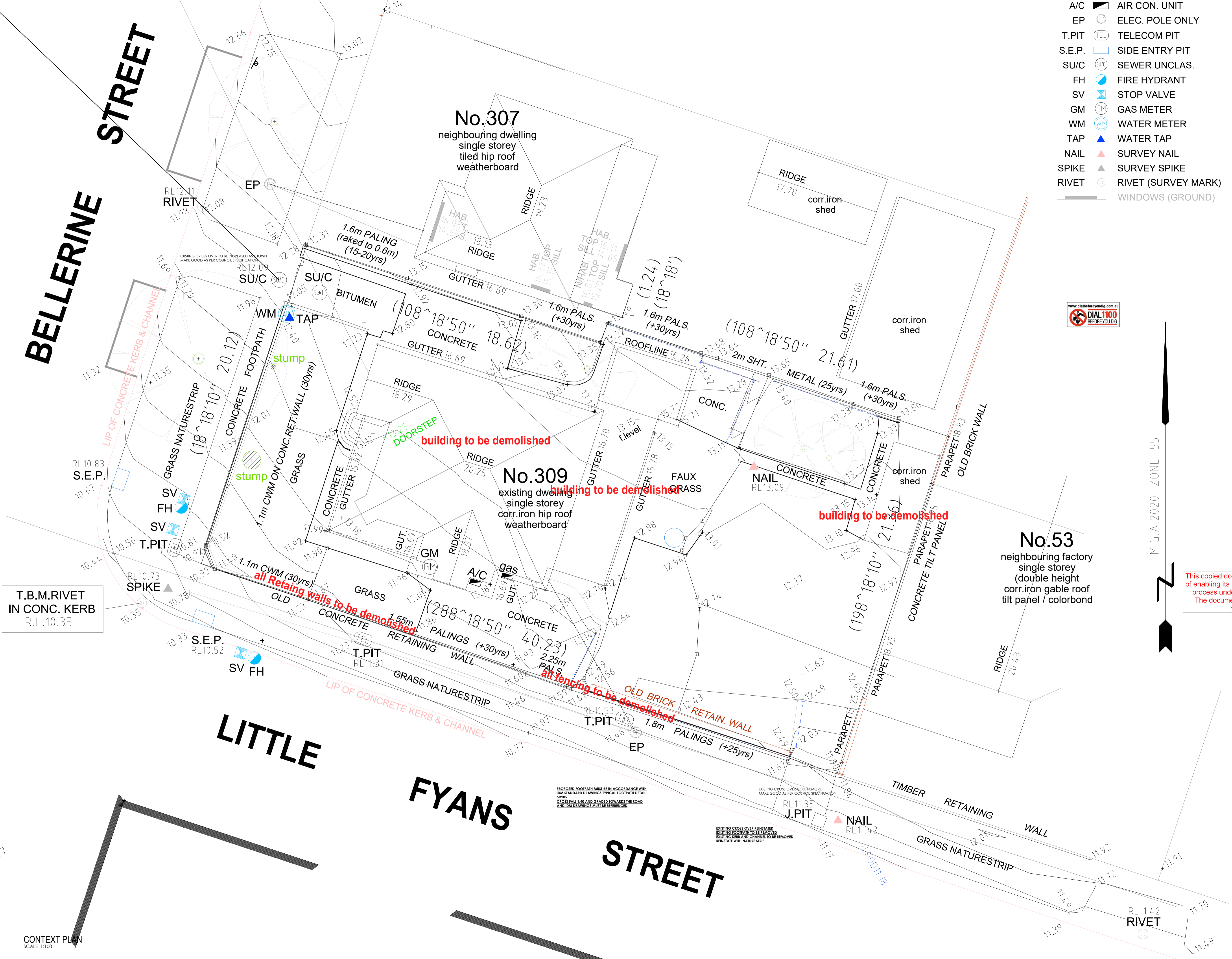


- A/C AIR CON. UNIT
- EP ELEC. POLE ONLY
- T.PIT TELECOM PIT
- S.E.P. SIDE ENTRY PIT
- SU/C SEWER UNCLAS.
- FH FIRE HYDRANT
- SV STOP VALVE
- GM GAS METER
- WM WATER METER
- TAP WATER TAP
- NAIL SURVEY NAIL
- SPIKE SURVEY SPIKE
- RIVET RIVET (SURVEY MARK)
- WINDOWS (GROUND)

rev	date	drw	chk	description
A	14/04/2026	XX	TPP	RFI REQUESTED CHANGES
B	05/05/2026	XX	TPP	RFI REQUESTED CHANGES
C	21/05/2026	XX	TPP	RFI REQUESTED CHANGES



This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach copyright legislation

client approval signature:

stage: **PLANNING**

designed by:

tony preiato building designers

project: **WAREHOUSE**

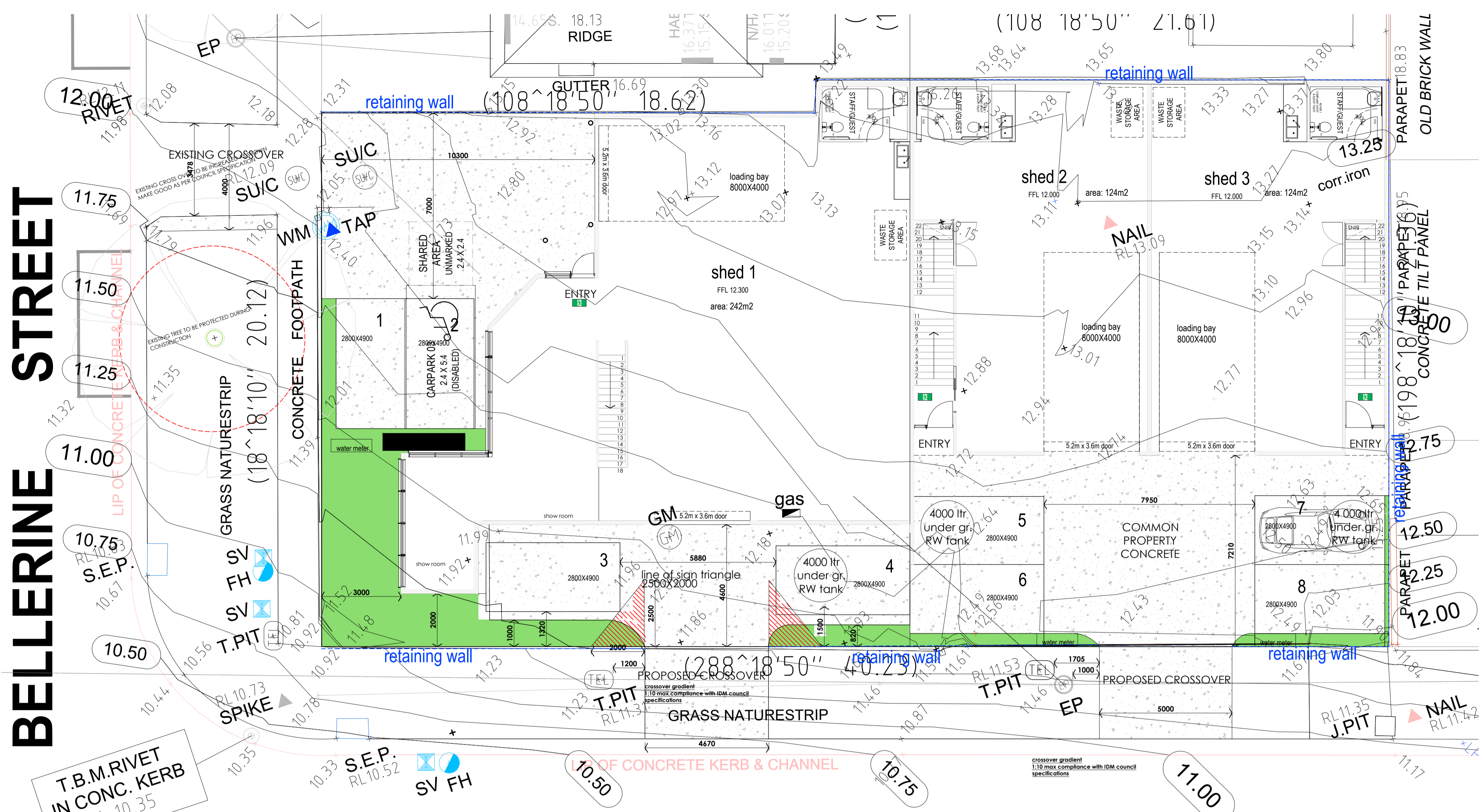
site address: **309 BELLARINE STREET GEELONG**

client: **CLIENT**

drawing title: **CONTEXT**

date: 21/05/2026	drawn: TP
scale: 1:100	checked: TP
sheet no: 01 OF 05	file no: 251952
rev no: C	

date commenced	XX / XX / 2020			
date first issued	XX / XX / 2020			
rev	date	drw	chk	description
A	14/04/2026	XX	TPP	RFI REQUESTED CHANGES
B	05/05/2026	XX	TPP	RFI REQUESTED CHANGES
C	21/05/2026	XX	TPP	RFI REQUESTED CHANGES



**BELLERINE STREET**

**LITTLE FYANS STREET**

PROPOSED GROUND FLOOR PLAN  
SCALE 1:100

**EMERGENCY LIGHTING**

CELEBRONICS DIRECTIONAL EMERGENCY EXIT LUMINAIRES (APPROVED) MOUNTING HEIGHT NO LESS THAN 2000mm - 2700mm ABOVE F.F.L. & WITHIN 2000mm OF THE EXIT DOOR

CELEBRONICS EMERGENCY EXIT LUMINAIRES (CLEVERFIT PRO) OR SIMILAR (APPROVED) NO LESS THAN 2000mm - 2700mm ABOVE F.F.L. & WITHIN 2000mm OF THE EXIT DOOR

CELEBRONICS EMERGENCY EXIT LUMINAIRES SERIES 8115 OR SIMILAR (APPROVED) CLASS D DB LUMINAIRES MOUNTING HEIGHT @6000mm ABOVE F.F.L.

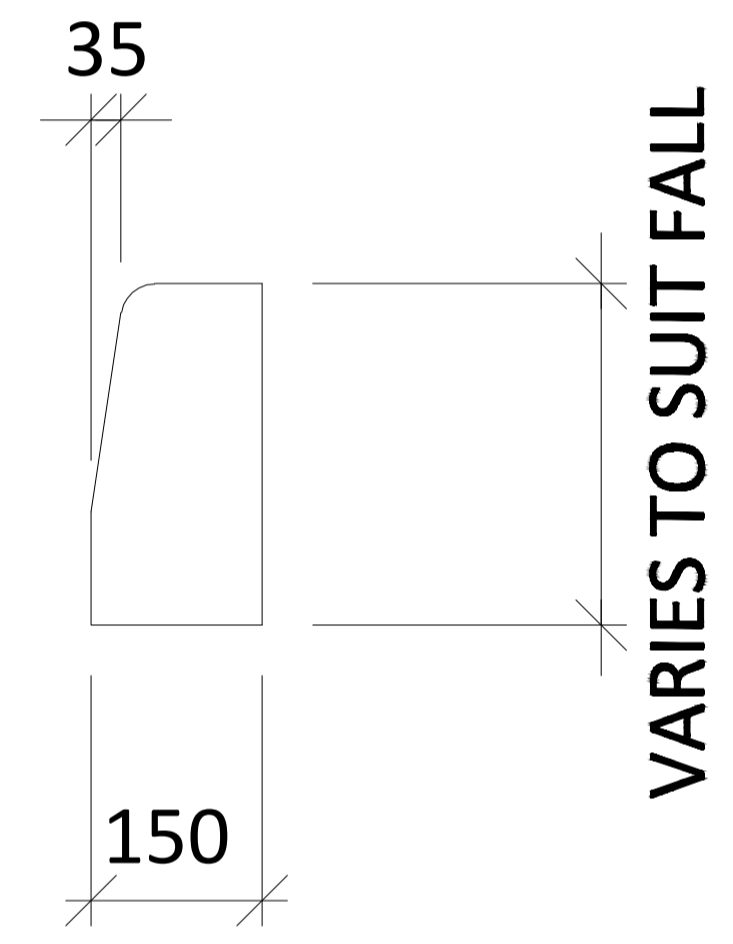
EMERGENCY EXIT SIGNS AND LIGHTING TO BE IN ACCORDANCE WITH AS 2293

SYSTEM ILLUMINATION POWER LOAD ALLOWANCE TO BE IN ACCORDANCE WITH LIGHTING CALCULATION AS PER SECTION J REPORT BY FRATER CONSULTING PTL

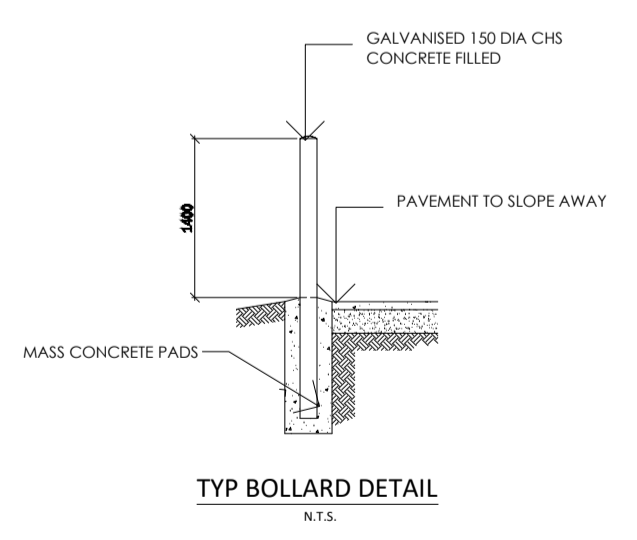
**AREAS**

shed 01 G floor	242m²	00sq
Shed 01 Mezzanine	44m²	00sq
Staff WC	8m²	
Loading bay	32m²	
Shed 02 G Floor	124m²	00sq
Shed 02 Mezzanine	98.0m²	00sq
Staff WC	8m²	
Loading bay	32m²	
Shed 03 Mezzanine	124.0m²	00sq
Shed 03 Mezzanine	98.0m²	00sq
Staff WC	8m²	
Loading bay	32m²	
<b>TOTAL</b>	<b>730m²</b>	<b>00sq</b>

Site 836m²  
Total Building Area 490m²  
Site Coverage 58%  
Permeability Area 00m²  
Permeability 00%



TYP. KERB DETAIL  
N.T.S.



**SHED TABLE**

WARE HOUSE No 1	242m²
WARE HOUSE No 2	124m²
WARE HOUSE No 3	124m²

PROPOSED UPPER FLOOR PLAN  
SCALE 1:100



This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach copyright legislation.

PRELIMINARY ISSUE  
Not to be used for construction

client approval signature: \_\_\_\_\_

stage: **PLANNING**

designed by: \_\_\_\_\_

3/133 SHANNON AVE  
MANI FOLD HEIGHTS VIC 3218  
PH: 5221 6613  
FAX: 5221 6614  
e mail: tonypreiato@pipeline.com.au

**tonypreiato ASSOCIATES**  
building designers

project: **WAREHOUSE**

site address: **309 BELLARINE STREET GEELONG**

client: **CLIENT**

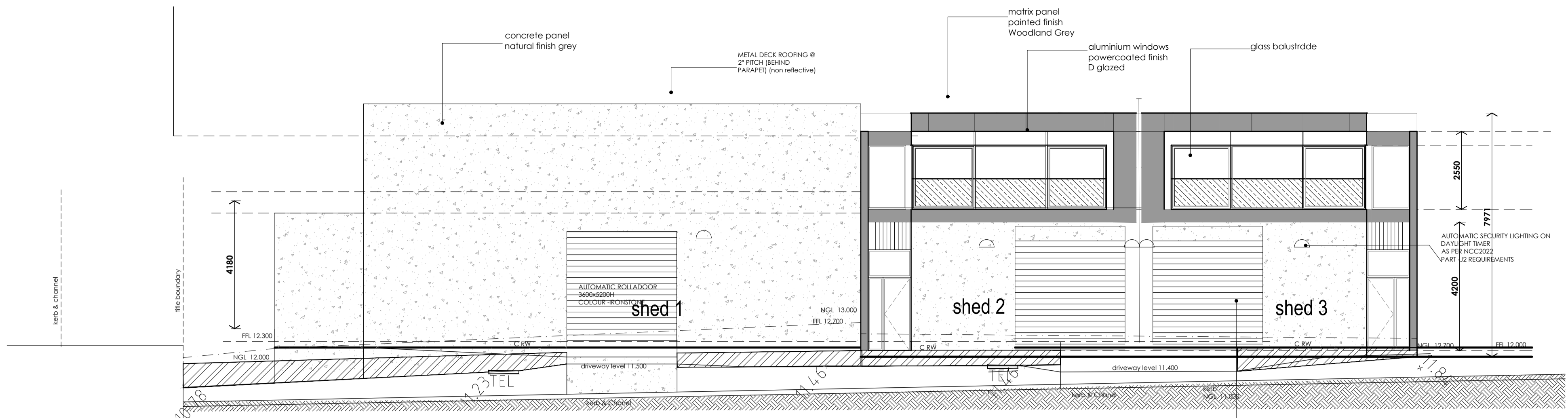
drawing title: **FLOOR PLAN**

date:	21/05/2026	drawn:	TP
scale:	1:100	checked:	TP
sheet no:	02 OF 05	file no:	251952
rev no:	C		

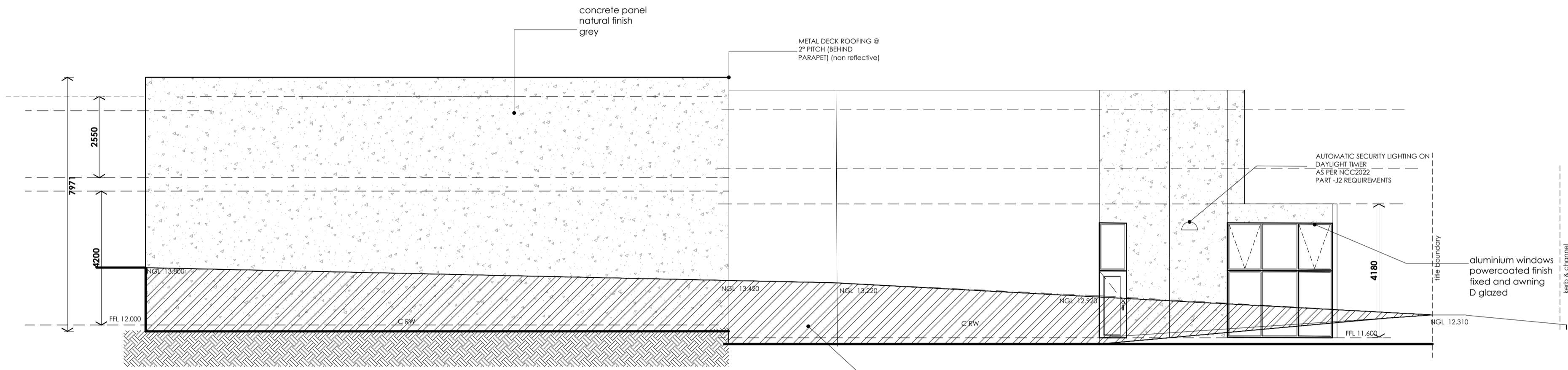
Author must verify all dimensions and areas on the plan to the order or placement of any materials. This drawing is to be used in conjunction with architectural specifications and a general drawing. Do not copy drawing.

Copyright of this document including all associated materials either written, drawn, specified or drawn is retained by Tony Preiato & Associates.

date commenced	XX / XX / 2020			
date first issued	XX / XX / 2020			
rev	date	drw	chk	description
A	14/04/2028	XX	TPP	RFI REQUESTED CHANGES
B	19/05/2028	XX	TPP	RFI REQUESTED CHANGES
C	21/05/2028	XX	TPP	RFI REQUESTED CHANGES

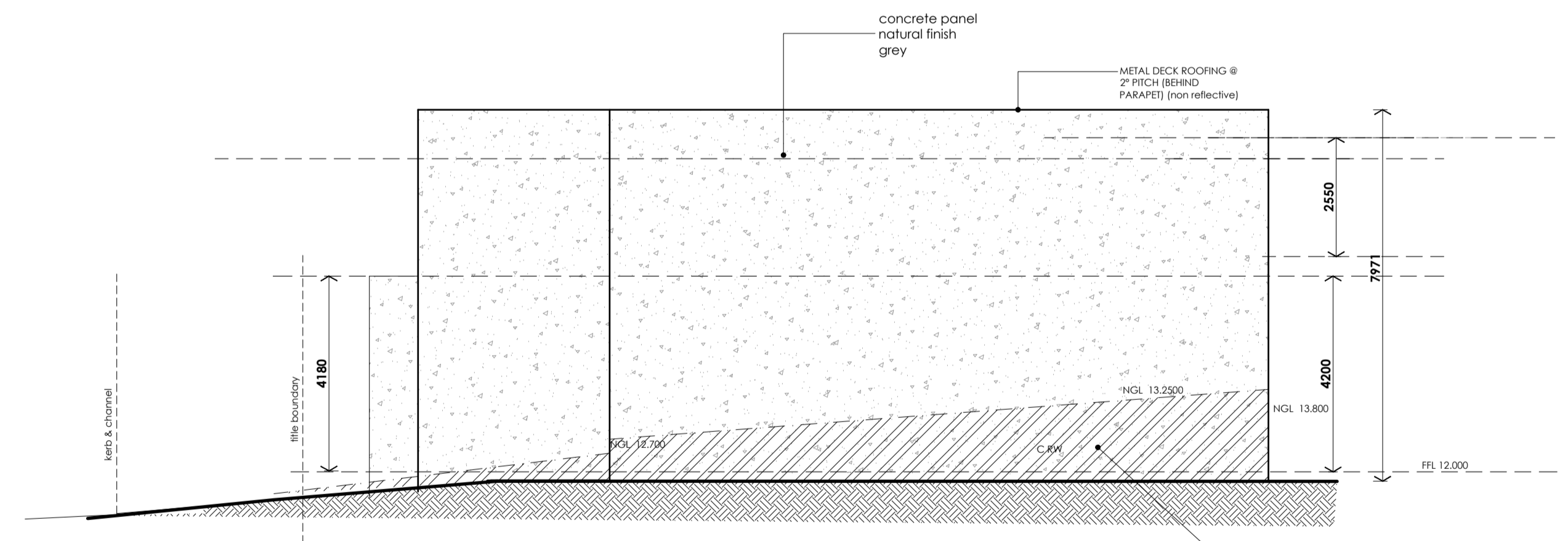


**SOUTH ELEVATION**  
SCALE 1:100

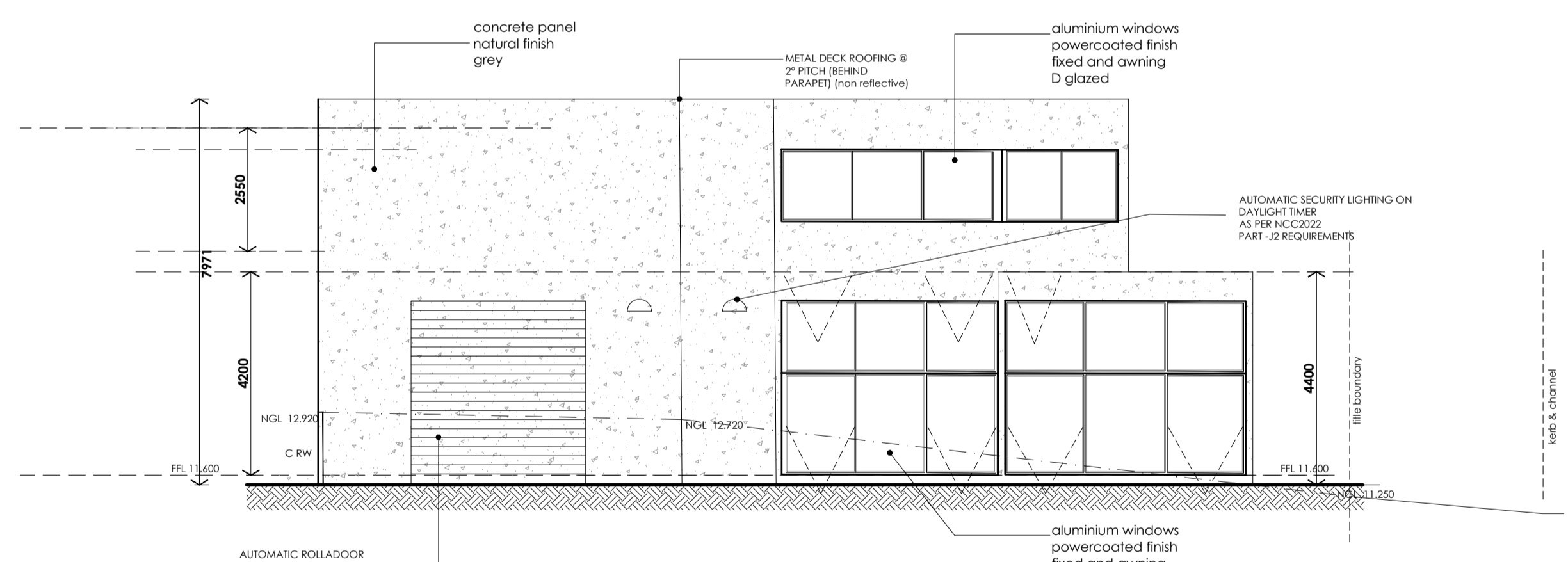


**NORTH ELEVATION**  
SCALE 1:100

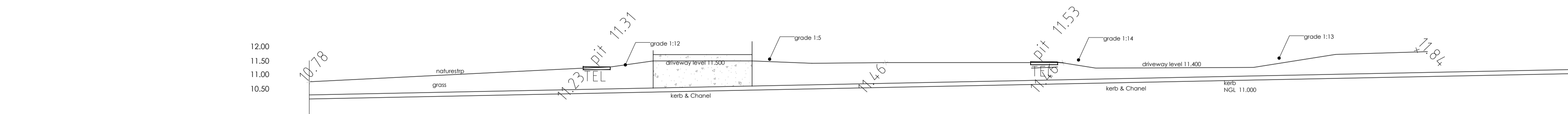
- timber
- weatherboard
- brickwork
- blockwork
- stackstone
- render
- light weight render (1)
- light weight render (2)
- light weight render (3)
- glazing
- corrugated iron roofing
- concrete retaining wall



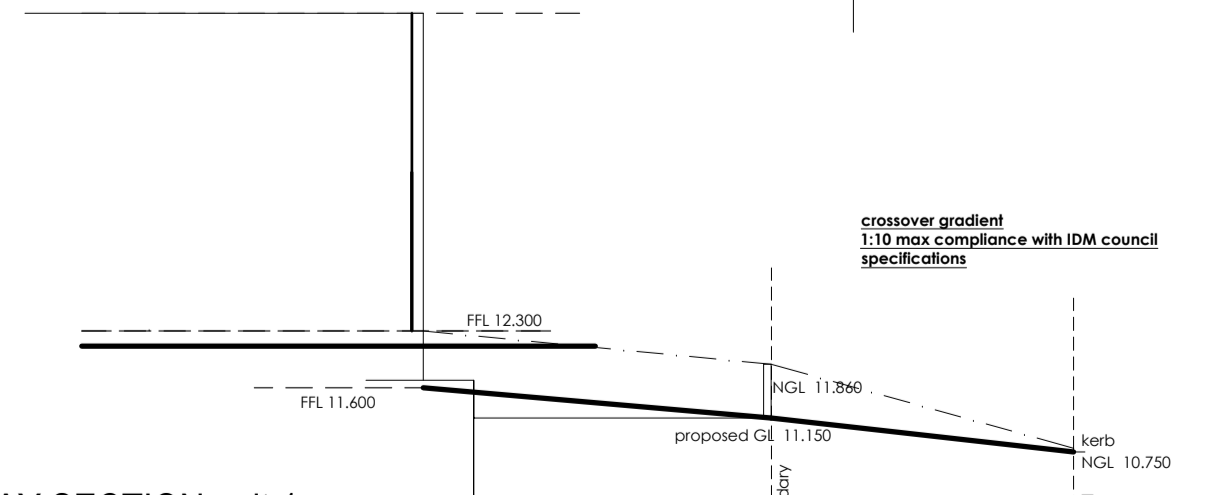
**EAST ELEVATION**  
SCALE 1:100



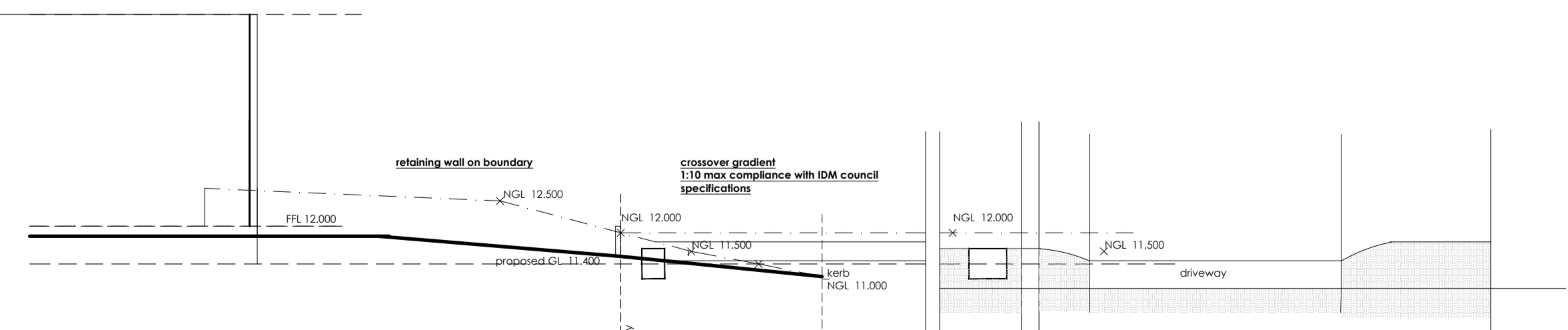
**WEST ELEVATION**  
SCALE 1:100



**longitude It fyans street**  
SCALE 1:100



**DRIVEWAY SECTION unit 1**  
SCALE 1:100



**DRIVEWAY SECTION unit 2 & 3**  
SCALE 1:100

**TYPICAL SECTION NATURESTRIP**  
SCALE 1:100

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach copyright legislation.

PRELIMINARY ISSUE  
not to be used for construction

Client approval signature: \_\_\_\_\_

stage: **PLANNING**

designed by: suite 3/133 SHANNON AVE  
MANI FOLD HEIGHTS VIC 3218  
PH: 5221 6613  
FAX: 5221 6614  
email: tonypreiato@pipelane.com.au

**tony preiato**  
ASSOCIATES  
building designers

project: **WAREHOUSE**

site address: **309 BELLARINE STREET  
GEELONG**

client: **CLIENT**

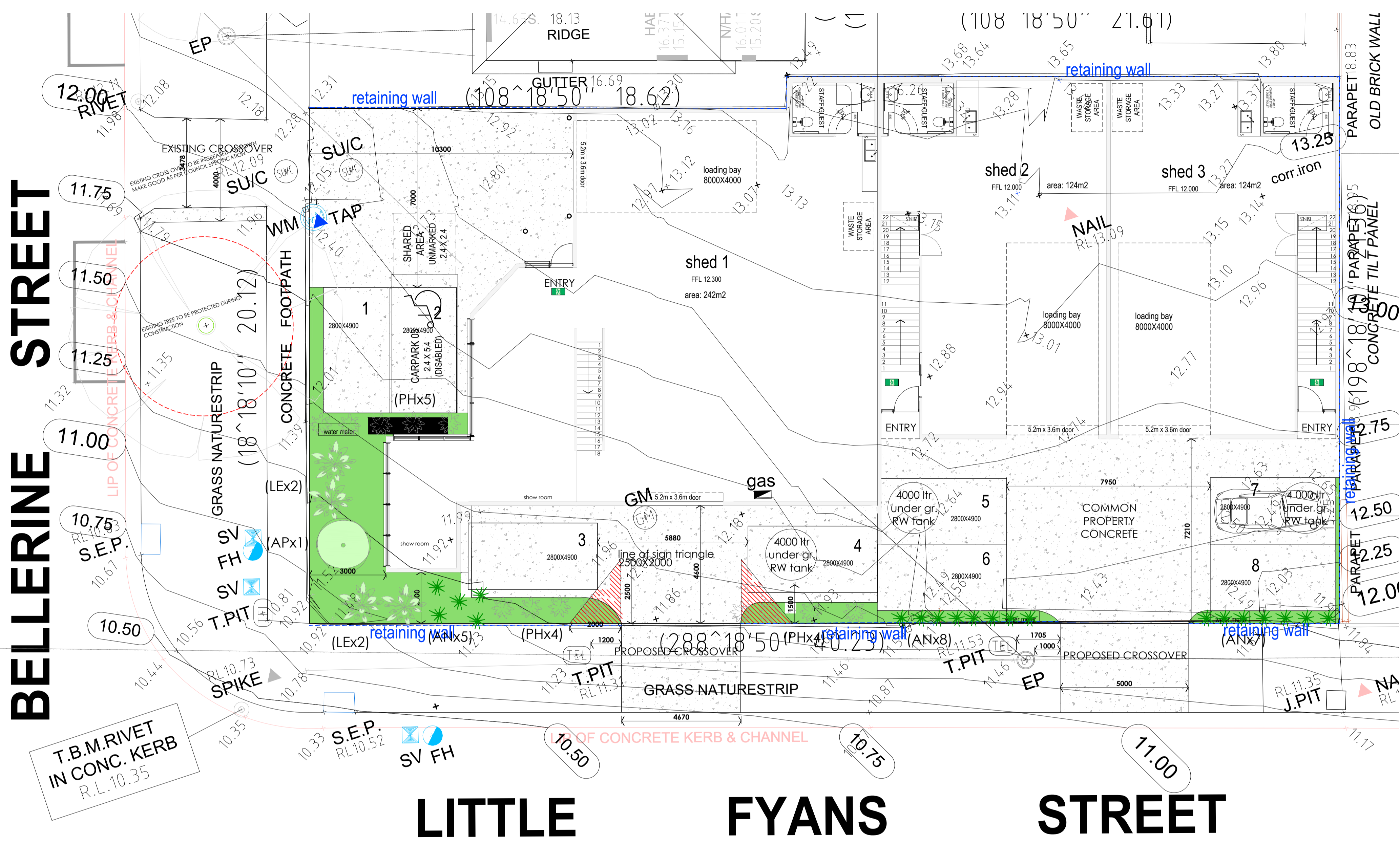
drawing title: **ELEVATIONS**

date:	21/05/2028	drawn:	TP
scale:	1:100	checked:	TP
sheet no:	02 of 05		
file no:	251952	rev no:	C

Builder must verify all dimensions and levels on site prior to the order or placement of any materials. This drawing is to be read in conjunction with architectural specification and engineer drawings. Do not scale drawing. Copyright of this document including all associated materials other without design, specification and drawing is retained by Tony Preiato & Associates.

Date commenced:	XX / XX / 2020
Date first issued:	XX / XX / 2020

rev	date	drawn	chkd	description
A	14/04/2026	XX	TPP	RFI REQUESTED CHANGES
B	05/05/2026	XX	TPP	RFI REQUESTED CHANGES
C	21/05/2026	XX	TPP	RFI REQUESTED CHANGES



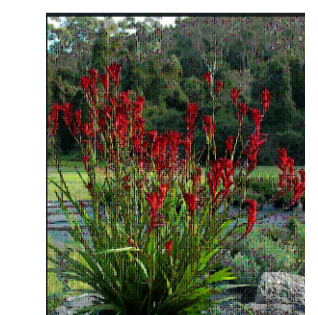
This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach copyright legislation.

**PROPOSED LANDSCAPE PLAN**  
SCALE 1:100

**PLANTING LEGEND**

SPECIFICATION	COMMON NAME	QUANTITY REQUIRED
ACER PALMATUS (AJ) (CANOPY TREE)	Japanese Maple	1
ANGIOSANTHOS Bush Ranger (AN)	Kangaroo Paw	28
PHORMIUM (PH)	Moor Sunrise	7
PROSTANTHERA SEBRI (PS)	Hollow Mint Bush	4
LEUCADENDRON (LE)	Ironwood	8

- Proposed Grass Surface**  
Cultivate subsoil to 200mm and spreading 50mm selected topsoil and Tall Fescue grass seed.
- Proposed Concrete**  
100mm depth coloured or exposed aggregate concrete driveway.
- Proposed woodmulch surface**  
Garden beds to be cultivated to 200mm depth, 100mm Garden Blend loam, and mulched with 75mm depth.
- Footpath**



**PREPARING A GARDEN BED FROM A BUILDING SITE**

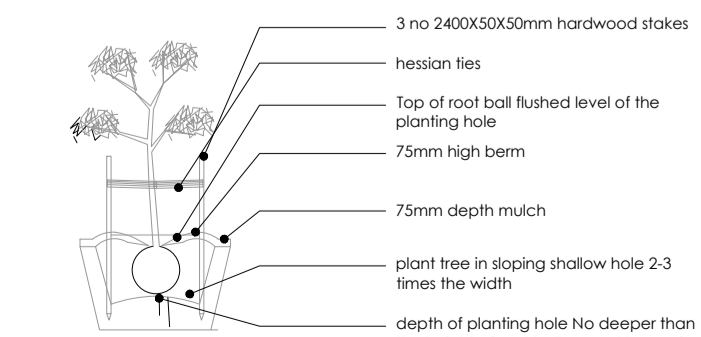
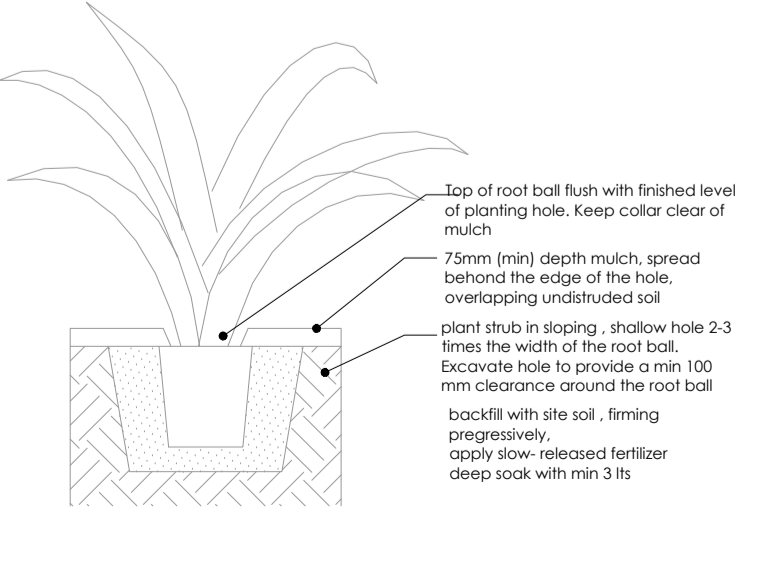
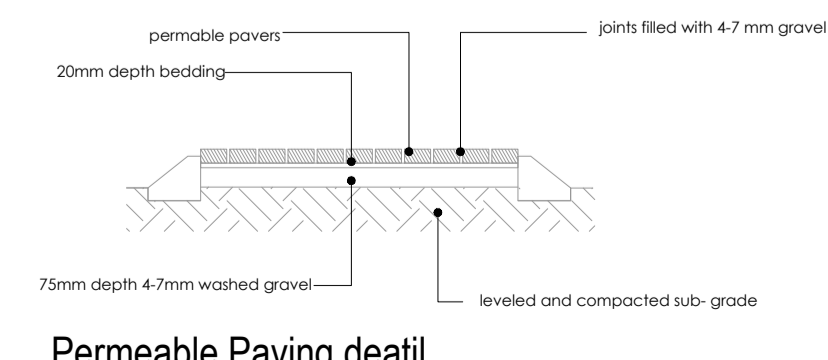
- Cleaning:** Clean the site of debris and weeds.
- Topsoil:** Topsoil contaminated by paint or concrete wash which shall be avoided-it must be dug out and removed. If in a tree protection zone (TPZ) more reason to prevent-it shall be hand excavated to avoid cutting roots. The topsoil shall be replaced with soil or imported topsoil that complies AS419-2003 www.gardens.org.au.
- Grading and Drainage:** In areas with existing topsoil that will be paved the topsoil can be excavated (unless in TPZ) and stockpiled-to be later used on garden beds.
- Grade the area into garden beds (slightly higher) and lawn or gravel areas.** Garden beds shall be edged with sustainable source material eg treated pine.
- Check the drainage of the area by running a sprinkler for 5-10 min (check water restrictions) and look where the water flows, noting any water tracks or ponding in areas. Adjusted grading accordingly.** Garden beds, paths and lawn or gravel areas shall be drain towards a drainage grate pit or rain garden.
- Drainage issues may be addressed by the creation of a swale, which can be covered with rock pieces or a pump pit filled with crushed rock wrapped in porous geotextile and covered with lawn or stone.**
- Improving soils:** Existing garden beds can be prepared with added organic material such as well rotted manure or materials from a plant and animal source such as soil improvers or compost and prepared to AS 4454-2003. These can just be top dressed (placed over the top of the soil) and then covered with mulch. If there is no existing topsoil then import topsoil that complies with AS419-2003 shall be used with organic mulch on top.
- Hard city subsoil can be fractured or ripped to break them down.**
- Soil excavation shall note be carried in a TPZ.**
- Clay soils shall never be cultivated in any way when they are wet.**
- Use of plastic weed mats, sold or woven are inappropriate as they deprive soil of oxygen.**
- Garden beds shall be mulched to a depth of 75mm.**

**PREPARING A GARDEN BED FROM A BUILDING SITE**

- The trees Protection Zone (TPZ) radius shall be determined by measuring the trunk diameter (DBH) of the tree 1.4 above the ground in metres and multiplying by 12. If the tree is multi-trunked the DBH is the square root of the sum of the squares of the diameter of each trunk. The TPZ is an area isolated from construction disturbance which includes excavation, compacted fill and machine trenching-so that the trees remains viable. Any root excavation within the TPZ shall be avoided and is to be done during the design and construction stage.
- The TPZ to be fenced and clearly marked at all times.
- Any underground services installation shall be boxed within TPZ.
- Supplementary watering shall be provided to all trees throughout any dry or windy periods during and after construction process.
- Any Pruning required must be carried out by a trained and competent Arborist to comply with AS 4373-1996 Pruning of amenity trees.
- Activities to be restricted within the TPZ.

**MAINTENANCE NOTES**

- Watering:** Plants shall be watered immediately after planting, then weekly for the first month, then fortnightly for the first 3 months. watering is unnecessary if there has been enough recent rain. Additional watering is required on days over 30 degrees.
- Weeding:** Removal of weeds by hand and /or by glyphosate preparation once a month or as required.
- Pruning:** Shrubs and young trees shall be pruned at 3 months, 6 months and then yearly for dead diseased branches. Young trees shall be pruned for competing stems to ensure a single main trunk.
- Stakes:** shall be removed after one year.
- Post-and-diseased control:** Check plants for damage once a month and used relevant sprays to manufactures recommendations.
- Fertiliser:** a general organic low phosphorous fertiliser shall be placed under mulch.
- Labels:** Moving every 3 to 6 days depending on time of year and a height of 50mm.
- General:** Remove rubbish and replace dead plants with the same species.



Client approval signature:

stage:

**PLANNING**

designed by:  
SUITE 3/133 SHANNON AVE  
MANI FOLD HEIGHTS VIC 3218  
PH: 5221 6613  
FAX: 5221 6614  
e mail: tonypreiato@pipelane.com.au



project: **WAREHOUSE**

site address:  
**309 BELLARINE STREET  
GEELONG**

client: **CLIENT**

drawing title: **LANDSCAPE**

date:	21/05/2026	drawn:	TP
scale:	1:100	checked:	TP
sheet no:	04 OF 05	file no:	251952
rev no:	C		

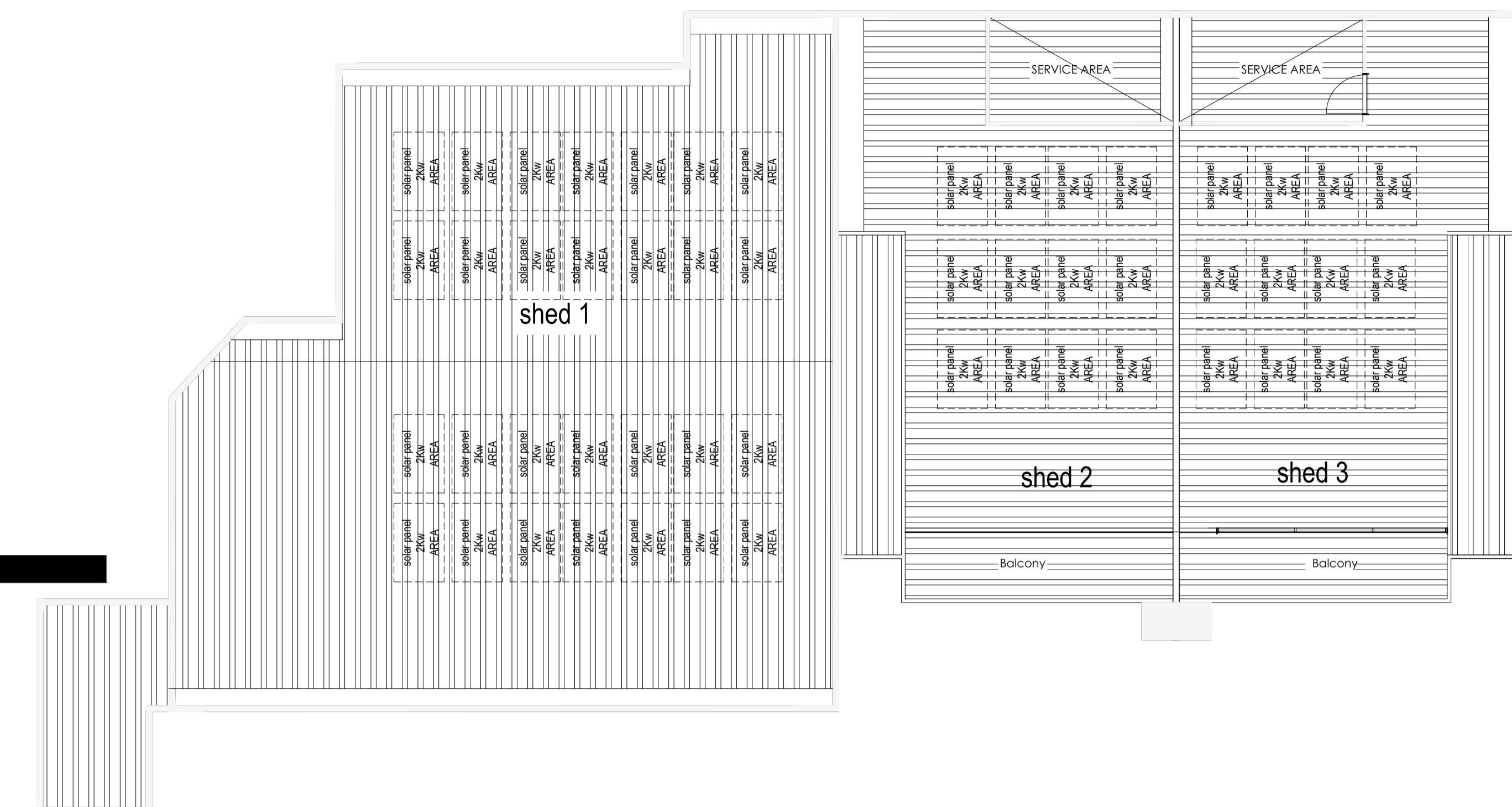
PRELIMINARY ISSUE  
not to be used for construction

Bidders must verify all dimensions and levels on site prior to the order or placement of any materials. This drawing is to be read in conjunction with architectural specification and engineer drawings. Do not scale drawing.  
Copyright of this document including all associated materials shall remain with design, specification and drawing is vested in Tony Preiato & Associates.

date commenced:	XX / XX / 2020
date first issued:	XX / XX / 2020

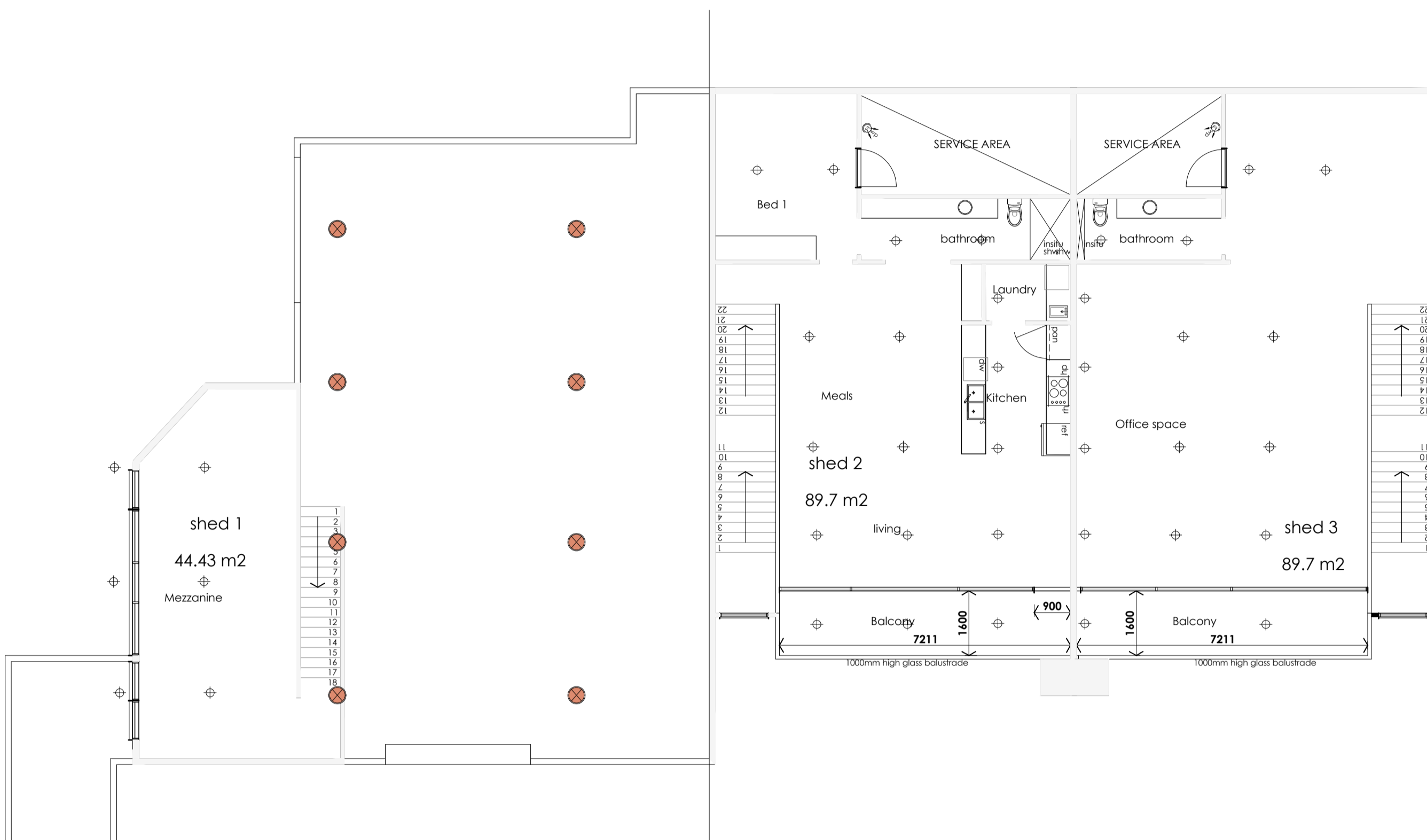
rev	date	dwg	chk	description
A	14/04/2020	XX	TPP	RFI REQUESTED CHANGES
B	05/05/2020	XX	TPP	RFI REQUESTED CHANGES
C	21/05/2020	XX	TPP	RFI REQUESTED CHANGES

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach copyright legislation

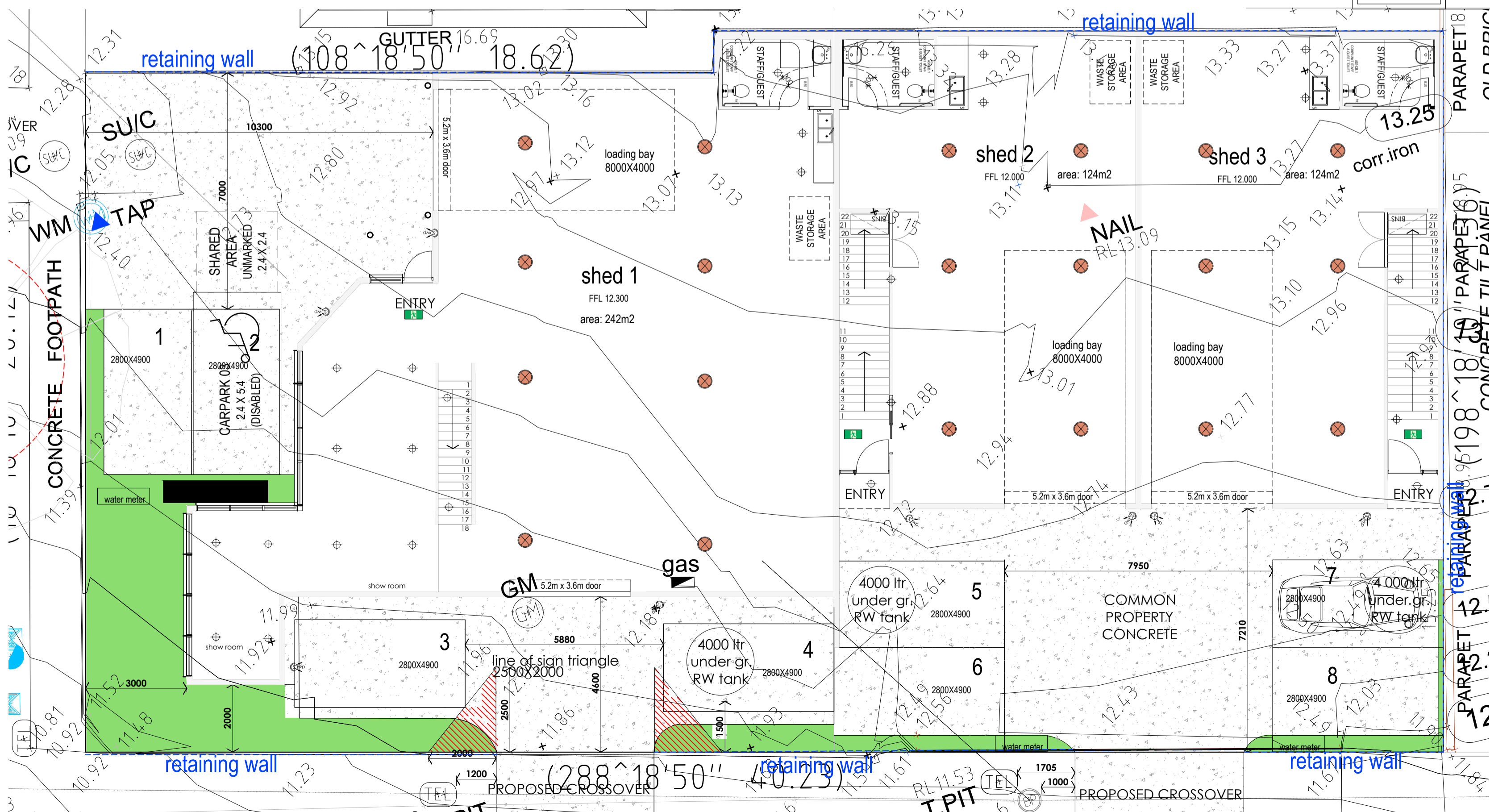


**PROPOSED ROOF PLAN**  
SCALE 1:100

Rain water tanks  
Rianwater tanks for Toilet flushing  
The roof catchment of each warehouse (as describe) will be diverted to a rainwater tank with minimum total capacity of 4000liters for each to warehouse.  
The rain water collected will be used for toilet flushing in the entire development



**PROPOSED ELECTRICAL UPPER FLOOR PLAN**  
SCALE 1:100



**PROPOSED ELECTRICAL GROUND FLOOR PLAN**  
SCALE 1:100

**LEGEND: Electrical Plan**

MARK	DESCRIPTION	MODEL	REMARKS
⊙	Bay Light - General - Hanging	20	53 Watt
⊕	Down Light - Low Volt. - Recessed	54	10 Watt
⊕	Emergency Luminaire - in office	3	18 Watt
⊕	Exhaust Fan - Ceiling	2	
⊕	Flood Light - WP - Sensor	10	150 Watt

note: All light fittings, power outlets & switches shown are indicative only. Selection of fittings and location to be confirmed with the client.

**ARTIFICIAL LIGHTING** AS PER NCC 2022 VOL. 1 TABLE J7D3a  
 Laboratory -artificially lit to an ambient level of 400 lx or more 4 W/m<sup>2</sup>  
 Office -artificially lit to an ambient level of 200 lx or more 4.5 W/m<sup>2</sup>  
 Toilet, locker room, staff room, rest room and the like 3 W/m<sup>2</sup>

client approval signature:

stage:

**PLANNING**

designed by:

suite 3/133 SHANNON AVE  
MANI FOLD HEIGHTS VIC 3218  
PO: 5221 6613  
FAX: 5221 6614  
e mail: tonypreiato@pipelne.com.au

**tonypreiato**  
ASSOCIATES  
building designers

project:

**WAREHOUSE**

site address:

**309 BELLARINE STREET  
GEELONG**

client:

**CLIENT**

drawing title:

**ROOF & ELECTRICAL**

date:	21/05/2026	dwn:	TP
scale:	1:100	checked:	TP
sheet no:	05 OF 05	rev no:	

file no: **251952** rev no: **C**

PRELIMINARY ISSUE  
not to be used for construction