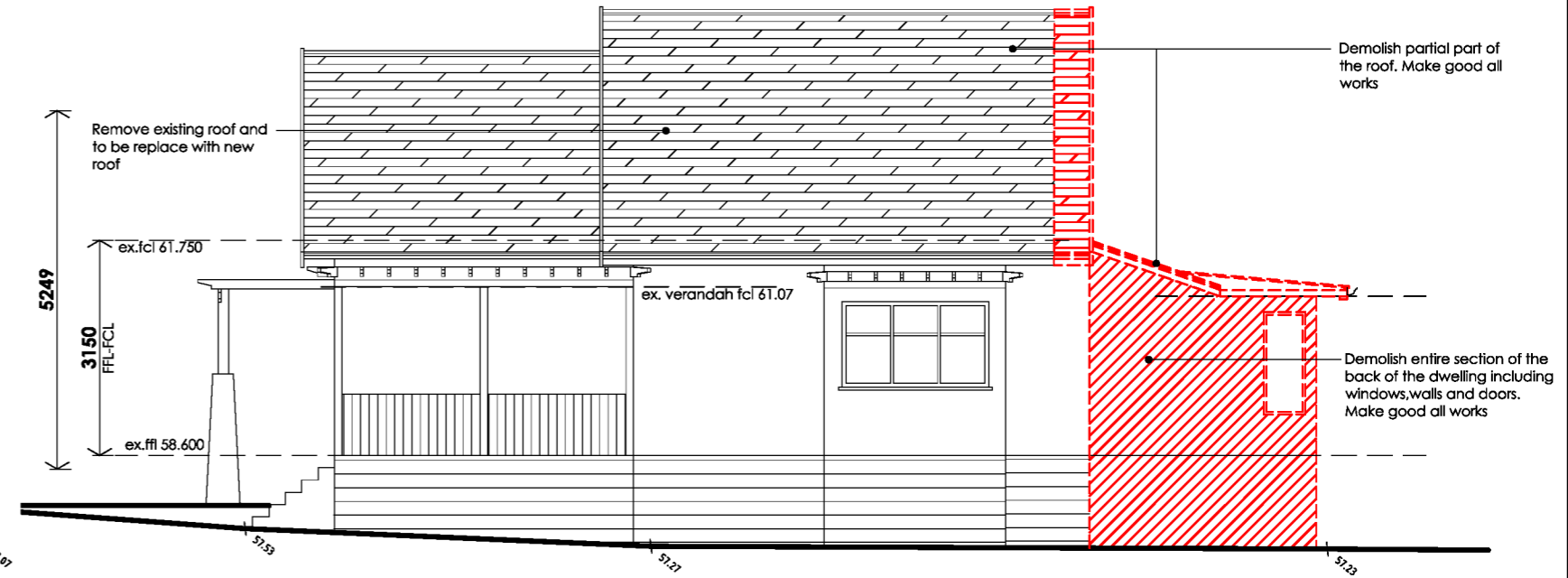
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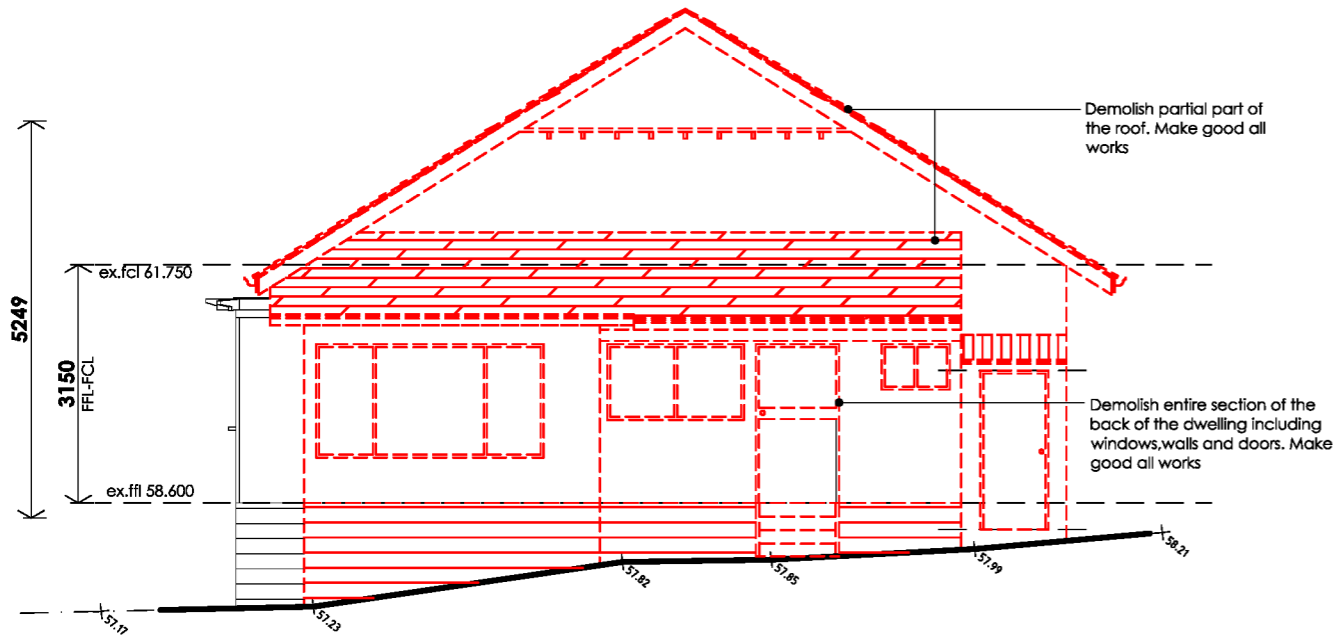
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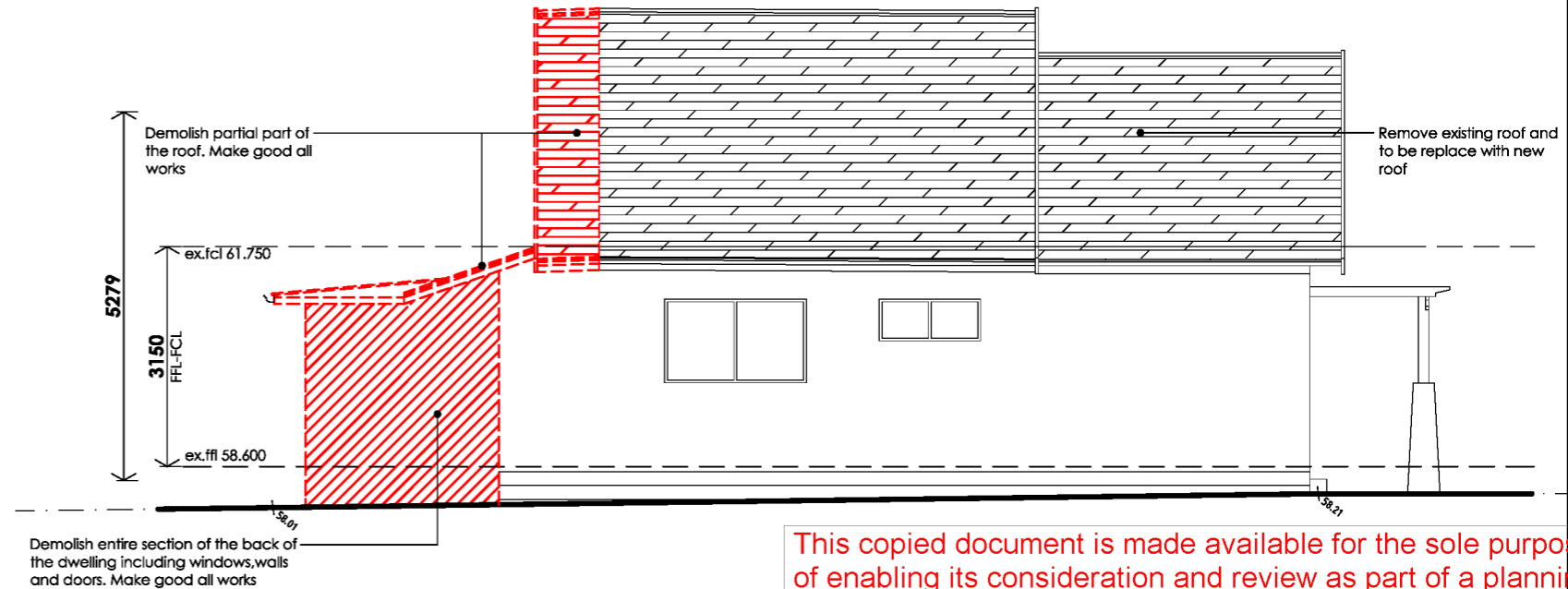
DEMOLITION WEST ELEVATION
SCALE 1:100



DEMOLITION SOUTH ELEVATION
SCALE 1:100



DEMOLITION EAST ELEVATION
SCALE 1:100



DEMOLITION NORTH ELEVATION
SCALE 1:100

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title:	DEMOLITION ELEVATIONS
file no:	231918
rev:	B

stage:	TOWN PLANNING
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Tree Management Plan
Tree Protection Measures
 Tree protection measures are a way of protecting trees either on a development site or on neighbouring properties. The TPZ is a combination of the root area and crown area requiring protection. It is an area isolated from construction disturbance, so that the trees remain viable. Fencing shall be erected within the development property to isolate tree root zones of the large neighbouring tree and multiple trees within the property and verge along Mallaluka Avenue.
 If fencing during the construction process is too restricting due to the size of the TPZ and the lack of space to store building materials ect on site, other protection methods may need to be applied.

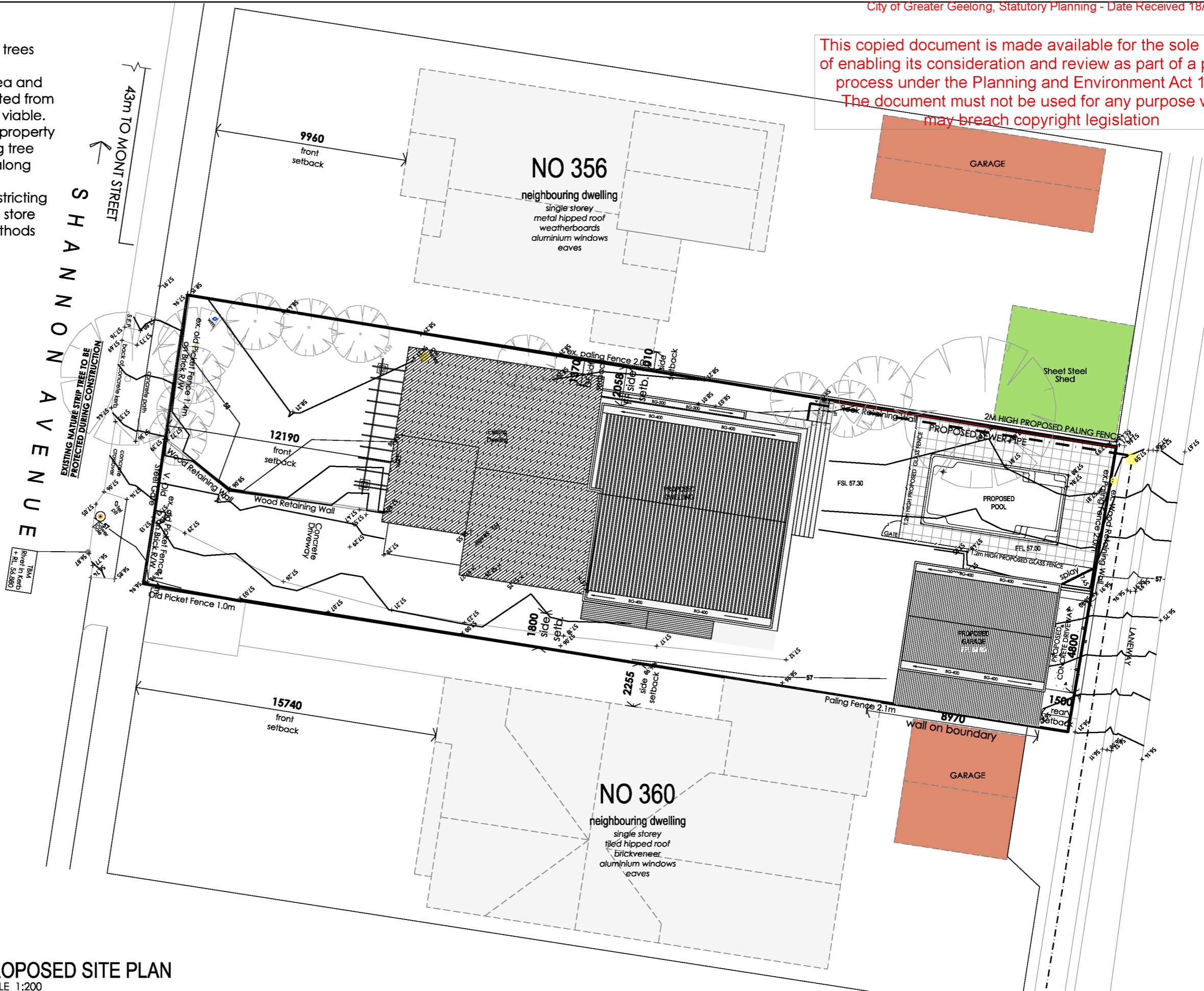


The temporary fencing below will be required to be used on site for TPZ fencing.



PROPOSED AREA SCHEDULE		
Ground Floor	181.03 m ²	19.49 sq
First Floor	111.94 m ²	12.04 sq
Verandah	9.20 m ²	0.99 sq
Deck	35.55 m ²	3.83 sq
Carport	21.00 m ²	2.26 sq
TOTAL BUILDING AREA	358.72 m²	38.58 sq
Site Area	773.42 m ²	
Site Coverage (60% max.)	358.72 m ²	46.40 %
Permeability (20% min.)	251.31 m ²	32.51 %
Garden Area (35% min.)	307.89 m ²	41.98 %
Common Property	00.0 m ²	

PROPOSED SITE PLAN
 SCALE 1:200



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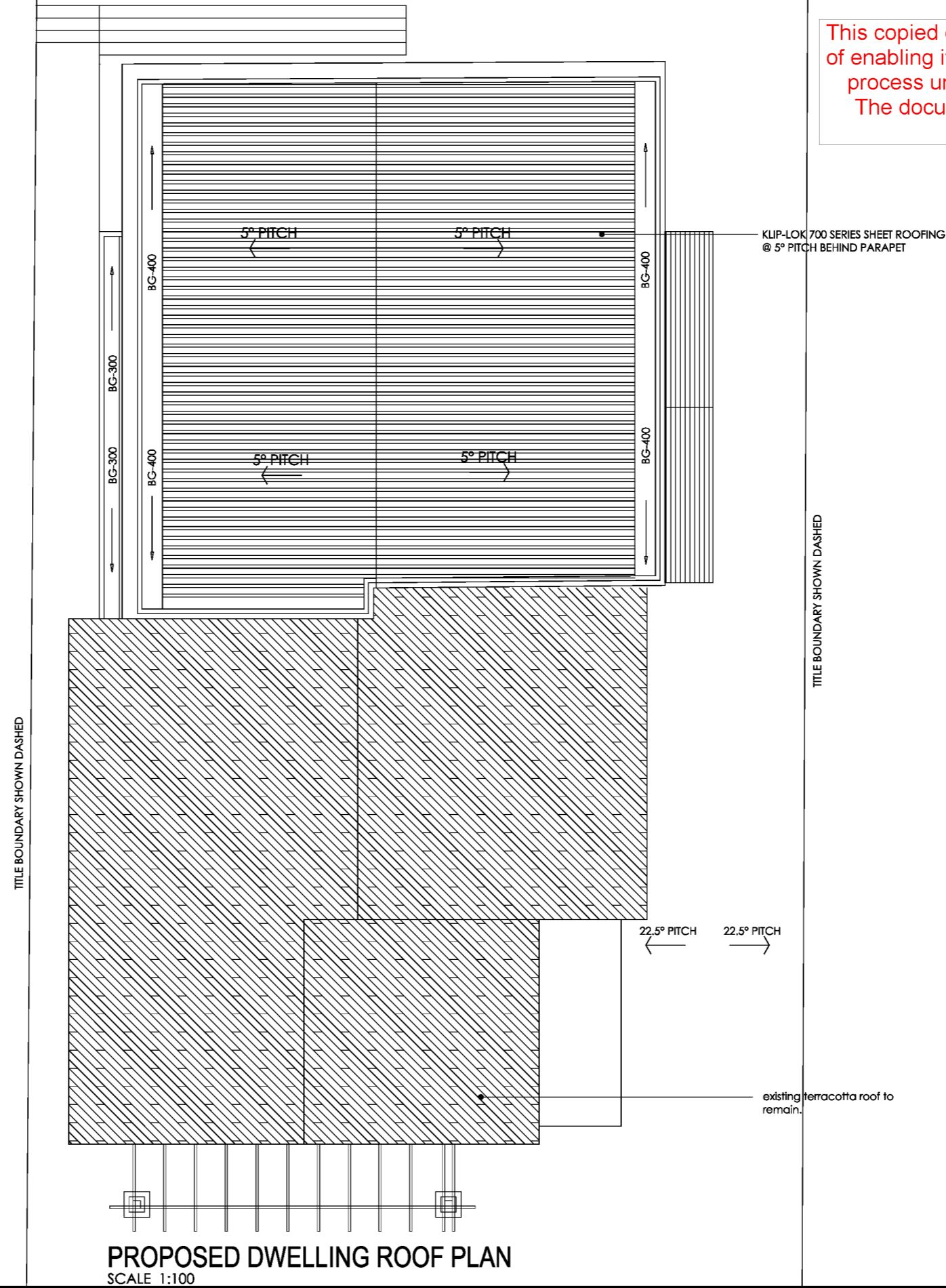
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project:	EXTENSION & ALTERATION 2 STOREY DEVELOPMENT	site address:	358 SHANNON AVE, NEWTOWN	client:	COUCH
stage:	TOWN PLANNING	client approval signature:		date:	18 / 05 / 2026
NOTE:				sheet no:	06 of 18

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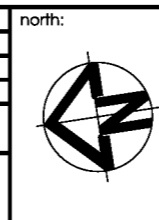
PROPOSED DWELLING ROOF PLAN
SCALE 1:100

PROPOSED AREA SCHEDULE		
Ground Floor	181.03 m ²	19.49 sq
First Floor	111.94 m ²	12.04 sq
Verandah	9.20 m ²	0.99 sq
Deck	35.55 m ²	3.83 sq
Carport	21.00 m ²	2.26 sq
TOTAL BUILDING AREA	358.72 m²	38.58 sq
Site Area	773.42 m ²	
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Garden Area (35% min.)	307.89 m ²	41.98 %
Common Property	00.0 m ²	

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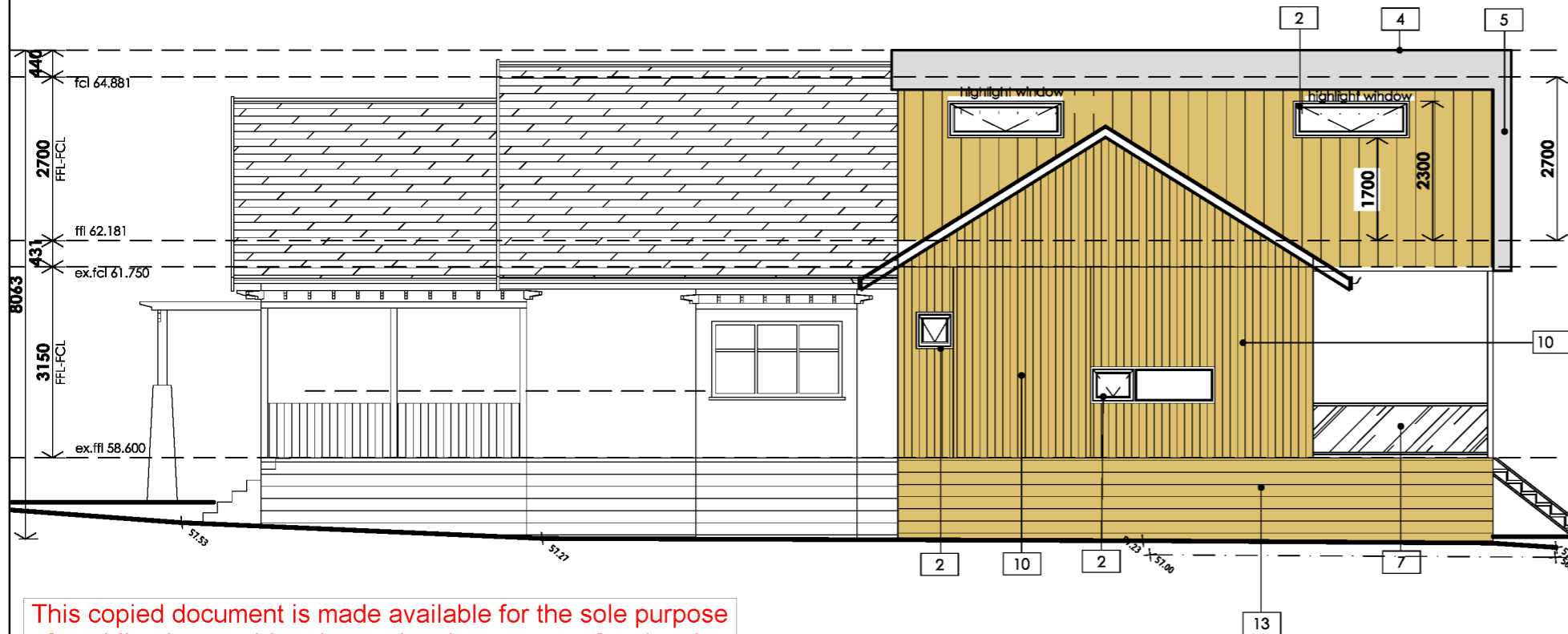
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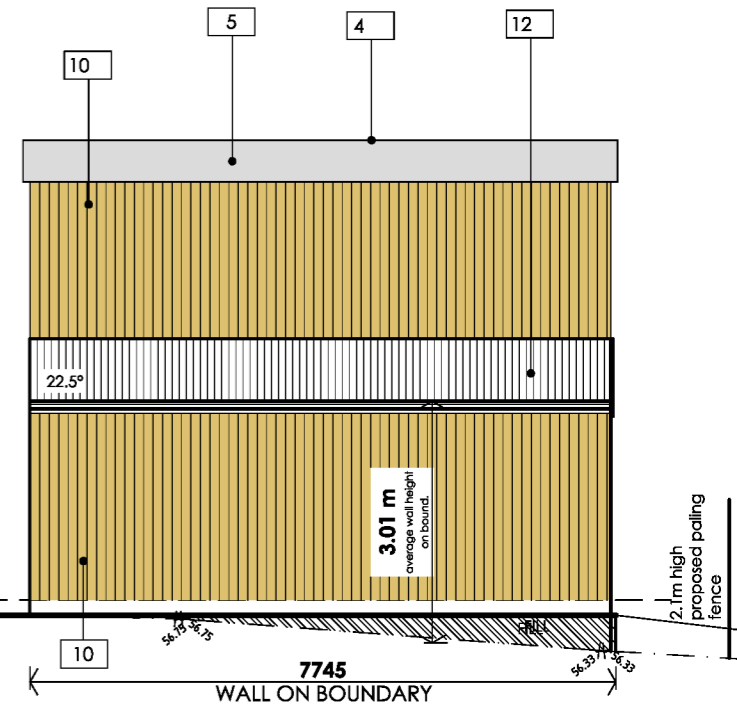


PROPOSED WEST ELEVATION
SCALE 1:100

MATERIAL SCHEDULE				
CODE	MATERIAL & FINISH	SYMBOL	TYPE	COLOR
1	WINDOW SCREEN 1700MM ABOVE FFL	1		
2	ALUMINIUM FRAMED AWNING WINDOWS	2		
3	MODINEX 'CASTELATION' HORIZONTAL TIMBER BATTENS	3		
4	KLIP-LOK 700 SERIES SHEET ROOFING @ 5° PITCH BEHIND PARAPET	4		
5	RENDERED POLYSTYRENE WALL CLADDING	5		
6	COLORBOND VERTICAL WALL CLADDING	6		
7	1000mm (min) HIGH GLASS BALUSTRADE	7		
8	SOLID TIMBER DOOR	8		
9	ALUMINIUM FRAMED SLIDING DOORS	9		
10	JAMES HARDIE SMOOTH AXON VERTICAL CLADDING	10		
11	PAINTED F.C SHEETING	11		
12	GALVANISED ROOF SHEETING @ 5° PITCH			
13	PAINTED TIMBER BASEBOARDS TO MATCH EXISTING			

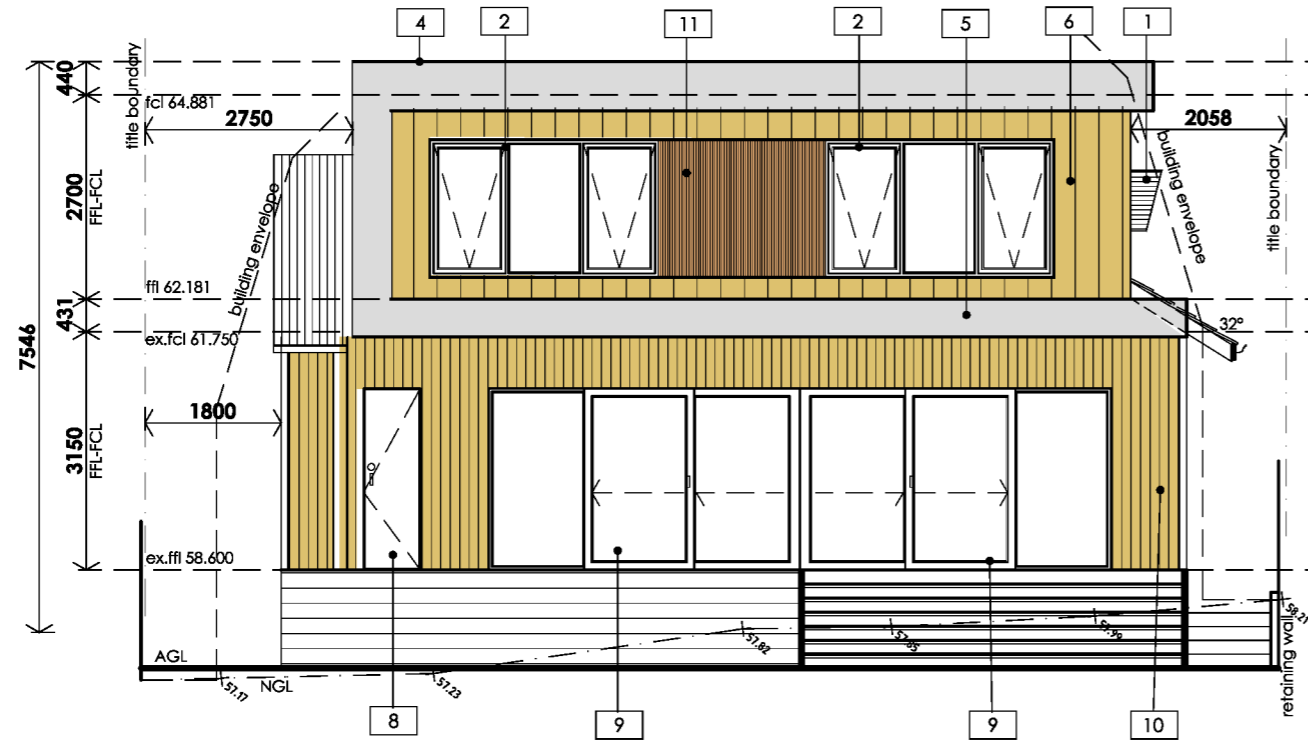


PROPOSED SOUTH ELEVATION
SCALE 1:100



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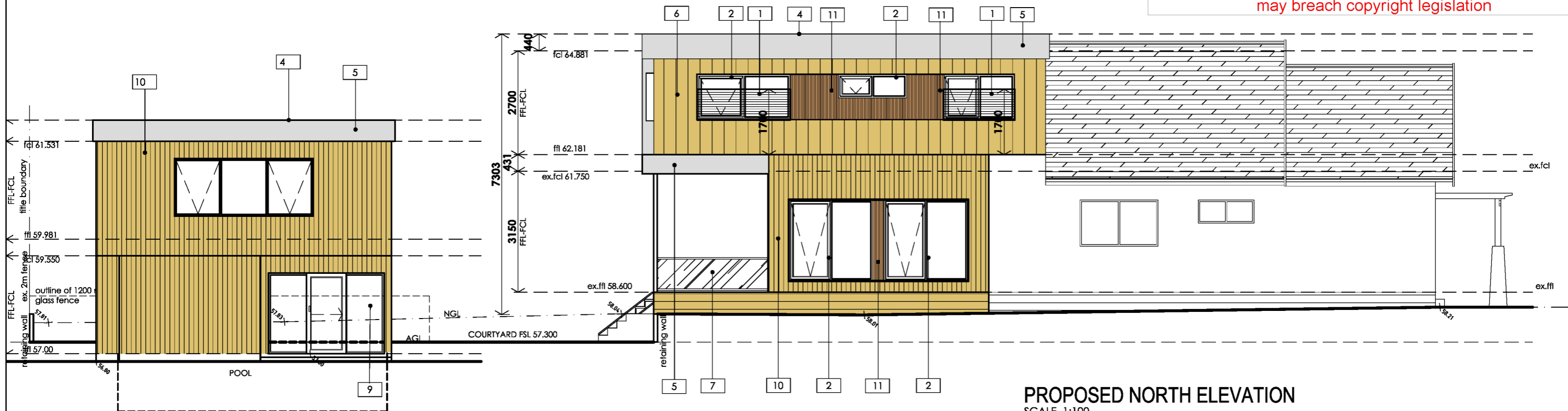
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PROPOSED EAST ELEVATION
SCALE 1:100

MATERIAL SCHEDULE				
CODE	MATERIAL & FINISH	SYMBOL	TYPE	COLOR
1	WINDOW SCREEN 1700MM ABOVE FFL	1		
2	ALUMINIUM FRAMED AWNING WINDOWS	2		
3	MODINEX 'CASTELATION' HORIZONTAL TIMBER BATTENS	3		
4	KLIP-LOK 700 SERIES SHEET ROOFING @ 5° PITCH BEHIND PARAPET	4		
5	RENDERED POLYSTYRENE WALL CLADDING	5		
6	COLORBOND VERTICAL WALL CLADDING	6		
7	1000mm (min) HIGH GLASS BALUSTRADE	7		
8	SOLID TIMBER DOOR	8		
9	ALUMINIUM FRAMED SLIDING DOORS	9		
10	JAMES HARDIE SMOOTH AXON VERTICAL CLADDING	10		
11	PAINTED F.C SHEETING	11		
12	GALVANISED ROOF SHEETING @ 5° PITCH			
13	PAINTED TIMBER BASEBOARDS TO MATCH EXISTING			

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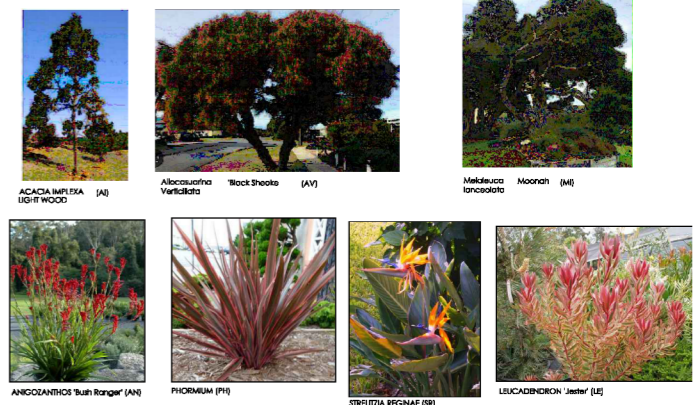
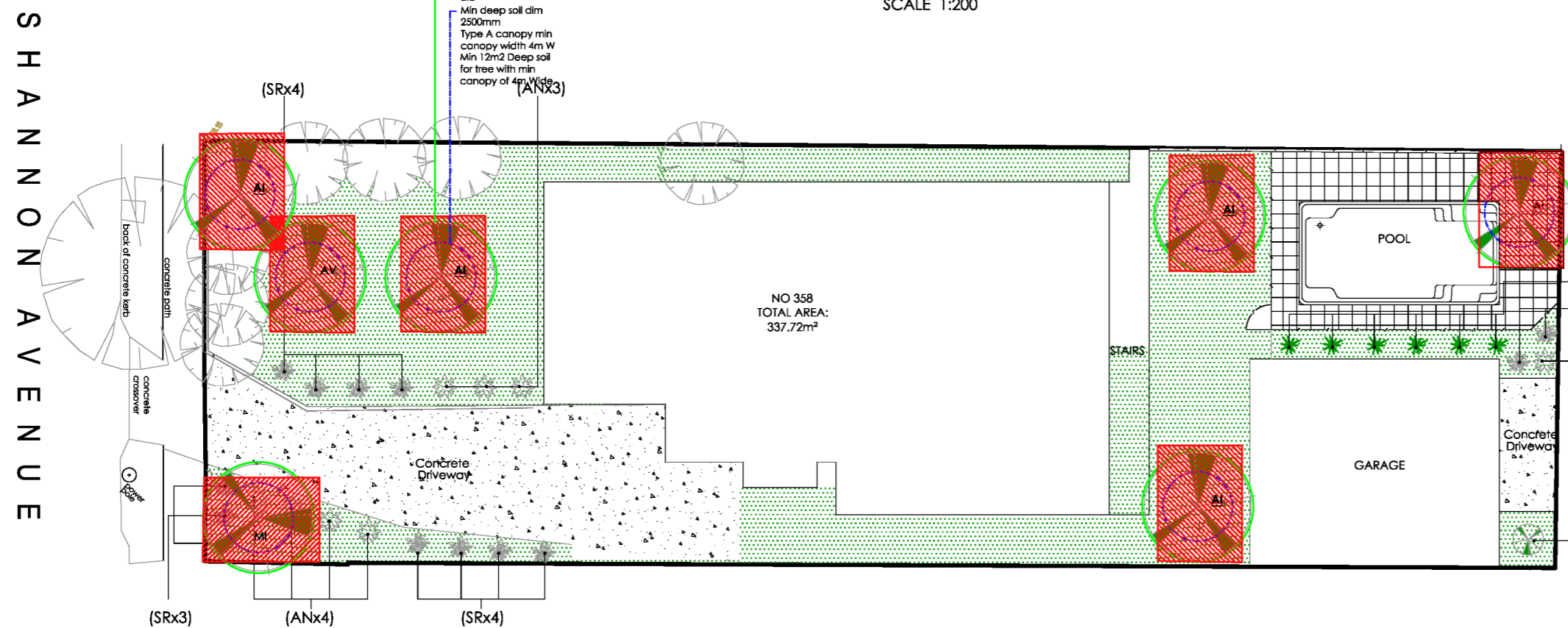


PROPOSED NORTH ELEVATION
SCALE 1:100

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date first issued:		TOWN PLANNING		stage: TOWN PLANNING		client approval signature:		sheet no: 10 of 18		checked: TP	
rev	date	drw	chk	description				drawn: AA / TZ		scale: 1 : 100 @ A3	
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NOTE:											



PROPOSED STREETScape
SCALE 1:200



PLANTING LEGEND

	BOTANICAL NAME LEUCADENDRON (LE)
	COMMON NAME Jester
	MATURE SIZE 1.5m HIGH x 1.5m WIDE
	QUANTITY 8
	SPECIFICATION ANCODANTHUS Bush Ranger (AN)
	COMMON NAME Kangaroo Paw
	MATURE SIZE 0.5m HIGH x 1m WIDE
	QUANTITY 22
	SPECIFICATION STRELITZIA REGINAE (SR)
	COMMON NAME Bird of Paradise
	MATURE SIZE 1.2m HIGH x 1m WIDE
	QUANTITY 10
	SPECIFICATION PHORMIUM (PH)
	COMMON NAME Moorflour
	MATURE SIZE 1.2m HIGH x 0.8 - 1m WIDE
	QUANTITY 8

LANDSCAPE LEGEND

	Proposed Pavers 300x600 & 450x1200 concrete pavers
	Proposed Sand Surface Granitic sand 75mm thick
	Proposed Grass Surface Cultivate subsoil to 200mm and spreading 50mm selected topsoil and Tall Fescue grass seed.
	Proposed Concrete 100mm depth coloured or exposed aggregate concrete driveway.
	Proposed woodchips surface Garden beds to be cultivated to 200mm depth, 100mm Garden Blend loam, and mulched with 75mm depth.
	Proposed Pavers 600x500 concrete pavers

CANOPY TREE LEGEND

TREE ID	TREE TYPE	SOIL DEPTH	BOTANICAL NAME	COMMON NAME	MATURE SIZE	COVER M2	AREA OF DEEP SOIL	SOIL VOLUME M3	QUANTITY REQUIRED	TOTAL M2
AI	TYPE A	25 min	ACACIA IMPLEXA	LIGHT WOOD	10m H	28.3 M2	5	41.5M3	5	41.5M2
AV	TYPE A	25 min	Allocasuarina Verticillata	Black Sheoak	6x6M	12.6 M2	1	12.6M3	1	12.6M2
MI	TYPE A	25 min	Melaleuca lanceolata	Moonah	6x6M	12.6 M2	1	12.6M3	1	12.6M2
TOTAL AREA COVERED										144.7 M2

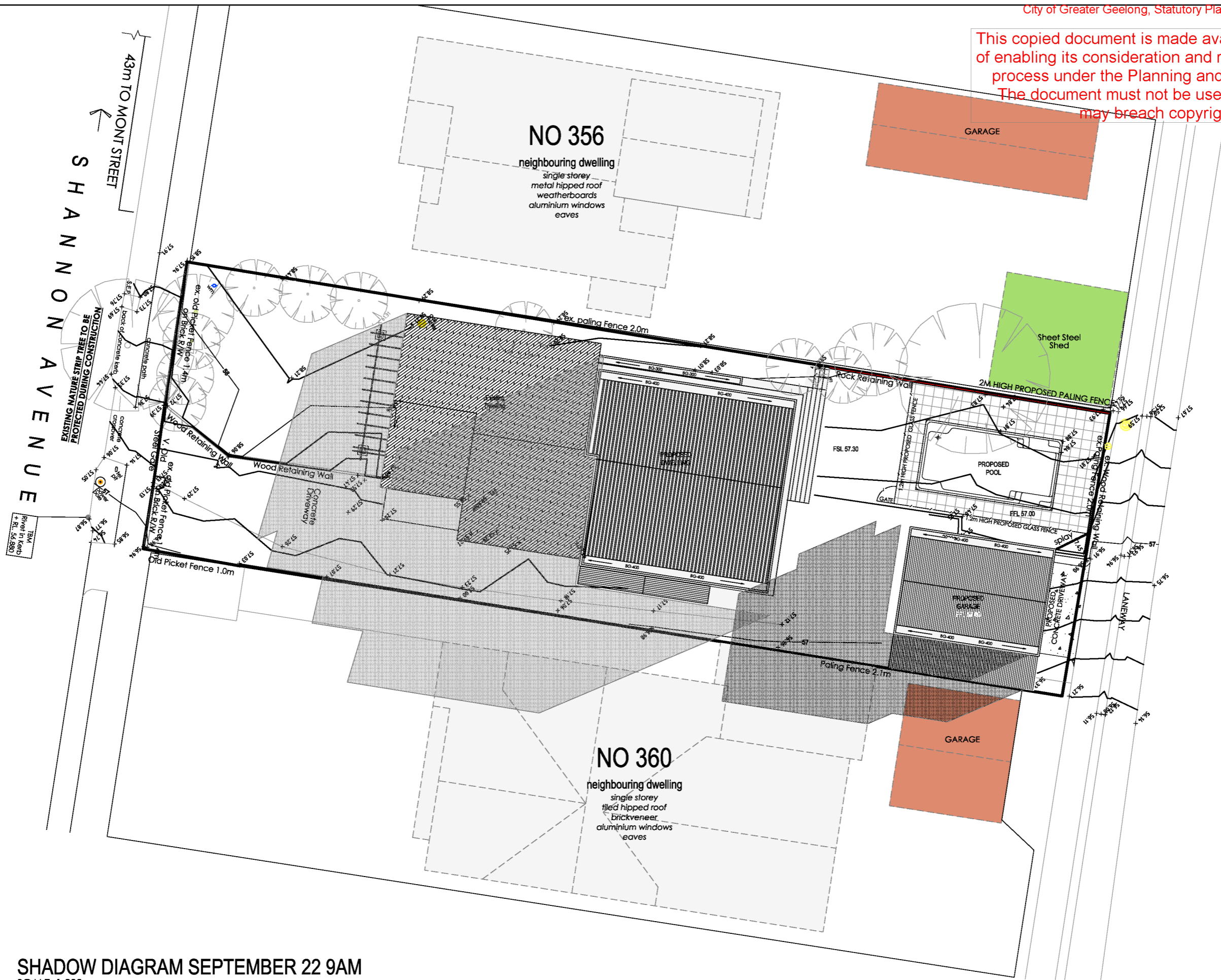
Canopy Tree
358 Shannon Ave newtown= 773.42m2
Canopy tree Requirement = 20% 154.68m2
Design Complies with Requirement

LANDSCAPING PLAN
SCALE 1:200

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B	18 / 05 / 2025	TP	TPP	RFI #2 CHANGES							
NOTE:											

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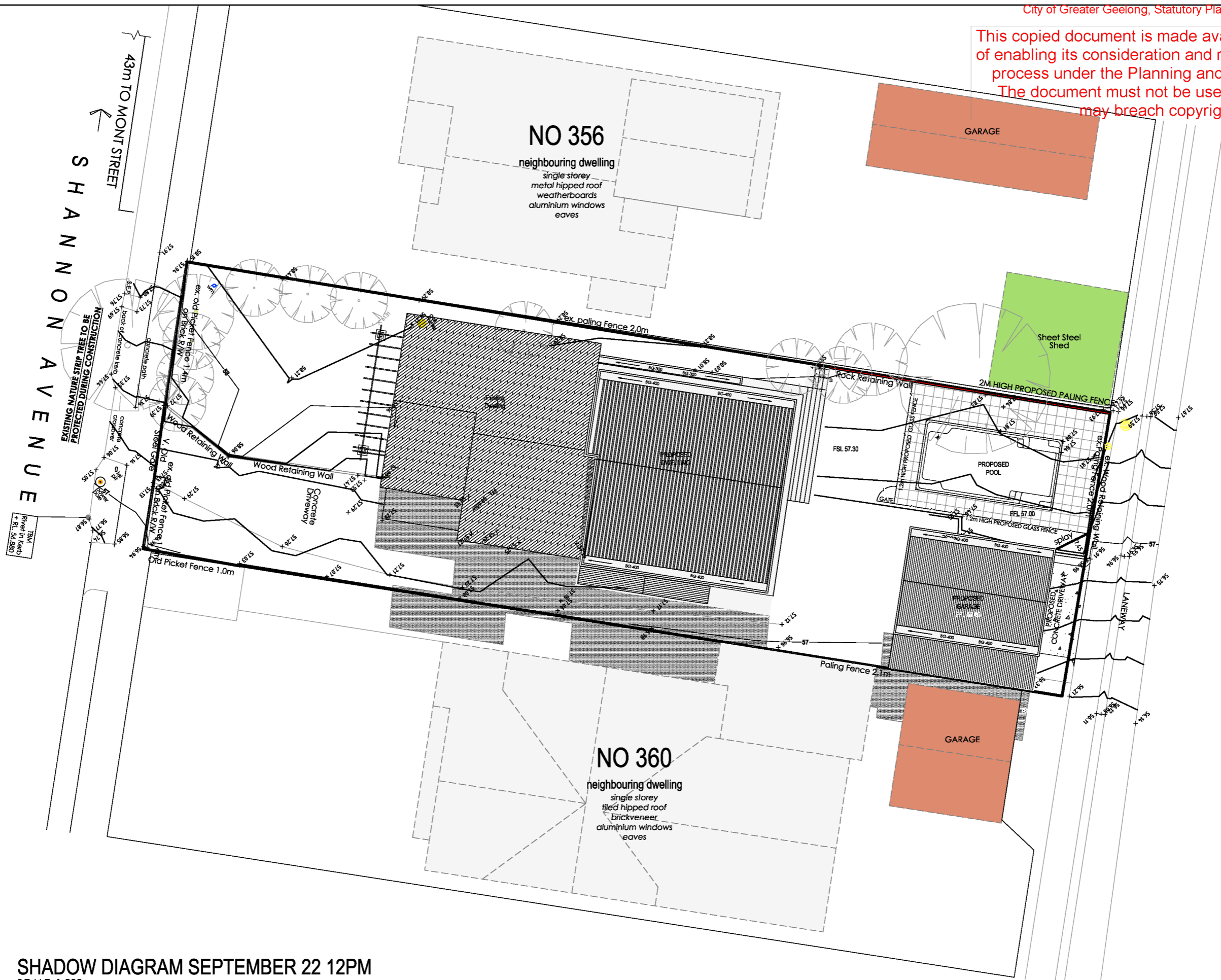


SHADOW DIAGRAM SEPTEMBER 22 9AM
SCALE 1:200

date commenced: XX / XX / 2020		project: EXTENSION & ALTERATION 2 STOREY DEVELOPMENT		site address: 358 SHANNON AVE, NEWTOWN		client: COUCH		date: 18 / 05 / 2026		north:	
date first issued:		stage: TOWN PLANNING		client approval signature:		scale: 1 : 200 @ A3		sheet no: 12 of 18		checked: TP	
TOWN PLANNING		NOTE:		file no: 231918		rev: B		drawn: AA / TZ		title: SHADOW DIAGRAMS AT 9AM	
rev	date	drw	chk	description							
A	17 / 12 / 2024	TZ	TPP	REQUESTED CHANGES							
B	18 / 05 / 2025	TP	TPP	RFI #2 CHANGES							



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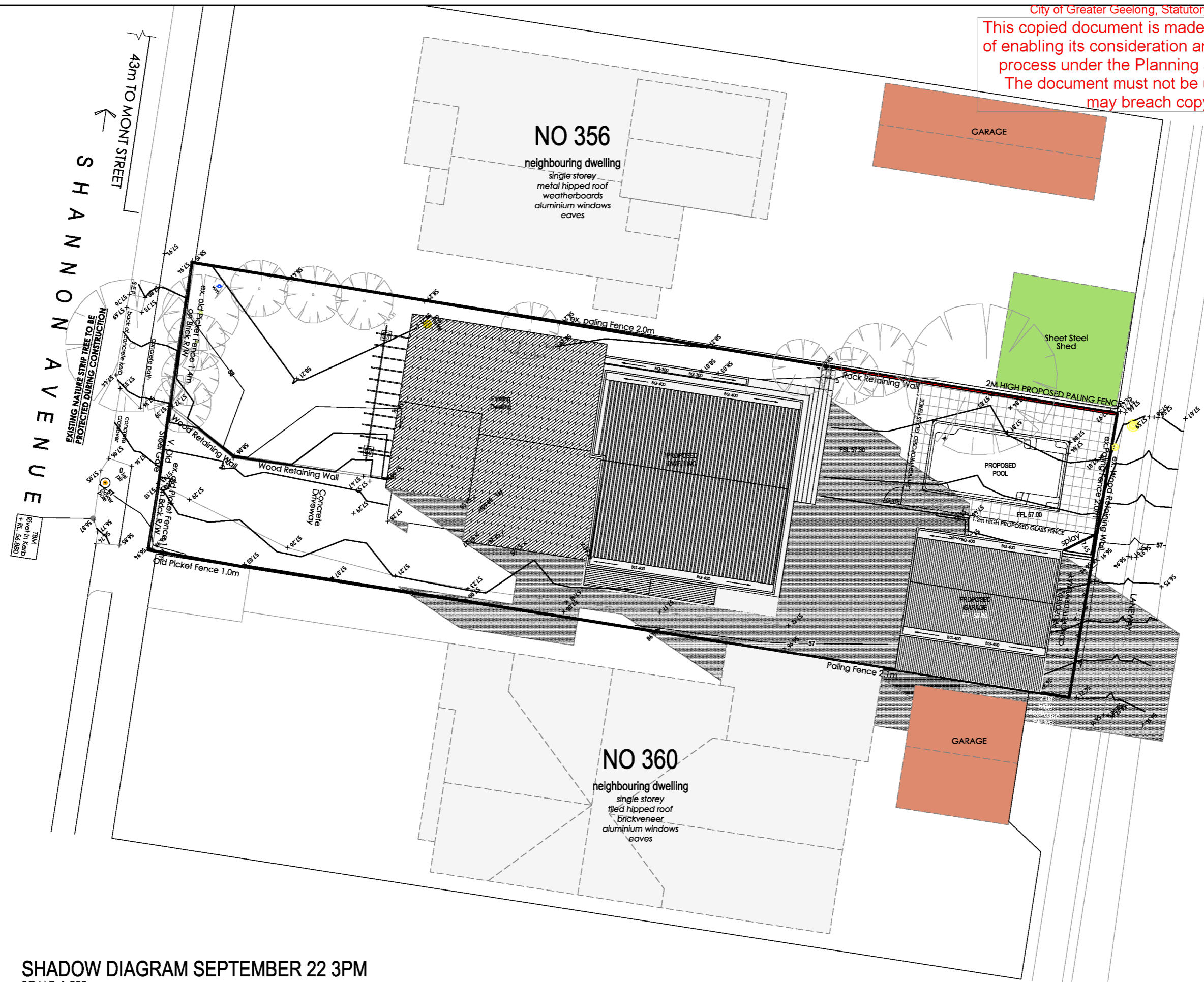


SHADOW DIAGRAM SEPTEMBER 22 12PM
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date first issued:		TOWN PLANNING		stage: TOWN PLANNING		client approval signature:		sheet no: 13 of 18		checked: TP	
rev	date	drw	chk	description				drawn: AA / TZ		scale: 1 : 200 @ A3	
A	17 / 12 / 2024	TZ	TPP	REQUESTED CHANGES				title: SHADOW DIAGRAMS 12PM		file no: 231918	
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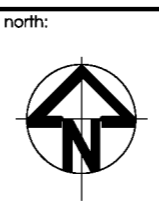


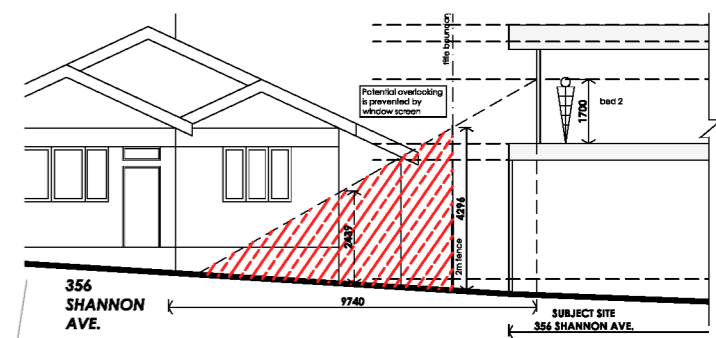
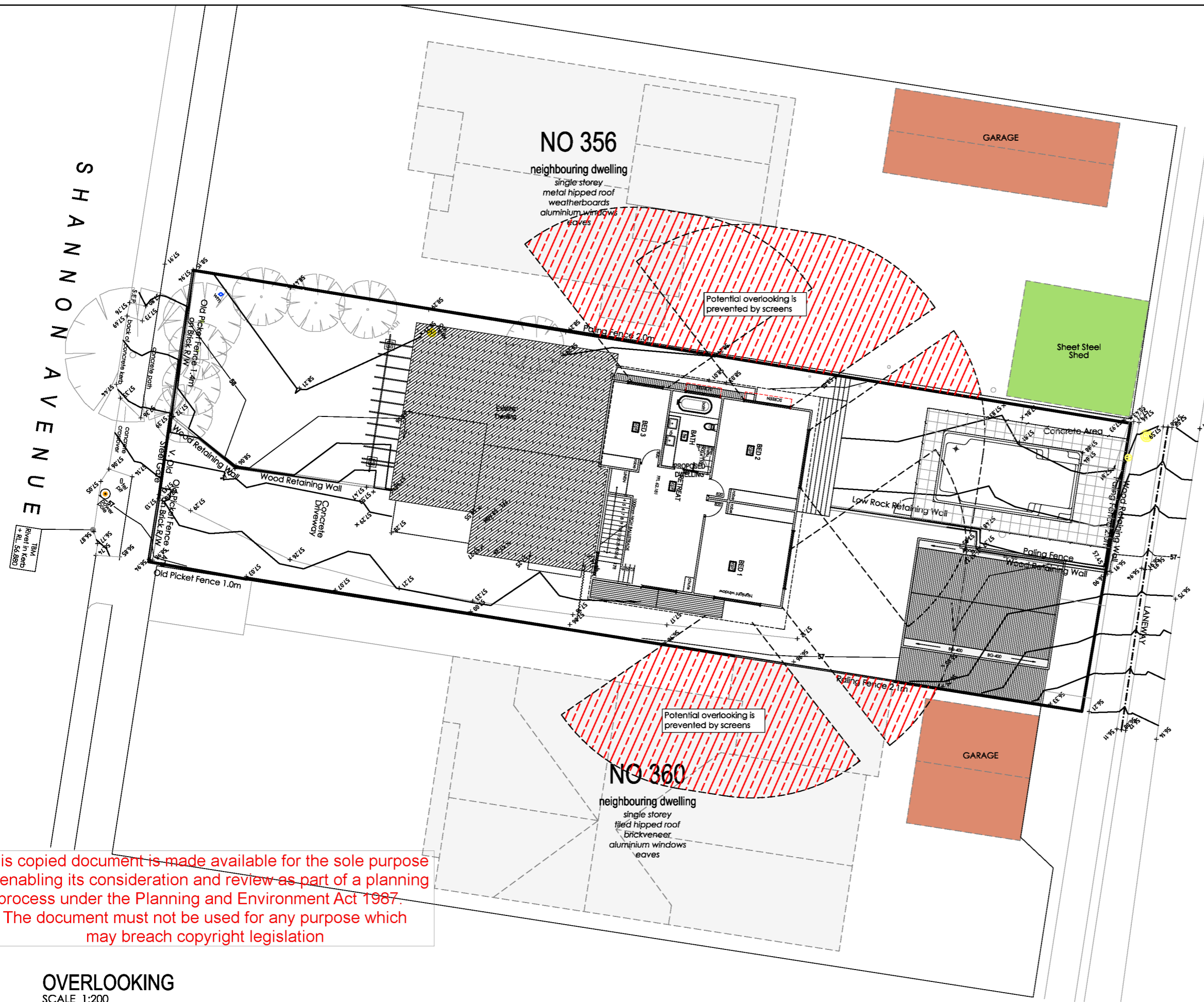
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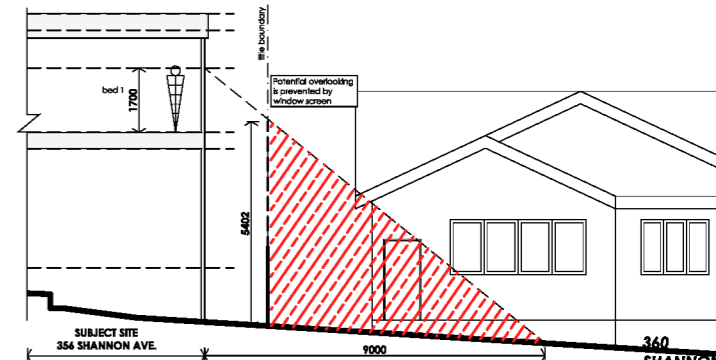
SHADOW DIAGRAM SEPTEMBER 22 3PM
SCALE 1:200

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date first issued:		stage: TOWN PLANNING		client approval signature:		scale: 1 : 200 @ A3		sheet no: 14 of 18		checked: TP	
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B	18 / 05 / 2025	TP	TPP	RFI #2 CHANGES							

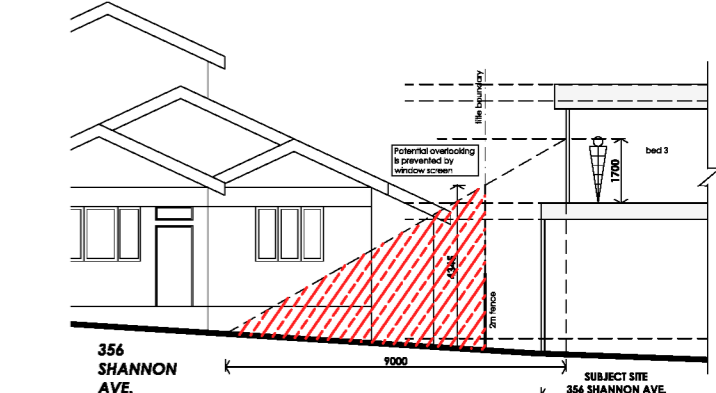




OVERLOOKING FROM BED 2
SCALE 1:200



OVERLOOKING FROM BED 1
SCALE 1:200



OVERLOOKING FROM BED 3
SCALE 1:200

LEGEND

UNOBSTRUCTED VIEW LINE OF SIGHT - 9m Measured at 1700mm above floor level		OBSTRUCTED VIEW LINE OF SIGHT - 9m Measured at 1700mm above first floor level obscured by frosted glazing or 1700mm # height	
HW - HABITABLE ROOM		W - NON-HABITABLE ROOM	

Note: Line of site at ground level has not been considered.

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OVERLOOKING
SCALE 1:200

date commenced: XX / XX / 2020		project: EXTENSION & ALTERATION 2 STOREY DEVELOPMENT		date: 18 / 05 / 2026		north:	
date first issued:		site address: 358 SHANNON AVE, NEWTOWN		sheet no: 15 of 18			
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


Garden Areas

358 SHANNON AVE NEWTOWN	773 m²
Garden Requirement = 35%	270.55 m ²
Design Garden Areas:	
Garden 1	287.25 m ²
Garden 2	20.64 m ²
Total Garden Area	307.89 m²

Design Complies with Garden Requirement

- Min garden areas
 Lot size approx 773 = 35%
 Min dimension of 1 meter does not include
- dwelling or residential building
 - eaves greater than 600mm
 - pergola
 - un roof terraces
 - basement
 - out building not exceeding 10sqm
 - driveway

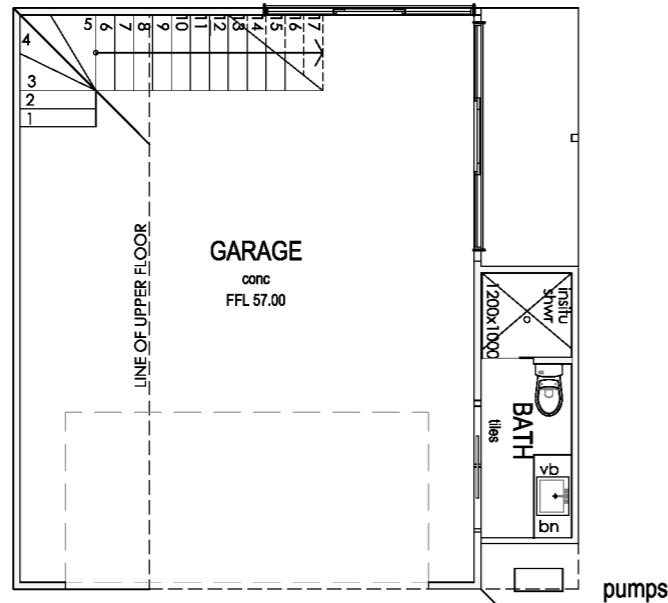
 DENOTES DWELLING FLOOR AREA
 DENOTES GARDEN AREA
 DENOTES EXCLUDED AREAS

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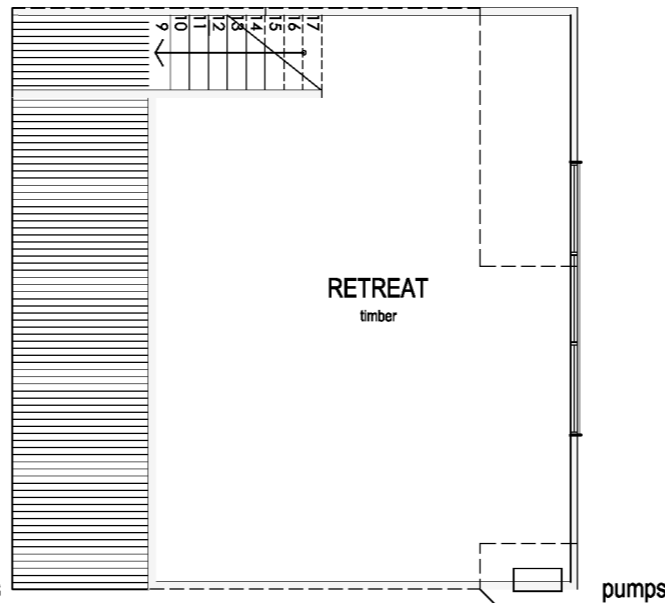
GARDEN AREA
SCALE 1:200

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date first issued:		TOWN PLANNING		stage: TOWN PLANNING		client approval signature:		sheet no: 16 of 18		checked: TP	
rev	date	drw	chk	description		scale: 1 : 200 @ A3		title: GARDEN AREA		file no: 231918	
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B	18 / 05 / 2025	TP	TPP	RFI #2 CHANGES							

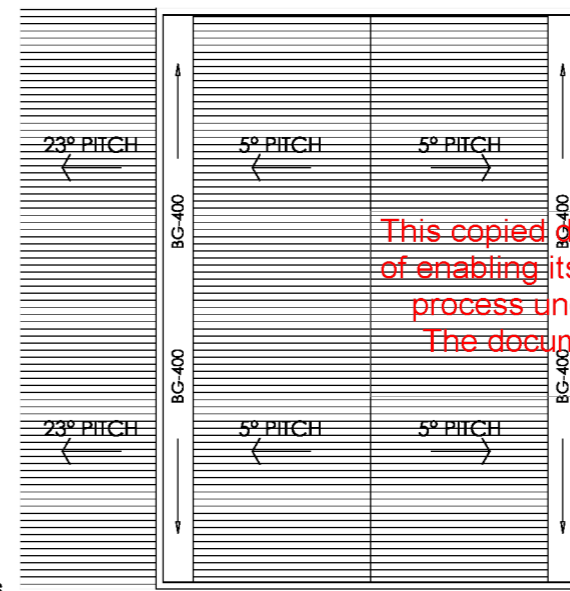




GROUND FLOOR PLAN
SCALE 1:100

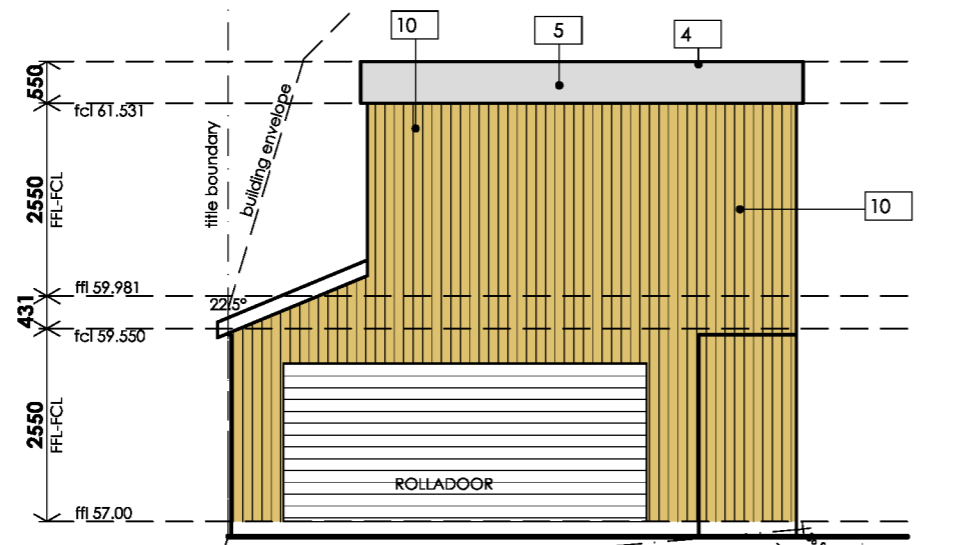


FIRST FLOOR PLAN
SCALE 1:100

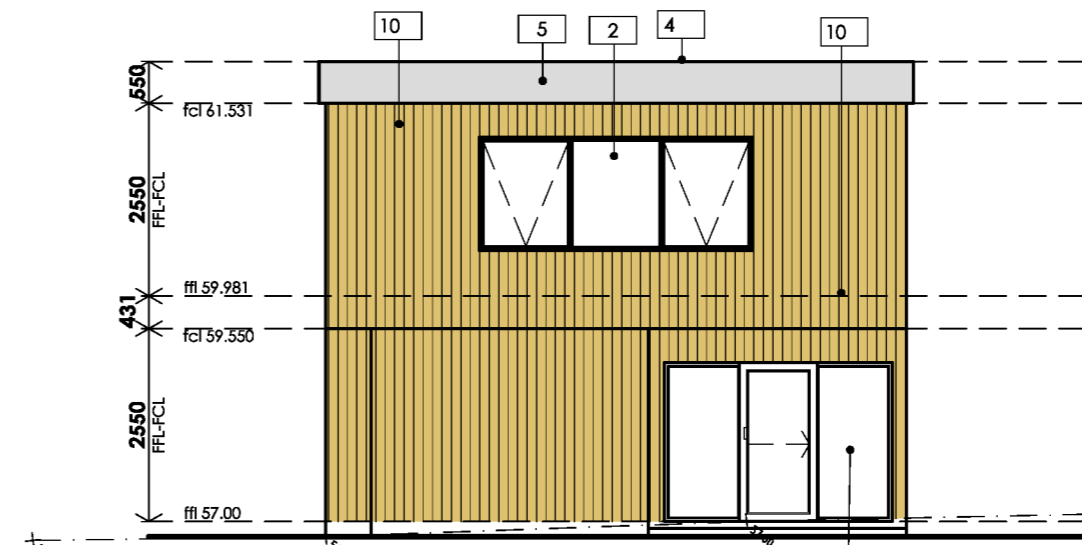


ROOF PLAN
SCALE 1:100

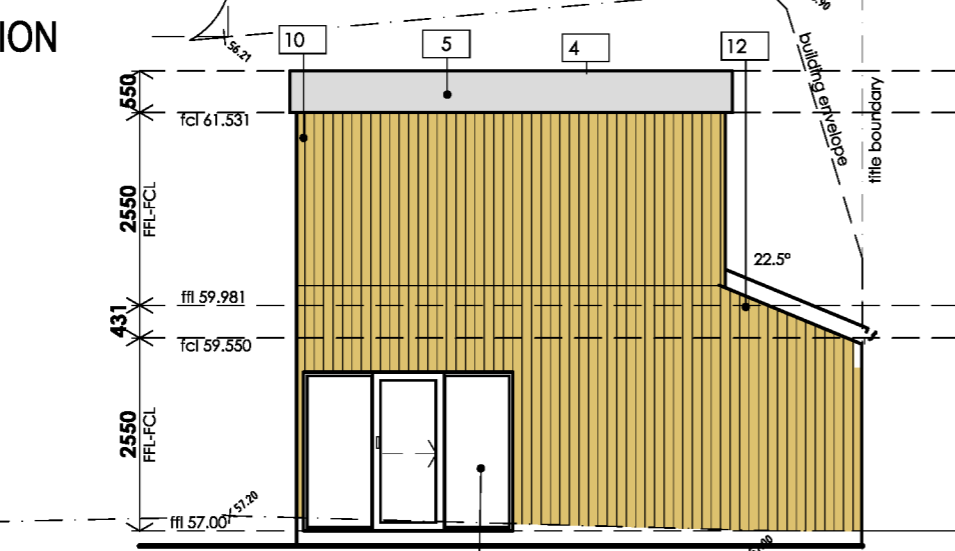
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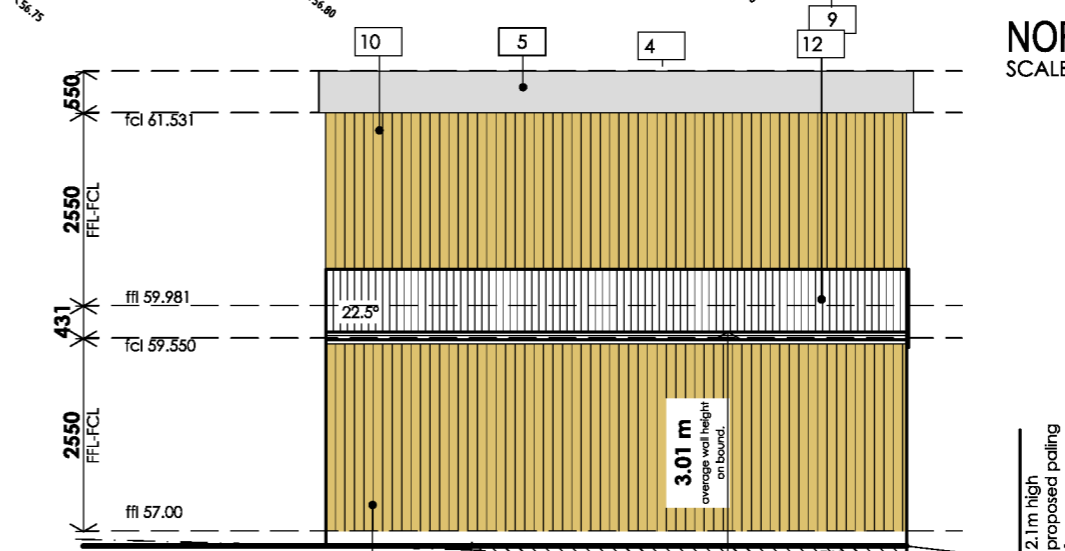
EAST ELEVATION
SCALE 1:100



NORTH ELEVATION
SCALE 1:100



WEST ELEVATION
SCALE 1:100



SOUTH ELEVATION
SCALE 1:100

date commenced: XX / XX / 2020		project: EXTENSION & ALTERATION 2 STOREY DEVELOPMENT		site address: 358 SHANNON AVE, NEWTOWN		client: COUCH		date: 18 / 05 / 2026		north:	
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rev	date	drw	chk	description				drawn: AA / TZ		checked: TP	
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B	18 / 05 / 2025	TP	TPP	RFI #2 CHANGES				title: PROPOSED GARAGE			
								file no: 231918		rev: B	