

**CLAUSE 55 WRITTEN STATEMENT – TOWNHOUSE AND LOW-RISE CODE (UP TO 3 STOREYS)**

**Date of Plans Assessed: 5 February 2026 Version 2**  
**Application Address: 11 Gotemba Road Bell Post Hill**

**APPLICATION REQUIREMENTS**

An application to which this clause applies must be accompanied by:

- A site description – Clause 55.01-1.
- A design response including a landscape plan – Clause 55.01-2.
- A written statement outlining which standards are met and which are not met. If a standard is not met, the written statement must include an explanation of how the development meets the corresponding objective having regard to the corresponding decision guidelines.

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**CLAUSE 55 ASSESSMENT**

The following objectives and standards are current up to and including Amendment VC267 on 6/3/2025 and Amendment VC276 2/4/2025.

**55.02 Neighbourhood character**

<b>55.02-1 Street setback objective</b>	<b>Standard B2-1</b>	<b>Variation</b>	<b>Plan Reference</b>	<b>Right of Appeal</b>
To ensure that the setbacks of buildings from a street respond to the existing or preferred neighbourhood character and make efficient use of the site.	<p>Walls of buildings are set back from streets:</p> <ul style="list-style-type: none"> <li>• At least the distance specified in a schedule to the zone if the distance specified in the schedule is less than the distance specified in Table B2-1; or</li> <li>• If no distance is specified in a schedule to the zone, the distance specified in Table B2-1.</li> </ul> <p>Porches, pergolas and verandahs that are less than 3.6 metres high and eaves may encroach not more than 2.5 metres into the setbacks of this standard.</p>	<p>The dwelling to the east has a front setback of 4950mm. The dwelling to the west has a front setback of 5600mm. The applicable front setback to this lot is the average of the two adjoining dwellings or 5275mm.</p> <p>The proposed front setback is 5050mm which is 225mm less than the required setback. The setback is to the architectural feature around the windows with the setback to the line of the dwelling being 5620mm. The minor variation will not disrupt the streetscape.</p> <p>The verandhas have a maximum height of 3.6m above natural ground level and do not project more than 2.5m into the front setback.</p>	775TP01-A	Yes, standard varied

<b>Table B2-1 Street setback</b>				
<b>Development context</b>		<b>Minimum setback from front street</b>	<b>Minimum setback from a side street</b>	
There is an existing building on both the abutting allotments facing the same street, and the site is not on a corner.		The same distance as the lesser front wall setback of the existing buildings on the abutting allotments facing the front street or 6 metres, whichever is the lesser.	Not applicable	
There is an existing building on one abutting allotment facing the same street and no existing building on the other abutting allotment facing the same street, and the site is not on a corner.		The same distance as the setback of the front wall of the existing building on the abutting allotment facing the front street or 6 metres, whichever is the lesser.	Not applicable	
There is no existing building on either of the abutting allotments facing the same street, and the site is not on a corner.		6 metres for streets in a Transport Zone 2 and 4 metres for other streets.	Not applicable	
The site is on a corner.		<p>If there is a building on the abutting allotment facing the front street, the same distance as the setback of the front wall of the existing building on the abutting allotment facing the front street or 6 metres, whichever is the lesser.</p> <p>If there is no building on the abutting allotment facing the front street, 6 metres for streets in a Transport Zone 2 and 4 metres for other streets.</p>	<p>Front walls of new development fronting the side street of a corner site are setback at least the same distance as the setback of the front wall of any existing building on the abutting allotment facing the side street or 3 metres, whichever is the lesser.</p> <p>Side walls of new development on a corner site are setback the same distance as the setback of the front wall of any existing building on the abutting allotment facing the side street or 2 metres, whichever is the lesser.</p>	
<b>55.02-2 Building height objective</b> To ensure that the height of buildings responds the existing or preferred	<b>Standard B2-2</b> The maximum building height does not exceed the maximum height specified in the zone, schedule to the zone or an overlay that applies to the land.  If no maximum height is specified in the zone, schedule to the zone or an overlay, the maximum building height does not exceed 9 metres, unless the slope of the natural ground level at any cross section wider than 8 metres of the site of the building is 2.5 degrees or more, in which	<b>Deemed to Comply</b>  The maximum building height applicable to the site is 9.0 metres and two storeys at any point (excluding a basement). The proposed maximum building height of 7.475 is less than the maximum permitted.	<b>Plan Reference</b>  775TP03-A	<b>Right of Appeal</b>  No

neighbourhood character.	case the maximum building height should not exceed 10 metres.			
<p><b>55.02-3 Side and rear setbacks objective</b></p> <p>To ensure that the height and setback of a building from a boundary responds to the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings or small second dwellings.</p>	<p><b>Standard B2-3</b></p> <p>A new building not on or within 200mm of a boundary is set back from side or rear boundaries in accordance with either B2-3.1 or B2-3.2.</p> <p>Standard B2-3 is met if the building is set back in accordance with either B2-3.1 or B2-3.2, rather than needing to comply with both of these provisions:</p> <ul style="list-style-type: none"> <li>• B2-3.1: The building is set back at least 1 metre, plus 0.3 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres.</li> </ul> <p>Sunblinds, verandahs, porches, eaves, facias, gutters, masonry chimneys, flues, pipes, domestic fuel or water tanks, and heating or cooling equipment or other services may encroach not more than 0.5 metres into the side and rear setbacks.</p> <p>Landings that have an area of not more than 2 square metres and less than 1 metre high, stairways, ramps, pergolas, shade sails and carports may encroach into the side and rear setbacks.</p>	<p><b>Deemed to Comply</b></p> <p>The entirety of Dwelling 1 &amp; 2 achieves the side and rear setback requirements of Standard B2-3. Side and rear setback envelopes are shown on the drawings which demonstrate compliance with this standard.</p>	<p><b>Plan Reference</b></p> <p>775TP03-A</p>	<p><b>Right of Appeal</b></p> <p>No</p>

	<p><b>Diagram B2-3.1 Side and rear setbacks</b></p> <p>LOT BOUNDARY</p> <p>3.6m (max.) 3.2m (av.)</p>			
<p><b>55.02-4 Walls on boundaries objective</b></p> <p>To ensure that the location, length and height of a wall on a boundary responds to the existing or preferred neighbourhood character and</p>	<p><b>Standard B2-4</b></p> <p>A new wall constructed on or within 200mm of a side or rear boundary of a lot or a carport constructed on or within 1 metre of a side or rear boundary of lot does not abut the boundary for a length that exceeds the greater of the following distances:</p> <ul style="list-style-type: none"> <li>• 10 metres plus 25 per cent of the remaining length of the boundary of an adjoining lot, or</li> <li>• The length of existing or simultaneously constructed walls or carports abutting the boundary on an abutting lot.</li> </ul>	<p><b>Deemed to Comply</b></p> <p>Dwelling 1 &amp; 2 propose a new walls on or within 200mm of a boundary. The length of wall proposed to both dwellings 1 &amp; 2 is 7.66m. The permitted length of wall to be built on a boundary by this standard is <math>(10.0 + 0.25 \times 26.0\text{m} = 16.5\text{m})</math> is 16.5m.</p> <p>New walls built on the boundary are setback 200mm from the boundary and have an average height of less than 3200mm and maximum height of less than 3600mm in accordance with the standard.</p>	<p><b>Plan Reference</b></p> <p>775TP01-A</p>	<p><b>Right of Appeal</b></p> <p>No</p>

<p>limits the impact on the amenity of existing dwellings and small second dwellings.</p>	<p>A new wall or carport may fully abut a side or rear boundary where slope and retaining walls or fences would result in the effective height of the wall or carport being less than 2 metres on the abutting property boundary.</p> <p>A building on a boundary includes a building set back up to 200mm from a boundary.</p> <p>The height of a new wall constructed on or within 200mm of a side or rear boundary or a carport constructed on or within 1 metre of a side or rear boundary does not exceed an average of 3.2 metres with no part higher than 3.6 metres unless abutting a higher existing or simultaneously constructed wall.</p>			
<p><b>55.02-5 Site coverage objective</b></p> <p>To ensure that the site coverage responds to the existing or preferred neighbourhood character and responds to the features of the site.</p>	<p><b>Standard B2-5</b></p> <p>The site area covered by buildings does not exceed:</p> <ul style="list-style-type: none"> <li>• The maximum site coverage specified in a schedule to a zone; or</li> <li>• If no maximum site coverage specified in a schedule to a zone, the percentage specified in Table B2-5:</li> </ul>	<p><b>Deemed to Comply</b></p> <p>The maximum site coverage specified for this site is 60 percent as per the schedule to the zone/Table B2-5.</p> <p>The proposed site coverage of buildings is 57.3 percent of the site, which meets the standard.</p>	<p><b>Plan Reference</b></p> <p>775TP01-A</p>	<p><b>Right of Appeal</b></p> <p>No, standard met</p>

	<p><b>Table B2-5 Site coverage</b></p> <table border="1" data-bbox="423 248 1070 632"> <thead> <tr> <th data-bbox="423 248 927 301">Zone</th> <th data-bbox="927 248 1070 301">Area</th> </tr> </thead> <tbody> <tr> <td data-bbox="423 301 927 368">Neighbourhood Residential Zone</td> <td data-bbox="927 301 1070 368">60 per cent</td> </tr> <tr> <td colspan="2" data-bbox="423 368 1070 435">Township Zone</td> </tr> <tr> <td data-bbox="423 435 927 488">General Residential Zone</td> <td data-bbox="927 435 1070 488">65 per cent</td> </tr> <tr> <td data-bbox="423 488 927 541">Residential Growth Zone</td> <td data-bbox="927 488 1070 541">70 per cent</td> </tr> <tr> <td colspan="2" data-bbox="423 541 1070 577">Mixed Use Zone</td> </tr> <tr> <td colspan="2" data-bbox="423 577 1070 632">Housing Choice and Transport Zone</td> </tr> </tbody> </table>	Zone	Area	Neighbourhood Residential Zone	60 per cent	Township Zone		General Residential Zone	65 per cent	Residential Growth Zone	70 per cent	Mixed Use Zone		Housing Choice and Transport Zone				
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<p><b>55.02-6 Access objective</b></p> <p>To ensure the number and design of vehicle crossovers responds to the neighbourhood character.</p>	<p><b>Standard B2-6</b></p> <p>The width of accessways or car spaces (other than to a rear lane) does not exceed:</p> <ul style="list-style-type: none"> <li>33 per cent of the street frontage, or</li> <li>40 per cent of the street frontage if the width of the street frontage is less than 20 metres.</li> </ul> <p>The number of access points to a road in a Transport Zone 2 or a Transport Zone 3 is not increased.</p> <p>The location of a vehicle crossover or accessway does not encroach the tree protection zone of an existing tree, that is proposed to be retained in a road by more than 10 per cent.</p>	<p><b>Deemed to Comply</b></p> <p>Standard B2-6 permits 40% of the street frontage to be for vehicle accessways (0.4 x 19.6m = 7.84m) or 7.84m. The proposed accessway width is 7.6 m or 38.8% of the street frontage. The proposed width of 3.8m is to match the existing vehicle crossing in the estate. The existing vehicle crossing is 3.8m wide and the proposed crossing has been dimensioned at 3.8m wide to match.</p> <p>The number of access points to a road in a TRZ2 or TRZ3 has not increased.</p> <p>The location of the vehicle crossover or accessway does not encroach more than 10% into the TPZ of the existing street tree.</p>	<p><b>Plan Reference</b></p> <p>775TP01-A</p>	<p><b>Right of Appeal</b></p> <p>No, standard met</p>														
<p><b>55.02-7 Tree canopy objective</b></p>	<p><b>Standard B2-7</b></p> <p>Provide a minimum canopy cover as specified in Table B2-7.1.</p>	<p><b>Deemed to Comply</b></p>	<p><b>Plan Reference</b></p>	<p><b>Right of Appeal</b></p>														

<p>To provide tree canopy that responds to the neighbourhood character of the area and reduces the visual impact of buildings on the streetscape.</p> <p>To preserve existing canopy cover and support the provision of new canopy cover.</p> <p>To ensure new canopy trees are climate responsive, support biodiversity, wellbeing and amenity, and help reduce urban heat</p>	<p><b>Table B2-7.1 Canopy cover</b></p> <table border="1" data-bbox="421 240 1064 440"> <thead> <tr> <th>Site area</th> <th>Canopy cover</th> </tr> </thead> <tbody> <tr> <td>1000 square metres or less</td> <td>10% of site area</td> </tr> <tr> <td>More than 1000 square metres</td> <td>20% of site area</td> </tr> </tbody> </table> <p>Existing trees to be retained meet all of the following:</p> <ul style="list-style-type: none"> <li>• Has a height of at least 5 metres,</li> <li>• Has a trunk circumference of 0.5 metres or greater at 1.4 metres above ground level,</li> <li>• Has a trunk that is located at least 4 metres from proposed buildings.</li> </ul> <p>The minimum canopy cover is met using any combination of trees specified in Table B2-7.2.</p> <p>Existing trees that are retained can be used in calculating canopy cover.</p>	Site area	Canopy cover	1000 square metres or less	10% of site area	More than 1000 square metres	20% of site area	<p>There are adequate areas available on site to allow for tree planting which will complement the landscape character of the area.</p> <p>The site is 679.2 sqm in area and a total of 11.3% of the site or 76.6 sqm has been set aside for canopy cover using the planting of tree type A's to meet the canopy coverage required.</p> <p>An appropriate landscaping plan will be submitted for assessment once completed by the landscape designer.</p>	<p>775TP01-A</p>	<p>No, standard met</p>
Site area	Canopy cover									
1000 square metres or less	10% of site area									
More than 1000 square metres	20% of site area									

Table B2-7.2 Tree type, canopy cover, deep soil and planter requirements						
Tree type	Minimum canopy diameter at maturity	Minimum height at maturity	Minimum mature canopy cover	Tree in deep soil Area of deep soil	Tree in planter Volume of planter	Minimum depth of planter soil
A	4 metres	6 metres	12.6 sqm	12 square metres (min. plan dimension 2.5 metres)	12 cubic metres (min. plan dimension 2.5 metres)	0.8 metre
B	8 metres	8 metres	50.3 sqm	49 square metres (min. plan dimension 4.5 metres)	28 cubic metres (min. plan dimension 4.5 metres)	1 metre
C	12 metres	12 metres	113.1 sqm	121 square metres (min. plan dimension 6.5 metres)	64 cubic metres (min. plan dimension 6.5 metres)	1.5 metre

Provide at least one new or retained tree in the front setback and the rear setback.

Trees are located in either:

- An area of deep soil as specified in Table B2-7.2; or
- A planter as specified in Table B2-7.2.

Any tree required to be planted under this standard must be of species to the satisfaction of the responsible authority, having regard to the location and relevant geographic factors.

**55.02-8 Front Fences**  
To encourage front fence design that responds the existing or

**Standard B2-8**  
A front fence within 3 metres of a street is:

- The maximum height specified in a schedule to the zone, or
- If no maximum height is specified in a schedule to the zone, the maximum height specified in Table B2-8.

**Not Applicable**  
  
No front fence is proposed as part of this permit application.

**Plan Reference**

**Right of Appeal**  
  
N/A

preferred neighbourhood character.	<p><b>Table B2-8 Maximum front fence height</b></p> <table border="1"> <thead> <tr> <th data-bbox="421 276 824 316">Street context</th> <th data-bbox="824 276 1061 316">Maximum front fence height</th> </tr> </thead> <tbody> <tr> <td data-bbox="421 323 824 363">Streets in a Transport Zone 2</td> <td data-bbox="824 323 1061 363">2 metres</td> </tr> <tr> <td data-bbox="421 371 824 411">Other streets</td> <td data-bbox="824 371 1061 411">1.5 metres</td> </tr> </tbody> </table>	Street context	Maximum front fence height	Streets in a Transport Zone 2	2 metres	Other streets	1.5 metres			
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### 55.03 Liveability

<p><b>55.03-1 Dwelling diversity objective</b></p> <p>To encourage a range of dwelling sizes and types in developments of ten or more dwellings.</p>	<p><b>Standard B3-1</b></p> <p>Developments include at least:</p> <ul style="list-style-type: none"> <li>One dwelling that contains a kitchen, bath or shower, bedroom and a toilet and wash basin at ground floor level for every 10 dwellings.</li> <li>One dwelling that includes no more and no less than 2 bedrooms for every 10 dwellings.</li> <li>One dwelling that includes no more and no less than 3 bedrooms for every 10 dwellings</li> </ul>	<p><b>Not Applicable</b></p> <p>Fewer than ten dwellings are proposed.</p>	<p><b>Plan Reference</b></p>	<p><b>Right of Appeal</b></p> <p>N/A</p>
<p><b>55.03-2 Parking location objective</b></p> <p>To minimise the impact of vehicle noise within developments on residents</p>	<p><b>Standard B3-2</b></p> <p>Habitable room windows with sill heights of less than 3 metres above ground level are setback from accessways and car parks by at least:</p> <ul style="list-style-type: none"> <li>1.5 metres; or</li> <li>If there is a solid fence with a height of at least 1.5 metres between the accessway or car park and the window, 1 metre; or</li> <li>1 metre where window sills are at least 1.5 metres above ground level.</li> </ul> <p>This standard is met if an accessway or relevant car parking space is used exclusively by the resident of the building with the habitable room.</p>	<p><b>Deemed to Comply</b></p> <p>Accessways for each dwelling are used exclusively by the resident of the building.</p>	<p><b>Plan Reference</b></p> <p>775TP01-A</p>	<p><b>Right of Appeal</b></p> <p>No</p>

<p><b>55.03-3 Street integration objective</b></p> <p>To integrate the layout of development with the street to support the safety and amenity of residents</p>	<p><b>Standard B3-3</b></p> <p>Where a development fronts a street, a vehicle accessway or abuts public open space:</p> <ul style="list-style-type: none"> <li>• Passive surveillance is provided by a direct view from a balcony or a habitable room window to each street, vehicle accessway and public open space.</li> <li>• The total cumulative width of all site services to be located within 3 metres of a street, do not take up more than 20 per cent of the width of the frontage and are screened from view from the street or located behind a fence. Screens or fences are to provide no more than 25 per cent transparency.</li> </ul> <p>Lighting is provided to all external accessways and paths.</p> <p>Mailboxes are provided for each dwelling and can be communally located.</p>	<p><b>Deemed to Comply</b></p> <p>The development is designed to provide passive surveillance of the street through a direct view from a balcony or habitable room window from each dwellings from the first floor level family room and study.</p> <p>Lighting is provided to all external accessways and paths.</p> <p>Mailboxes are provided for each dwelling.</p>	<p><b>Plan Reference</b></p> <p>775TP01-A</p>	<p><b>Right of Appeal</b></p> <p>No</p>
<p><b>55.03-4 Entry objective</b></p> <p>To provide each dwelling, apartment development or residential building with its own sense of identity.</p> <p>To provide entries with weather protection, safe design, natural light and ventilation.</p>	<p><b>Standard B3-4</b></p> <p><b>Dwellings (other than a dwelling in or forming part of an apartment development) and residential buildings</b></p> <p>Each dwelling and each residential building has a ground level entry door that:</p> <ul style="list-style-type: none"> <li>• Has a direct line of sight from a street, accessway or shared walkway.</li> <li>• Is not accessed through a garage.</li> <li>• Has an external covered area of at least 1.44 square metres with a minimum dimension of least 1.2 metres over the entry door.</li> </ul> <p><b>Apartment development and residential building with a shared entry</b></p> <p>An apartment development and each residential building has:</p>	<p><b>Deemed to Comply</b></p> <p>Each dwelling/residential building has a direct line of sight from the street, is not accessed through a garage and has an external covered area of 1.44sqm with a minimum dimension of 1.2m over the door entry.</p>	<p><b>Plan Reference</b></p> <p>775TP01-A</p>	<p><b>Right of Appeal</b></p> <p>No</p>

	<ul style="list-style-type: none"> <li>• A ground level entry door, gate or walkway with a direct line of sight from a street, accessway or shared walkway.</li> <li>• An external covered area of at least 1.44 square metres with a minimum dimension of least 1.2 metres over the entry door to the building.</li> <li>• Shared corridors and common areas have at least one source of natural light and natural ventilation.</li> </ul>			
<p><b>55.03-5 Private open space objective</b></p> <p>To provide adequate private open space for the reasonable recreation and service needs of residents.</p>	<p><b>Standard B3-5</b></p> <p>A dwelling or residential building has private open space of an area and dimensions specified in the schedule to the zone.</p> <p>If no area or dimensions are specified in the schedule to the zone, a dwelling or residential building has private open space with direct access from a living room, dining area or kitchen consisting of:</p> <ul style="list-style-type: none"> <li>• An area of 25 square metres of secluded private open space with a minimum dimension of 3 metres width; or</li> <li>• A balcony with at least the area and dimensions specified in Table B3-5; or</li> <li>• An area on a podium or similar of at least 15 square metres with a minimum dimension of 3m width; or</li> <li>• An area on a roof of at least 10 square metres with a minimum width of 2 metres.</li> </ul> <p>If the area and dimensions of the private open space or secluded private open space is specified in a schedule to the zone:</p> <ul style="list-style-type: none"> <li>• The area and dimensions specified in the schedule must be 25 square metres or less; and</li> <li>• The area and dimensions specified for a podium, balcony or an area on a roof must be less than the area and dimensions specified in this standard.</li> </ul>	<p><b>Deemed to Comply</b></p> <p>An area of 25 square metres of secluded private open space with a minimum dimension of 3 metres with direct access from a living room/dining area/kitchen has been provided for dwellings 1&amp;2. The private open space for dwelling 1 is located on the east side of the dwelling. The private open space for dwelling 2 is located on the west side of the dwelling.</p> <p>Clothes drying has been provided in the ground level private open space of dwellings 1&amp;2.</p>	<p><b>Plan Reference</b></p> <p>775TP01-A</p>	<p><b>Right of Appeal</b></p> <p>No</p>

	<p>If a cooling or heating unit is located in the secluded private open space or private open space the required area is increased by 1.5 square metres.</p> <p>Where ground level private open space is provided, an area for clothes drying is provided.</p> <p><b>Table B3-5 Private open space for a balcony</b></p> <table border="1"> <thead> <tr> <th>Orientation of dwelling</th> <th>Dwelling type</th> <th>Minimum area</th> <th>Minimum dimension</th> </tr> </thead> <tbody> <tr> <td>North (between north 20 degrees west to north 30 degrees east)</td> <td>All</td> <td>8 square metres</td> <td>1.7 metres</td> </tr> <tr> <td>South (between south 30 degrees west to south 20 degrees east)</td> <td>All</td> <td>8 square metres</td> <td>1.2 metres</td> </tr> <tr> <td rowspan="3">Any other orientation</td> <td>Studio or 1 bedroom dwelling</td> <td>8 square metres</td> <td>1.8 metres</td> </tr> <tr> <td>2 bedroom dwelling</td> <td>8 square metres</td> <td>2 metres</td> </tr> <tr> <td>3 bedroom dwelling</td> <td>12 square metres</td> <td>2.4 metres</td> </tr> </tbody> </table>	Orientation of dwelling	Dwelling type	Minimum area	Minimum dimension	North (between north 20 degrees west to north 30 degrees east)	All	8 square metres	1.7 metres	South (between south 30 degrees west to south 20 degrees east)	All	8 square metres	1.2 metres	Any other orientation	Studio or 1 bedroom dwelling	8 square metres	1.8 metres	2 bedroom dwelling	8 square metres	2 metres	3 bedroom dwelling	12 square metres	2.4 metres			
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<p><b>55.03-6 Solar access to open space objective</b></p> <p>To allow solar access into the secluded private open space of new dwellings and residential buildings.</p>	<p><b>Standard B3-6</b></p> <p>The southern boundary of secluded private open space is set back from any wall on the north of the space at least <math>(2+0.9h)</math> metres, where 'h' is the height of the wall.</p> <p><b>Diagram B3-6 Solar access to open space</b></p>	<p><b>Deemed to Comply</b></p> <p>All proposed secluded private open space receives adequate solar access.</p> <p>The wall located on the northern side of the proposed secluded private open space of dwelling 1 is 3.335 metres high, requiring the southern boundary of the proposed secluded private open space to be set back 5.0 metres from the wall. The southern boundary is set back 10.29 metres for dwelling 1 in accordance with the standard.</p> <p>The wall located on the northern side of the proposed secluded private open space of dwelling 2 is 3.235 metres high, requiring the southern boundary of the proposed secluded private open space to be set back 4.93 metres from the wall.</p>	<p><b>Plan Reference</b></p> <p>775TP01-A</p>	<p><b>Right of Appeal</b></p> <p>No</p>																						

		<p>The southern boundary is set back 10.29 metres for dwelling 2 in accordance with the standard.</p>																				
<p><b>55.03-7 Functional layout objective</b> To ensure dwellings provide functional areas that meet the needs of residents.</p>	<p><b>Standard B3-7</b> Bedrooms:</p> <ul style="list-style-type: none"> <li>Meet the minimum internal room dimensions specified in Table B3-7.1.</li> <li>Provide an additional area of at least 0.8 square metres to accommodate a wardrobe.</li> </ul> <p><b>Table B3-7.1 Bedroom dimensions</b></p> <table border="1" data-bbox="465 699 1182 837"> <thead> <tr> <th>Bedroom type</th> <th>Minimum width</th> <th>Minimum depth</th> </tr> </thead> <tbody> <tr> <td>Main bedroom</td> <td>3 metres</td> <td>3.4 metres</td> </tr> <tr> <td>All other bedrooms</td> <td>3 metres</td> <td>3 metres</td> </tr> </tbody> </table> <p>Living areas (excluding dining and kitchen areas) meet the minimum internal room dimensions specified in Table B3-7.2.</p> <table border="1" data-bbox="472 1034 1167 1316"> <caption>Table B3-7.2 Living area dimensions</caption> <thead> <tr> <th>Dwelling type</th> <th>Minimum width</th> <th>Minimum area</th> </tr> </thead> <tbody> <tr> <td>Studio and 1 bedroom dwelling</td> <td>3.3 metres</td> <td>10 sqm</td> </tr> <tr> <td>2 or more bedroom dwelling</td> <td>3.6 metres</td> <td>12 sqm</td> </tr> </tbody> </table>	Bedroom type	Minimum width	Minimum depth	Main bedroom	3 metres	3.4 metres	All other bedrooms	3 metres	3 metres	Dwelling type	Minimum width	Minimum area	Studio and 1 bedroom dwelling	3.3 metres	10 sqm	2 or more bedroom dwelling	3.6 metres	12 sqm	<p><b>Deemed to Comply</b></p> <p>All dwellings are provided with a main bedroom with a width and depth of not less than 3.0m x 3.4m, and other bedrooms of not less than 3.0m x 3.0m and all excluding areas provided for a wardrobe.</p> <p>An additional area of 0.8 square metres has been provided to accommodate a wardrobe.</p> <p>All 2 or more bedroom dwellings are provided with a living area (excluding dining and kitchen areas) with an internal room width of not less than 3.6m and area of not less than 12 square metres.</p>	<p><b>Plan Reference</b></p> <p>775TP01-A 775TP02-A</p>	<p><b>Right of Appeal</b></p> <p>No</p>
Bedroom type	Minimum width	Minimum depth																				
Main bedroom	3 metres	3.4 metres																				
All other bedrooms	3 metres	3 metres																				
Dwelling type	Minimum width	Minimum area																				
Studio and 1 bedroom dwelling	3.3 metres	10 sqm																				
2 or more bedroom dwelling	3.6 metres	12 sqm																				

<p><b>55.03-8 Room depth objective</b> To allow adequate daylight into single aspect habitable rooms.</p>	<p><b>Standard B3-8</b> The depth of a single aspect habitable room does not exceed 2.5 times the ceiling height measured from the external surface of the habitable room window to the rear wall of the room.</p> <p>The depth of a single aspect, open plan, habitable room may be increased to 9 metres if all the following requirements are met:</p> <ul style="list-style-type: none"> <li>• The room combines the living area, dining area and kitchen; and</li> <li>• The kitchen is located furthest from the window; and</li> <li>• The ceiling height is at least 2.7 metres measured from finished floor level to finished ceiling level, this excludes where services are provided above the kitchen; and</li> <li>• An overhang extends no more than 2m beyond the window of the single aspect habitable room.</li> </ul> <p>In Clause 55.03-8, a single aspect habitable room is a habitable room with windows on only one wall</p>	<p><b>Deemed to Comply</b></p> <p>The minimum proposed single aspect habitable room ceiling height is 2.55 metres requiring a maximum room depth of not more than 6.375 metres. The maximum room depth is 3.95metres being to the family rooms at first floor level to both dwellings 1&amp;2.</p>	<p><b>Plan Reference</b></p> <p>775TP01-B</p>	<p><b>Right of Appeal</b></p> <p>No</p>
<p><b>55.03-9 Daylight to new windows objective</b> To allow adequate daylight into new habitable room windows.</p>	<p><b>Standard B3-9 Dwelling (other than a dwelling in or forming part of an apartment development)</b> A window in an external wall of the building is provided to all habitable rooms.</p> <p>Habitable rooms in a dwelling have a window that faces:</p> <ul style="list-style-type: none"> <li>• An outdoor space clear to the sky or a light court with a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky, not including land on an abutting lot; or</li> <li>• A verandah provided it is open for at least one third of its perimeter; or</li> </ul>	<p><b>Deemed to Comply</b></p> <p>All habitable room windows are located on an external wall.</p> <p>All habitable room windows face:</p> <ul style="list-style-type: none"> <li>• An outdoor space clear to the sky or a light court with a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky, not including land on an abutting lot; or</li> <li>• A verandah provided it is open for at least one third of its perimeter.</li> </ul>	<p><b>Plan Reference</b></p> <p>775TP01-A 775TP02-A</p>	<p><b>Right of Appeal</b></p> <p>No</p>

	<ul style="list-style-type: none"> <li>• A carport provided it has two or more open sides and is open for at least one third of its perimeter.</li> </ul> <p><b>Dwelling in or forming part of an apartment development</b></p> <p>A window in an external wall of the building is provided to all habitable rooms.</p> <p>Where daylight to a bedroom is provided from a smaller secondary area within the bedroom, the secondary area is to have:</p> <ul style="list-style-type: none"> <li>• A minimum width of 1.2 metres.</li> <li>• A maximum depth of 1.5 times the width, measured from the external surface of the window.</li> <li>• A window clear to the sky</li> </ul>			
<p><b>55.03-10 Natural ventilation objective</b></p> <p>To encourage natural ventilation of dwellings.</p> <p>To allow occupants to effectively manage natural ventilation of dwellings.</p>	<p><b>Standard B3-10 Dwelling (other than a dwelling in or forming part of an apartment development)</b></p> <p>Dwellings have openable windows, doors or other ventilation devices in external walls of the building that provide:</p> <ul style="list-style-type: none"> <li>• A maximum breeze path through the dwelling of 18 metres.</li> <li>• A minimum breeze path through the dwelling of 5 metres.</li> <li>• Ventilation openings with approximately the same size.</li> </ul> <p>The breeze path is measured between the ventilation openings on different orientations of the dwelling.</p>	<p><b>Deemed to Comply</b></p> <p>Each dwelling has openable windows, doors or other ventilation devices in external walls of the building that provides for:</p> <ul style="list-style-type: none"> <li>• A maximum breeze path through the dwelling of 18 metres.</li> <li>• A minimum breeze path through the dwelling of 5 metres.</li> <li>• Ventilation openings with approximately the same size.</li> </ul>	<p><b>Plan Reference</b></p> <p>775TP01-A</p>	<p><b>Right of Appeal</b></p> <p>No</p>

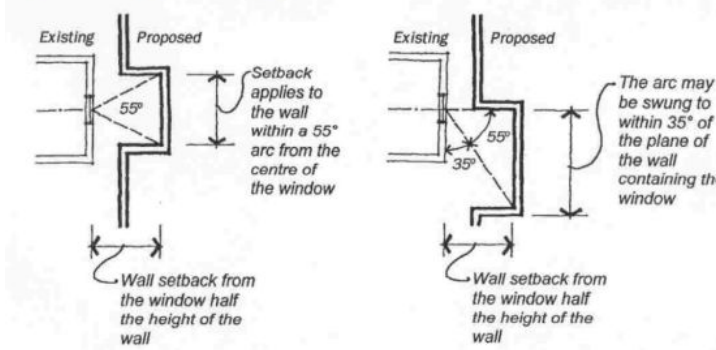
	<p><b>Dwelling in or forming part of an apartment development</b></p> <p>At least 40 per cent of dwellings have openable windows, doors or other ventilation devices in external walls of the building that provide:</p> <ul style="list-style-type: none"> <li>• A maximum breeze path through the dwelling of 18 metres.</li> <li>• A minimum breeze path through the dwelling of 5 metres.</li> <li>• Ventilation openings with approximately the same size.</li> </ul> <p>The breeze path is measured between the ventilation openings on different orientations of the dwelling.</p>																		
<p><b>55.03-11 Storage objective</b></p> <p>To provide adequate storage facilities for each dwelling.</p>	<p><b>Standard B3-11 Dwelling (other than a dwelling in or forming part of an apartment development)</b></p> <p>Each dwelling has exclusive access to at least 6 cubic metres of externally accessible, secure storage space.</p> <p><b>Dwelling in or forming part of an apartment development</b></p> <p>Each dwelling has exclusive access to storage at least the total minimum storage volume that is specified in Table B3-11.</p> <p><b>Table B3-11 Storage</b></p> <table border="1"> <thead> <tr> <th>Dwelling type</th> <th>Total minimum storage volume</th> <th>Minimum storage volume within the dwelling</th> </tr> </thead> <tbody> <tr> <td>Studio</td> <td>8 cubic metres</td> <td>5 cubic metres</td> </tr> <tr> <td>1 bedroom dwelling</td> <td>10 cubic metres</td> <td>6 cubic metres</td> </tr> <tr> <td>2 bedroom dwelling</td> <td>14 cubic metres</td> <td>9 cubic metres</td> </tr> <tr> <td>3 or more bedroom dwelling</td> <td>18 cubic metres</td> <td>12 cubic metres</td> </tr> </tbody> </table>	Dwelling type	Total minimum storage volume	Minimum storage volume within the dwelling	Studio	8 cubic metres	5 cubic metres	1 bedroom dwelling	10 cubic metres	6 cubic metres	2 bedroom dwelling	14 cubic metres	9 cubic metres	3 or more bedroom dwelling	18 cubic metres	12 cubic metres	<p><b>Deemed to Comply</b></p> <p>Each dwelling has been provided with exclusive access to 6 cubic metres of externally accessible, secure storage shown to be located in the garage of dwelling 1 and dwelling 2.</p>	<p><b>Plan Reference</b></p> <p>775TP01-A</p>	<p><b>Right of Appeal</b></p> <p>No</p>
Dwelling type	Total minimum storage volume	Minimum storage volume within the dwelling																	
Studio	8 cubic metres	5 cubic metres																	
1 bedroom dwelling	10 cubic metres	6 cubic metres																	
2 bedroom dwelling	14 cubic metres	9 cubic metres																	
3 or more bedroom dwelling	18 cubic metres	12 cubic metres																	
<p><b>55.03-12 Accessibility for</b></p>	<p><b>Standard B3-12</b></p>	<p>N/A</p>	<p><b>Plan Reference</b></p>	<p><b>Right of Appeal</b></p>															

<p><b>apartment developments objective</b> To ensure the design of dwellings meets the needs of people with limited mobility</p>	<p>At least 50 per cent of dwellings in or forming part of an apartment development have:</p> <ul style="list-style-type: none"> <li>• A clear opening width of at least 850mm at the entrance to the dwelling and main bedroom.</li> <li>• A clear path with a minimum width of 1.2 metres that connects the dwelling entrance to the main bedroom, an adaptable bathroom and the living area.</li> <li>• A main bedroom with access to an adaptable bathroom.</li> <li>• At least one adaptable bathroom that meets all of the requirements of either Design A or Design B specified in Table B3-12.</li> </ul>	<p>No apartments are proposed.</p>		<p>N/A</p>
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<b>Table B3-12 Bathroom design</b>				
	<b>Design option A</b>	<b>Design option B</b>		
Door opening	A clear 850mm wide door opening.	A clear 820mm wide door opening located opposite the shower.		
Door design	Either: <ul style="list-style-type: none"> <li>▪ A slide door, or</li> <li>▪ A door that opens outwards, or</li> <li>▪ A door that opens inwards that is clear of the circulation area and has readily removable hinges.</li> </ul>	Either: <ul style="list-style-type: none"> <li>▪ A slide door, or</li> <li>▪ A door that opens outwards, or</li> <li>▪ A door that opens inwards and has readily removable hinges.</li> </ul>		
Circulation area	A clear circulation area that is: <ul style="list-style-type: none"> <li>▪ A minimum area of 1.2 metres by 1.2 metres.</li> <li>▪ Located in front of the shower and the toilet.</li> <li>▪ Clear of the toilet, basin and the door swing.</li> </ul> <p>The circulation area for the toilet and shower can overlap.</p>	A clear circulation area that is: <ul style="list-style-type: none"> <li>▪ A minimum width of 1 metre.</li> <li>▪ The full length of the bathroom and a minimum length of 2.7 metres.</li> <li>▪ Clear of the toilet and basin.</li> </ul> <p>The circulation area can include a shower area.</p>		
Path to circulation area	A clear path with a minimum width of 900mm from the door opening to the circulation area.	Not applicable.		
Shower	A hobless (step-free) shower.	A hobless (step-free) shower that has a removable shower screen and is located on the furthest wall from the door opening.		
Toilet	A toilet located in the corner of the room.	A toilet located closest to the door opening and clear of the circulation area.		

### 55.04 External Amenity

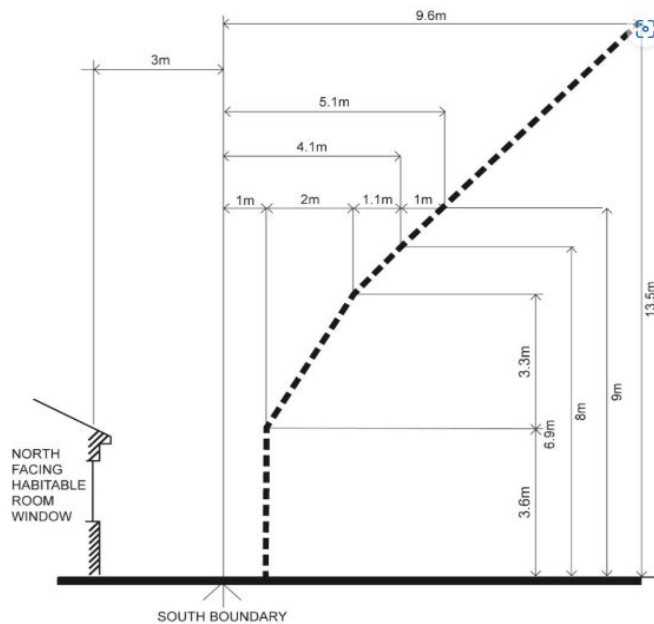
<b>55.04-1 Daylight to existing windows objective</b>	<b>Standard B4-1</b>	<b>Deemed to Comply</b>	<b>Plan Reference</b>	<b>Right of Appeal</b>
	Buildings opposite an existing habitable room window provide for a light court to the existing window that has a minimum area of 3 square metres and minimum dimension	The required light court of 3 square metres with a minimum dimension of 1 metre clear to	775TP02-A 775TP03-A	No

<p>To allow adequate daylight into existing habitable room windows.</p>	<p>of 1 metre clear to the sky. The calculation of the area may include land on the abutting lot.</p> <p>Walls or carports more than 3 metres in height opposite an existing habitable room window are set back from the window at least 50 per cent of the height of the new wall if the wall is within a 55 degree arc from the centre of the existing window. The arc may be swung to within 35 degrees of the plane of the wall containing the existing window.</p> <p>Where the existing window is above ground floor level, the wall height is measured from the floor level of the room containing the window.</p> <p><b>Diagram B4-1 Daylight to existing windows</b></p> 	<p>the sky has been achieved to all existing windows on adjoining lots.</p> <p>Dwelling 1 proposes a wall with a maximum height of 6.9m above ground level with a setback of 5.0m from an adjoining habitable room window which is greater than the minimum dimension of 3.45m in compliance with the standard.</p> <p>Dwelling 2 proposes a wall with a maximum height of 6.245m above ground level with a setback of 9.0m from an adjoining habitable room window which is greater than the minimum dimension of 3.12m in compliance with the standard.</p>		
<p><b>55.04-2 Existing north facing windows objective</b></p> <p>To allow adequate solar access to existing north-facing habitable room windows.</p>	<p><b>Standard B4-2</b></p> <p>Where a north-facing habitable room window of a neighbouring dwelling or small second dwelling is within 3 metres of a boundary on an abutting lot:</p> <ul style="list-style-type: none"> <li>A new building is to be set back from the boundary 1 metre, plus 0.6 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres. This setback is to be provided for</li> </ul>	<p><b>Not Applicable</b></p> <p>There are no north facing habitable room windows on abutting lots that require consideration.</p>	<p><b>Plan Reference</b></p>	<p><b>Right of Appeal</b></p> <p>N/A</p>

- a distance of at least 3 metres from the edge of each side of the window.
- For new buildings that meet the Standard B2-3.2 setback, the building is set back from the boundary by at least 6 metres up to a height not exceeding 11 metres and at least 9 metres for a height over 11 metres between south 30 degrees west to south 30 degrees east. This setback is to be provided for a distance of at least 3 metres from the edge of each side of the window.

For this standard, a north-facing window is a window with an axis perpendicular to its surface oriented north 20 degrees west to north 30 degrees east.

**Diagram B4-2.1 North-facing windows**



<p><b>55.04-3 Overshadowing secluded open space objective</b> To ensure buildings do not significantly overshadow existing secluded private open space.</p>	<p><b>Standard B4-3</b> The area of secluded private open space that is not overshadowed by the new development is greater than 50 per cent, or 25 square metres with a minimum dimension of 3 metres, whichever is the lesser area, for a minimum of five hours between 9 am and 3 pm on 22 September.</p> <p>If existing sunlight to the secluded private open space of an existing dwelling or small second dwelling is less than the requirements of this standard, the amount of sunlight will not be further reduced</p>	<p><b>Deemed to Comply</b></p> <p>The extent of overshadowing associated with the proposed development is within the requirements of the standard as:</p> <p>More than 50% of the SPOS or 25sqm with a minimum dimension of 3m is not overshadowed for a minimum of 5 hours between 9am and 3pm on 22 September</p>	<p><b>Plan Reference</b></p> <p>775TP04-A</p>	<p><b>Right of Appeal</b></p> <p>No, standard met</p>
<p><b>55.04-4 Overlooking objective</b> To limit views into existing secluded private open space and habitable room windows.</p>	<p><b>Standard B4-4</b> In Clause 55.04-4 a habitable room does not include a bedroom.</p> <p>A habitable room window, balcony, podium, terrace, deck or patio is located and designed to avoid direct views into the secluded private open space of an existing dwelling or small second dwelling within a horizontal distance of 9 metres (measured at ground level) of the window, balcony, terrace, deck or patio. Views are measured within a 45 degree angle from the plane of the window or perimeter of the balcony, terrace, deck or patio, and from a height of 1.7 metres above floor level.</p> <p>A habitable room window, balcony, terrace, deck or patio that is located with a direct view into a habitable room window of existing dwelling or small second dwelling within a horizontal distance of 9 metres (measured at ground level) of the window, balcony, terrace, deck or patio:</p> <ul style="list-style-type: none"> <li>Is offset a minimum of 1.5 metres from the edge of one window to the edge of the other; or</li> </ul>	<p><b>Deemed to Comply</b></p> <p>The development is designed to meet the requirements of the standard with overlooking into existing secluded private open space areas and habitable room windows limited in accordance with the Standard in the form of:</p> <p>Fences at least 1.8m high at ground floor level and no habitable rooms at first floor level being able to overlook secluded private open space or habitable room windows.</p> <p>The family rooms at first floor level are deemed a habitable room. The window to the habitable room faces north and does not have the ability to overlook the adjoining dwellings open space or habitable room windows.</p>	<p><b>Plan Reference</b></p> <p>775TP02-A</p>	<p><b>Right of Appeal</b></p> <p>No, standard met</p>

	<ul style="list-style-type: none"> <li>• Has sill heights of at least 1.7 metres above floor level; or</li> <li>• Has fixed, obscure glazing in any part of the window below 1.7 metre above floor level; or</li> <li>• Has permanently fixed external screens to at least 1.7 metres above floor level and be no more than 25 per cent transparent; or</li> <li>• Has fixed elements that prevent direct views, such as horizontal ledges or vertical fins.</li> </ul> <p>Obscure glazing in any part of the window below 1.7 metres above floor level may be openable provided that there are no direct views as specified in this standard.</p> <p>Screens used to obscure a view should be:</p> <ul style="list-style-type: none"> <li>• Perforated panels or trellis with a maximum of 25 per cent openings or solid translucent panels.</li> <li>• Permanent, fixed and durable.</li> <li>• Designed and coloured to blend in with the development.</li> </ul> <p>This standard does not apply to a new habitable room window, balcony, terrace, deck or patio which faces a property boundary where there is a visual barrier at least 1.8 metres high and the floor level of the habitable room, balcony, terrace, deck or patio is less than 0.8 metres above ground level at the boundary.</p>			
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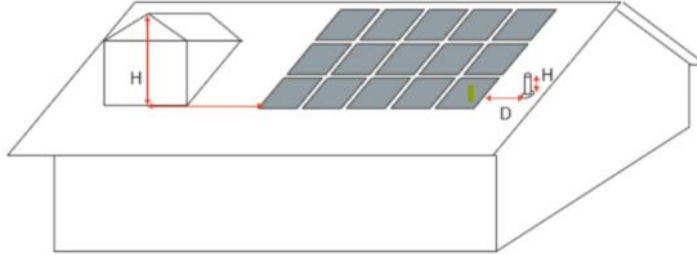
	<p><b>Diagram B4-4 Overlooking</b></p>			
<p><b>55.04-5 Internal views objective</b> To limit views into the secluded private open space and habitable room windows of dwellings and residential buildings within a development.</p>	<p><b>Standard B4-5</b> In Clause 55.04-5 a habitable room does not include a bedroom.</p> <p>Within the development, a habitable room window, balcony, terrace, deck or patio that is located with a direct view into the secluded private open space of another dwelling:</p> <ul style="list-style-type: none"> <li>• Is offset a minimum of 1.5 metres from the edge of the secluded private open space; or</li> <li>• Has a sill height of at least 1.7 metres above floor level; or</li> <li>• Has a fixed, visually obscure balustrade to at least 1.7 metre above floor level; or</li> <li>• Has permanently fixed external screens to at least 1.7 metres above floor level; or</li> <li>• Has fixed elements that prevent the direct view, such as horizontal ledges or vertical fins.</li> </ul> <p>Direct views are measured at a height of 1.7 metres above floor level and within:</p> <ul style="list-style-type: none"> <li>• A 45 degree horizontal angle from the edge of the new window or balcony.</li> <li>• A 45 degree angle in the downward direction.</li> </ul>	<p><b>Deemed to Comply</b></p> <p>The development does not have any habitable room windows, balconies, terraces, decks or patios that are able to overlook another dwelling within the development.</p> <p>At ground floor level fences with a minimum height of 1.8m separate outdoor open spaces and there are no habitable room windows which are able to overlook the adjoining dwellings habitable room windows or outdoor open spaces from ground or first floor level.</p>	<p><b>Plan Reference</b> 775TP01-A</p>	<p><b>Right of Appeal</b> No</p>

	Screens provided for overlooking are no more than 25 per cent transparent. Screens may be openable provided that this does not allow direct views as specified in this standard			
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## 55.05 Sustainability

<p><b>55.05-1 Permeability and stormwater management objectives</b></p> <p>To reduce the impact of increased stormwater run-off on the drainage system.</p> <p>To facilitate on-site stormwater infiltration.</p> <p>To encourage stormwater management that maximises the retention and reuse of stormwater.</p> <p>To contribute to urban cooling</p>	<p><b>Standard B5-1</b></p> <p>The site area covered by the pervious surfaces is at least 20 percent of the site.</p> <p>The development includes a stormwater management system designed to:</p> <ul style="list-style-type: none"> <li>• Meet the best practice quantitative performance objectives for stormwater quality specified in the Urban stormwater management guidance (EPA Publication 1739.1, 2021) of: <ul style="list-style-type: none"> <li>– Suspended solids 80% reduction in mean annual load.</li> <li>– Total phosphorus and Total Nitrogen 45% reduction in mean annual load.</li> <li>– Litter 70% reduction of mean annual load.</li> </ul> </li> </ul> <p>Note: A certificate generated from a stormwater assessment tool including Stormwater Treatment Objective - Relative Measurement (STORM), Model for Urban Stormwater Improvement Conceptualisation (MUSIC) or an equivalent product accepted by the responsible authority may be used to demonstrate the performance objectives for stormwater quality are met.</p> <ul style="list-style-type: none"> <li>• Direct flows of stormwater into treatment areas, garden areas, tree pits and permeable surfaces, with drainage of residual flows to the legal point of discharge.</li> </ul>	<p><b>Deemed to Comply</b></p> <p>The site retains 28.3 per cent permeability, assisting in on site stormwater filtration.</p> <p>A BLUEBEAM/STORM report has been provided which corresponds with the assessment plans which show suitably sized rainwater tanks and raingardens to meet best practice &amp; EPA Publication 1739.1, 2021 with stormwater directed to flow into treatment areas, with drainage of residual flows to the legal point of discharge</p> <p>The BLUEBEAM report demonstrates the following: Suspended solid reduction of 81% Phosphorus reduction of 64% Litter reduction of 93%.</p>	<p><b>Plan Reference</b></p> <p>775TP01-A</p>	<p><b>Right of Appeal</b></p> <p>No</p>

<p><b>55.05-2 Overshadowing domestic solar energy systems</b></p> <p>To ensure that the height and setback of a building from a boundary allows reasonable solar access to existing domestic solar energy systems on the roofs of buildings</p>	<p><b>Standard B5-2</b></p> <p>Any part of a new building that will reduce the sunlight at any time between 9am and 4 pm on 22 September to an existing domestic solar energy system on the roof of a building on an adjoining lot be set back from the boundary to that lot by at least 1 metre at 3.6 metres above ground level, plus 0.3 metres for every metre of building height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres.</p> <p>This standard applies to an existing building in a Township Zone, General Residential Zone or Neighbourhood Residential Zone.</p> <p>In Clause 55.05-2, domestic solar energy system means a domestic solar energy system that existed at the date the application was lodged.</p>	<p><b>N/A</b></p> <p>There are no existing domestic solar energy systems on adjoining buildings that require consideration.</p>	<p><b>Plan Reference</b></p>	<p><b>Right of Appeal</b></p> <p>N/A</p>
<p><b>55.05-3 Rooftop solar energy generation area objective</b></p> <p>To support the future installation of appropriately sited rooftop solar energy systems for a dwelling.</p>	<p><b>Standard B5-3</b></p> <p>In Clause 55.05-3, rooftop solar energy area means an area provided on the roof of a dwelling to enable the future installation of a solar energy system.</p> <p>An area on the roof is capable of siting a rooftop solar energy area for each dwelling which:</p> <ul style="list-style-type: none"> <li>• Has a minimum dimension of 1.7 metres.</li> <li>• Has a minimum area in accordance with Table B5-3.</li> <li>• Is oriented to the north, west or east.</li> <li>• Is positioned on the top two thirds of a pitched roof.</li> <li>• Can be a contiguous area or multiple smaller areas.</li> <li>• Is free of obstructions on the roof of the dwelling within twice the height of each obstruction (H), measured horizontally (D) from the centre point of the base of the obstruction to the nearest point of the rooftop solar energy area.</li> </ul>	<p><b>Variation</b></p> <p>The submitted plans demonstrate that each dwelling has the ability for rooftop solar panels with the following details:</p> <ul style="list-style-type: none"> <li>• Has a minimum dimension of 1.7 metres.</li> <li>• Has a minimum area of 26 sqm in accordance with Table B5-3.</li> <li>• Is oriented to the north, west or east.</li> <li>• Is a contiguous area or multiple smaller areas.</li> <li>• Is free of obstructions on the roof.</li> </ul> <p>In support of the variation, the following has been considered:</p> <ul style="list-style-type: none"> <li>• It's only the positioning of the solar panels which doesn't meet the requirement of the</li> </ul>	<p><b>Plan Reference</b></p> <p>775TP02-A</p>	<p><b>Right of Appeal</b></p> <p>No</p>

	<p><b>Diagram B5-3 Allowable distance between obstructions and the rooftop solar energy area</b></p>  <p>Obstructions located south of all points of the rooftop solar energy area are not subject to the horizontal distance requirements.</p> <p><b>Table B5-3 Minimum rooftop solar energy generation area</b></p> <table border="1" data-bbox="477 639 1171 754"> <thead> <tr> <th>Number of bedrooms</th> <th>Minimum roof area</th> </tr> </thead> <tbody> <tr> <td>1 bedroom dwelling</td> <td>15 square metres</td> </tr> <tr> <td>2 or 3 bedroom dwelling</td> <td>26 square metres</td> </tr> </tbody> </table> <table border="1" data-bbox="477 775 1155 850"> <thead> <tr> <th>Number of bedrooms</th> <th>Minimum roof area</th> </tr> </thead> <tbody> <tr> <td>4 or more bedroom dwelling</td> <td>34 square metres</td> </tr> </tbody> </table> <p>This standard does not apply to apartments and residential buildings.</p>	Number of bedrooms	Minimum roof area	1 bedroom dwelling	15 square metres	2 or 3 bedroom dwelling	26 square metres	Number of bedrooms	Minimum roof area	4 or more bedroom dwelling	34 square metres	<p>standard to be mounted on top two thirds of the pitched roof.</p> <p>The solar panels will still receive access to full sunlight to operate at full capacity and will not be overshadowed.</p>		
Number of bedrooms	Minimum roof area													
1 bedroom dwelling	15 square metres													
2 or 3 bedroom dwelling	26 square metres													
Number of bedrooms	Minimum roof area													
4 or more bedroom dwelling	34 square metres													
<p><b>55.05-4 Solar protection to new north facing windows objective</b></p> <p>To encourage external shading of north facing windows to minimise summer heat gain</p>	<p><b>Standard B5-4</b></p> <p>North facing windows are shaded by eaves, fixed horizontal shading devices or fixed awnings with a minimum horizontal depth of 0.25 times the window height.</p>	<p><b>Deemed to Comply</b></p> <p>North facing windows are shaded by fixed horizontal shading devices or fixed awnings with a minimum horizontal depth of 450mm being 0.25 x the window height of 1.65 metres. The study and family room windows to each dwelling are provided with shading devices.</p>	<p><b>Plan Reference</b></p> <p>775TP02-A 775TP03-A</p>	<p><b>Right of Appeal</b></p> <p>No</p>										

<p><b>55.05-5 Waste and recycling objective</b></p> <p>To ensure dwellings are designed to facilitate waste recycling.</p> <p>To ensure that waste and recycling facilities are accessible and are of sufficient size to manage organic and general waste, and mixed and glass recycling.</p> <p>To ensure that waste and recycling facilities are designed and managed to minimise impacts on residential amenity.</p>	<p><b>Standard B5-5 Dwelling (other than a dwelling in or forming part of an apartment development)</b></p> <p>The development includes an individual bin storage area for each dwelling, or a shared bin storage area for use by each dwelling, of at least the applicable area, depth and height specified in Table B5-5.1.</p> <p><b>Table B5-5.1 Bin storage</b></p> <table border="1" data-bbox="472 475 1182 751"> <thead> <tr> <th>Type of bin storage area</th> <th>Minimum area</th> <th>Minimum depth</th> <th>Minimum height</th> </tr> </thead> <tbody> <tr> <td>Individual bin storage area for a dwelling.</td> <td>1.8 square metres</td> <td>0.8 metre</td> <td>1.8 metres</td> </tr> <tr> <td>Shared bin storage area for 3 dwellings or less.</td> <td>5.4 square metres</td> <td>0.8 metre</td> <td>1.8 metres</td> </tr> <tr> <td>Shared bin storage area for 4 or more dwellings.</td> <td>1 square metre per dwelling plus 4 square metres</td> <td>0.8 metre</td> <td>1.8 metres</td> </tr> </tbody> </table> <p>If the development includes a shared bin storage area:</p> <ul style="list-style-type: none"> <li>The shared bin storage area: <ul style="list-style-type: none"> <li>Is located within 40 metres of a kerbside collection point.</li> <li>Includes a tap for bin washing.</li> </ul> </li> <li>There is a continuous path of travel free of steps and obstructions from dwellings to the bin storage area.</li> </ul> <p>Where access is provided for private bin collection on the land the design of access ways must allow the vehicle to enter and exit in a forward direction.</p> <p>Each dwelling includes an internal waste and recycling storage space of at least 0.07 cubic metres with a minimum depth of 250 millimetres.</p>	Type of bin storage area	Minimum area	Minimum depth	Minimum height	Individual bin storage area for a dwelling.	1.8 square metres	0.8 metre	1.8 metres	Shared bin storage area for 3 dwellings or less.	5.4 square metres	0.8 metre	1.8 metres	Shared bin storage area for 4 or more dwellings.	1 square metre per dwelling plus 4 square metres	0.8 metre	1.8 metres	<p><b>Deemed to Comply</b></p> <p>Each dwelling has been provided with individual bin storage of a minimum area of 1.8sqm, with a minimum depth of 0.8m and a minimum height of 1.8m.</p>	<p><b>Plan Reference</b></p> <p>775TP01-A</p>	<p><b>Right of Appeal</b></p> <p>No</p>
Type of bin storage area	Minimum area	Minimum depth	Minimum height																	
Individual bin storage area for a dwelling.	1.8 square metres	0.8 metre	1.8 metres																	
Shared bin storage area for 3 dwellings or less.	5.4 square metres	0.8 metre	1.8 metres																	
Shared bin storage area for 4 or more dwellings.	1 square metre per dwelling plus 4 square metres	0.8 metre	1.8 metres																	

	<p><b>Dwelling in or forming part of an apartment development</b></p> <p>The development includes a shared bin storage area for use by each dwelling of at least the applicable area, depth and height specified in Table B5-5.2.</p> <p><b>Table B5-5.2 Apartment bin storage</b></p> <table border="1"> <thead> <tr> <th>Number of dwellings</th> <th>Minimum area</th> <th>Minimum depth</th> <th>Minimum height</th> </tr> </thead> <tbody> <tr> <td>15 or less dwellings</td> <td>0.7 square metres per dwelling in a shared waste storage area</td> <td>0.8 metres</td> <td>2.7 metres</td> </tr> <tr> <td>16 to 55 dwellings</td> <td>0.5 square metres per dwelling, plus 5 square metres in a shared waste storage area.</td> <td>1 metre</td> <td>2.7 metres</td> </tr> <tr> <td>56 or more dwellings</td> <td>0.5 square metres per dwelling in a shared waste storage area.</td> <td>1 metre</td> <td>2.7 metres</td> </tr> </tbody> </table> <p>Enclosed bin storage areas are ventilated by:</p> <ul style="list-style-type: none"> <li>• Natural ventilation openings to the external air with an area of at least 5 per cent of the area for bin storage area; or</li> <li>• A mechanical exhaust ventilation system.</li> </ul> <p>A tap and drain is provided to wash bins.</p> <p>A continuous path of travel is provided from each dwelling to bin storage areas.</p> <p>Each dwelling includes an internal waste and recycling storage space of at least 0.07 cubic metres with a minimum depth of 250 millimetres.</p>	Number of dwellings	Minimum area	Minimum depth	Minimum height	15 or less dwellings	0.7 square metres per dwelling in a shared waste storage area	0.8 metres	2.7 metres	16 to 55 dwellings	0.5 square metres per dwelling, plus 5 square metres in a shared waste storage area.	1 metre	2.7 metres	56 or more dwellings	0.5 square metres per dwelling in a shared waste storage area.	1 metre	2.7 metres			
Number of dwellings	Minimum area	Minimum depth	Minimum height																	
15 or less dwellings	0.7 square metres per dwelling in a shared waste storage area	0.8 metres	2.7 metres																	
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56 or more dwellings	0.5 square metres per dwelling in a shared waste storage area.	1 metre	2.7 metres																	

<p><b>55.05-6 Noise impacts objective</b> To minimise the impact of mechanical plant noise located in the development</p>	<p><b>Standard B5-6</b> Mechanical plant, including mechanical car storage and lift facilities are not located immediately adjacent to bedrooms of new or existing dwellings or small second dwellings, unless a solid barrier is in place to provide a line of sight barrier to transmission of noise and the location of all relevant bedrooms.</p>	<p><b>Not Applicable</b>  There are no external noise sources that require consideration as part of this application.</p>	<p><b>Plan Reference</b></p>	<p><b>Right of Appeal</b>  N/A</p>																		
<p><b>55.05-7 Energy efficiency for apartment dwellings</b> To achieve energy efficient dwellings and buildings. To ensure dwellings achieve adequate thermal efficiency.</p>	<p><b>Standard B5-7</b> Dwellings in or forming part of an apartment development located in a climate zone identified in Table B5-7 do not exceed the maximum NatHERS annual cooling load.</p> <table border="1" data-bbox="465 676 1182 1072"> <thead> <tr> <th>NatHERS climate zone</th> <th>NatHERS maximum cooling load MJ/M<sup>2</sup> per annum</th> </tr> </thead> <tbody> <tr> <td>Climate zone 21 Melbourne</td> <td>30</td> </tr> <tr> <td>Climate zone 22 East Sale</td> <td>22</td> </tr> <tr> <td>Climate zone 27 Mildura</td> <td>69</td> </tr> <tr> <td>Climate zone 60 Tullamarine</td> <td>22</td> </tr> <tr> <td>Climate zone 62 Moorabbin</td> <td>21</td> </tr> <tr> <td>Climate zone 63 Warrnambool</td> <td>21</td> </tr> <tr> <td>Climate zone 64 Cape Otway</td> <td>19</td> </tr> <tr> <td>Climate zone 66 Ballarat</td> <td>23</td> </tr> </tbody> </table> <p>Note: Refer to NatHERS zone map, Nationwide House Energy Rating Scheme (Commonwealth Department of Environment and Energy).</p>	NatHERS climate zone	NatHERS maximum cooling load MJ/M <sup>2</sup> per annum	Climate zone 21 Melbourne	30	Climate zone 22 East Sale	22	Climate zone 27 Mildura	69	Climate zone 60 Tullamarine	22	Climate zone 62 Moorabbin	21	Climate zone 63 Warrnambool	21	Climate zone 64 Cape Otway	19	Climate zone 66 Ballarat	23	<p><b>Not Applicable</b>  This is not an apartment development.</p>	<p><b>Plan Reference</b></p>	<p><b>Right of Appeal</b>  N/A</p>
NatHERS climate zone	NatHERS maximum cooling load MJ/M <sup>2</sup> per annum																					
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