

PROJECT:

PROPOSED EXTENSION & NEW GARAGE

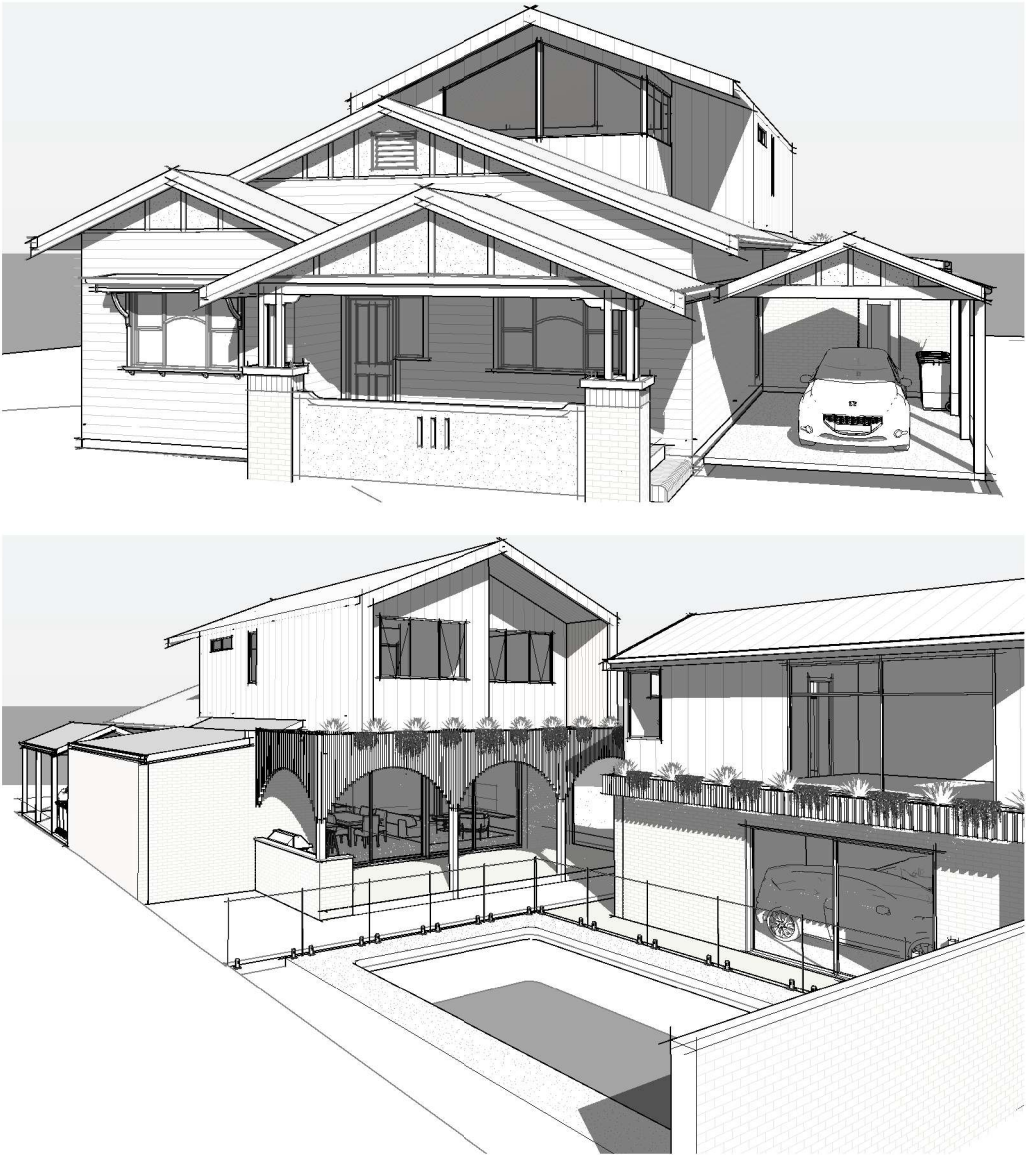
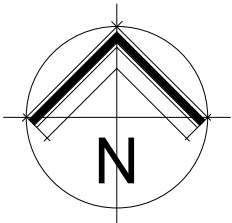
SITE ADDRESS:

18 Grandview Grove, DRUMCONDRA

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City of Greater Geelong, Statutory Planning - Date Received 3/09/2026

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LOCALITY PLAN

1 : 1000

PROPOSAL:

PROPOSED EXTENSION &
NEW GARAGE

FOR: Kylie

ADDRESS:

18 Grandview Grove
DRUMCONDRA

REVISION:

04-02-26 PRELIMINARY TP

05-02-26 STREETSCAPE ELEVATION

11-03-26 FURTHER INFO

18-03-26 FI (NK)

04-06-26 UPDATED ROOF FORM TO FIRST FLOOR AREAS (KD)

18-06-26 NEW DESIGN

13-08-26 MATERIAL SCHEDULE UPDATE

03-09-26 CAPPORT MOVED BACK 1.0M

DRAWN: DATE: DWG NO:

JA FEB 26 TP1.0

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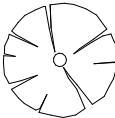
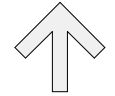
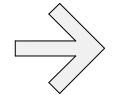
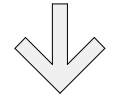
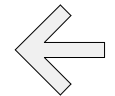
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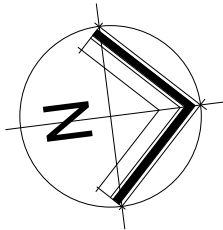
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- LEGEND**
- A. Existing Single Storey Dwellings
 - B. Existing Double Storey Dwellings
 - C. Proposed Extension
 - D. Car Accommodation
 - E. Child Care & Kindergarten
 - 1. Adjoining Private Open Space
 - 2. Proposed Private Open Space
 - 3. Vehicular Site Entry

-  Existing Trees
-  250m to Bus Stop
2.8km to Geelong Golf Club
-  550m to Rippleside Park
1.4km to Post Office
-  550m to Rippleside Beach
-  1.3km to Kindergarten
1.5km to St. Patrick's Primary School



SITE ANALYSIS PLAN

1 : 500

PROPOSAL:
PROPOSED EXTENSION &
NEW GARAGE

FOR: Kylie

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DRUMCONDRA

REVISION:

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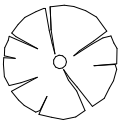
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- 1. Adjoining Private Open Space
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- 3. Vehicular Site Entry



Existing Trees



250m to Bus Stop
2.8km to Geelong Golf Club



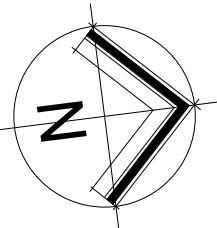
550m to Rippleside Park
1.4km to Post Office



550m to Rippleside Beach



1.3km to Kindergarten
1.5km to St. Patrick's Primary School



DESIGN RESPONSE PLAN

1 : 500

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PROPERTY DETAILS
Address: 18 GRANDVIEW GROVE DRUMCONDRA 3215
Lot and Plan Number: Lot 91 LP5507
Standard Parcel Identifier (SPI): 91\LP5507
Local Government Area (Council): GREATER GEELONG
Council Property Number: 208304
Planning Scheme: Greater Geelong
Directory Reference: Melway 442 A11

Planning Zone Summary
Planning Zone: NEIGHBOURHOOD RESIDENTIAL ZONE
- SCHEDULE 2 (NR22)

Site Area: **620 m²**
Existing Ground Floor Area: 161.94 m²
Existing Porch Area Area: 13.48 m²
Proposed GF Extension Area: 40.32 m²
Proposed Alfresco Area: 37.14 m²
Proposed Carport Area: 27.88 m²
Proposed Garage Area: 53.14 m²

Paved Area: 32.71 m²
Total Hard Surface Area: 366.61 m²

Permeable Surface Area: 253.39 m²
Permeable Surface Coverage: 40.87 %
Building Site Coverage: 53.85 %

LEGEND:

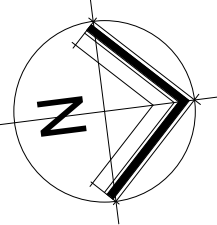
- A Proposed Res.
- 1 Private Open Space
- 2 Driveway
- 3 Drying Yard

MINIMUM PARKING REQUIREMENTS

Parking ① 6000 X 3500
Parking ② 4900 X 2600

 DENOTES TREE TO BE REMOVED

FLOOR LEVEL SCHEDULE		
	CUT RL	FFL
REAR LEVEL	15.15	15.40
GROUND FLOOR PLAN	-	15.97
GARAGE FLOOR	14.80	15.05



SITE CONTEXT PLAN

1 : 200

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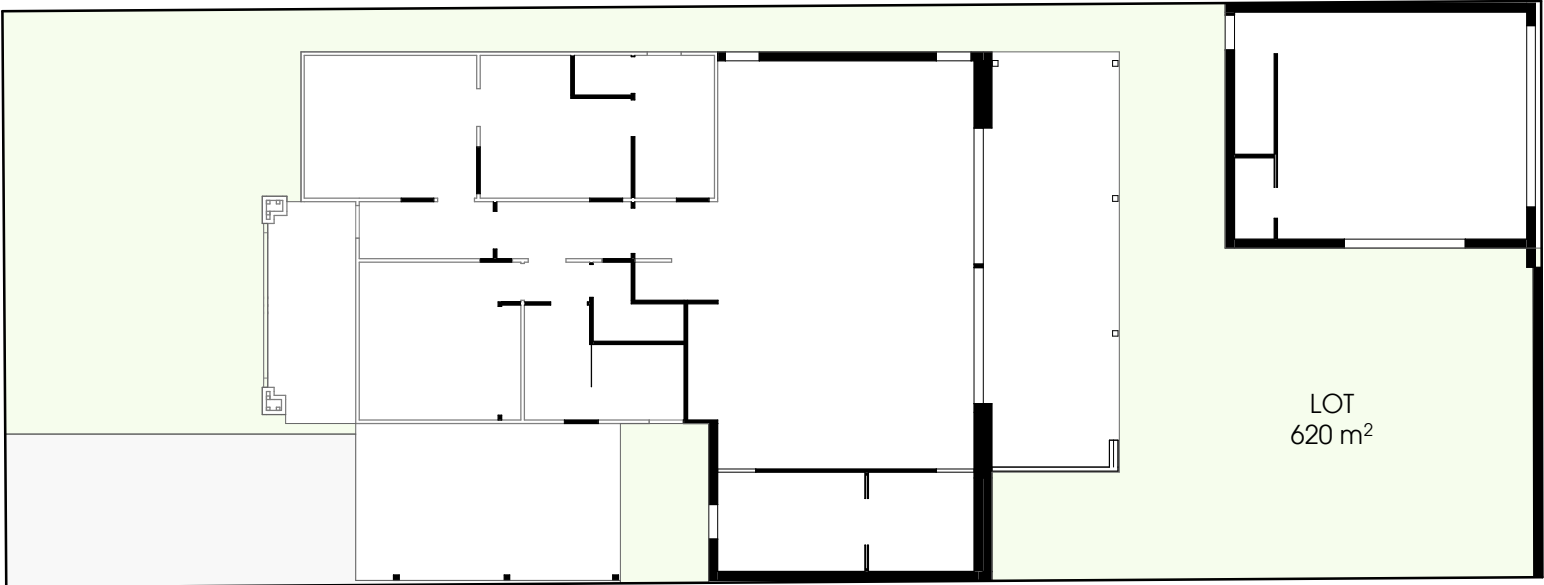
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GRANDVIEW GROVE

97°02'50" 15.24

6°49'20" 40.70



97°02'50" 15.24

186°49'20" 40.65

- DENOTES DWELLING FLOOR AREA
- DENOTES GARDEN AREA
- DENOTES EXCLUDED AREAS

Any area on a lot with a minimum dimension of 1 metre that does not include:

- a) a dwelling or residential building, except for:
- an eave, fascia or gutter that does not exceed a total width of 600mm;
 - a pergola;
 - unroofed terraces, patios, decks, steps or landings less than 800mm in height;
 - a basement that does not project above ground level;
 - any outbuilding that does not exceed a gross floor area of 10 square metres; and
 - domestic services normal to a dwelling or residential building;
- b) a driveway; or
- c) an area set aside for car parking.

MANDATORY MINIMUM 'GARDEN AREA'	
LOT SIZE	MIN. PERCENTAGE OF A LOT SET ASIDE AS GARDEN AREA
501 - 650 sqm	30%

LOT AREA;	620 m²
Garden Area Requiement;	186.00 m²
Proposed Garden Area;	244.00 m²

GARDEN AREA PLAN

1 : 200

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FOR; Kylie

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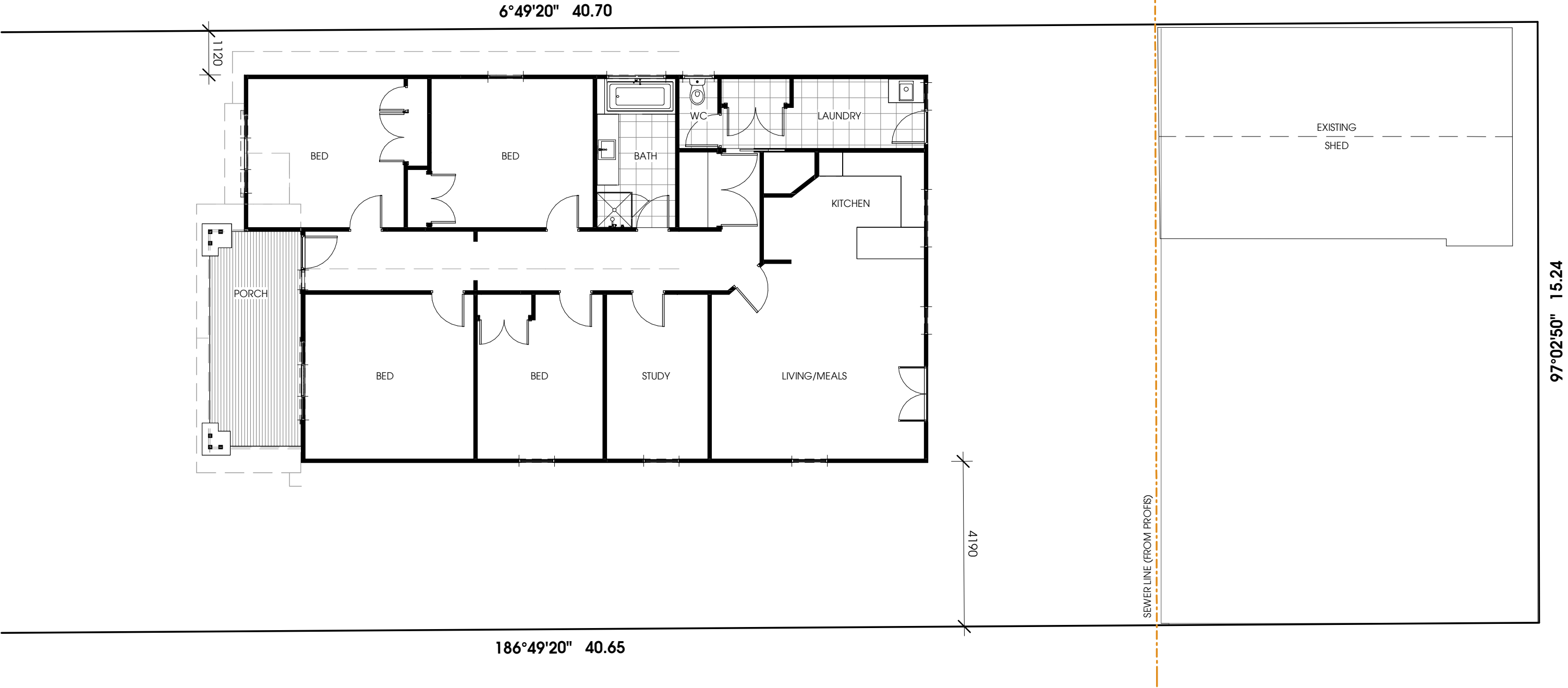
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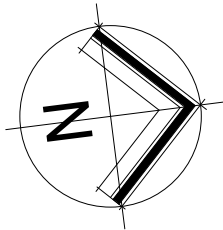


	Area	Squares
Existing Ground Floor Area	161.94 m ²	17.43
Existing Porch Area	13.48 m ²	1.45
Existing Shed Area	48.35 m ²	5.20
	223.77 m ²	24.09

EXISTING FLOOR PLAN

1 : 100

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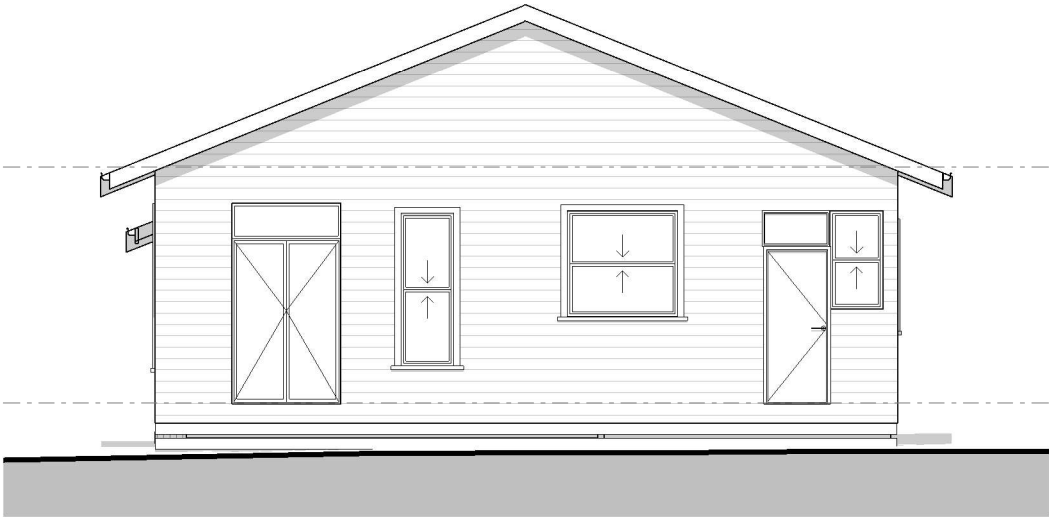
EXISTING SOUTH ELEVATION

1 : 100



EXISTING EAST ELEVATION

1 : 100



EXISTING NORTH ELEVATION

1 : 100



EXISTING WEST ELEVATION

1 : 100

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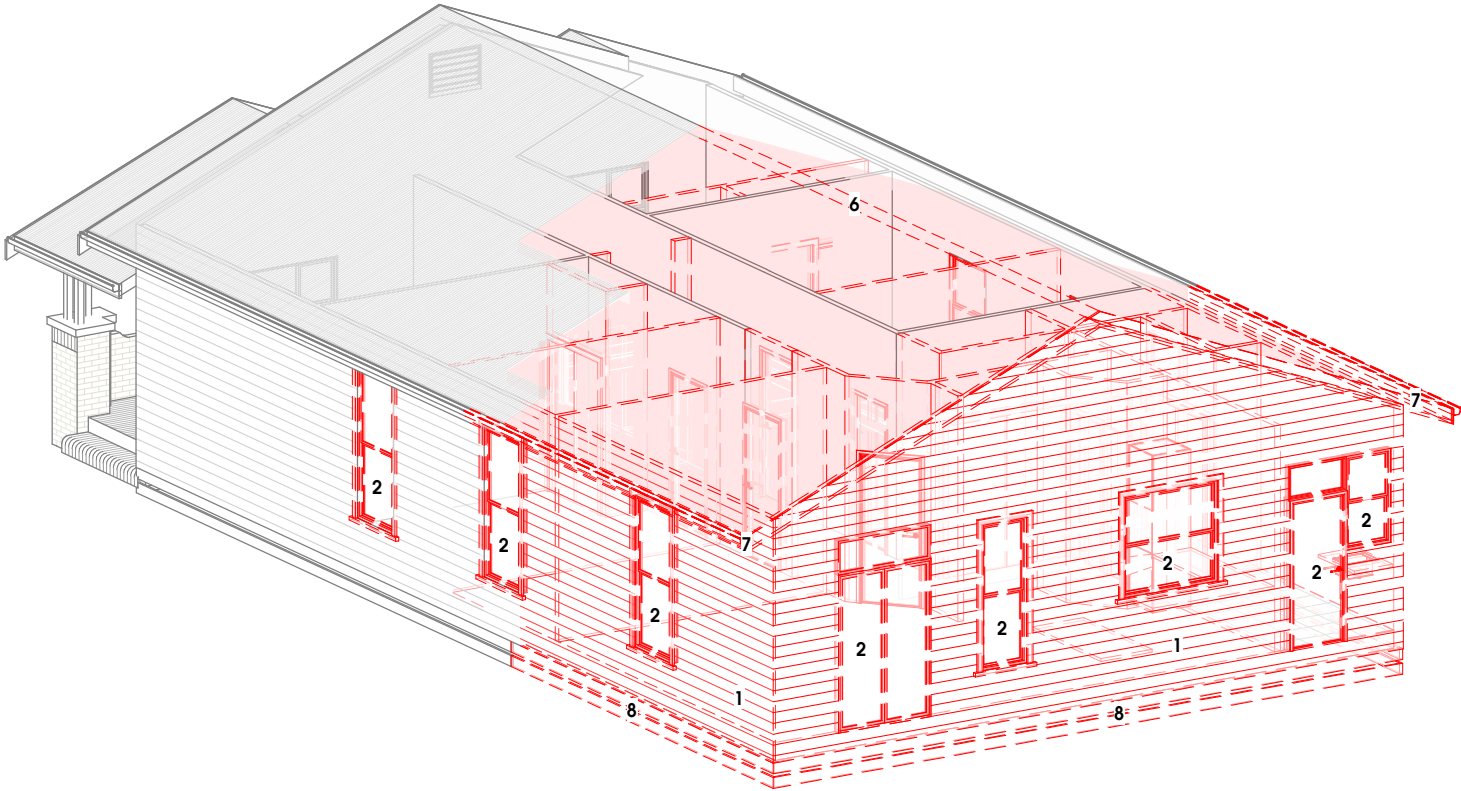
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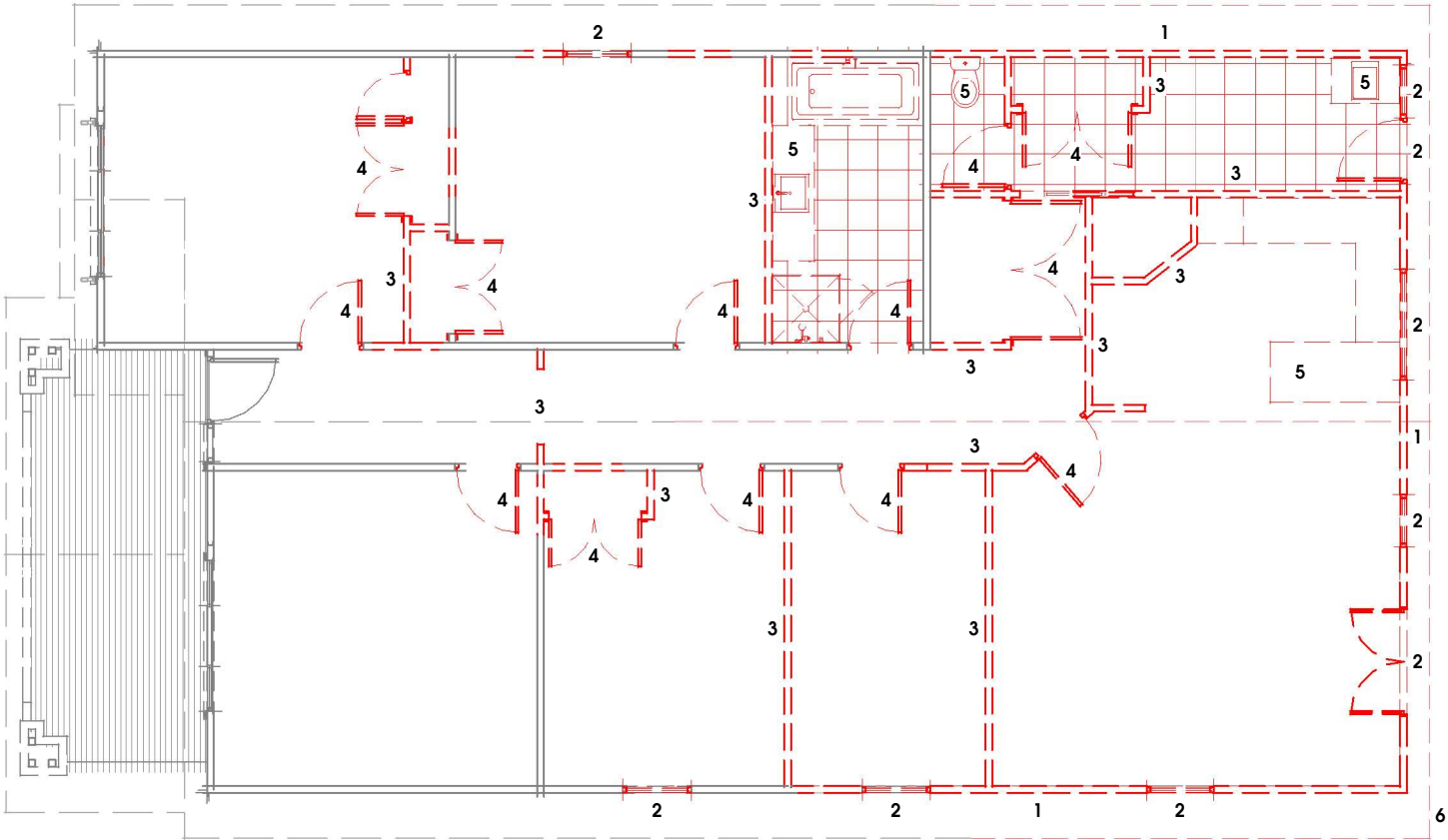
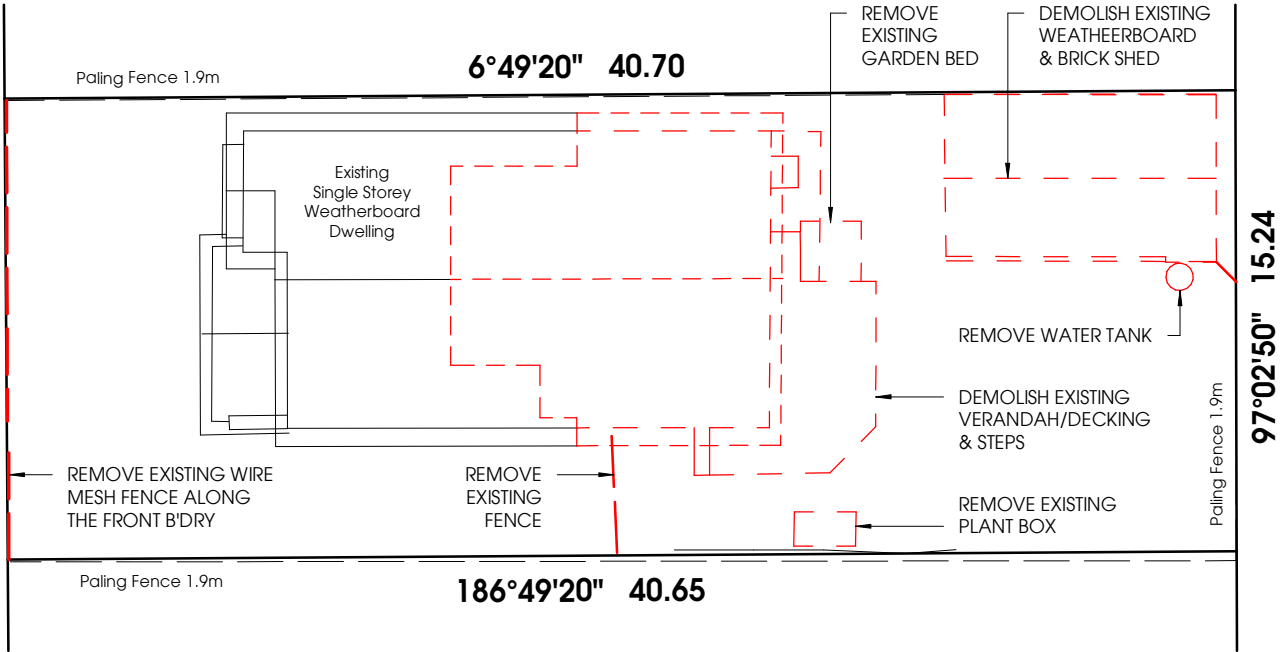
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GRANDVIEW GROVE
Back of Bluestone Kerb

276°49'20" 15.24



Demolition Method Statement

- Disconnect all services, power, water, gas etc.
- Locate stormwater and sewer drains and seal at points of discharge.
- Protect adjoining property
- Provide temporary wall bracing where required.
- Remove tiled roof ,Fascia ,Gutter and down pipes (where required)
- Remove any internal linings.
- Remove loose or attached fittings and built-in fixtures, internally and externally.
- Remove brick work from the top course of bricks down (where required)
- Place bricks in building skip that is provided
- Clean up site.
- Fill in excavations.
- Check for any hazards.
- Clean site entry points and infrastructure where necessary.
- Retained fabric will be safeguarded during demolition and construction (structurally propped, weatherproofed and not damaged)

- DENOTES EXISTING WALLS
- DENOTES WALLS TO BE DEMOLISHED

1. DEMOLISH EXTERNAL WALL WHERE REQUIRED & MAKE GOOD TO ALL ADJACENT SURFACES.
2. REMOVE EXISTING WINDOWS & DEMOLISH EXTERNAL WALL WHERE REQUIRED & MAKE GOOD TO ALL ADJACENT SURFACES.
3. DEMOLISH EXISTING INTERNAL WALLS WHERE SHOWN & MAKE GOOD TO ALL ADJACENT SURFACES.
4. REMOVE EXISTING INTERNAL DOORS WHERE SHOWN & MAKE GOOD TO ALL ADJACENT SURFACES.
5. REMOVE ALL EXISTING JOINERY & FIXTURES TO KITCHEN, BATH, WC and LAUNDRY & MAKE GOOD TO ALL ADJACENT SURFACES.
6. DEMOLISH PART OF EXISTING ROOFING & ROOFING STRUCTURE. MAKE GOOD TO ALL ADJACENT SURFACES.
7. REMOVE PART OF EXISTING FASCIA & GUTTER.
8. REMOVE PART OF EXISTING BASEBOARD.

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DEMOLITION PLAN

1 : 100

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TP4.2

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Existing Porch Area	13.48 m ²	1.45
Proposed Alfresco Area	37.14 m ²	4.00
Proposed Carport Area	27.88 m ²	3.00
Proposed Extension Area	40.32 m ²	4.34
Proposed First Floor Area	99.53 m ²	10.71
Proposed Garage Area	53.14 m ²	5.72
Proposed Garage First Floor Area	34.05 m ²	3.66
	467.47 m ²	50.32

NOTE:

- WHITE WINDOWS - TO EXISTING DWELLING
- DARK WEATHERBOARDS
- WHITE EXTENSION

PROPOSED GROUND FLOOR PLAN

1 : 100

PROPOSAL:

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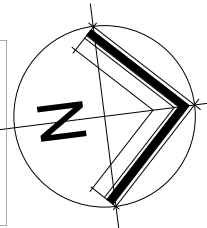
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NOTE;
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- DARK WEATHERBOARDS
- WHITE EXTENSION

PROPOSED FIRST FLOOR PLAN

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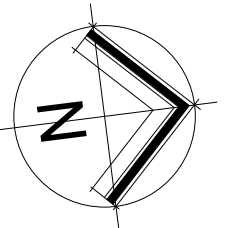
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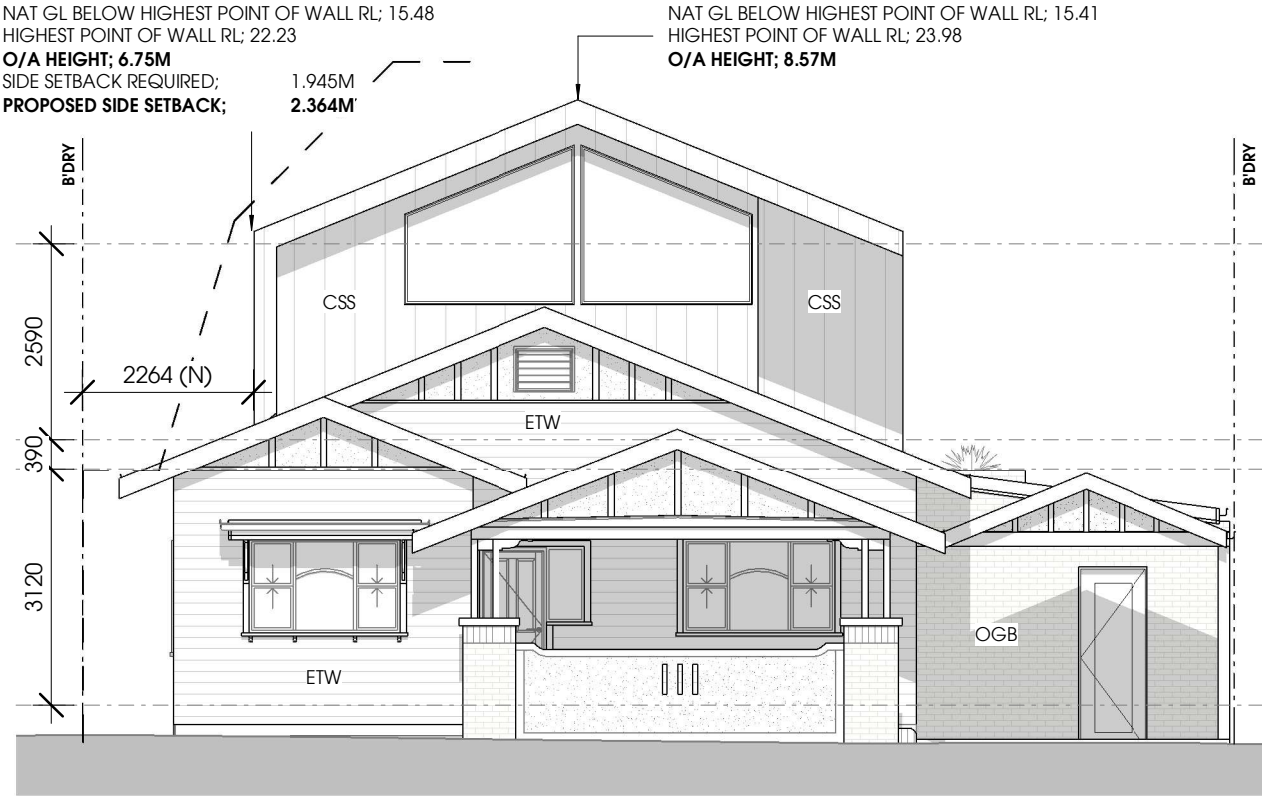
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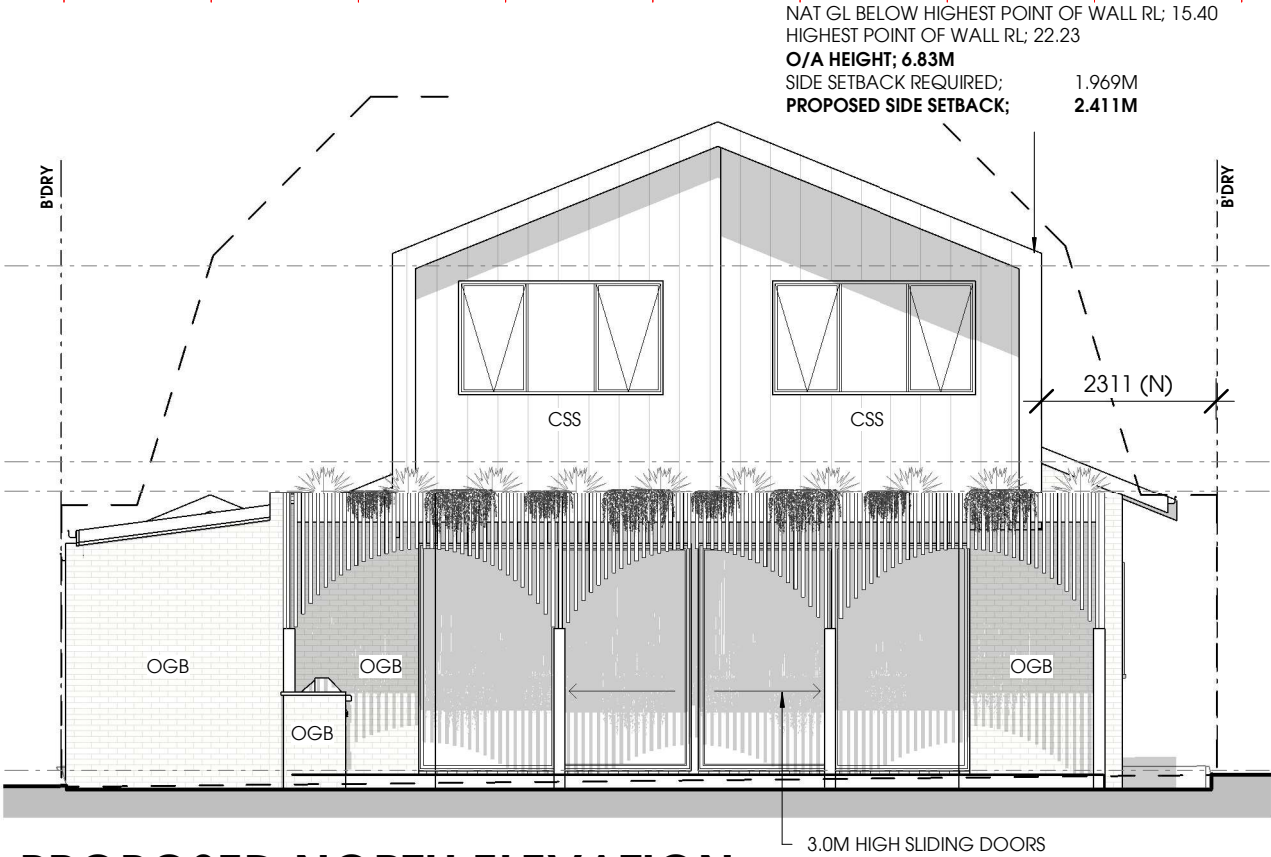
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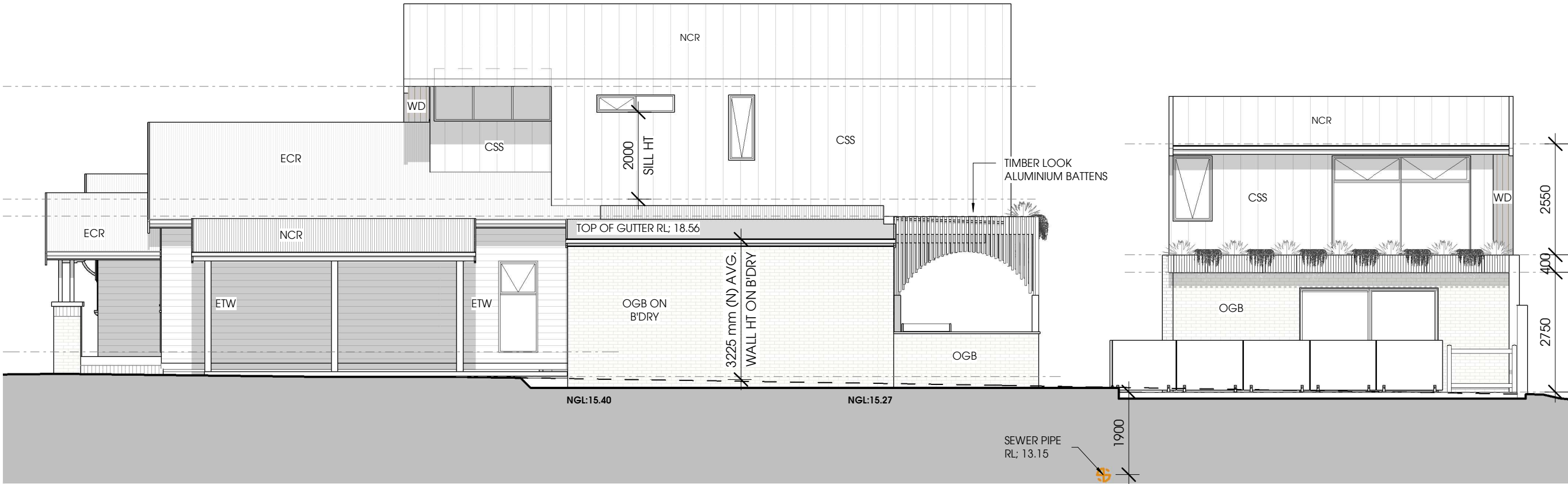
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PROPOSED SOUTH ELEVATION
1 : 100



PROPOSED NORTH ELEVATION
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PROPOSED EAST ELEVATION
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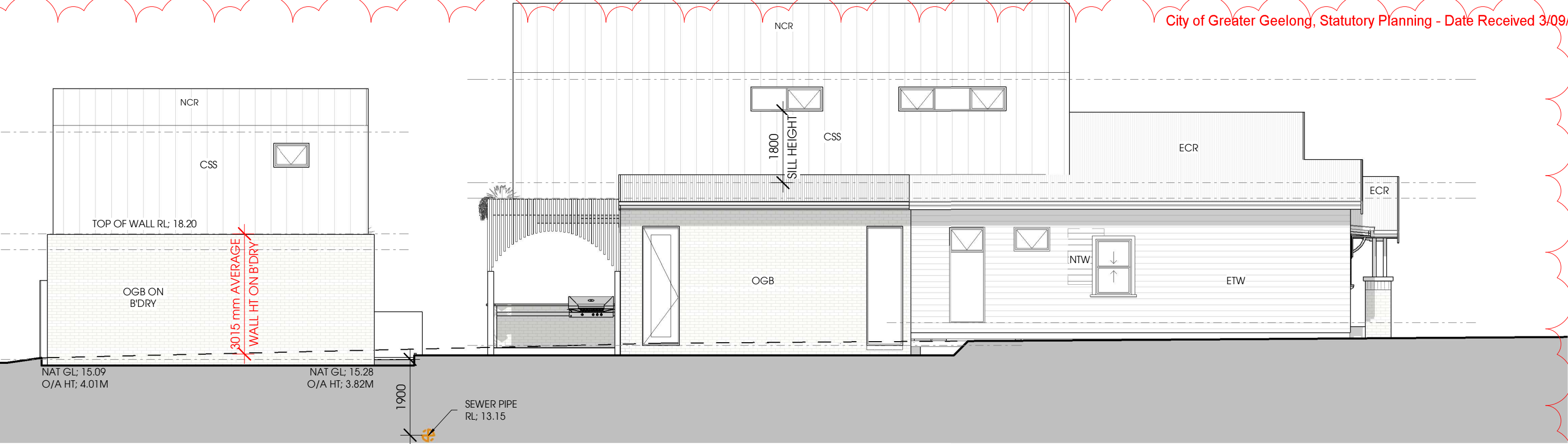
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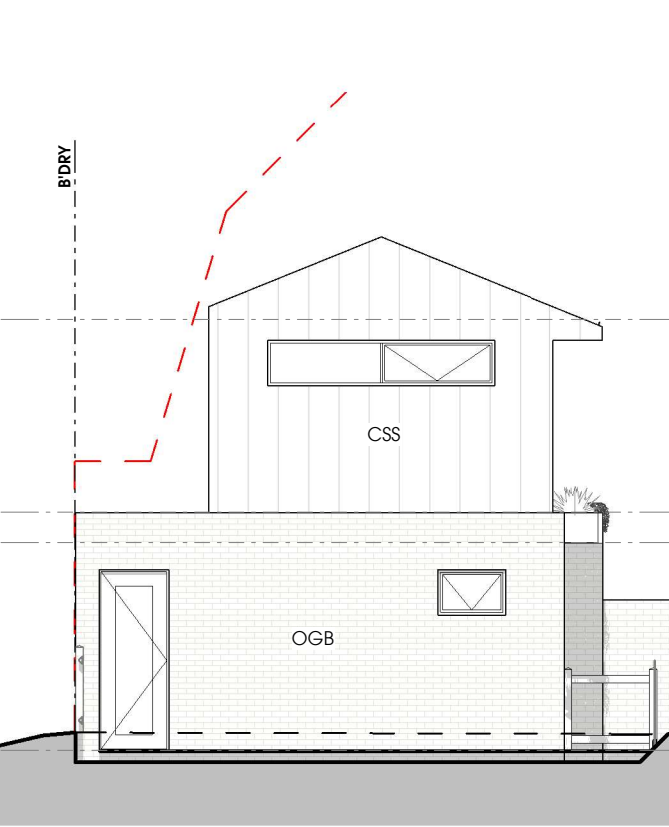
Projekt Evolve
29 Pakington Street, Geelong West 3218
Ph: 5222 1119 E: office@projektevolve.com.au
Drawings Prepared by: Projekt Evolve
(TA Ivelja Design Pty Ltd CDP-AD 53723)

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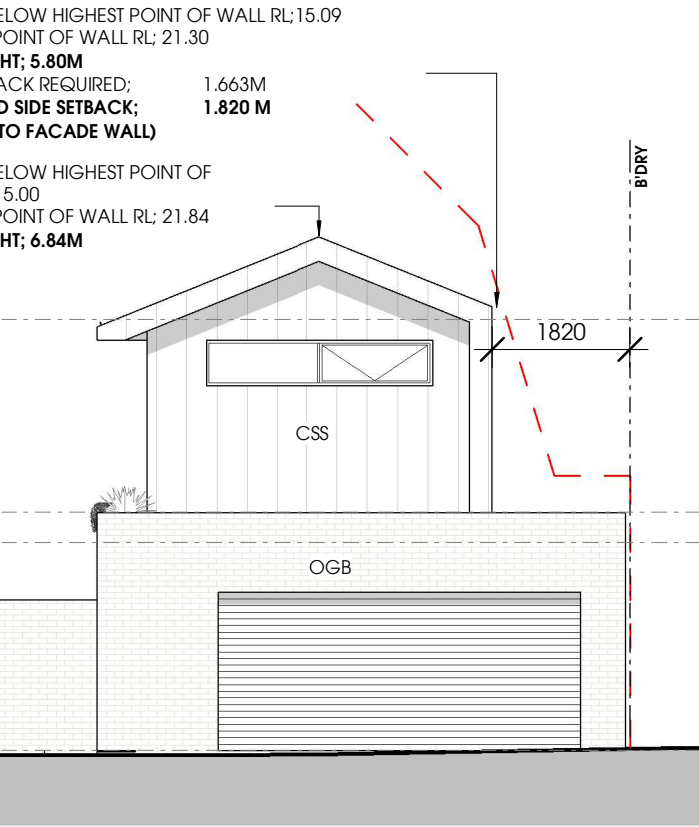
PROPOSED WEST ELEVATION

1 : 100



SOUTH GARAGE ELEVATION

1 : 100



NORTH GARAGE ELEVATION

1 : 100

MATERIAL SCHEDULE:

ETW	EXISTING TIMBER WEATHERBOARDS FINISH: SURFMIST
NTW	NEW TIMBER WEATHERBOARDS TO MATCH EXISTING FINISH: SURFMIST
OGB	OLD GEELONG BRICK FINISH: LIGHT MINERAL WHITEWASH / SURFMIST
ECR	EXISTING COLORBOND ROOFING (GALVANISED)
NCR	NEW COLORBOND STANDING SEAM ROOFING FINISH: SURFMIST
CSS	COLORBOND STANDING SEAM or SNAPLOCK 38mm FINISH: SURFMIST MATTE

NOTES;

EXISTING WINDOWS - TIMBER
- DOVER WHITE

PROPOSED WINDOWS - ALUMINIUM
- DOVER WHITE

FLASHING - GALVANISED STEEL

GUTTER - GALVANISED STEEL

DOWNPIPES - GALVANISED STEEL

NOTE;
SHADOW OVERHANG AREAS:

NEWTECH WOOD - SEA SALT - LAID VERTICAL

WD
NEWTECH WOOD
FINISH: SEA SALT

NOTES;

DRIVEWAY, PATHWAYS & FRONT GARDEN EDGING
TO BE OLD GEELING BRICK.

PROPOSAL:

ADDRESS:

REVISION:

DRAWN:

DATE:

DWG NO:

JA

FEB 26

TP6.1

SCALE 1 : 100

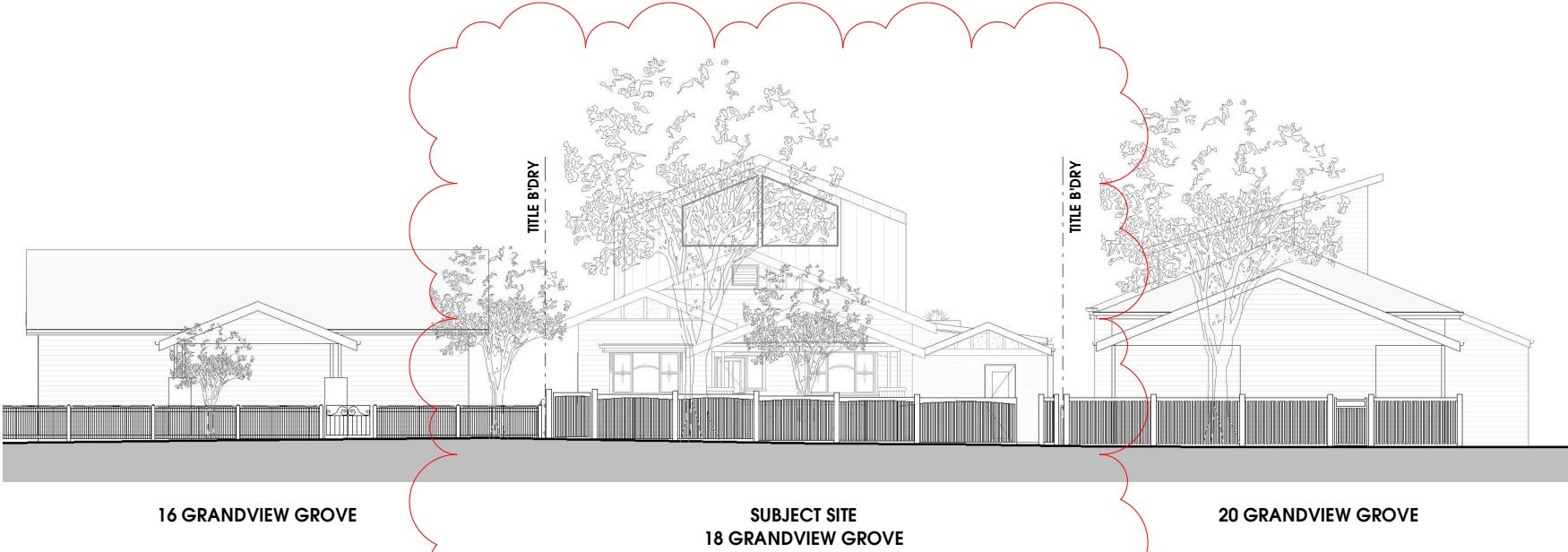
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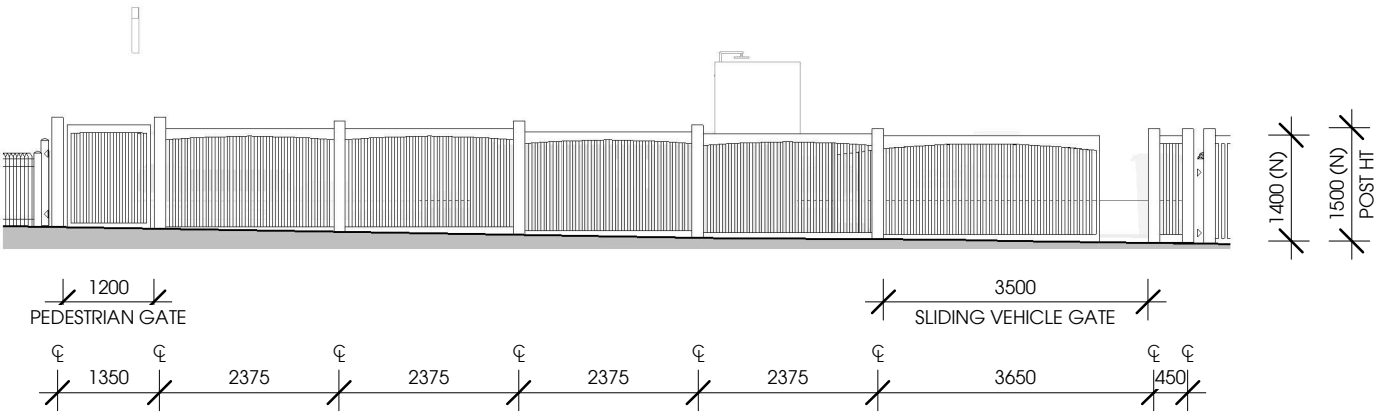
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STREETSCAPE ELEVATION

1 : 200



FRONT FENCE ELEVATION

1 : 100

- FRONT FENCE NOTES;
- HEIGHT** - HEIGHT TO MATCH EXISTING NEIGHBOURING FENCE AT 20 GRANDVIEW GROVE
 - CONSTRUCTION** - TIMBER CONSTRUCTION WITH VERTICAL UPRIGHTS SPACED 25-30mm TO ALLOW VISUAL PERMEABILITY
 - COLOUR** - BLACK (TO MATCH FRONT DOOR) or TERRACE WHITE

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PROPOSAL:

PROPOSED EXTENSION & NEW GARAGE
FOR; Kylie

ADDRESS:

18 Grandview Grove
DRUMCONDRA

REVISION:

04-02-26	PRELIMINARY TP	18-06-26	NEW DESIGN
05-02-26	STREETSCAPE ELEVATION	13-08-26	MATERIAL SCHEDULE UPDATE
11-03-26	FURTHER INFO	03-09-26	CAPRORT MOVED BACK 1.0M
18-03-26	FI (NK)		
04-06-26	UPDATED ROOF FORM TO FIRST FLOOR AREAS (KD)		

DRAWN: DATE: DWG NO:

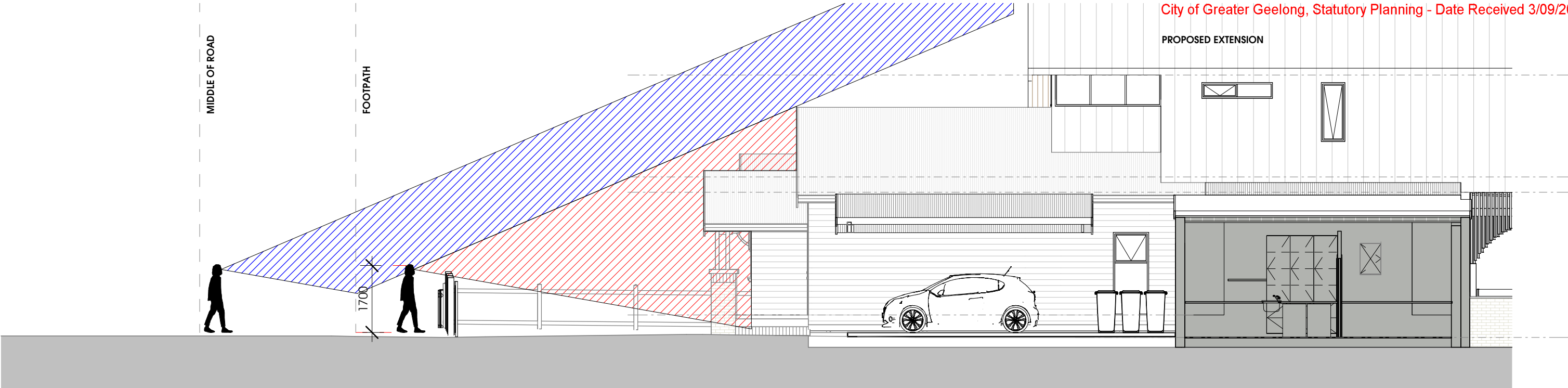
JA FEB 26 TP6.2

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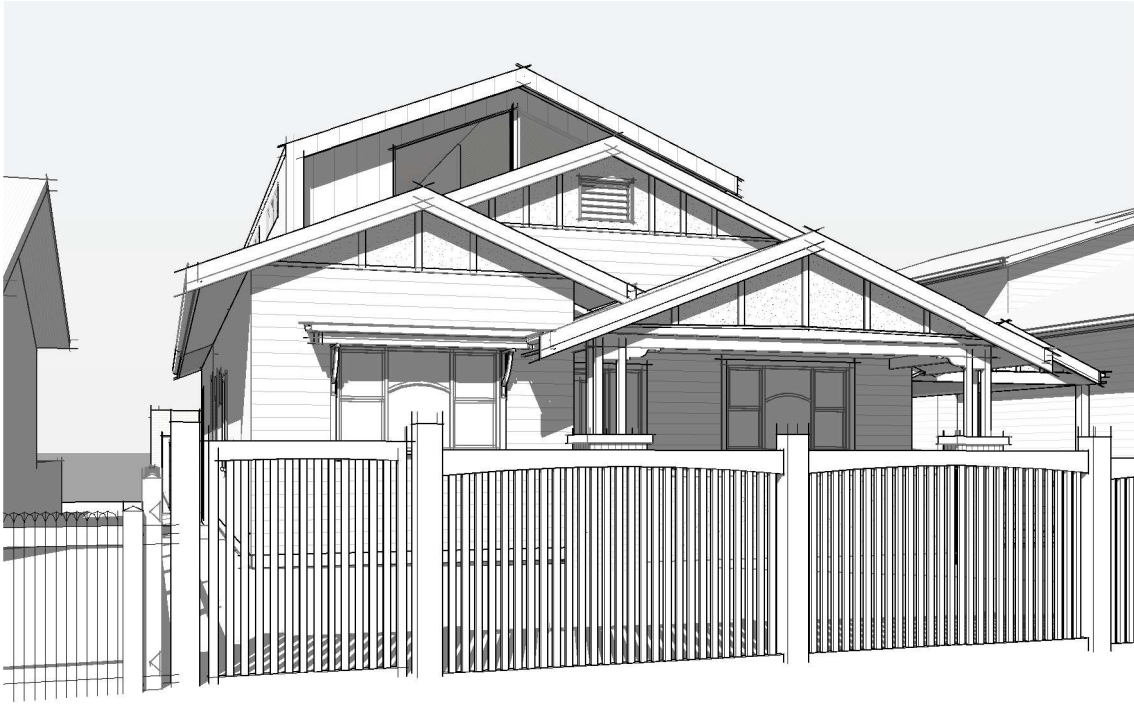


SECTION STREET VIEW

1 : 100



STREET VIEW FOOT PATH (EAST)



STREET VIEW FROM ROAD (EAST)

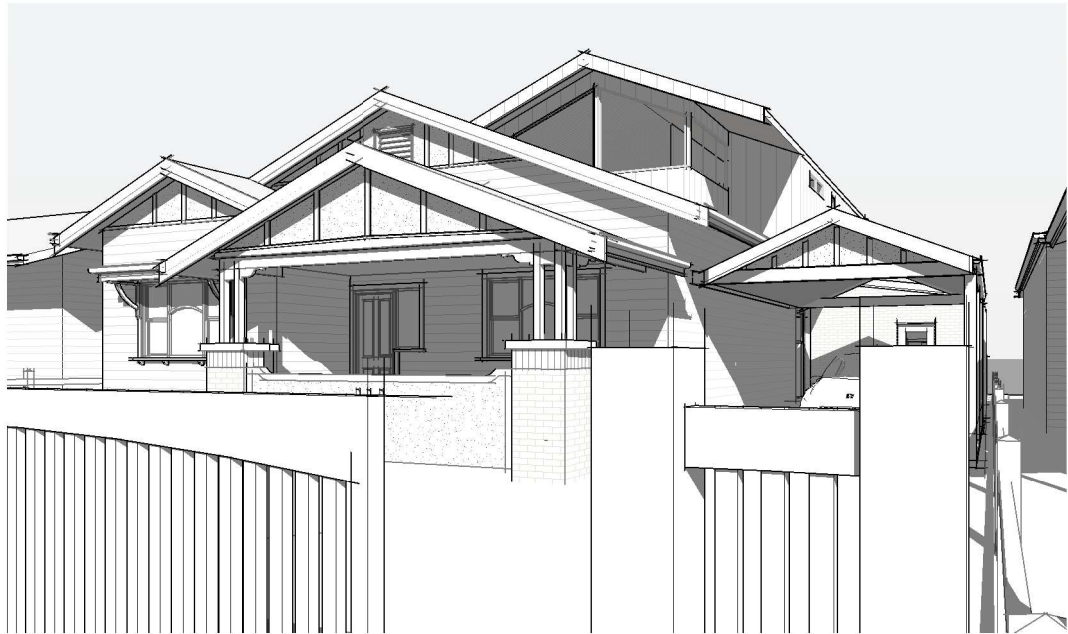
PROPOSAL: PROPOSED EXTENSION & REVISIONS
ADDRESS: 29 PAKINGTON STREET, GEELONG WEST 3218
REVISION: 04-02-26 PRELIMINARY TP
05-02-26 STREETScape ELEVATION
11-03-26 FURTHER INFO
18-03-26 FI (NK)
04-06-26 UPDATED ROOF FORM TO FIRST FLOOR AREAS (KD)
18-06-26 NEW DESIGN
13-08-26 MATERIAL SCHEDULE UPDATE
03-09-26 CAPPORT MOVED BACK 1.0M
DRAWN: JA
DATE: FEB 26
DWG NO: TP6.3
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STREET VIEW FROM ROAD (WEST)



STREET VIEW FROM PATH (WEST)

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PROPOSAL:

PROPOSED EXTENSION &
NEW GARAGE
FOR; Kylie

ADDRESS:

18 Grandview Grove
DRUMCONDRA

REVISION:

04-02-26	PRELIMINARY TP	18-06-26	NEW DESIGN
05-02-26	STREETSCAPE ELEVATION	13-08-26	MATERIAL SCHEDULE UPDATE
11-03-26	FURTHER INFO	03-09-26	CAPPORT MOVED BACK 1.0M
18-03-26	FI (NK)		
04-06-26	UPDATED ROOF FORM TO FIRST FLOOR AREAS (KD)		

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JA

DATE:

FEB 26

DWG NO:

TP6.4

SCALE

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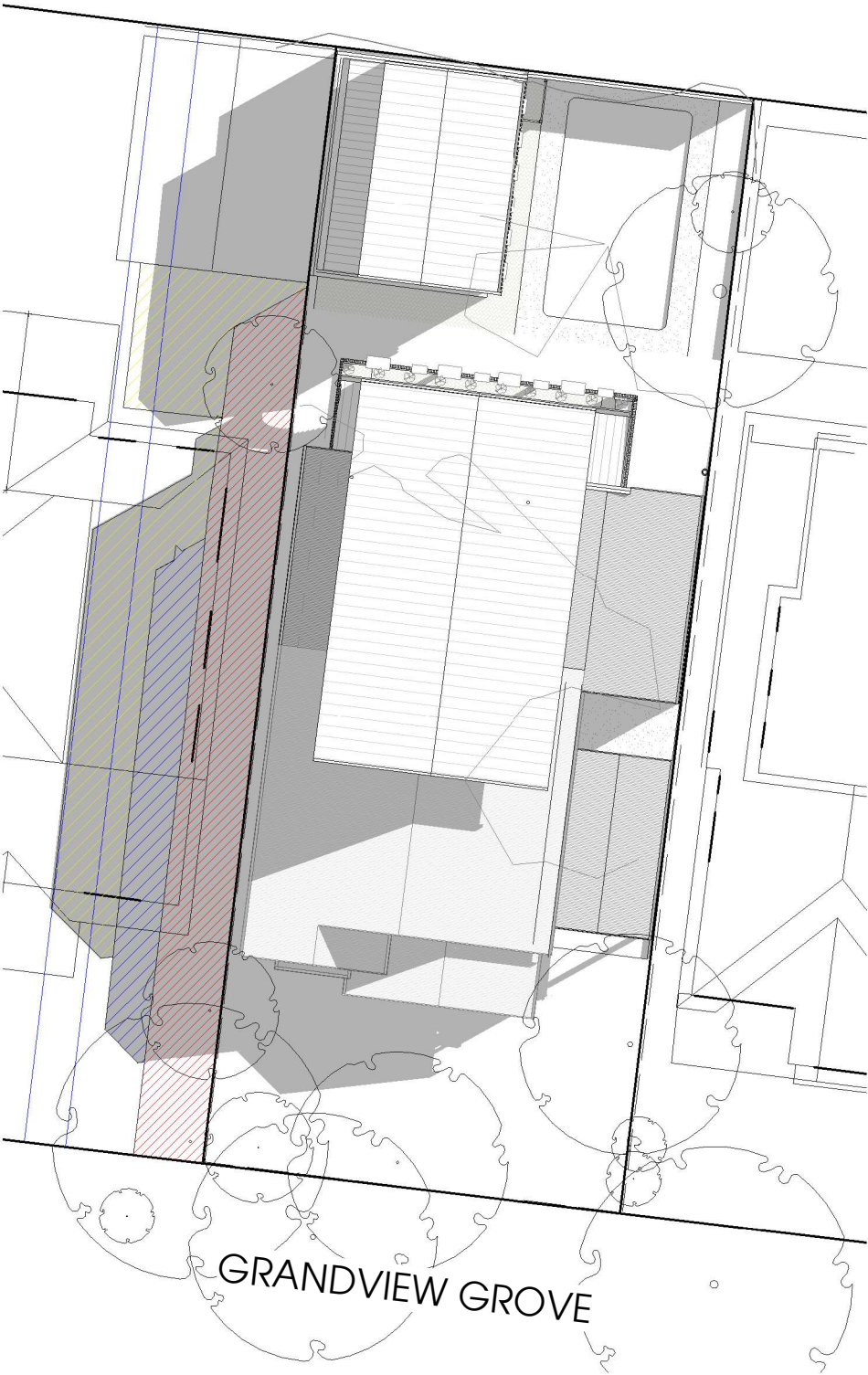
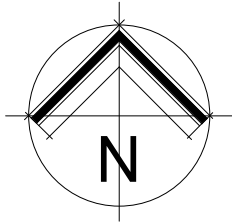
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SHADOW SCHEDULE:

SHADOW CAST BY EXISTING DWELLING SHADOW CAST BY EXISTING FENCE SHADOW CAST BY PROPOSED DWELLING

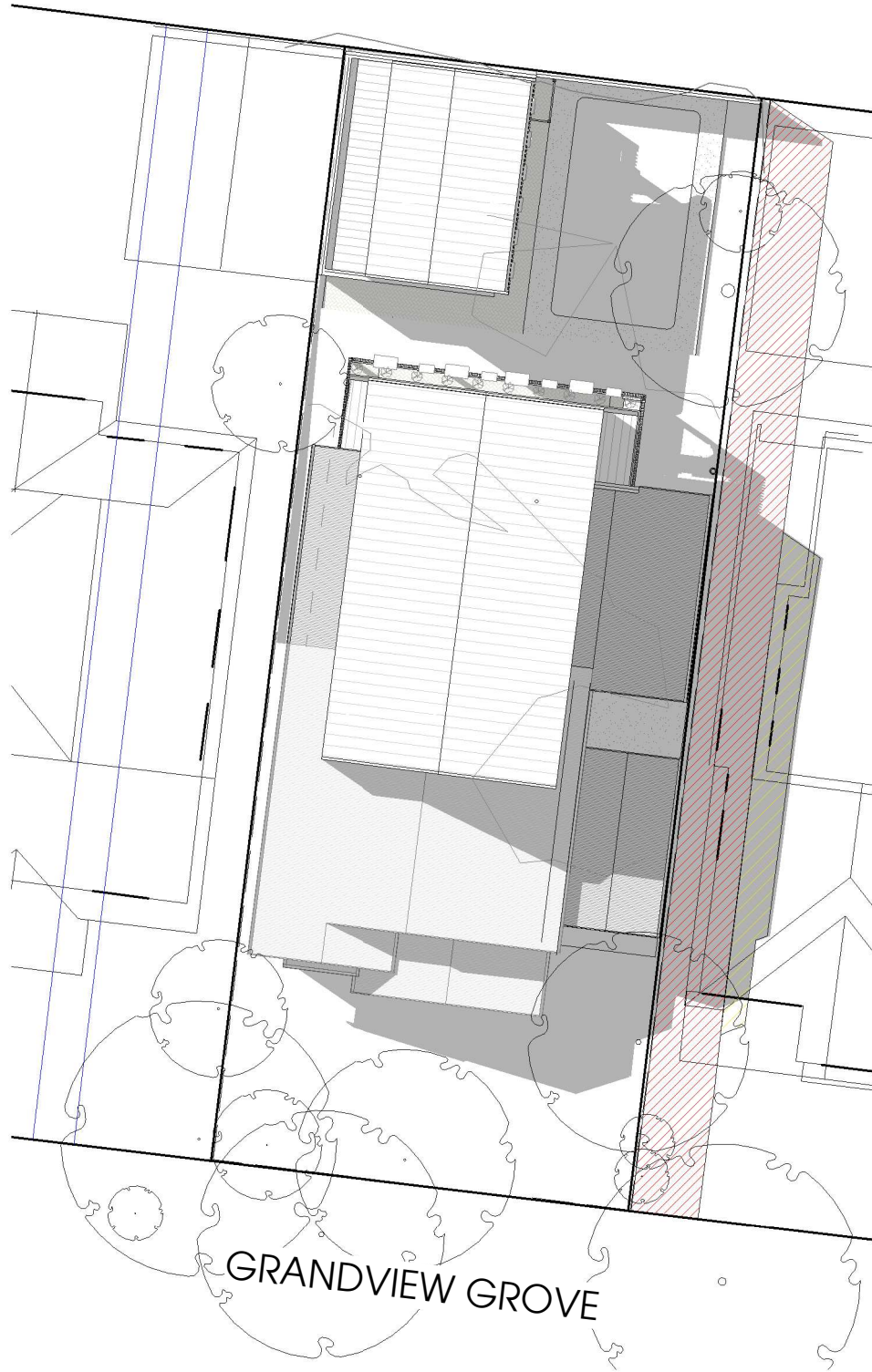
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9.00am 22/09
1 : 250



12.00pm 22/09
1 : 250



3.00pm 22/09
1 : 250

PROPOSAL:
PROPOSED EXTENSION &
NEW GARAGE
FOR: Kylie

ADDRESS:
18 Grandview Grove
DRUMCONDRA

REVISION:
04-02-26 PRELIMINARY TP
05-02-26 STREETSCAPE ELEVATION
11-03-26 FURTHER INFO
18-03-26 FI (NK)
04-06-26 UPDATED ROOF FORM TO FIRST
FLOOR AREAS (KD)
18-06-26 NEW DESIGN
13-08-26 MATERIAL SCHEDULE UPDATE
03-09-26 CAPPORT MOVED BACK 1.0M

DRAWN: DATE: DWG NO:
JA FEB 26 TP7.0

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