

PROJECT:

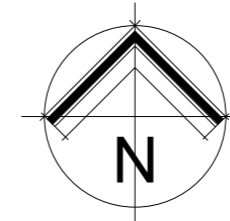
PROPOSED DEVELOPMENT

SITE ADDRESS:

178 Autumn Street, GEELONG WEST

SHEET LIST - Town Planning

SHEET NUMBER	SHEET NAME
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TP6.2	STREETSCAPE ELEVATION
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LOCALITY PLAN

1 : 1000

PROPOSAL:

RENOVATION & EXTENSION

ADDRESS:

178 Autumn Street,
Geelong West

REVISION:

- 09-01-26 PRELIMINARY TP
- 12-01-26 STREETSCAPE ELEVATION
- 23-01-26 CLIENT CHANGES
- 09-02-26 REVISION & STUDY + BED2 CHANGES
- 09-04-26 CARPORT REVISION + RFI (MV)

DRAWN:

JA/NK

DATE:

JAN 26

DWG NO:

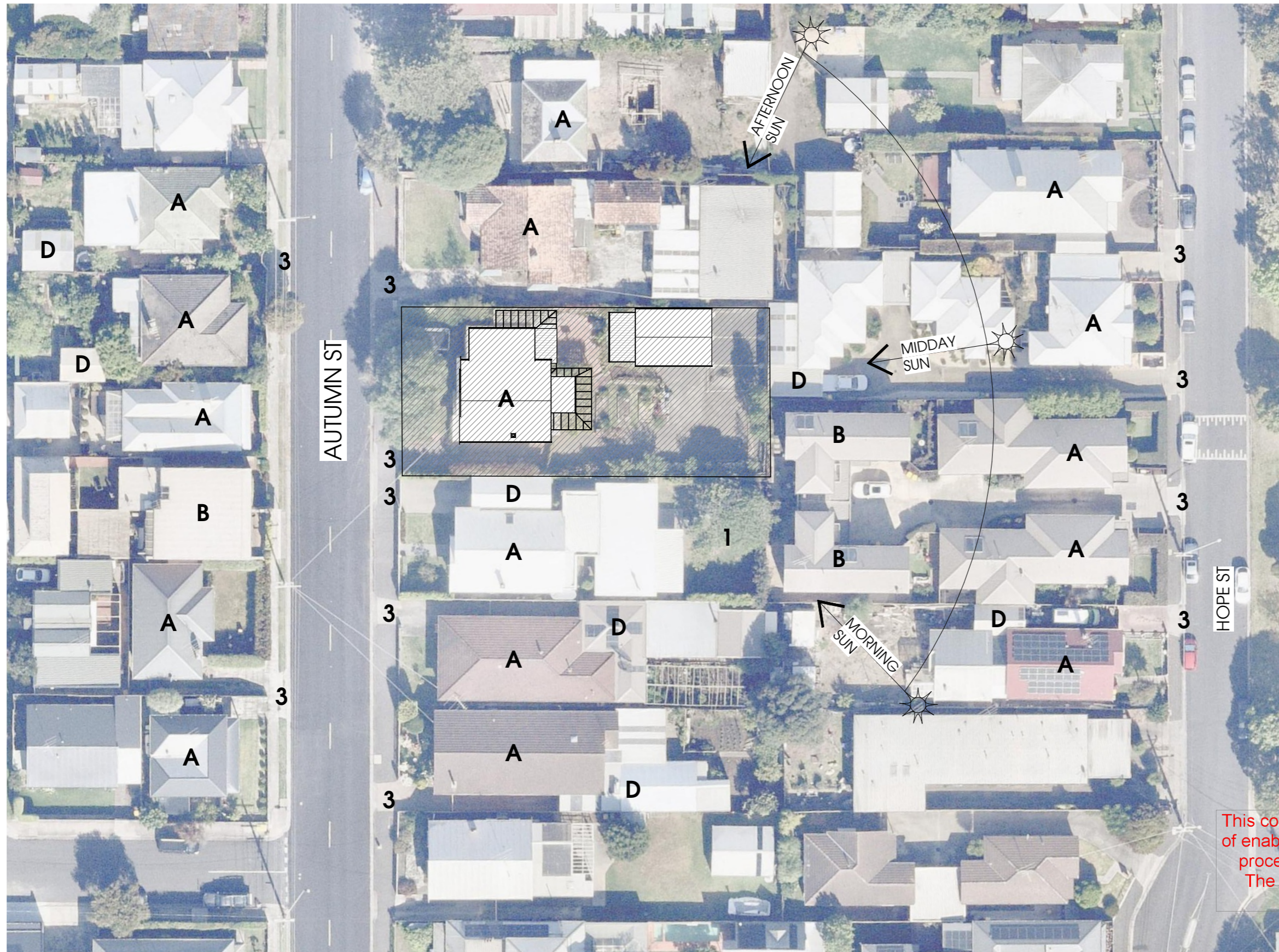
TP1.0

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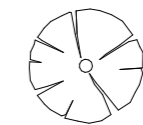
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LEGEND

- A. Existing Single Storey Dwellings
- B. Existing Double Storey Dwellings
- C. Proposed Extension
- D. Car Accommodation
- E. Vacant Site
- 1. Adjoining Private Open Space
- 2. Proposed Private Open Space
- 3. Vehicular Site Entry



Existing Trees



150m to Bus stop
1.7km to Elderslie Recreation Reserve
1.9km to Newtown Lookout



350m Sparrow Park
1.2km to Geelong West Kindergarten
1.6km to Saint Patrick's School

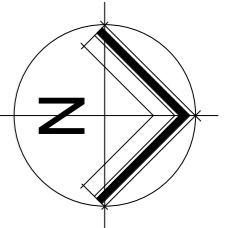


100m to Bus Stop
550m to West Park
650m to Post Office



500m to Geelong West Tennis Club
700m to Newtown Primary School
1.6km to The Geelong College

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SITE ANALYSIS PLAN

1 : 500

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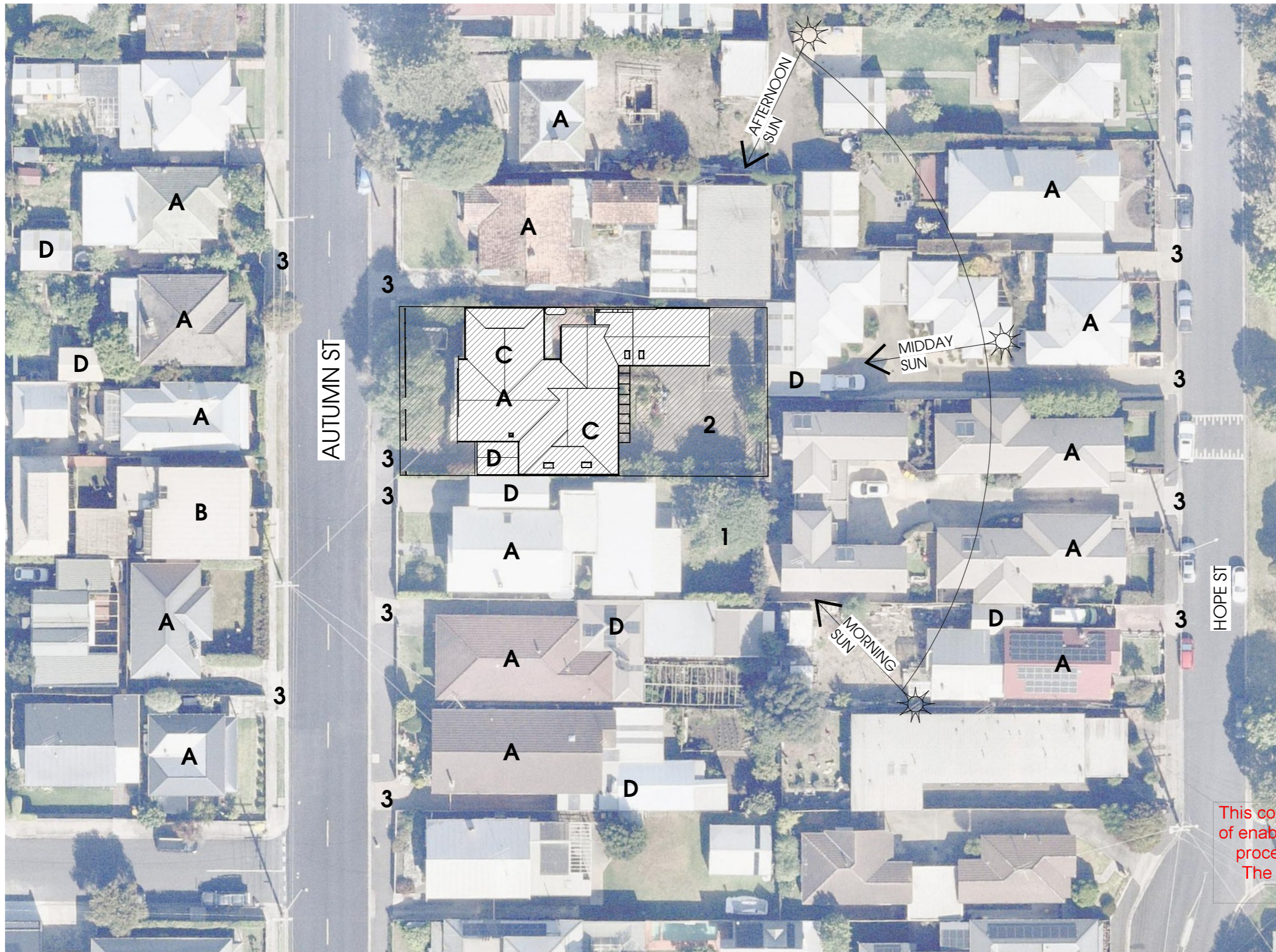
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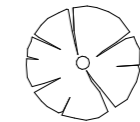
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Existing Trees



150m to Bus stop
1.7km to Elderslie Recreation Reserve
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350m Sparrow Park
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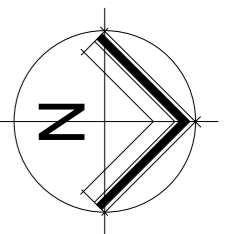


100m to Bus Stop
550m to West Park
650m to Post Office



500m to Geelong West Tennis Club
700m to Newtown Primary School
1.6km to The Geelong College

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DESIGN RESPONSE PLAN

1 : 500

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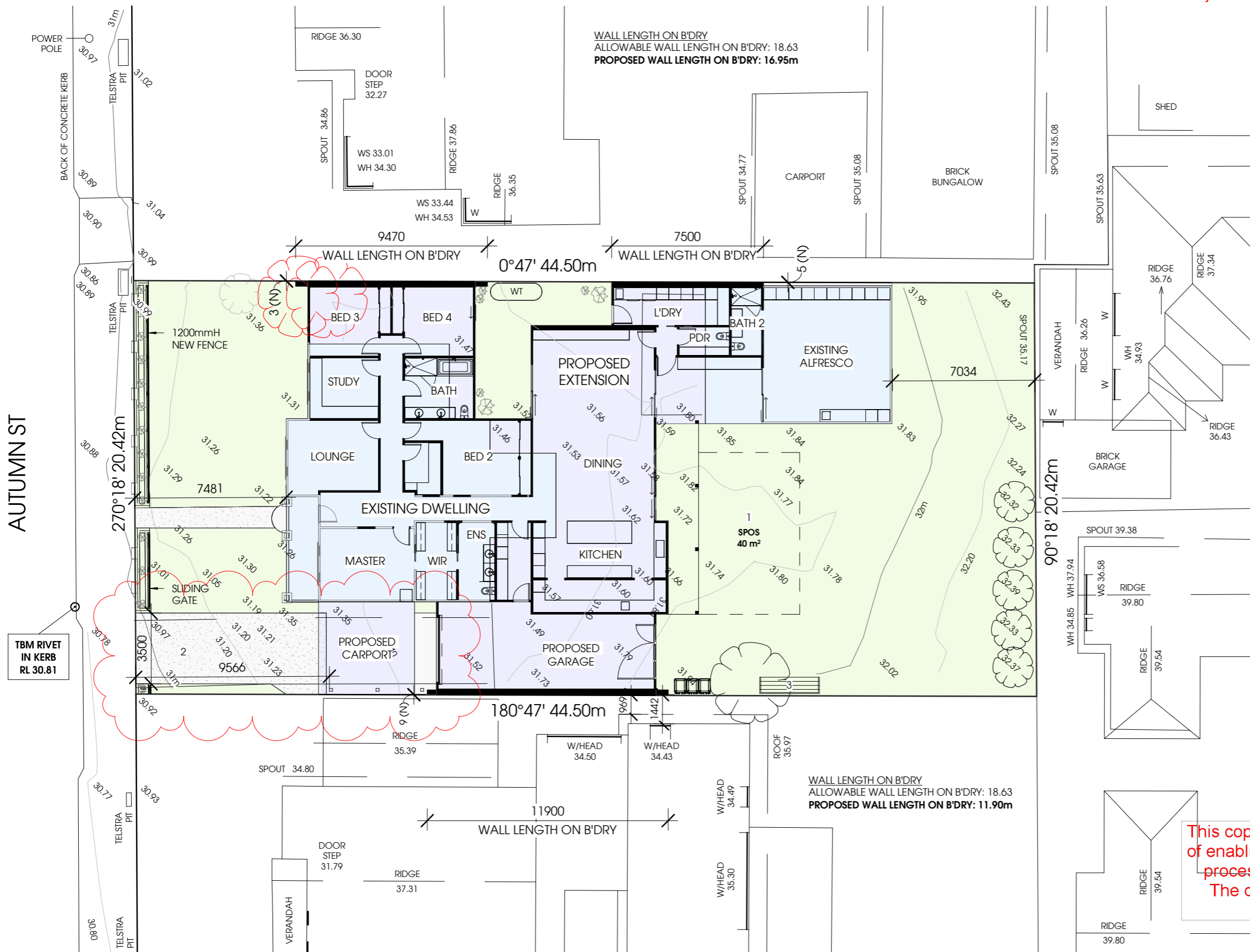
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Site Area: 908 m²

Existing Dwelling Area;	132.89 m ²
Existing Alfresco Area;	62.52 m ²
Proposed Extension Area;	137.75 m ²
Proposed Carport Area;	26.64 m ²
Proposed Garage Area;	45.92 m ²
Paved Area:	44.86 m²
Total Hard Surface Area:	450.59 m²
Permeable Surface Area:	457.41 m²
Permeable Surface Coverage:	50.38 %
Building Site Coverage:	44.68 %

- LEGEND:**
- A Proposed Res.
 - 1 Private Open Space
 - 2 Driveway
 - 3 Drying Yard

MINIMUM PARKING REQUIREMENTS

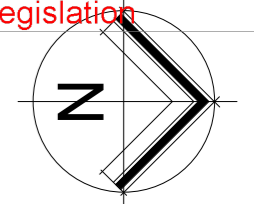
Parking ①	6000 X 3500
Parking ②	4900 X 2600

FLOOR LEVEL SCHEDULE

	CUT RL	FFL
EXISTING ALFRESCO	-	31.85
EXISTING GROUND FLOOR	31.51	31.76
PROPOSED GARAGE	31.36	31.51

— DENOTES TREES TO BE REMOVED

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SITE CONTEXT PLAN

1 : 200

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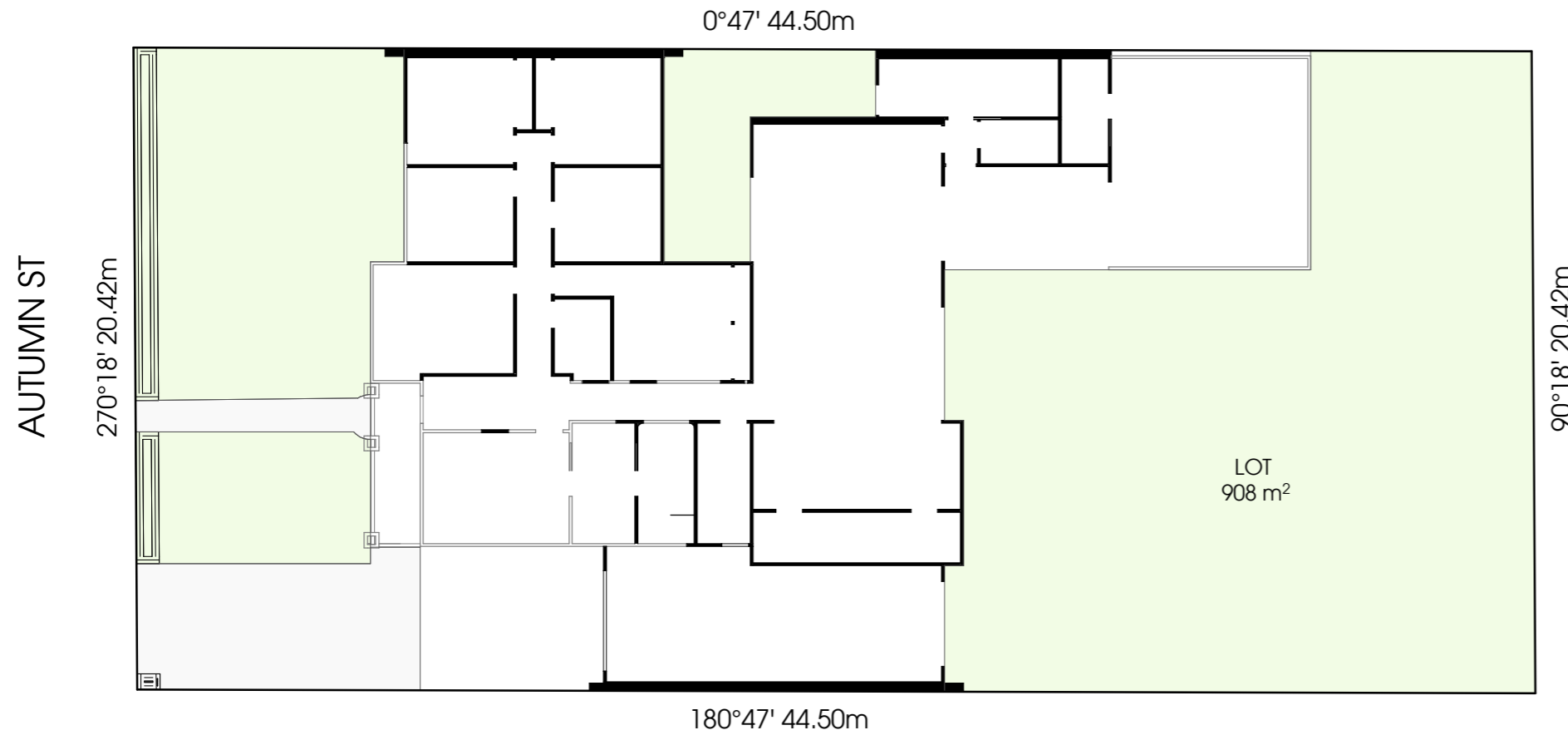
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- DENOTES DWELLING FLOOR AREA
- DENOTES GARDEN AREA
- DENOTES EXCLUDED AREAS

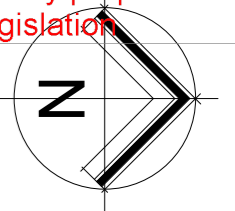
MANDATORY MINIMUM 'GARDEN AREA'	
LOT SIZE	MIN. PERCENTAGE OF A LOT SET ASIDE AS GARDEN AREA
Above 650 sqm	35%

LOT AREA;	908 m²
Garden Area Requirement;	317.80 m ²
Proposed Garden Area;	421.00 m ²

Any area on a lot with a minimum dimension of 1 metre that does not include:

- a) a dwelling or residential building, except for:
 - an eave, fascia or gutter that does not exceed a total width of 600mm;
 - a pergola;
 - unroofed terraces, patios, decks, steps or landings less than 800mm in height;
 - a basement that does not project above ground level;
 - any outbuilding that does not exceed a gross floor area of 10 square metres; and
 - domestic services normal to a dwelling or residential building;
- b) a driveway; or
- c) an area set aside for car parking.

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GARDEN AREA PLAN

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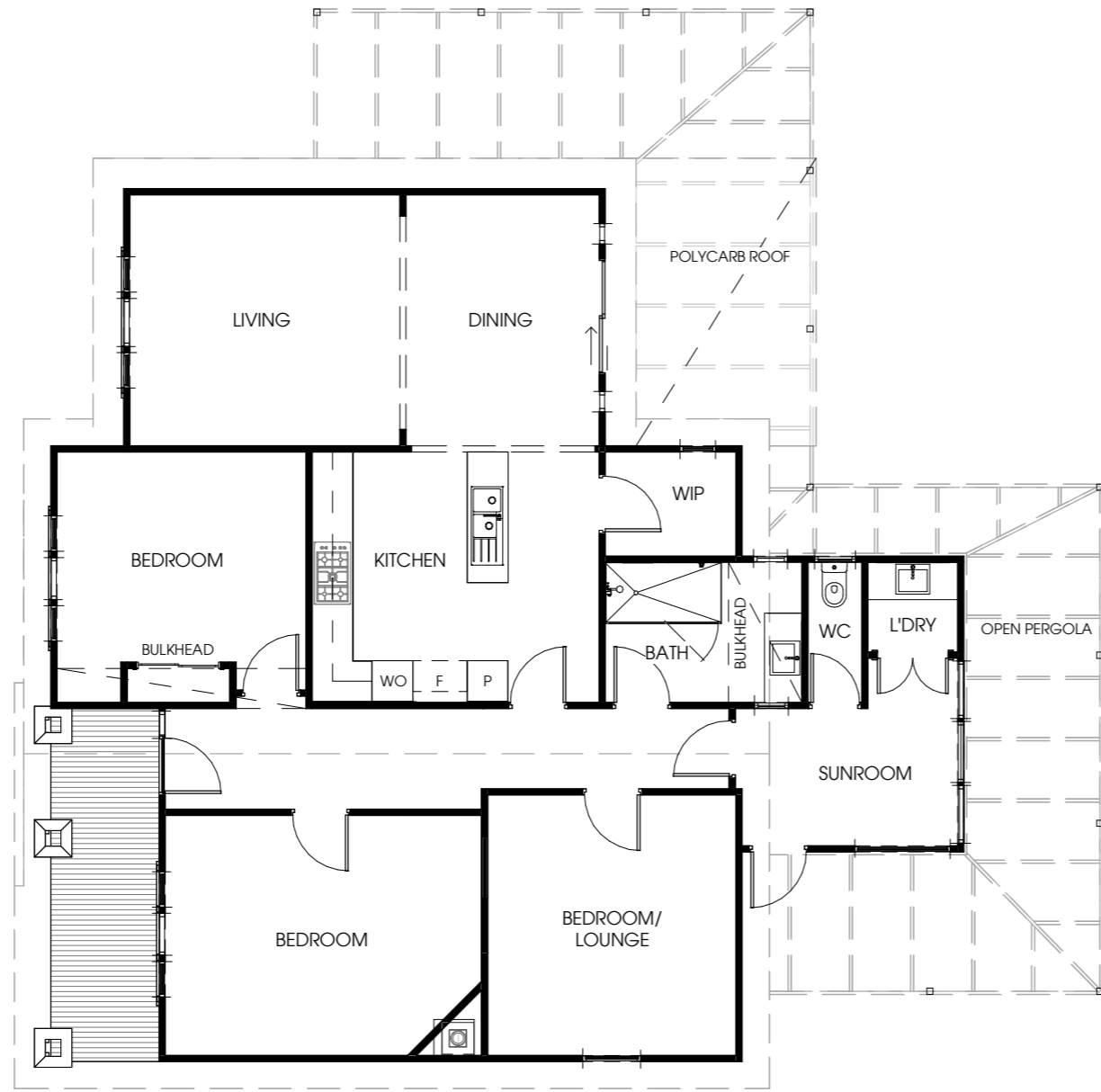
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AUTUMN STREET
270°18' 20.42m

0°47' 44.50m



	Area	Squares
EXISTING ALFRESCO AREA	62.52 m ²	6.73
EXISTING DWELLING AREA	124.64 m ²	13.42
EXISTING PORCH AREA	8.25 m ²	0.89
	195.41 m ²	21.03

180°47' 44.50m

EXISTING FLOOR PLAN

1 : 100

PROPOSAL:
RENOVATION & EXTENSION

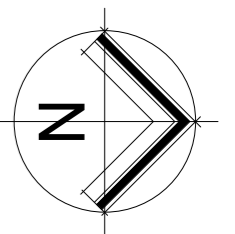
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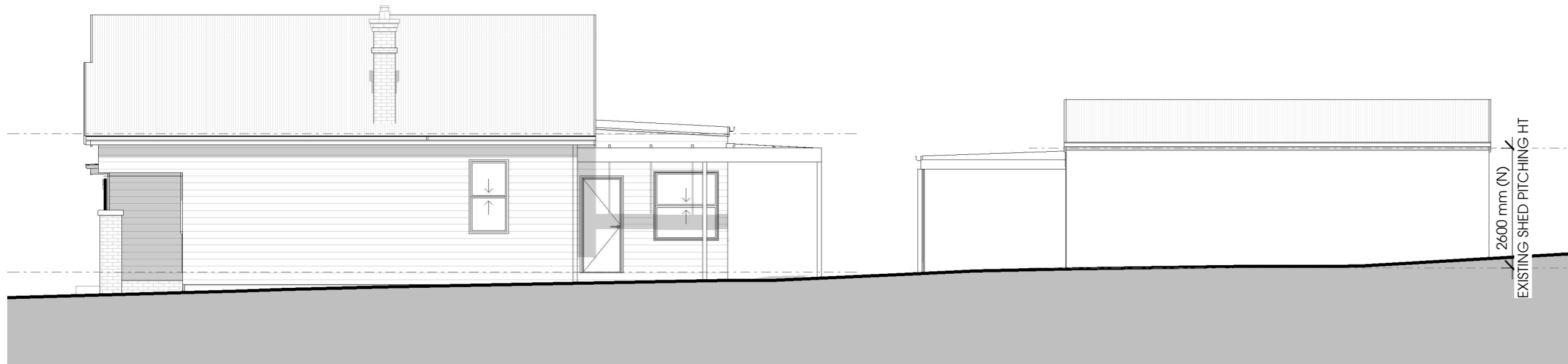
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EXISTING SOUTH ELEVATION

1 : 100



EXISTING EAST ELEVATION

1 : 100

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DWG NO:

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EXISTING NORTH ELEVATION

1 : 100



EXISTING WEST ELEVATION

1 : 100

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DRAWN:

JA/NK

DATE:

JAN 26

DWG NO:

TP4.2

SCALE 1 : 100

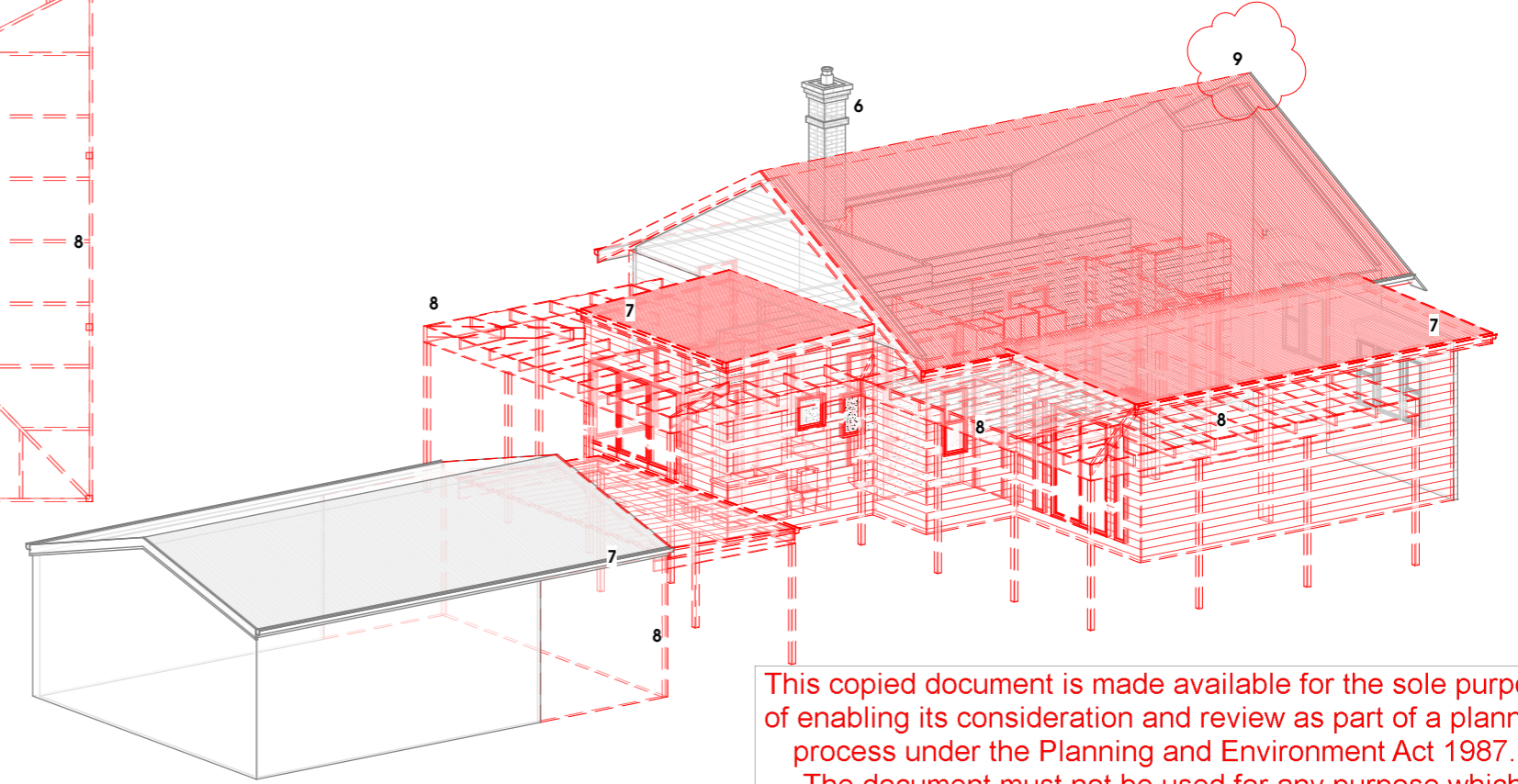
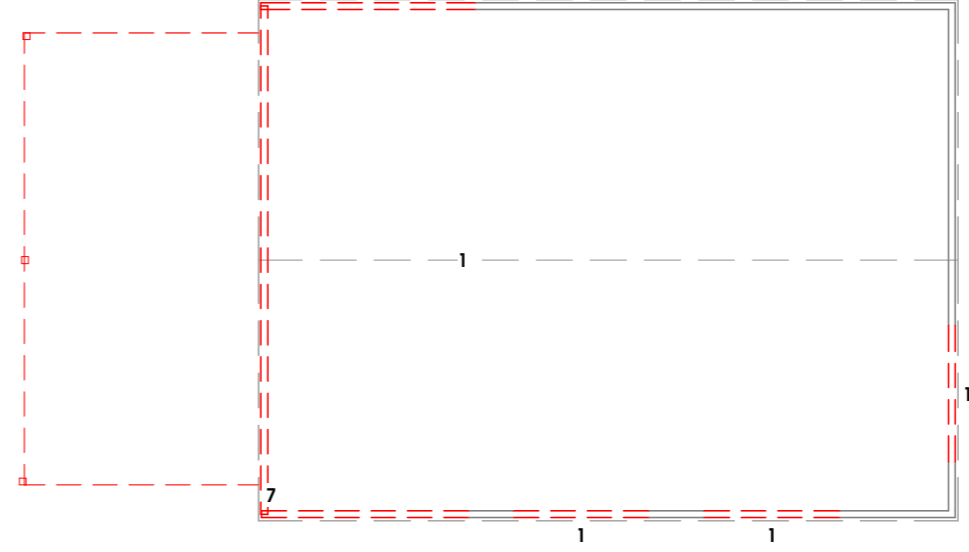
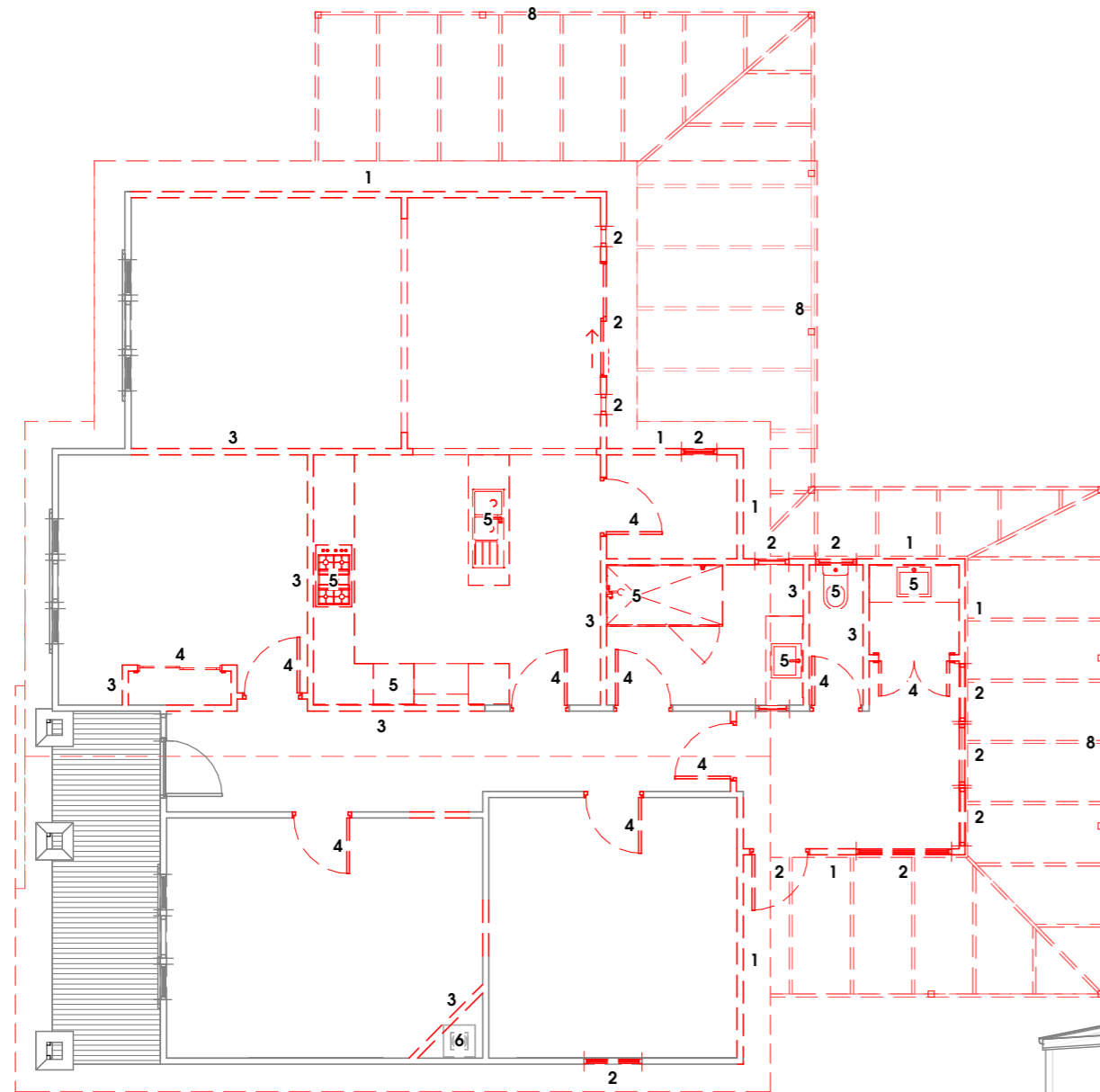
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— DENOTES EXISTING WALLS
 - - - DENOTES WALLS TO BE DEMOLISHED



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Demolition Method Statement

- Disconnect all services, power, water, gas etc.
- Locate stormwater and sewer drains and seal at points of discharge.
- Protect adjoining property
- Provide temporary wall bracing where required.
- Remove tiled roof ,Fascia ,Gutter and down pipes (where required)
- Remove any internal linings.
- Remove loose or attached fittings and built-in fixtures, internally and externally.
- Remove brick work from the top course of bricks down (where required)
- Place bricks in building skip that is provided
- Clean up site.
- Fill in excavations.
- Check for any hazards.
- Clean site entry points and infrastructure where necessary.
- Retained fabric will be safeguarded during demolition and construction (structurally propped, weatherproofed and not damaged)

1. DEMOLISH EXTERNAL WALL WHERE REQUIRED & MAKE GOOD TO ALL ADJACENT SURFACES.
2. REMOVE EXISTING WINDOWS & DEMOLISH EXTERNAL WALL WHERE REQUIRED MAKE GOOD TO ALL ADJACENT SURFACES.
3. DEMOLISH EXISTING INTERNAL WALLS WHERE SHOWN & MAKE GOOD TO ALL ADJACENT SURFACES.
4. REMOVE EXISTING INTERNAL DOORS WHERE SHOWN & MAKE GOOD TO ALL ADJACENT SURFACES.
5. REMOVE ALL EXISTING JOINERY & FIXTURES TO KITCHEN, BATH, WC & L'DRY & MAKE GOOD TO ALL ADJACENT SURFACES.

6. EXISTING CHIMNEY TO REMAIN. ENGINEER TO PROVIDE STRUCTURE TO SUPPORT CHIMNEY.
7. DEMOLISH PART OF EXISTING ROOFING & ROOFING STRUCTURE. MAKE GOOD TO ALL ADJACENT SURFACES.
8. DEMOLISH EXISTING PERGOLA BEAMS, POSTS & POLYCARBONATE ROOFING.
9. REMOVE EXISTING ROOFING SHEETING WHERE SHOWN. REPLACED TO MATCH EXISTING
10. EXISTING FRONT FENCE AND GATE TO BE REMOVED.

DEMOLITION PLAN

1 : 100

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PROPOSED FLOOR PLAN

1 : 100

PROPOSAL:
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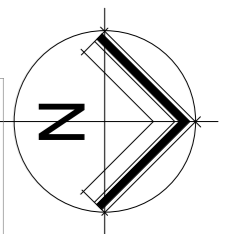
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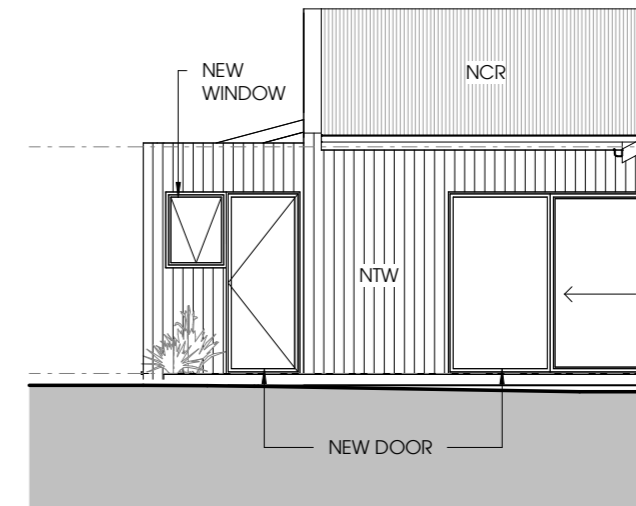


PROPOSED SOUTH ELEVATION

1 : 100

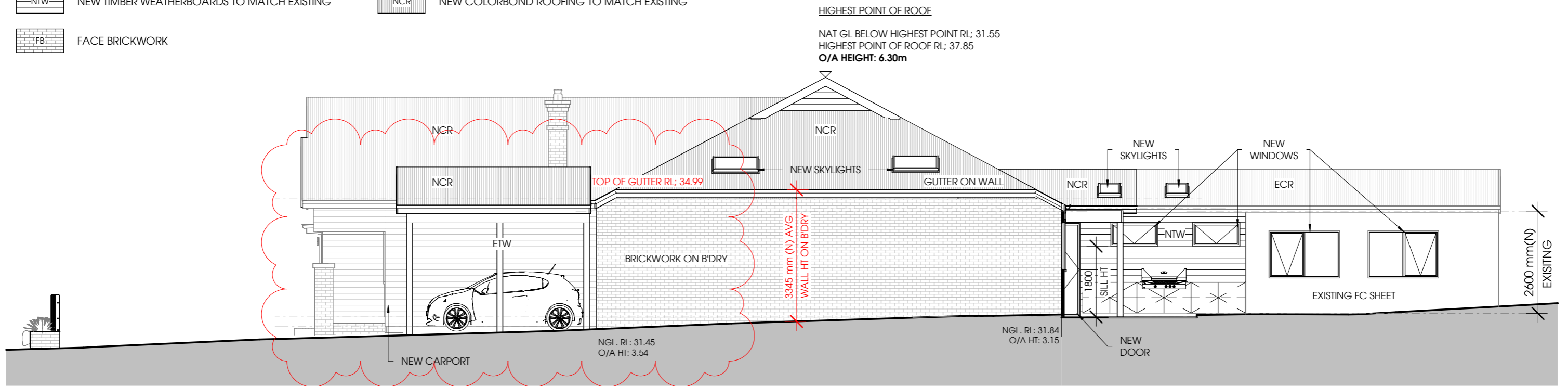
MATERIAL SCHEDULE:

	EXISTING TIMBER WEATHERBOARDS		EXISTING COLORBOND ROOFING
	NEW TIMBER WEATHERBOARDS TO MATCH EXISTING		NEW COLORBOND ROOFING TO MATCH EXISTING
	FACE BRICKWORK		



COURTYARD SOUTH

1 : 100



PROPOSED EAST ELEVATION

1 : 100

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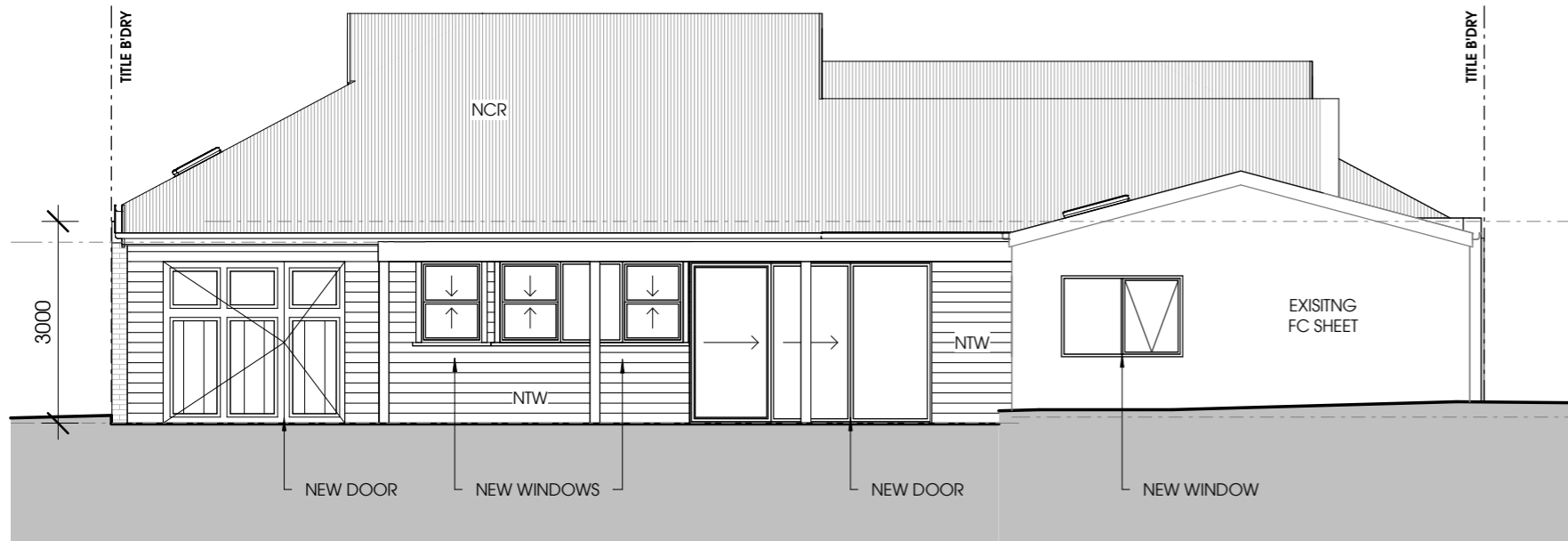
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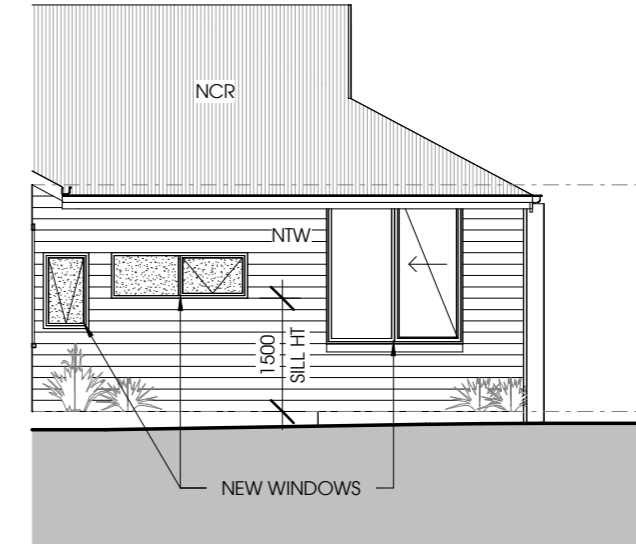
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PROPOSED NORTH ELEVATION

1 : 100



COURTYRD NORTH

1 : 100

MATERIAL SCHEDULE:

- ETW EXISTING TIMBER WEATHERBOARDS
- ECR EXISTING COLORBOND ROOFING
- NTW NEW TIMBER WEATHERBOARDS TO MATCH EXISTING
- NCR NEW COLORBOND ROOFING TO MATCH EXISTING
- FB FACE BRICKWORK



PROPOSED WEST ELEVATION

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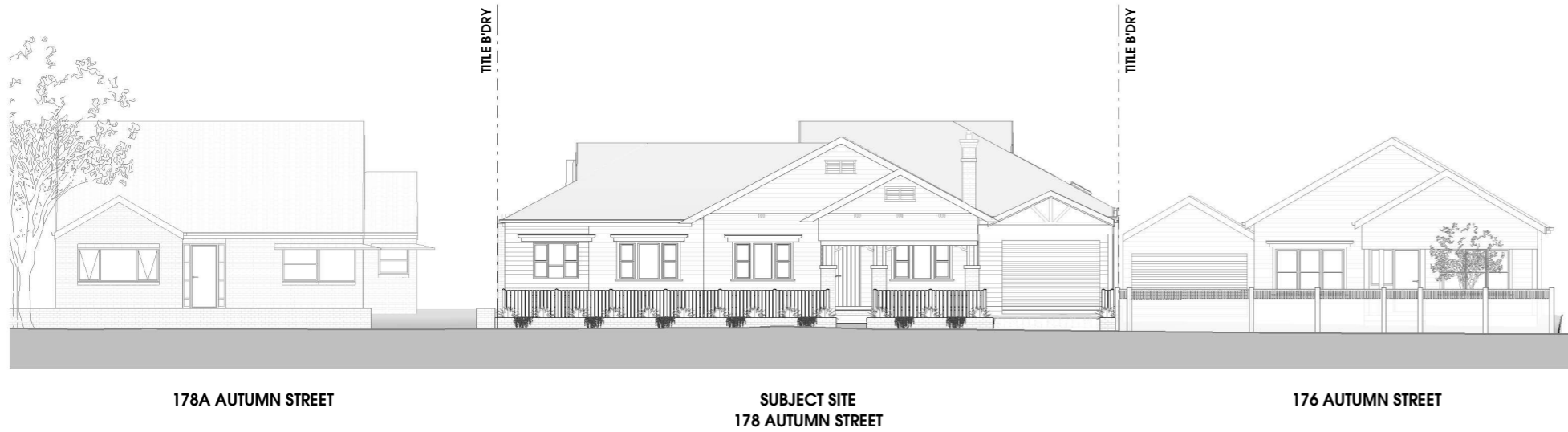
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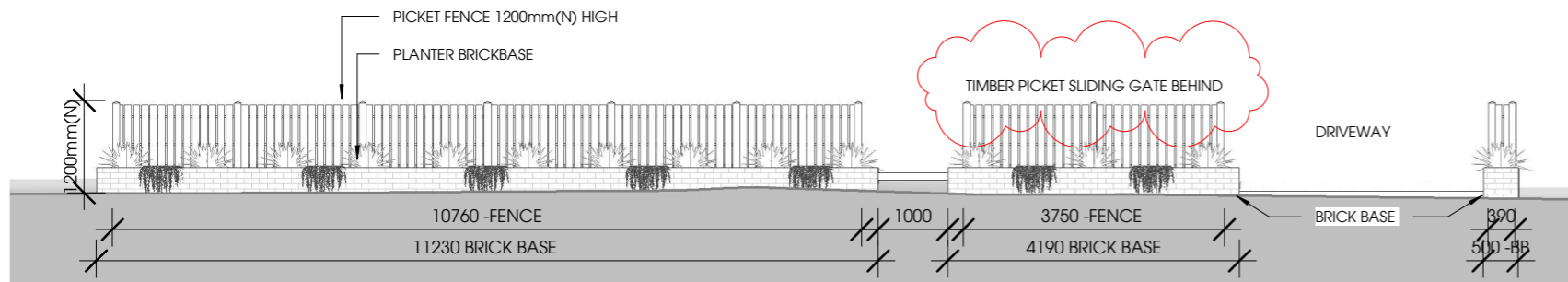
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STREETSCAPE ELEVATION

1 : 200



FRONT FENCE ELEVATION

1 : 100

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9.00am 22/09

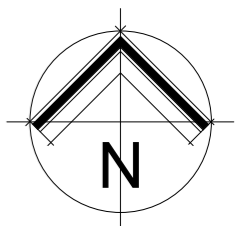
1 : 250



12.00pm 22/09

1 : 250

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PROPOSAL:
RENOVATION & EXTENSION

ADDRESS:
178 Autumn Street,
Geelong West

REVISION:
09-01-26 PRELIMINARY TP
12-01-26 STREETSCAPE ELEVATION
23-01-26 CLIENT CHANGES
09-02-26 REVISION & STUDY + BED2 CHANGES
09-04-26 CARPORT REVISION + RFI (MV)

DRAWN: JA/NK **DATE:** JAN 26 **DWG NO:** TP7.0

SCALE As indicated PRINTED ON A3 SHEET

Projekt Evolve

29 Pakington Street, Geelong West 3218
Ph: 5222 1119 E: office@projektevolve.com.au

Drawings Prepared by: Projekt Evolve
(TA Ivelja Design Pty Ltd CDP-AD 53723)



AUTUMN ST

3.00pm 22/09

1 : 250

PROPOSAL:

RENOVATION & EXTENSION

ADDRESS:

178 Autumn Street,
Geelong West

REVISION:

- 09-01-26 PRELIMINARY TP
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JA/NK

DATE:

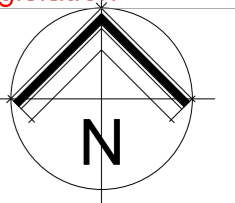
JAN 26

DWG NO:

TP7.1

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