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11 Gotemba Road, Bell Post Hill

**Construction of 2 double storey dwellings and vary covenant
U370026L**

Planning Assessment Report

1 Introduction

Overview

This report has been prepared to support a planning permit application for the construction of 2 double storey dwellings and vary covenant U370026L at 11 Gotemba Road, Bell Post Hill.

2 Site & Surrounds

The Site & Surrounds

The site is located within the established residential area of Bell Post Hill. The site was once part of Morongo Girls Secondary College and subdivided prior to the schools' transition to Kardinia International College. The estate has a high proportion of developed properties with only a small number remaining vacant. The site is on the south side of Gotemba Road between Dane Avenue & Brookshaw Street.

The immediate locality has an eclectic mix of building styles however a vast majority of the dwellings are two storey in scale and generally build between 2000 – 2010. The dwellings are large in scale and orientated to take advantage of the elevated position and views to Corio Bay. The large size of the dwellings are softened by the generous sized nature strips and width of the road. The predominant material is brick and masonry in accordance with covenant U370026L. Dane Avenue rises steeply from Anakie Road and terminates at Kardinia International College where it provides access to a carpark for the junior school and kindergarten.

Whilst the dwellings are large in floor area and present to the street as two storey in scale, the dwellings are best described as regular residential dwellings of limited architectural design and reflective of the sites topography and availability for distance views to Corio Bay. Built form on a boundary is common along with two storey scale and pitched roofs. Interestingly the newer dwellings within the estate built within the last 5 years have a low pitch hidden roof design. The elimination of concrete paved pedestrian paths provides a larger "green space" and softer materials to offset the larger scale of the dwellings built from masonry.

The subject site is a regular rectangular allotment with a land size of 679.2m². The site is vacant and has a north-south orientation. The lot falls from west to east, as do the surrounding lots with existing two storey dwellings on the adjoining lots to the north, east and west.

11 Gotemba Road, Bell Post Hill

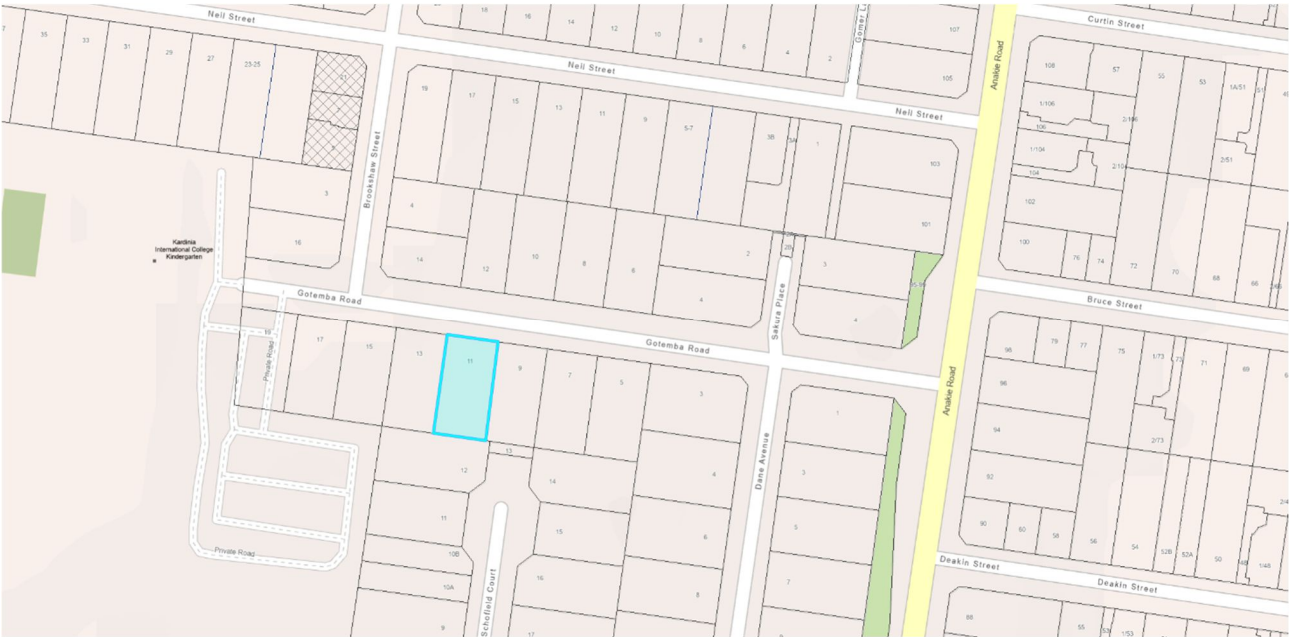


IMAGE 1: LOCATION SUBJECT PROPERTY – MAPSHARE VIC



IMAGE 2: AERIAL – MAPSHARE VIC

3 Proposal

Buildings and Works

The proposal seeks planning approval to construct two new double storey dwellings and vary covenant U370026L. The lot is within an existing established residential area, has an area of 679.2m² and is connected to all reticulated services. In summary, the proposed design includes:

- Construction of 2 new double storey dwellings with 3 bedrooms, undercover car accommodation and access to secluded private open spaces,
- Private outdoor living spaces located off living areas,
- A modern design reflective of the eclectic mix of styles within the immediate neighbourhood,
- Vary the covenant to permit two dwellings to be constructed on the said lot,
- Comply with all the remaining components of the covenant.

Further design development details are described in architectural drawings submitted as part of the application package.

The layout of the proposed development aims to:

- Provide medium density housing which is respectful of neighbourhood character.
- Provide diversity in housing style and choice.
- Contribute to urban consolidation and renewal.
- Provide high quality architectural development with a high level of residential amenity.
- Comply with Clause 55 requirements.

4 Covenant

Covenant U370026L

The title for the property under ENCUMBRANCES, CAVEATS AND NOTICES includes covenant U370026L.

Covenant U370026L reads as follows:

“The Transferee with the intent that the benefit of this Covenant shall be attached to and run at law and in equity with each and every lot of Plan of Subdivision number 348452W other than the lot hereby transferred and that the burden of this Covenant shall be annexed to and run at law and in equity with the said lot DOES HEREBY for himself, his Transferees, Executors, Administrators and assigns and as a separate covenant COVENANTS with the said Transferor and its transferees, successors and assigns and other registered proprietor or proprietors for the time being of each and every Lot on the said Plan of Subdivision other than the lot hereby transferred that the said Transferee, his Transferees, Executors, Administrators and assigns

(a) that they shall not at any time erect, construct or cause to be erected or constructed on the said lot hereby transferred or any part thereof a dwelling of which the construction does not have less than 75% of the external walls (excluding glass) of rendered masonry, brick or brick veneer PROVIDED HOWEVER that with the written approval of the Transferor the external walls of a dwelling may be constructed of other materials;

(b) that at no time shall more than one dwelling be constructed on the subject land.

The submitted plans demonstrate that part (a) of covenant U370026L will be complied with. The application seeks to amend part (b) of covenant U370026L and the details pertaining to this will be provided by Jackson Lane Legal.

11 Gotemba Road, Bell Post Hill

5 Zone and Overlays

This section identifies the zone and overlay provisions of the Greater Geelong Planning Scheme as applicable to the proposed building and works.

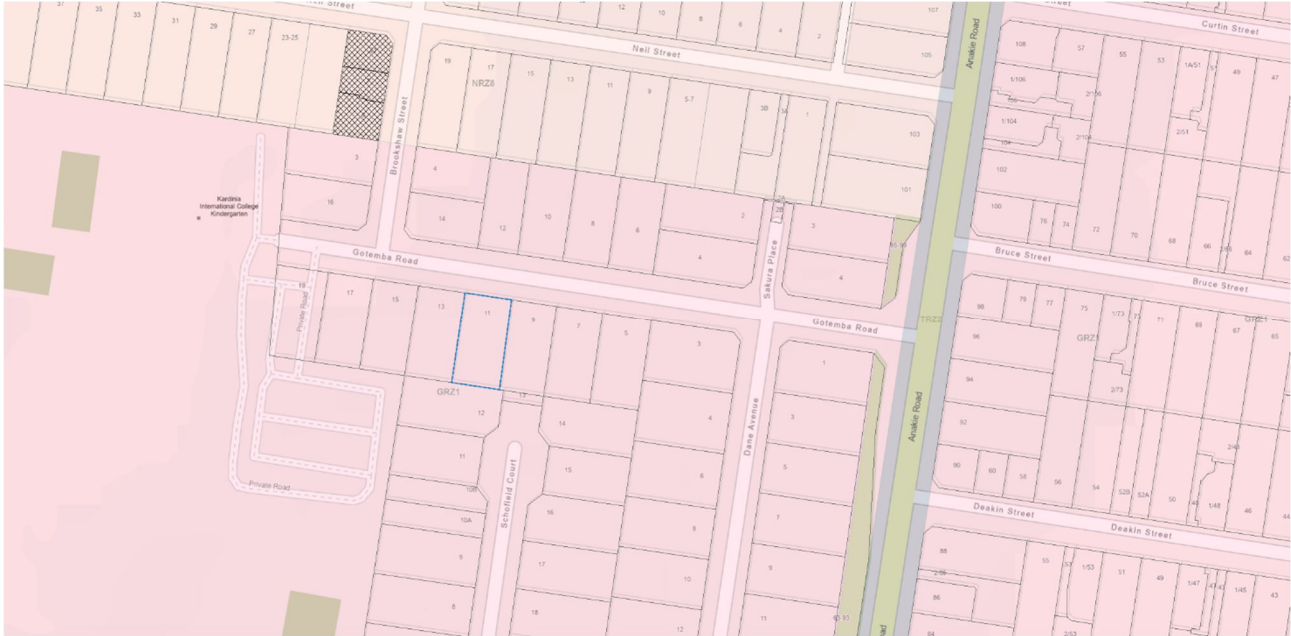


IMAGE 3: PLANNING MAP - VICPLAN

Zone

The site is located within the General Residential Zone Schedule 1 (GRZ1) zone. The purpose of this zone is to:

- To implement the MPS & PFF
- To recognise predominantly single and double storey residential development
- To manage and ensure that development respects the identified neighbourhood character.

Clause 32.08-6 requires a permit to construct two or more dwellings on a lot and must meet the requirements of Clause 55. There are no variations prescribed in the schedule to this zone.

Overlays

The site has a design and development overlay, schedule 14, DDO14.

The design objective of schedule 14 relevant to this application are:

- *“To ensure that the siting, height and visual bulk of dwellings achieves a reasonable sharing of views between properties to significant landscape features such as the coast (ocean and foreshore), Corio Bay, Barwon River, Central Geelong, Barrabool Hills and the You Yangs.*

A permit is not required for buildings and works other than to construct a dwelling which is more than 7.5 metres above natural ground level...”

The proposed maximum height above natural ground level is 7.475m therefore a permit is not required under the DDO14 overlay.

Other Provisions

Clause 52.06 Car Parking Requirements

The provisions of Clause 52.06 seeks to ensure that there is an appropriate number of car spaces provided, based on the activities of the land. It seeks to encourage sustainable transport alternatives and look for efficiencies in car parking provision. The clause requires that car parking does not affect the amenity of the locality and that the design and location is of a high standard.

The proposal demonstrates adequate provision for car parking associated with a 2 dwelling development with each dwelling containing three-bedrooms. The requirement for a dwelling with 3 or more bedrooms is to provide 2 car spaces of which 1 needs to be undercover. Both dwellings are provided with 1 parking space which is undercover and a second space in front of the garage which meets or exceeds the minimum dimension requirements for parking spaces.

Clause 55 Residential Development

Clause 55 seeks to achieve residential development that respects or contributes to neighbourhood character, that is responsive to the neighbourhood and achieves reasonable standard of amenity for existing and new residents.

An assessment is provided in the report titled NEW CLAUSE 55 ASSESSMENT – 11 Gotemba Road Bell Post Hill V2.

Clause 65 Decision Guidelines

Clause 65.01 sets out matters that must be considered by the responsible authority prior to deciding on application. The proposal has been considered against these general decision guidelines.

6 Planning Policy Framework

Planning Policy Framework (PPF)

Relevant Policies include:

- Clause 02.03 – Strategic directions
- Clause 11.01-1R – Settlement – Geelong G21
- Clause 15.01 – Built Environment
- Clause 16 – Housing
- Clause 18 – Transport
- Clause 21.04 – Municipal Framework Plan
- Clause 21.06-1 Settlement and Housing
- Clause 22.71 – Environmentally Sustainable Development

Clause 02.03-1 Settlement

Target infill development is supported in areas with access to infrastructure, goods and services. In order for medium and high density housing to be embraced by established communities it needs to deliver high quality design and achieve a high level of amenity for future residence while being appropriate for the site and neighbourhood.

Strategic directions

- Deliver and contain growth within identified locations across the municipality.

Clause 02.03-5 Built environment and sustainability

Council seeks to balance growth in the municipality while maintaining its identity by identifying areas for varying levels of change. The strategic directions to manage the change are:

- Ensure development enhances Geelong's sense of place and identity.
- Support the design and provision of healthy, walkable neighbourhoods,
- Encourage environmental sustainable design in all development,
- Encourage all development to provide high quality urban design and landscaping.

Clause 02.03-6 Housing

Council has identified IHDA's around activity centres and transport hubs. There is a need to provide for a range of housing types in both established and developing communities. The strategic direction to provide diverse housing are:

- Facilitate infill development to increase its housing supply contribution,
- Support residential development where the density, mass and scale is complementary to the specified IHDA,
- Ensure housing diversity if achieved in established and growth area communities,
- Increase the level of affordable and social housing in Greater Geelong.

Clause 11.01 Victoria

To promote the sustainable growth and development of Victoria and deliver choice opportunity for all Victorians through a network of settlements. Strategies include 'focus investment and growth in places of state significance in metropolitan Melbourne and major regional cities of Ballarat, Bendigo, Geelong, Horsham Latrobe City, Mildura, Shepparton, Wangaratta, Warrnambool and Wodonga.

Clause 15.01-2S seeks to achieve "building design outcomes that contribute positively to the local context and public realm" through specific urban design strategies.

Clause 11.01-01-1-1R Settlement Geelong G21

Support the role of Central Geelong as a major regional city and revitalize and strengthen its role as Victoria's second city.

Clause 15 Built Environment

Clause 15 directs the development of the built environment and identifies the need for a range of housing types in both established and developing communities.

Clause 15.01-1S Urban Design

Objective: to create urban environments that are safe, healthy, functional and enjoyable and that contribute to a sense of place and cultural identity.

Strategy: require development to respond to its context in terms of character, cultural identity, natural features, surrounding landscape and climate.

Clause 15.01-2S Building Design

Objective: to achieve building design and siting outcomes that contribute positively to the local context, enhance the public realm and support environmentally sustainable development.

Strategies:

- Ensure a comprehensive site analysis forms the starting point of the design process and provides the basis for the consideration of height, scale, massing and energy performance of new development,
- Ensure development responds and contributes to the strategic and cultural context of its location,
- Minimise the detrimental impact of development on neighbouring properties, the public realm and the natural environment,
- Improve the energy performance of buildings through siting and design measures that encourages
 - passive solar design response that minimises the need for heating and cooling and lighting,
 - on site renewable energy generation and storage technology,
 - use of low embodied energy materials,
- Ensure the layout and design of development supports resource recovery, including separation, storage and collection of waste, mixed recycling, glass, organics and e-waste.
- Encourages water efficiency and use of rainwater, stormwater and recycled water.
- Minimises stormwater discharge through site layout and landscaping measures that support on-site infiltration and stormwater re-use,
- Ensures buildings are their interface with the public realm support personal safety, perceptions of safety and property security,
- Ensure development considers and responds to transport movement networks and provides safe access and egress for pedestrians, cyclists and vehicles,
- Encourage development to retain existing vegetation,
- Ensure development provides landscaping that responds to its site context, enhances the built form, creates safe and attractive spaces and supports cooling and greening of urban areas.

Clause 15.01-2L Environmental sustainable development

Objective

To achieve best practice in environmentally sustainable development from the design stage through to construction and operation.

Strategies

Facilitate development that minimises environmental impacts.

Encourage environmentally sustainable development that:

- Is consistent with the type and scale of the development,
- Responds to site opportunities and constraints,
- Adopts best practice through a combination of methods, processes and locally available technology that demonstrably minimises environmental impacts.

Energy performance strategies

Reduce both energy use and energy peak demand through design measures such as:

- Building orientation.
- Shading of glazed surfaces,
- Optimising glazing to exposed surfaces,
- Inclusion of or space allocation for renewable technologies.

Integrated water management strategies

Reduce total operating potable water use through appropriate design measures such as water efficient fixtures, appliances, equipment, irrigation and landscaping.

Encourage the use of alternative water sources, including greywater, rainwater and stormwater.

Incorporate water sensitive urban design to improve the quality of stormwater runoff and reduce impacts on water systems and water bodies.

Indoor environment quality

Achieve a healthy indoor environment quality, including thermal comfort and access to fresh air and daylight, prioritising passive design over mechanical heating, ventilation cooling and lighting.

Reduce indoor air pollutants by encouraging use of materials containing chemical that have low levels of toxicity.

Minimise noise levels and noise transfer within and between buildings and associated external areas.

Transport strategies

Design development to promote the use of walking, cycling and public transport, in that order and to minimise car dependence.

Promote the use of low emissions vehicle technologies and supporting infrastructure.

Waste management strategies

Promote waste avoidance, reuse and recycling during the design, construction and operation stages of development.

Encourage use of durable and reusable building materials.

Ensure sufficient space is allocated for future change in waste management needs, including composting and green waste facilities.

Urban ecology strategies

Protect and enhance biodiversity by incorporating natural habitats and planting indigenous vegetation.

Reduce urban heat island effects through building design, landscape design, water sensitive urban design and the retention and provision of canopy trees.

Encourage the provision of space for productive gardens, particularly in larger residential developments.

Clause 15.01-5S Neighbourhood character**Objective**

To recognise, support and protect neighbourhood character, cultural identity and sense of place.

Strategies

- Support development that respects the existing neighbourhood character or contributes to a preferred neighbourhood character.
- Ensure the preferred neighbourhood character is consistent with medium and higher density housing outcomes in areas identified for increased housing,
- Ensure development responds to its context and reinforces a sense of place and the valued features and characteristics of the local environment and place by respecting the:
 - pattern of local urban structure and subdivision,
 - underlying natural landscape character and significant vegetation
 - neighbourhood character values and built form that reflect community identity.

Clause 15.01-5L Neighbourhood character**Objective**

To manage the impact of urban change on existing neighbourhoods.

To protect area with a significant garden character.

Strategies

- Support medium density housing that respects the existing neighbourhood character in the General Residential Zone areas,
- Retain existing vegetation wherever possible, particularly vegetation that contributes to the municipality's tree canopy,
- Avoid gated communities.

Clause 16 Housing

Planning should provide for housing diversity and ensure the efficient provision of supporting infrastructure. Planning should ensure the long term sustainability of new housing, including access to services, walkability to activity centres, public transport, schools and open space.

Planning for housing should include the provision of land for affordable housing.

Clause 16.01-01S Integrated Housing

To promote a housing market that meets community needs.

Clause 16.01-2S Location of residential development

To locate new housing in designated locations that offer good access to jobs, services and transport.

Clause 16.01-3S Housing Diversity

To provide for a range of housing types to meet diverse needs.

Clause 16.01-4S Housing Affordability

To deliver more affordable housing closer to jobs, transport and services.

Clause 18 Transport

Planning should ensure an integrated and sustainable transport system that provides access to social and economic opportunities, facilitates economic prosperity, contributes to environmental sustainability, co-ordinates reliable movement of people and goods and is safe.

Clause 18.02-1S Sustainable personal Transport

To promote the use of sustainable personal transport.

Clause 18.02-2S Public Transport

To facilitate greater use of public transport and promote increased development close to high-quality public transport routes.

Clause 21.06 Settlement and Housing

The region is expected to continue growing based on its proximity to Melbourne, its economic strength, access to employment, lifestyle opportunities and access to a diverse and affordable housing market. Increasing the diversity of housing to cater for the growing demand is essential and the provision of alternative housing types is encouraged. There is a need to provide for a range of housing types including townhouses in established areas and high amenity locations. Infill housing is expected to deliver a greater proportion of housing than new subdivisions. In order for medium density housing to be embraced by established communities it needs to deliver high quality design and achieve a high level of amenity for future residence whilst being appropriate for the site and neighbourhood.

The key objectives are:

- To contain growth within identified locations across the municipality,
- Maintaining the unique identity of Greater Geelong and its townships.

The strategies to implement the key objectives are:

- Ensure development offers are within designated settlement boundaries.

Clause 21.06-4 Housing Diversity

Objectives:

- Ensure housing diversity is achieved in established and growth area communities,

Clause 21.06-5 Urban Consolidation

Objectives:

- Supporting appropriate medium density housing in General Residential zone areas.
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7 Planning Assessment

7.1 Planning Policy Framework (PPF)

The proposed buildings and works demonstrate a strong consistency with the objectives of state and local provisions of the PPF. The proposal meets the urban consolidation objectives by increasing densities within an established residential area.

The proposal meets the objectives of neighbourhood character as the new development responds to the scale and form of nearby buildings without impacting on the amenity of surrounding properties. The development introduces dwelling diversity and choice, with various lot sizes and development layouts.

The proposal has considered regard to the objectives of the built environment and neighbourhood character. The proposed development:

- Uses materials and finishes to articulate a two-storey built form that allows for it to be integrated into the streetscape.

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- Recognises the emerging development within the nearby streets and draws inspiration from surrounding character to create new dwellings that are attractive and provide improved living amenity.
- The new dwellings offer a different layout, providing for diversity in housing choice while not compromising on bedroom numbers, open space or car parking provision.
- Locates the additional dwellings within a street that is close to services, promoting sustainable travel alternatives.
- The design solution is to provide a combination of roof forms, both pitched and flat. A combination of external cladding materials reflective of the neighbourhood and in compliance with the covenant and follow the slope of the land to minimise cut and fill and provide a form reflective of the site levels.

The introduction of medium density development in residential areas outside the identified activity centres is supported by Clause 21.14. The land size of the subject site provides suitable area to introduce additional new dwellings, contributing the urban renewal and medium density housing objectives for Geelong.

8 Conclusion

The planning report and assessment has demonstrated a strong consistency with the objectives and strategies of the Planning Policy Framework. Specifically, the proposed development achieves a high level of compliance with the design standards set out in Clause 55.

For the reasons outlined in the foregoing submission, the proposal for the construction of two new dwellings and at 11 Gotemba Road, Bell Post Hill is sound and warrants approval.