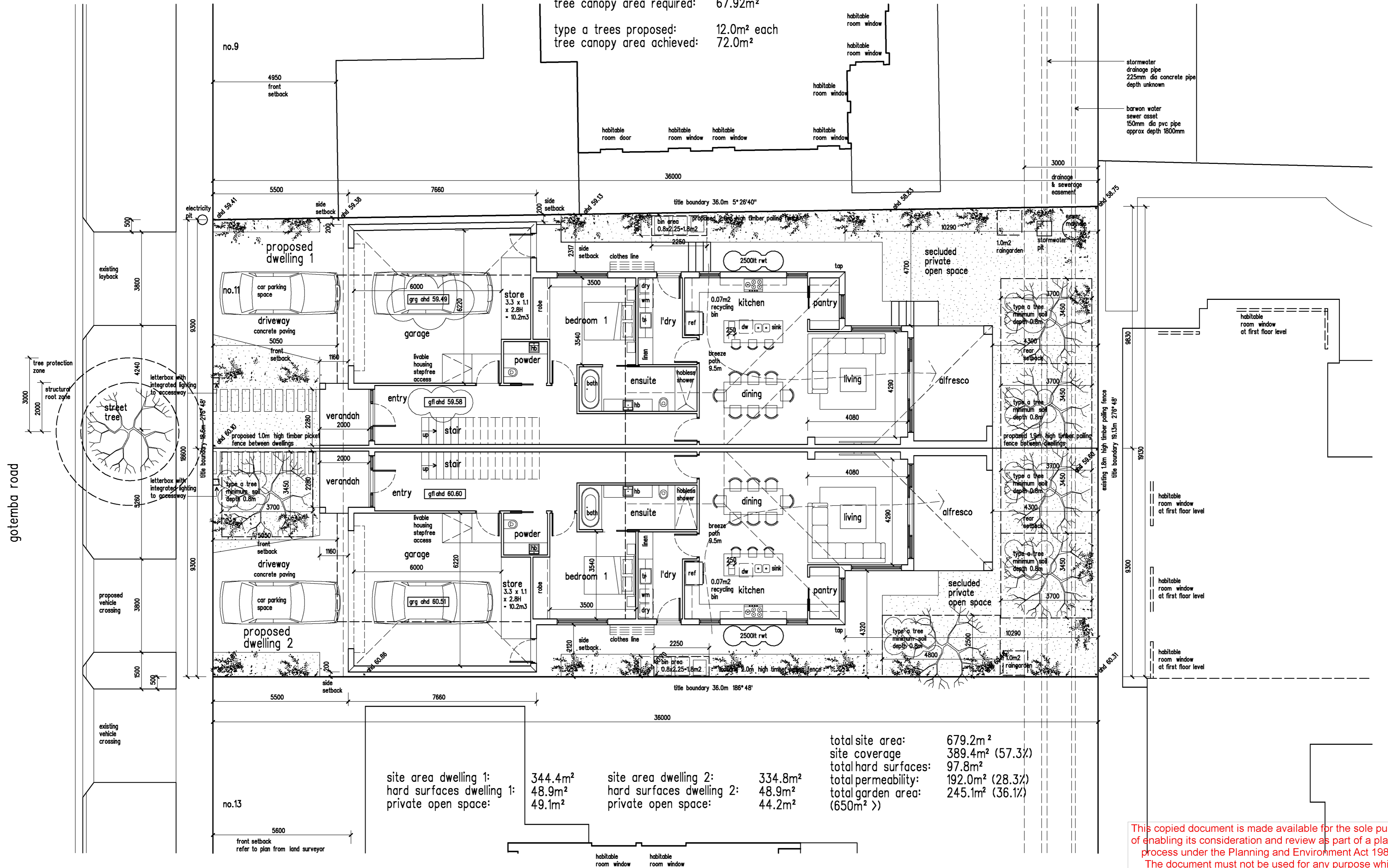


total site area: 679.2m²
 tree canopy area required: 67.92m²
 type a trees proposed: 12.0m² each
 tree canopy area achieved: 72.0m²



site area dwelling 1: 344.4m²
 hard surfaces dwelling 1: 48.9m²
 private open space: 49.1m²

site area dwelling 2: 334.8m²
 hard surfaces dwelling 2: 48.9m²
 private open space: 44.2m²

total site area: 679.2m²
 site coverage: 389.4m² (57.3%)
 total hard surfaces: 97.8m²
 total permeability: 192.0m² (28.3%)
 total garden area: 245.1m² (36.1%)
 (650m² >)

proposed conditions - ground floor level

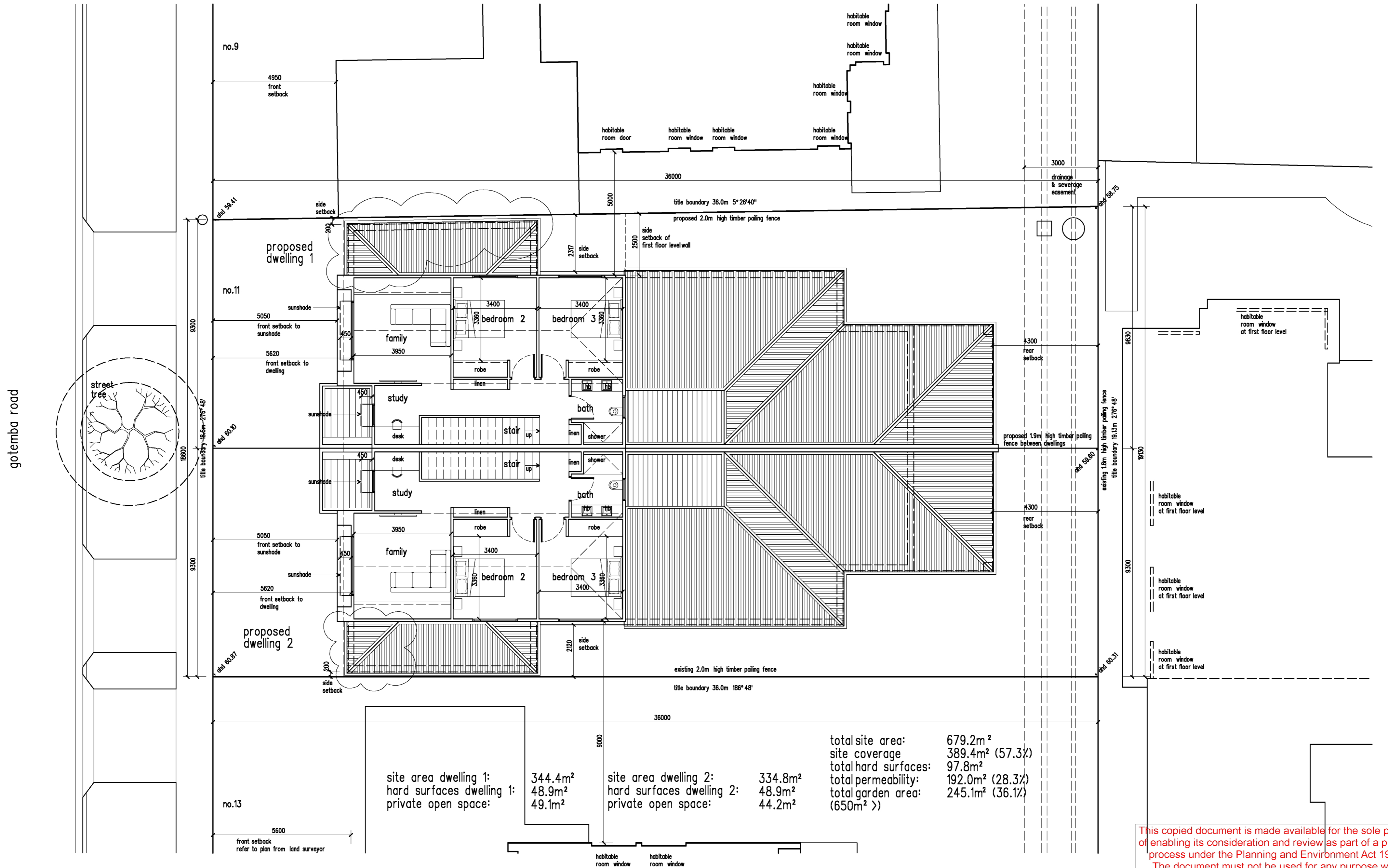
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proposed two x two storey dwellings
 11 gotemba road, bell post hill

SCALE: 1:100 A2
 DATE: MAY 2026
 DRWG: 775-TP-01-C



	proposed dwelling 1		proposed dwelling 2	
dwelling gfl	124.0m ²	(13.3sq)	dwelling gfl	124.0m ² (13.3sq)
dwelling ffl	78.8m ²	(8.5sq)	dwelling ffl	78.8m ² (8.5sq)
verandah	21.0m ²	(2.3sq)	verandah	21.0m ² (2.3sq)
garage	4.7m ²	(5.1sq)	garage	4.7m ² (5.1sq)
total	270.8m²	(29.2sq)	total	270.8m² (29.2sq)



proposed conditions - first floor level

site area dwelling 1:	344.4m ²	site area dwelling 2:	334.8m ²
hard surfaces dwelling 1:	48.9m ²	hard surfaces dwelling 2:	48.9m ²
private open space:	49.1m ²	private open space:	44.2m ²

total site area:	679.2m ²
site coverage:	389.4m ² (57.3%)
total hard surfaces:	97.8m ²
total permeability:	192.0m ² (28.3%)
total garden area:	245.1m ² (36.1%)
	(650m ² >)

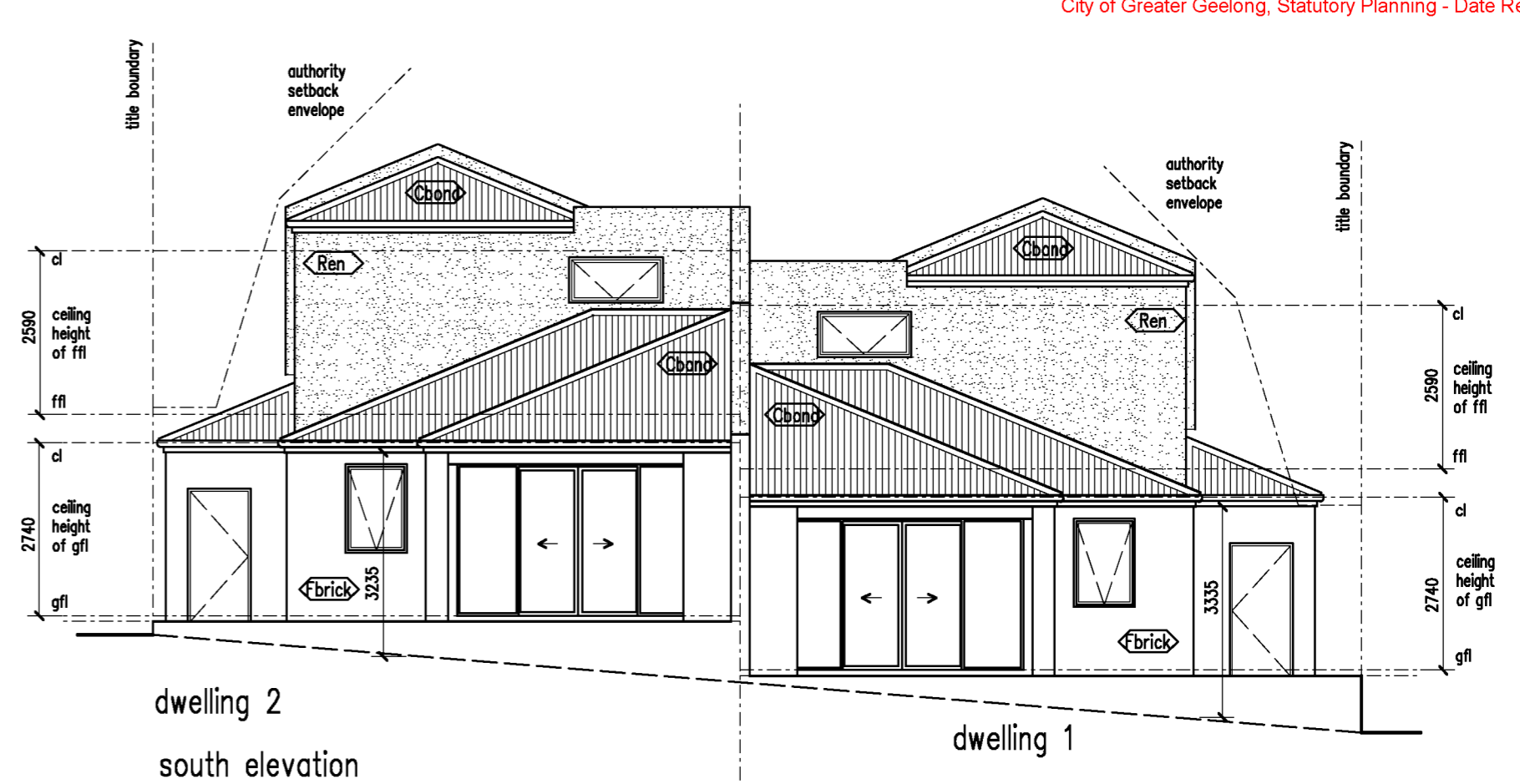
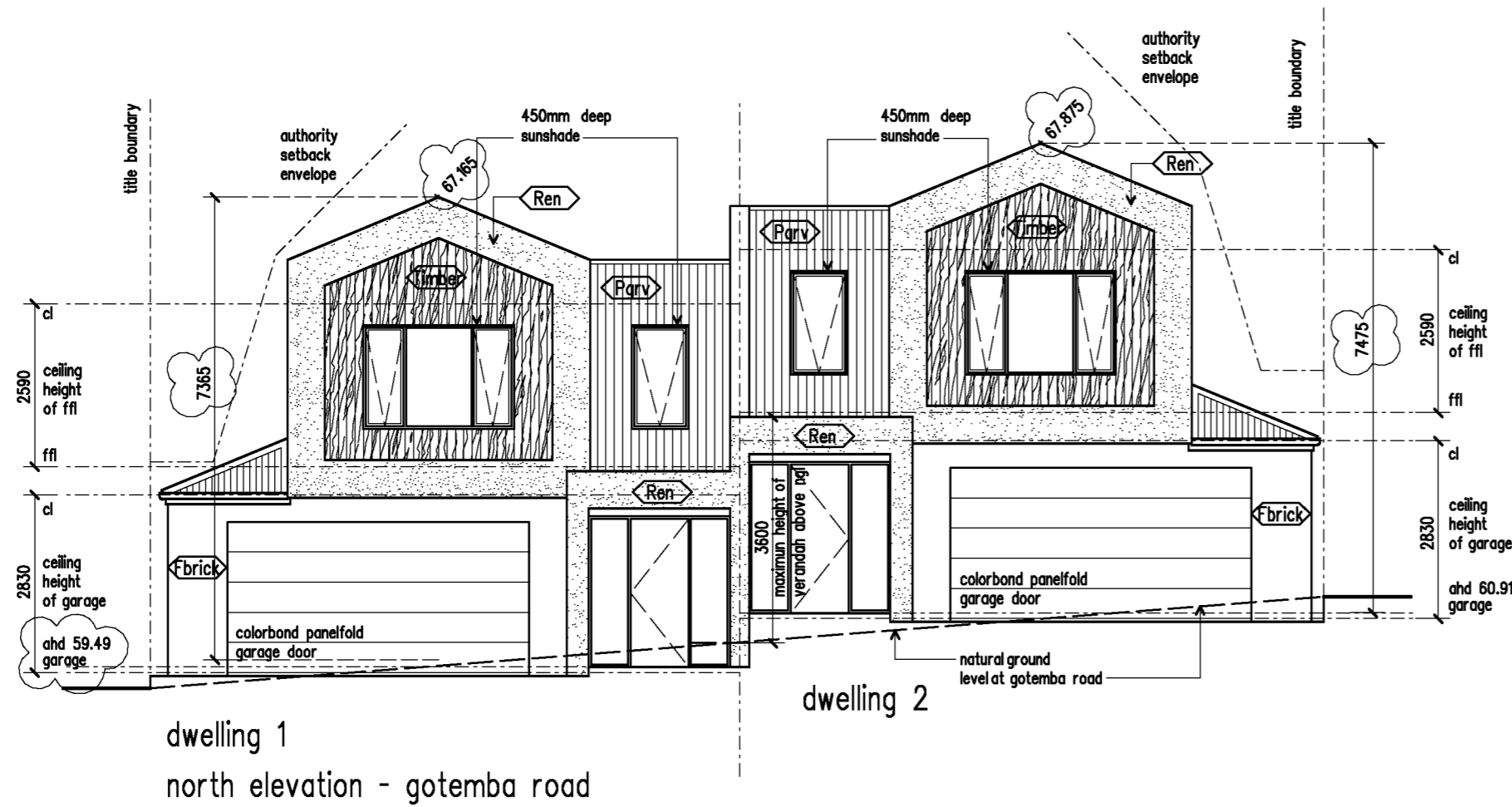
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proposed two x two storey dwellings
11 gotemba road, bell post hill

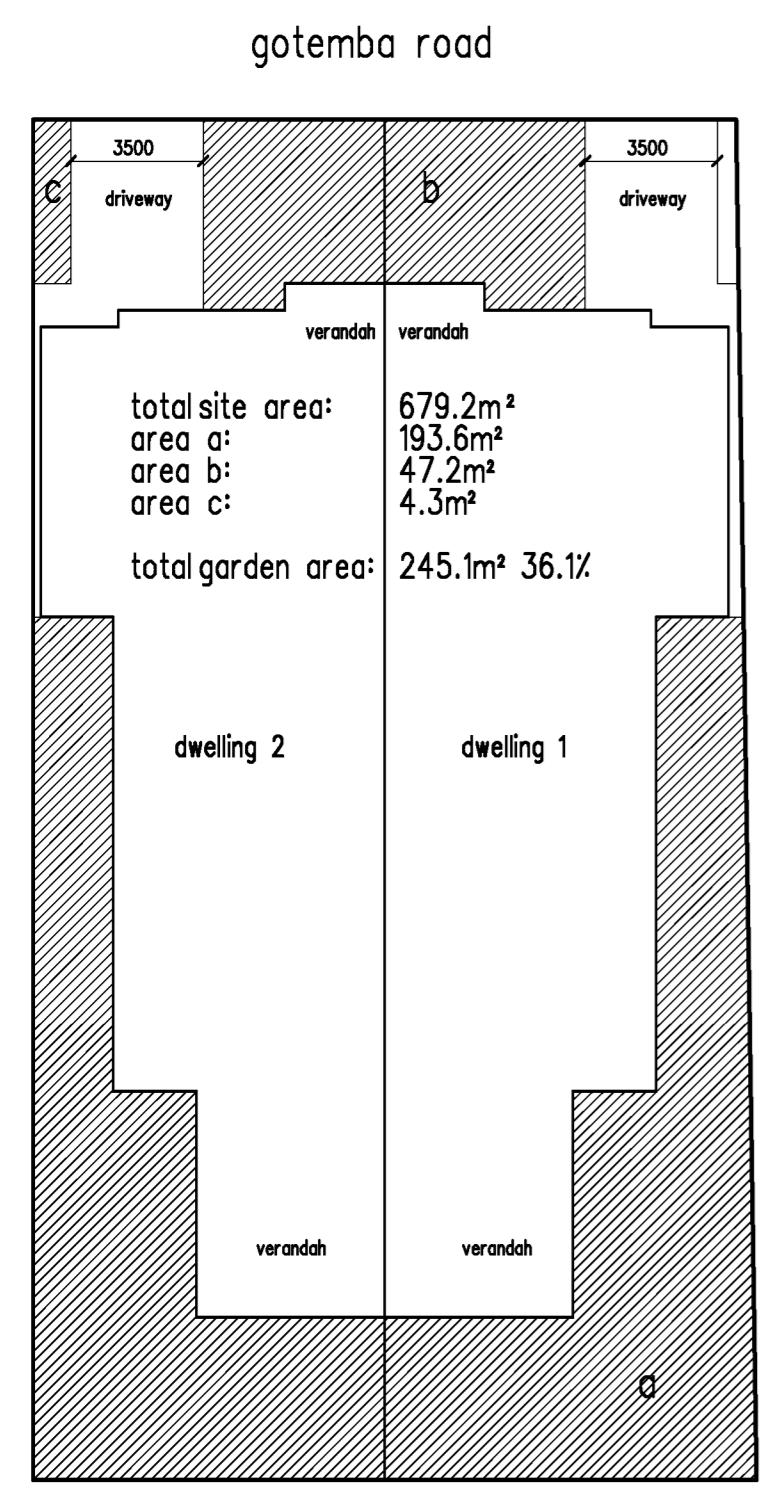
SCALE: 1:100 @ A2
DATE: FEBRUARY 2026
DRWG: 775-TP-02-B



	proposed dwelling 1		proposed dwelling 2	
dwelling gfl	124.0m ²	(13.3sq)	dwelling gfl	124.0m ² (13.3sq)
dwelling ffl	78.8m ²	(8.5sq)	dwelling ffl	78.8m ² (8.5sq)
verandah	21.0m ²	(2.3sq)	verandah	21.0m ² (2.3sq)
garage	47.0m ²	(5.1sq)	garage	47.0m ² (5.1sq)
total	270.8m²	(29.2sq)	total	270.8m² (29.2sq)

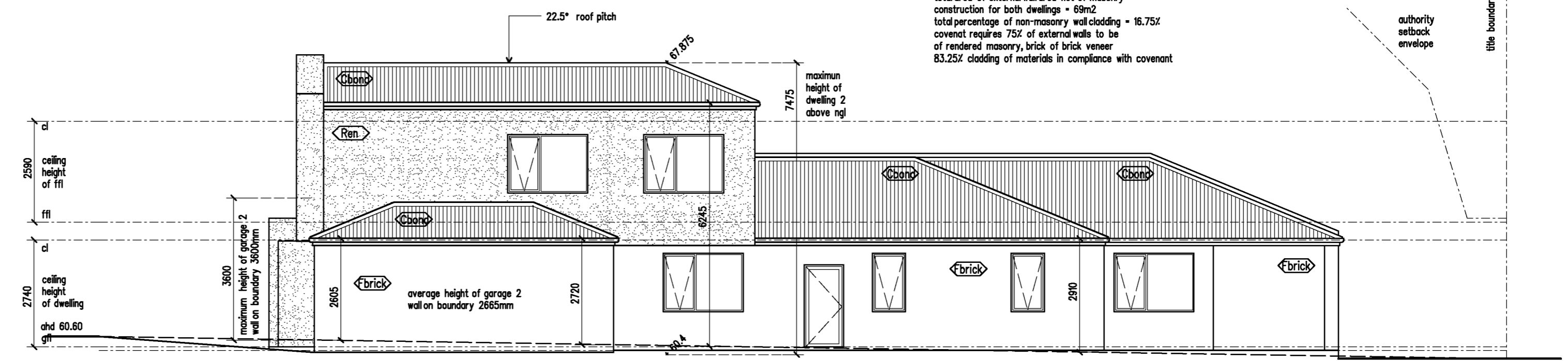


note: shaded area represents garden area



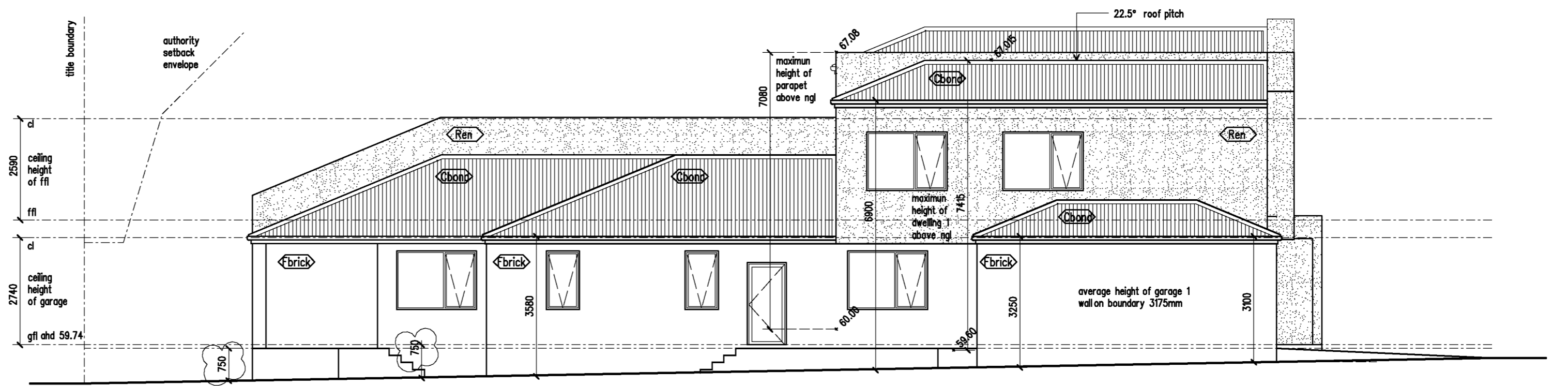
plan of garden area
1:200 @ A2

total site area: 679.2m²
 area a: 193.6m²
 area b: 47.2m²
 area c: 4.3m²
 total garden area: 245.1m² 36.1%



west elevation - dwelling 2

total external wall area of dwellings 1&2 = 412m²
 total area of external wall area not of masonry construction for both dwellings = 69m²
 total percentage of non-masonry wall cladding = 16.75%
 covenant requires 75% of external walls to be of rendered masonry, brick or brick veneer
 83.25% cladding of materials in compliance with covenant



east elevation - dwelling 1

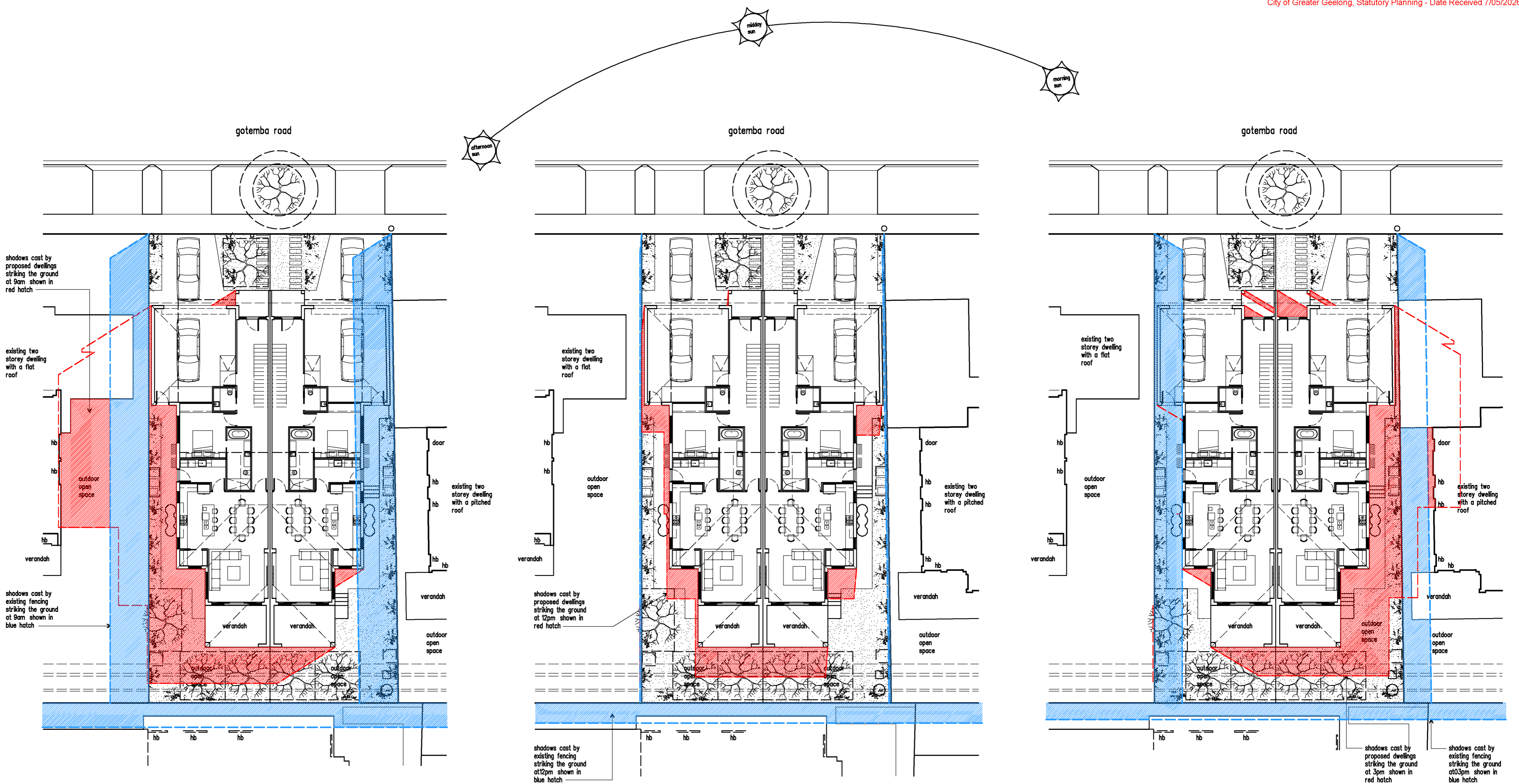
proposed elevations & plan of garden area

proposed two x two storey dwellings
 11 gotemba road, bell post hill

SCALE: 1:100 @ A2
 DATE: MAY 2026
 DRWG: 775-TP-03-C

- Fibre Cement Sheet type 1
- Fibre Cement Sheet type 2
- Painted grooved cladding
- Face Brickwork
- Colorbond Roofing
- Metal Cladding
- Timber Cladding
- Render
- og obscure glazing
- nwh non-habitable window
- sp spandrel panel (100% opaque)

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9am shadow diagram

12pm shadow diagram

3pm shadow diagram

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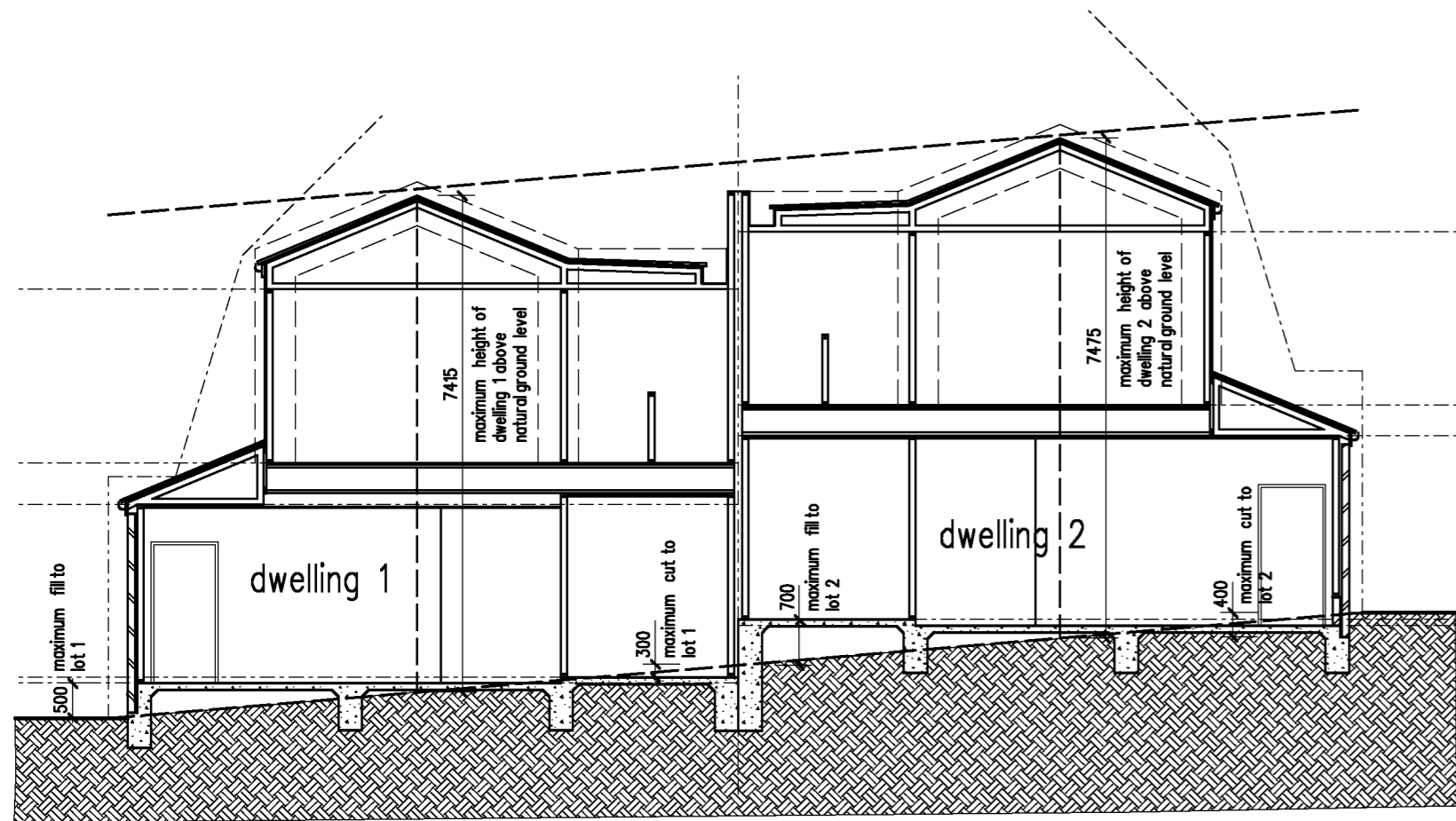
proposed conditions - shadow diagrams 22 march/22 september equinox

proposed two x two storey dwellings
11 gotemba road, bell post hill

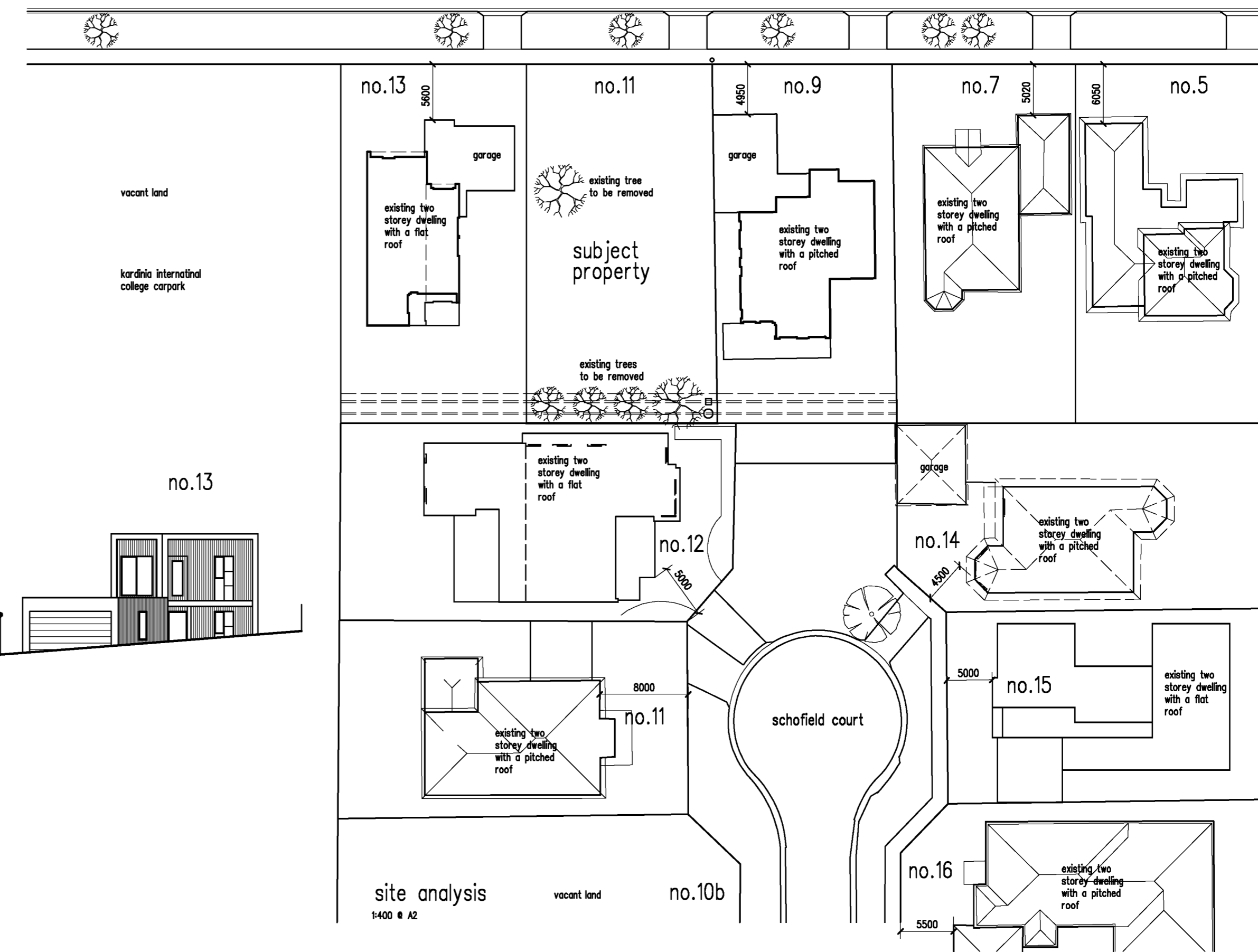
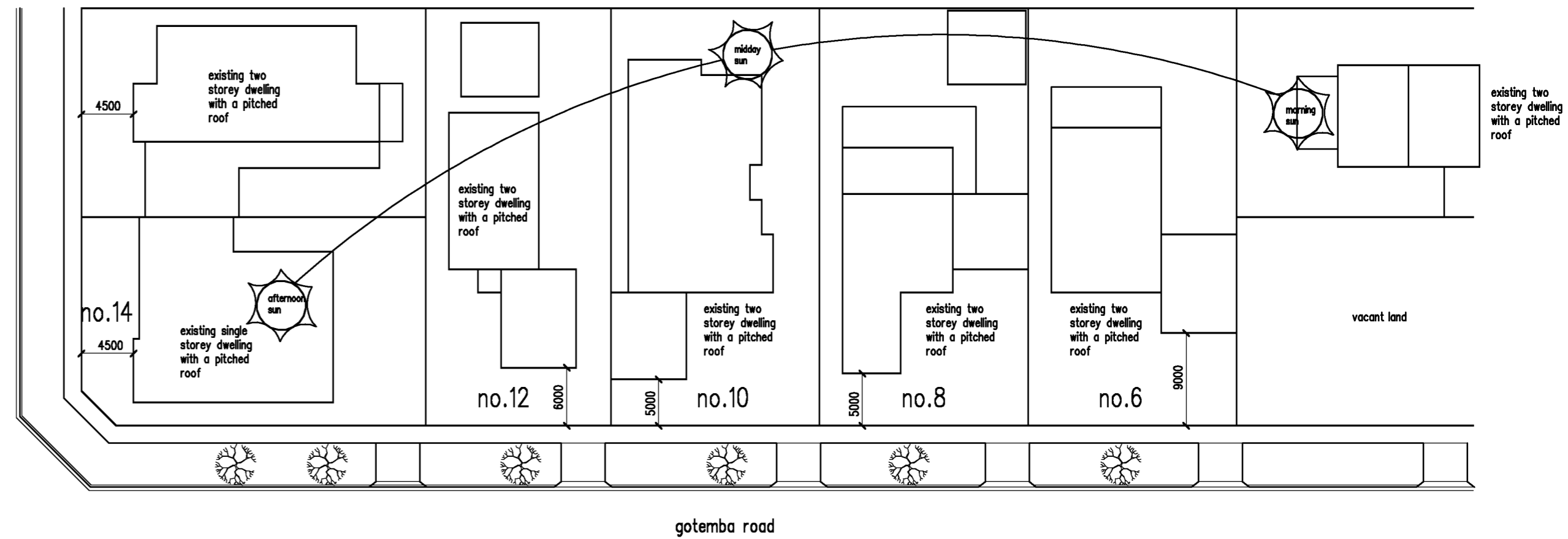
SCALE: 1:100 @ A2
DATE: DECEMBER 2025
DRWG: 775-TP-04-A

- hb habitable window
- nhb non-habitable window
- sd sliding door
- d door





section a
1:100 ■ A2



site analysis
1:400 ■ A2



gotemba road elevation
1:250 ■ A2

site analysis plan & streetscape elevation

proposed two x two storey dwellings
11 gotemba road, bell post hill

SCALE: 1:100, 1:400 & 1:250 ■ A2
DATE: FEBRUARY 2026
DRWG: 775-TP-05-B



- hb habitable window
- nhb non-habitable window
- sd sliding door
- d door

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