








Sustainable Design Assessment

Barwon Heads Hotel 1 Bridge Road Barwon Heads



-  Structural
-  Geotechnical
-  Civil
-  Residential
-  Forensic
-  Building Services
-  Surveying

Author

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Presented to

Lordgull Nominees Pty Ltd c/- Six Degrees Architects
1 Bridge Road Barwon Heads VIC 3227

Contact



Project Number
VIC240417

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Document Revision History

Date	Rev	Author	Comments
15.04.2025	A		Preliminary issue
25.06.2025	B		Preliminary issue
22.08.2025	C		Issued for Town Planning
03.12.2025	D		Issued for Town Planning
04.12.2025	E		Issued for Town Planning
04.02.2026	F		Issued for Town Planning

1 Executive Summary

This sustainable design assessment (SDA) provides the environmentally sustainable development requirements for the proposed Barwon Heads Hotel re-development at 1 Bridge Road, Barwon Heads VIC 3227. The assessment complies with the planning scheme requirements as follows:

- City of Greater Geelong Planning Scheme Clause 15.01-2L
 - Best Practice Environmentally Sustainable Design using BESS (>50 points)
 - Best Practice Water Sensitive Urban Design using Blue Factor.

The key items that will be incorporated include:

- Management
 - ESD professional engaged throughout design and construction stages.
- Water
 - Water efficient fittings, fixtures and appliances:
 - Toilets: 3 Stars
 - Taps: 5 Stars
 - Urinals: 5 Stars
 - Dishwashers: 5 Star
 - Rainwater for toilet flushing.
- Energy
 - High performance fabric and glazing.
 - High efficiency heating and cooling systems.
 - High efficiency domestic hot water system.
 - Provision for future solar photovoltaic system.
- Stormwater
 - Collection from roof area (533 m²).
 - 8kL rainwater tank.
- Indoor Environment Quality
 - Good daylight to >33% of regular use areas.
 - Shading elements to reduce heat transfer through the building fabric.
 - Natural ventilation to >60% of regular use areas.
 - Ceiling sweep fans to >100% of regular use areas.
 - Low-VOC paints, carpets and engineered wood.
- Transport
 - Bicycle parking provided for employees and visitors.
- Waste
 - Significant portion of existing building re-used.
 - Recycling facilities as accessible as general waste facilities.
 - Operational waste-food & garden waste.
- Urban Ecology
 - Communal spaces provided for occupants.

2 Introduction

This report provides an overview of the environmentally sustainable development (ESD) strategy for the proposed Barwon Heads Hotel re-development at 1 Bridge Road, Barwon Heads VIC 3227.

The objective of this report is to demonstrate that how best practice ESD has been incorporated into the design and how non-design commitments will be achieved.

The sustainable design assessment is based on the following documentation:

- Architectural Design Development Drawings prepared by Six Degrees, dated 27/11/2025.

The proposed development comprises of a renovation and fitout of existing two storey building and surrounding hardstand and landscape areas, opening of Level 1 into an outdoor trading space and addition of new lift.

3 Planning Scheme Requirements

The project is located within City of Greater Geelong and the environmentally sustainable development requirements within the planning scheme are as follows:

- Greater Geelong Planning Scheme 15.01-2L Environmentally Sustainable Development

3.1 Planning Scheme Objective

To achieve best practice in environmentally sustainable development from the design stage through to construction and operation.

3.2 Demonstration Objective Achieved

To demonstrate the best practice environmental sustainable development has been achieved the following benchmarking tools will be used:

- Built Environment Sustainability Scorecard (BESS) with a score >50%.
- Blue Factor Rating.

4 ESD Commitments

4.1 Management

The Management category encourages and rewards the adoption of practices and processes that enable and support best practice sustainability outcomes throughout the different phases of a project's design, construction and its ongoing operation.

Management Credits Claimed

Item	Title	Commitment	Responsibility	Evidence
2.3	Thermal Performance Modelling - Non-Residential	Preliminary facade assessment undertaken accordance with Section J of the NCC.	Intrax	Appendix B

4.2 Water

The 'Water' category aims to encourage and reward initiatives that reduce the consumption of potable water.

Water Credits Claimed

Item	Title	Commitment	Responsibility	Evidence
1.1	Potable Water Use Reduction	Water efficient fittings, fixtures and appliances with the following minimum WELS ratings: <ul style="list-style-type: none"> Toilets: 3 Stars Taps: 5 Stars Urinals: 5 Stars Dishwashers: 5 Star 	Architect	Building permit documents
1.1	Rainwater Collection & Reuse	8 kL rainwater tank connected to: <ul style="list-style-type: none"> Toilets Irrigation 	Building Services	Building permit documents

4.3 Energy

The 'Energy' category aims to reward projects that are designed and constructed to reduce their overall operational energy consumption, reducing greenhouse gas emissions.

Energy Credits Claimed

Item	Title	Commitment	Responsibility	Evidence
1.1	Thermal Performance Rating - Non-Residential	Exposed floors and ceilings insulation levels meet NCC 2022 requirements.	Architect Builder	Design Construction
1.1	Thermal Performance Rating - Non-Residential	Wall and glazing meet NCC 2022 facade calculator or as per J1V3 performance solution.	Architect Builder	Design Construction
2.1 2.2 2.7	Greenhouse Gas Emissions & Peak Demand Energy Consumption	Heating and cooling systems within one star of the most efficient equivalent capacity unit available, or Coefficient of Performance (CoP) & Energy Efficiency Ratios (EER) not less than 85% of the	Building Services	Building permit documents

		CoP & EER of the most efficient equivalent capacity unit.		
3.2	Hot Water	Water heating systems within one star of the best available, or 85% or better than the most efficient equivalent capacity unit.	Building Services	Building permit documents
3.7	Internal Lighting - Non-Residential	Maximum illumination power density (W/m ²) in at least 90% of the area of the relevant building class meet the requirements in Table J7D3a of the NCC 2022.	Building Services	Building permit documents

4.4 Stormwater

The SDAPP 'Stormwater' category aims to ensure projects are responsibly treating stormwater to reduce the amount of polluted stormwater run-off entering local waterways such as; rivers, streams, wetlands and bays.

Stormwater Credits Claimed

Item	Title	Commitment	Responsibility	Evidence
1.1	Stormwater Treatment	100% Blue Factor score, achieved through: <ul style="list-style-type: none"> 8kL rainwater tank, connected to min 533m² of roof area. Rainwater re-use for toilet flushing and irrigation.	Architect Intrax Builder	Appendix D Design Construction

4.5 Indoor Environment Quality

The 'Indoor Environment Quality' category aims to encourage and reward initiatives that enhance the comfort and well-being of occupants. The credits within this category address issues such as natural daylight, air quality and thermal comfort.

Indoor Environment Quality Credits Claimed

Item	Title	Commitment	Responsibility	Evidence
1.4	Daylight Access - Non-Residential	>33% of the regular use areas have at least 2% daylight factor.	Architect Intrax	Appendix C
2.3	Natural Ventilation	>80% of the regular use areas are effectively naturally ventilated.	Architect Intrax	Design Construction
3.4	Thermal Comfort - Shading - Non-Residential	North façade: Screen. East façade: Overhang/screen. West façade: Overhang/screen. >40% of east, west and north facing glazing to regular use areas has appropriate external shading.	Architect Builder	Design Construction
3.5	Thermal Comfort - Ceiling Fans - Non-Residential	100% of regular use areas have ceiling fans	Architect Intrax	Design Construction
4.1	Air Quality - Volatile Organic Compounds	All internally applied paints, sealants and adhesives meet current Green Star emission levels.	Architect	Design Construction
4.1	Air Quality - Carpet Emissions	All carpets meet current Green Star emission levels.	Architect	Design Construction

4.1	Air Quality - Engineered Wood	All engineered woods meet current Green Star emission levels.	Architect	Design Construction
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4.6 Transport

The 'Transport' category aims to reward projects that facilitate a reduction of the dependency of occupants on private car use as an important means of reducing overall greenhouse gas emissions.

Transport Credits Claimed

Item	Title	Commitment	Responsibility	Evidence
1.4	Bicycle Parking - Employee	Exceed required employee bicycle parking in planning scheme by 50%. 30 employee bicycle parking spaces provided.	Architect Builder	Design Construction

4.7 Waste Management

The 'Waste & Materials' category aims to address the consumption of resources within a building construction context, by encouraging the selection of lower-impact materials. The category also encourages absolute reductions in the amount of waste generated or the recycling of as much of the waste generated as possible.

Waste Management Credits Claimed

Item	Title	Commitment	Responsibility	Evidence
1.1	Construction Waste Building Re-Use	>30% of the existing building been re-used.	Architect	Design
2.1	Operational Waste - Food and Garden	Food and garden waste facilities provided on site.	Architect Builder	Design Construction
2.2	Operational Waste - Convenience	Recycling facilities located next to general waste facilities for convenience.	Architect Builder	Design Construction

4.8 Urban Ecology

The 'Urban Ecology' category aims to reduce the negative impacts on sites' ecological value as a result of urban development and reward projects that minimise harm and enhance the quality of local ecology.

Urban Ecology Credits Claimed

Item	Title	Commitment	Responsibility	Evidence
1.1	Communal Spaces	>500m ² communal space will be provided.	Architect Builder	Design Construction

Appendix A – BESS Report

BESS Report

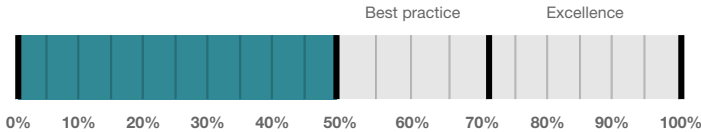
Built Environment Sustainability Scorecard



This BESS report outlines the sustainable design commitments of the proposed development at 1 Bridge Rd Barwon Heads Victoria 3227. The BESS report and accompanying documents and evidence are submitted in response to the requirement for a Sustainable Design Assessment or Sustainability Management Plan at Greater Geelong City Council.

Note that where a Sustainability Management Plan is required, the BESS report must be accompanied by a report that further demonstrates the development's potential to achieve the relevant environmental performance outcomes and documents the means by which the performance outcomes can be achieved.

Your BESS Score



52%

Project details

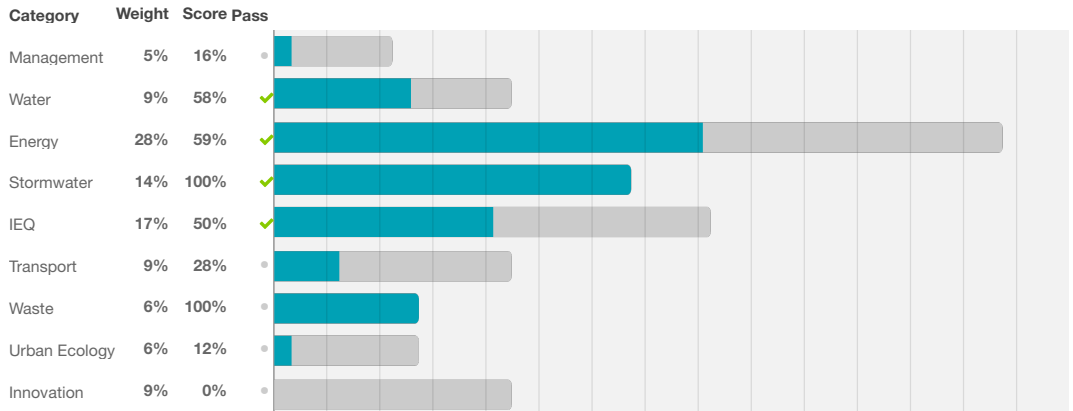
Name Barwon Heads Hotel
Address 1 Bridge Rd Barwon Heads Victoria 3227
Project ID 22706994-R4
BESS Version BESS-8

Site type Non-residential development
Account amit.meskar@intrax.com.au
Application no.
Site area 5,180 m²
Building floor area 882 m²
Date 04 February 2026
Software version 2.3.0-B.645



Performance by category

● This project ● Maximum available



Buildings

Name	Height	Footprint	% of total footprint
Barwon Heads Hotel	2	1,737 m ²	100%

Dwellings & Non Res Spaces

Non-Res Spaces

Name	Quantity	Area	Building	% of total area
Shop				
Non-Residential Space 1	1	882 m ²	Barwon Heads Hotel	100%
Total	1	882 m²	100%	

Supporting Evidence

Shown on Floor Plans

Credit	Requirement	Response	Status
Stormwater 1.1	Location of any stormwater management systems (rainwater tanks, raingardens, buffer strips)		-
Transport 1.4	Location of non-residential bicycle parking spaces		-
Waste 2.1	Location of food and garden waste facilities		-
Waste 2.2	Location of recycling facilities		-
Urban Ecology 1.1	Location and size of communal spaces		-

Supporting Documentation

Credit	Requirement	Response	Status
Management 2.3a	Section J glazing assessment		-
Energy 1.1	Energy Report showing calculations of reference case and proposed buildings		-
Energy 3.7	Average lighting power density and lighting type(s) to be used		-
Stormwater 1.1	STORM report or MUSIC model		-
IEQ 1.4	A short report detailing assumptions used and results achieved.		-
Waste 1.1	Details regarding how the existing building is being reused on-site		-

Credit summary

Management Overall contribution 4.5%

		16%
1.1 Pre-Application Meeting		0%
2.3 Thermal Performance Modelling - Non-Residential		50%
3.2 Metering - Non-Residential		N/A ✦ Scoped Out
		No separate tenancies
3.3 Metering - Common Areas		N/A ✦ Scoped Out
		No separate areas
4.1 Building Users Guide		0%

Water Overall contribution 9.0%

		Minimum required 50%	58%	✔ Pass
1.1 Potable Water Use Reduction		69%		
3.1 Water Efficient Landscaping		0%		
4.1 Building Systems Water Use Reduction		N/A	✦ Scoped Out	
				N/A

Energy Overall contribution 27.5%

		Minimum required 50%	59%	✔ Pass
1.1 Thermal Performance Rating - Non-Residential			37%	
2.1 Greenhouse Gas Emissions			100%	
2.2 Peak Demand			100%	
2.6 Electrification			0%	⊘ Disabled
Credit is available when the energy supply is set to all-electric (no gas or wood).				
2.7 Energy consumption			100%	
3.1 Carpark Ventilation			N/A	⚡ Scoped Out
n/a				
3.2 Hot Water			100%	
3.7 Internal Lighting - Non-Residential			100%	
4.1 Combined Heat and Power (cogeneration / trigeneration)			N/A	⚡ Scoped Out
No cogeneration or trigeneration system in use.				
4.2 Renewable Energy Systems - Solar			0%	⊘ Disabled
No solar PV renewable energy is in use.				
4.4 Renewable Energy Systems - Other			N/A	⚡ Scoped Out
No other (non-solar PV) renewable energy is in use.				

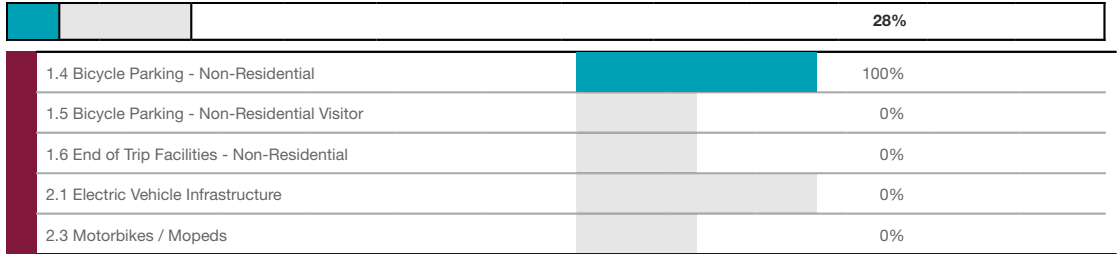
Stormwater Overall contribution 13.5%

		Minimum required 100%	100%	✔ Pass
1.1 Stormwater Treatment			100%	

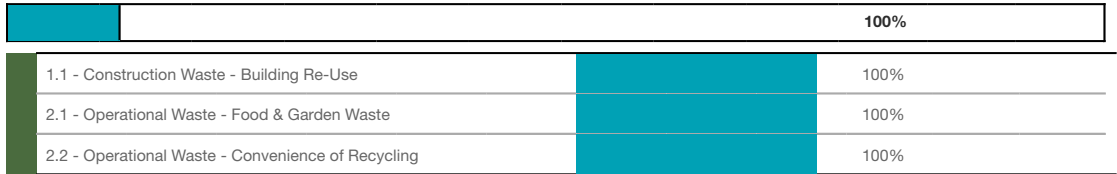
IEQ Overall contribution 16.5%

		Minimum required 50%	50%	✔ Pass
1.4 Daylight Access - Non-Residential			33%	✔ Achieved
2.3 Ventilation - Non-Residential			43%	✔ Achieved
3.4 Thermal comfort - Shading - Non-Residential			67%	
3.5 Thermal Comfort - Ceiling Fans - Non-Residential			100%	
4.1 Air Quality - Non-Residential			100%	

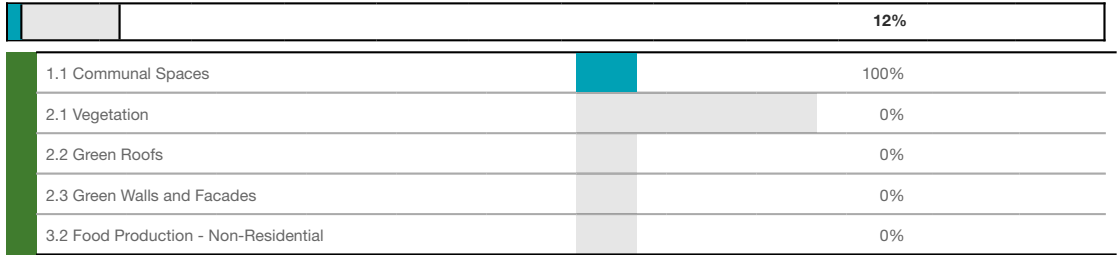
Transport Overall contribution 9.0%



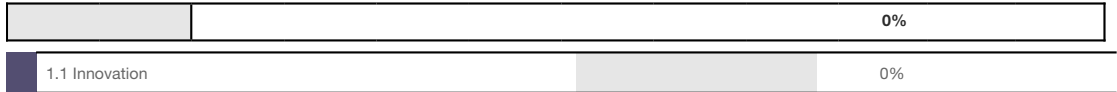
Waste Overall contribution 5.5%



Urban Ecology Overall contribution 5.5%



Innovation Overall contribution 9.0%



Credit breakdown

Management Overall contribution 4.5%

		16%
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1.1 Pre-Application Meeting		0%
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Score Contribution	This credit contributes 50% towards the category score.	
Criteria	Has an ESD professional been engaged to provide sustainability advice from schematic design to construction? AND Has the ESD professional been involved in a pre-application meeting with Council?	
Question	Criteria Achieved ?	
Project	No	

2.3 Thermal Performance Modelling - Non-Residential		50%
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Score Contribution	This credit contributes 33.3% towards the category score.	
Criteria	Has a preliminary facade assessment been undertaken in accordance with NCC2022 Section J4D6?	
Question	Criteria Achieved ?	
Shop	Yes	

Criteria	Has preliminary modelling been undertaken in accordance with either NCC2022 Section J (Energy Efficiency), NABERS or Green Star?	
Question	Criteria Achieved ?	
Shop	No	

3.2 Metering - Non-Residential		N/A ✦ Scoped Out
No separate tenancies		

This credit was scoped out	No separate tenancies	
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3.3 Metering - Common Areas		N/A ✦ Scoped Out
No separate areas		

This credit was scoped out	No separate areas	
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4.1 Building Users Guide		0%
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Score Contribution	This credit contributes 16.7% towards the category score.	
Criteria	Will a building users guide be produced and issued to occupants?	
Question	Criteria Achieved ?	
Project	No	

Water Overall contribution 9.0%

Minimum required 50%

58% ✓ Pass

Water Approach

What approach do you want to use for Water?: Use the built in calculation tools

Do you have a reticulated third pipe or an on-site water recycling system?: No

Are you installing a swimming pool?: No

Are you installing a rainwater tank?: Yes

Fixtures, fittings & connections profile

Showerhead: Scope out

Bath: Scope out

Kitchen Taps: >= 5 Star WELS rating

Bathroom Taps: >= 5 Star WELS rating

Dishwashers: >= 5 Star WELS rating

WC: >= 3 Star WELS rating

Urinals: >= 5 Star WELS rating

Washing Machine Water Efficiency: Scope out

Which non-potable water source is the dwelling/space connected to?: Rainwater Tank

Non-potable water source connected to Toilets: Yes

Non-potable water source connected to Laundry (washing machine): No

Non-potable water source connected to Hot Water System: No

Rainwater tank profile

What is the total roof area connected to the rainwater tank?:

Rainwater Tank 533 m²

-

Tank Size:

Rainwater Tank 8,000 Litres

-

Irrigation area connected to tank:

Rainwater Tank 100 m²

-

Is connected irrigation area a water efficient garden?:

Rainwater Tank No

-

Other external water demand connected to tank?:

Rainwater Tank 0.0 Litres/Day

-

1.1 Potable Water Use Reduction

69%

Score Contribution	This credit contributes 83.3% towards the category score.
Criteria	What is the reduction in total potable water use due to efficient fixtures, appliances, rainwater use and recycled water use? To achieve points in this credit there must be >25% potable water reduction.
Output	Reference
Project	1345 kL
Output	Proposed (excluding rainwater and recycled water use)
Project	960 kL
Output	Proposed (including rainwater and recycled water use)
Project	707 kL
Output	% Reduction in Potable Water Consumption
Project	47 %
Output	% of connected demand met by rainwater
Project	80 %
Output	How often does the tank overflow?
Project	Never / Rarely
Output	Opportunity for additional rainwater connection
Project	173 kL

3.1 Water Efficient Landscaping		0%
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Score Contribution	This credit contributes 16.7% towards the category score.
Criteria	Will water efficient landscaping be installed?
Question	Criteria Achieved ?
Project	No








4.1 Building Systems Water Use Reduction		N/A	✦ Scoped Out
		N/A	

This credit was scoped out	N/A
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Energy Overall contribution 27.5%


	Minimum required 50%	59% ✔ Pass
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Use the BESS Deem to Satisfy (DtS) method for Non-residential spaces?:	Yes	
Do all exposed floors and ceilings (forming part of the envelope) demonstrate meeting the required NCC2022 insulation levels (total R-value upwards and downwards)?:	Yes	
Does all wall and glazing demonstrate meeting the required NCC2022 facade calculator (or better than the total allowance)?:	Yes	
Are heating and cooling systems within one Star of the most efficient equivalent capacity unit available, or Coefficient of Performance (CoP) & Energy Efficiency Ratios (EER) not less than 85% of the CoP & EER of the most efficient equivalent capacity unit available?:	Yes	
Are water heating systems within one star of the best available, or 85% or better than the most efficient equivalent capacity unit?:	Yes	
Are you installing a cogeneration or trigeneration system?:	No	
1.1 Thermal Performance Rating - Non-Residential	<div style="width: 37%; background-color: #00A6C9; height: 15px;"></div>	37%
Score Contribution	This credit contributes 36.4% towards the category score.	
Criteria	What is the % reduction in heating and cooling energy consumption against the reference case (NCC2022 Section J)?	
2.1 Greenhouse Gas Emissions	<div style="width: 100%; background-color: #00A6C9; height: 15px;"></div>	100%
Score Contribution	This credit contributes 9.1% towards the category score.	
Criteria	What is the % reduction in annual greenhouse gas emissions against the benchmark?	
2.2 Peak Demand	<div style="width: 4.5%; background-color: #00A6C9; height: 15px;"></div>	100%
Score Contribution	This credit contributes 4.5% towards the category score.	
Criteria	What is the % reduction in the instantaneous (peak-hour) demand against the benchmark?	
2.6 Electrification	<div style="width: 0%; background-color: #00A6C9; height: 15px;"></div>	0% ⊘ Disabled
Credit is available when the energy supply is set to all-electric (no gas or wood).		
This credit is disabled	Credit is available when the energy supply is set to all-electric (no gas or wood).	
2.7 Energy consumption	<div style="width: 18.2%; background-color: #00A6C9; height: 15px;"></div>	100%
Score Contribution	This credit contributes 18.2% towards the category score.	
Criteria	What is the % reduction in annual energy consumption against the benchmark?	
3.1 Carpark Ventilation	<div style="width: 0%; background-color: #00A6C9; height: 15px;"></div>	N/A ⊕ Scoped Out
n/a		
This credit was scoped out	n/a	
3.2 Hot Water	<div style="width: 100%; background-color: #00A6C9; height: 15px;"></div>	100%

Score Contribution	This credit contributes 4.5% towards the category score.	
Criteria	What is the % reduction in annual energy consumption (gas and electricity) of the hot water system against the benchmark?	
3.7 Internal Lighting - Non-Residential		100%
Score Contribution	This credit contributes 9.1% towards the category score.	
Criteria	Does the maximum illumination power density (W/m2) in at least 90% of the area of the relevant building class meet the requirements in Table J7D3a of the NCC 2022 Vol 1?	
Question	Criteria Achieved ?	
Shop	Yes	
4.1 Combined Heat and Power (cogeneration / trigeneration)		N/A  Scoped Out
	No cogeneration or trigeneration system in use.	
This credit was scoped out	No cogeneration or trigeneration system in use.	
4.2 Renewable Energy Systems - Solar		0%  Disabled
	No solar PV renewable energy is in use.	
This credit is disabled	No solar PV renewable energy is in use.	
4.4 Renewable Energy Systems - Other		N/A  Scoped Out
	No other (non-solar PV) renewable energy is in use.	
This credit was scoped out	No other (non-solar PV) renewable energy is in use.	

Stormwater Overall contribution 13.5%

	Minimum required 100%	100%	 Pass
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Which stormwater modelling software are you using?:	Melbourne Water STORM tool	
1.1 Stormwater Treatment		100%
Score Contribution	This credit contributes 100% towards the category score.	
Criteria	Has best practice stormwater management been demonstrated?	
Question	STORM score achieved	
Project	100	
Output	Min STORM Score	
Project	100	

IEQ Overall contribution 16.5%

		Minimum required 50%	50%	✔ Pass
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1.4 Daylight Access - Non-Residential		33%	✔ Achieved
Score Contribution	This credit contributes 35.3% towards the category score.		
Criteria	What % of the nominated floor area has at least 2% daylight factor?		
Question	Percentage Achieved?		
Shop	33 %		
2.3 Ventilation - Non-Residential		43%	✔ Achieved
Score Contribution	This credit contributes 35.3% towards the category score.		
Annotation	Natural ventilation: 537/636 = 84%		
Criteria	What % of the regular use areas are effectively naturally ventilated?		
Question	Percentage Achieved?		
Shop	84 %		
Criteria	What increase in outdoor air is available to regular use areas compared to the minimum required by AS 1668.2:2012?		
Question	Percentage Achieved?		
Shop	0 %		
Criteria	What CO2 concentrations are the ventilation systems designed to achieve, to monitor and to maintain?		
Question	Value		
Shop	0 ppm		
3.4 Thermal comfort - Shading - Non-Residential		67%	
Score Contribution	This credit contributes 17.6% towards the category score.		
Criteria	What percentage of east, north and west glazing to regular use areas is effectively shaded?		
Question	Percentage Achieved?		
Shop	51 %		
3.5 Thermal Comfort - Ceiling Fans - Non-Residential		100%	
Score Contribution	This credit contributes 5.9% towards the category score.		
Criteria	What percentage of regular use areas in tenancies have ceiling fans?		
Question	Percentage Achieved?		
Shop	100 %		
4.1 Air Quality - Non-Residential		100%	
Score Contribution	This credit contributes 5.9% towards the category score.		

Criteria	Do all paints, sealants and adhesives meet the maximum total indoor pollutant emission limits?
Question	Criteria Achieved ?
Shop	Yes

Criteria	Does all carpet meet the maximum total indoor pollutant emission limits?
Question	Criteria Achieved ?
Shop	Yes

Criteria	Does all engineered wood meet the maximum total indoor pollutant emission limits?
Question	Criteria Achieved ?
Shop	Yes

Transport Overall contribution 9.0%

		28%
1.4 Bicycle Parking - Non-Residential		100%
Score Contribution	This credit contributes 28.6% towards the category score.	
Criteria	Have the planning scheme requirements for employee bicycle parking been exceeded by at least 50% (or a minimum of 2 where there is no planning scheme requirement)?	
Question	Criteria Achieved ?	
Shop	Yes	
Question	Bicycle Spaces Provided ?	
Shop	30	
1.5 Bicycle Parking - Non-Residential Visitor		0%
Score Contribution	This credit contributes 14.3% towards the category score.	
Criteria	Have the planning scheme requirements for visitor bicycle parking been exceeded by at least 50% (or a minimum of 1 where there is no planning scheme requirement)?	
Question	Criteria Achieved ?	
Shop	No	
Question	Bicycle Spaces Provided ?	
Shop	-	
1.6 End of Trip Facilities - Non-Residential		0%
Score Contribution	This credit contributes 14.3% towards the category score.	
Criteria	Where adequate bicycle parking has been provided. Is there also: * 1 shower for the first 5 employee bicycle spaces plus 1 to each 10 employee bicycles spaces thereafter, * changing facilities adjacent to showers, and * one secure locker per employee bicycle space in the vicinity of the changing / shower facilities?	
Question	Number of showers provided ?	
Shop	-	
Question	Number of lockers provided ?	
Shop	-	
Output	Min Showers Required	
Shop	1	
Output	Min Lockers Required	
Shop	30	
2.1 Electric Vehicle Infrastructure		0%
Score Contribution	This credit contributes 28.6% towards the category score.	
Criteria	Are facilities provided for the charging of electric vehicles?	
Question	Criteria Achieved ?	
Project	No	
2.3 Motorbikes / Mopeds		0%

Score Contribution	This credit contributes 14.3% towards the category score.
Criteria	Are a minimum of 5% of vehicle parking spaces designed and labelled for motorbikes (must be at least 5 motorbike spaces)?
Question	Criteria Achieved ?
Project	No

Waste Overall contribution 5.5%



1.1 - Construction Waste - Building Re-Use 100%

Score Contribution	This credit contributes 33.3% towards the category score.
Criteria	If the development is on a site that has been previously developed, has at least 30% of the existing building been re-used?
Question	Criteria Achieved ?
Project	Yes

2.1 - Operational Waste - Food & Garden Waste 100%

Score Contribution	This credit contributes 33.3% towards the category score.
Criteria	Are facilities provided for on-site management of food and garden waste?
Question	Criteria Achieved ?
Project	Yes

2.2 - Operational Waste - Convenience of Recycling 100%

Score Contribution	This credit contributes 33.3% towards the category score.
Criteria	Are the recycling facilities at least as convenient for occupants as facilities for general waste?
Question	Criteria Achieved ?
Project	Yes

Urban Ecology Overall contribution 5.5%

		12%
--	--	-----

1.1 Communal Spaces		100%
----------------------------	--	------

Score Contribution	This credit contributes 12.5% towards the category score.	
Criteria	Is there at least the following amount of common space measured in square meters : * 1m ² for each of the first 50 occupants * Additional 0.5m ² for each occupant between 51 and 250 * Additional 0.25m ² for each occupant above 251?	
Question	Common space provided	
Shop	500 m ²	
Output	Minimum Common Space Required	
Shop	69 m ²	

2.1 Vegetation		0%
-----------------------	--	----

Score Contribution	This credit contributes 50% towards the category score.	
Criteria	How much of the site is covered with vegetation, expressed as a percentage of the total site area?	
Question	Percentage Achieved ?	
Project	0 %	

2.2 Green Roofs		0%
------------------------	--	----

Score Contribution	This credit contributes 12.5% towards the category score.	
Criteria	Does the development incorporate a green roof?	
Question	Criteria Achieved ?	
Project	No	

2.3 Green Walls and Facades		0%
------------------------------------	--	----

Score Contribution	This credit contributes 12.5% towards the category score.	
Criteria	Does the development incorporate a green wall or green façade?	
Question	Criteria Achieved ?	
Project	No	

3.2 Food Production - Non-Residential		0%
--	--	----

Score Contribution	This credit contributes 12.5% towards the category score.	
Criteria	What area of space per occupant is dedicated to food production?	
Question	Food Production Area	
Shop	0.0 m ²	
Output	Min Food Production Area	
Shop	23 m ²	

Innovation Overall contribution 9.0%

	0%
--	----

1.1 Innovation	0%
Score Contribution	This credit contributes 100% towards the category score.
Criteria	What percentage of the Innovation points have been claimed (10 points maximum)?

Disclaimer

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Appendix B – Fabric Assessment



NCC 2022 J4D6 Façade Calculator

Date:	2025.12.03	Glazing				
Project No.	VIC240417	Orientation	Area	% Area	SHGC	U-Value
Project Name	Barwon Heads Hotel	North	72.48	49%	0.27	4.7
Engineer	CC	East	52.15	53%	0.27	4.7
Building Class	6	South	11.6	23%	0.27	4.7
Climate Zone	6	West	8.92	11%	0.27	4.7

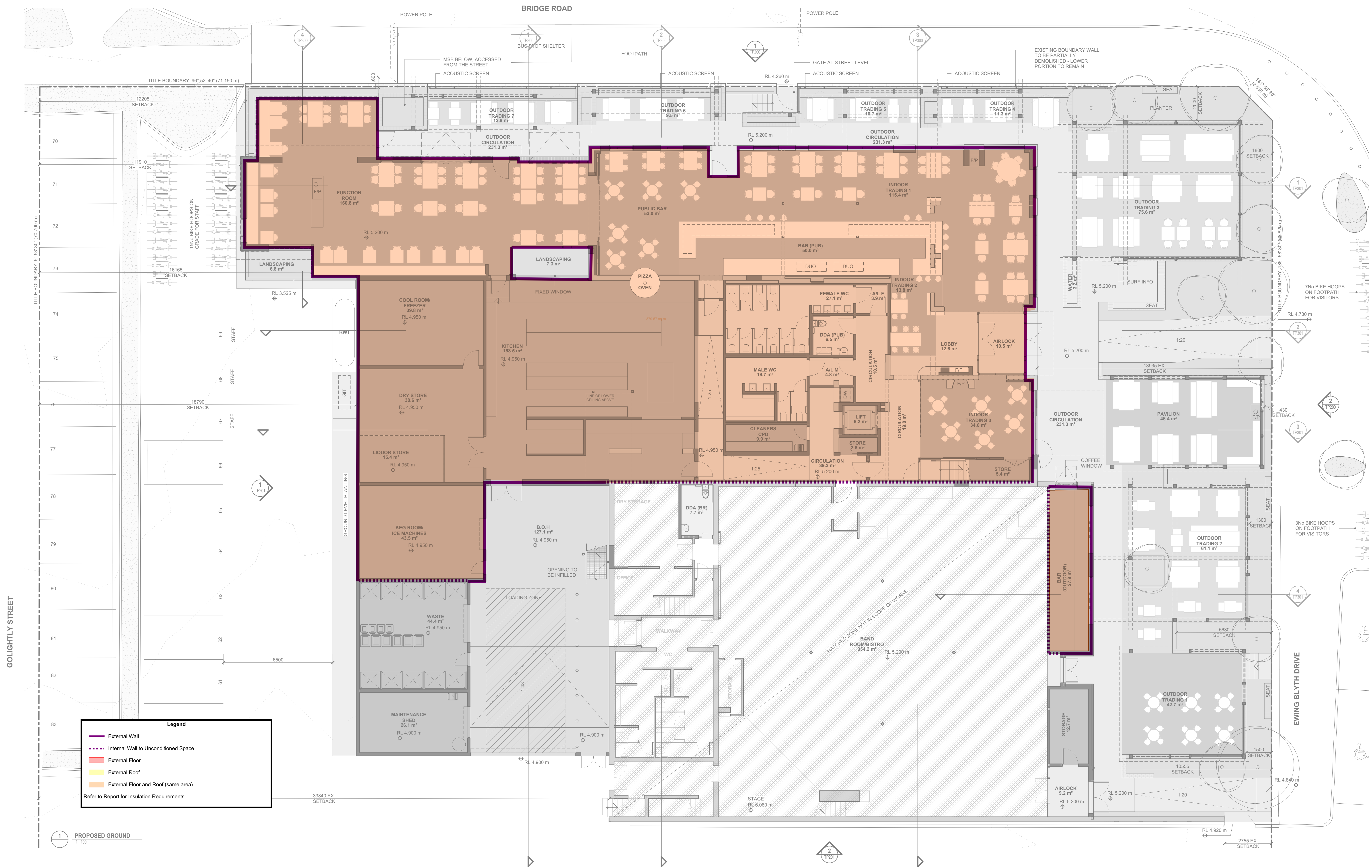
Wall					
Orientation	Façade Area	Wall Area	R-Value	U-Value	
North	149	76.52	2.0	0.50	
East	98	45.85	2.0	0.50	
South	50	38.4	2.0	0.50	
West	84	75.08	2.0	0.50	

Compliance	Solar Transmission			Conductance (U-value)		
	Achieved	Maximum	Compliant	Achieved	Maximum	Compliant
	Results	67.0	68.2	Pass	1.99	2.00

Glazing Schedule

North													East												
Glazing No	Area (sqm)	SHGC	U-Value	Projection (P) (m)	Height (H) (m)	Head offset (G) (m)	G/H	P/H	Shading Multiplier	Solar Admittance	Weighted U-Value	Glazing No	Area (sqm)	SHGC	U-Value	Projection (P) (m)	Height (H) (m)	Head offset (G) (m)	G/H	P/H	Shading Multiplier	Solar Admittance	Weighted U-Value		
N1	5.76	0.27	4.7	0	0	0	0	0	1.00	0.01	0.18	E1	4.28	0.27	4.7	0	0	0	0	0	1.00	0.01	0.21		
N2	6.53	0.27	4.7	0	0	0	0	0	1.00	0.01	0.21	E2	4.28	0.27	4.7	0	0	0	0	0	1.00	0.01	0.21		
N3	6.19	0.27	4.7	0	0	0	0	0	1.00	0.01	0.2	E3	9.12	0.27	4.7	0	0	0	0	0	1.00	0.03	0.44		
N4	1.04	0.27	4.7	0	0	0	0	0	1.00	0.00	0.03	E4	8.47	0.27	4.7	0	0	0	0	0	1.00	0.02	0.41		
N5	3.3	0.27	4.7	0	0	0	0	0	1.00	0.01	0.1	E5	9.46	0.27	4.7	0	0	0	0	0	1.00	0.03	0.45		
N6	3.52	0.27	4.7	0	0	0	0	0	1.00	0.01	0.11	E6	3.71	0.27	4.7	0	0	0	0	0	1.00	0.01	0.18		
N7	3.15	0.27	4.7	0	0	0	0	0	1.00	0.01	0.1	E7	3.6	0.27	4.7	0	0	0	0	0	1.00	0.01	0.17		
N8	3.15	0.27	4.7	0	0	0	0	0	1.00	0.01	0.1	E8	2.7	0.27	4.7	0	0	0	0	0	1.00	0.01	0.13		
N9	9.84	0.27	4.7	0	0	0	0	0	1.00	0.02	0.31	E9	3.83	0.27	4.7	0	0	0	0	0	1.00	0.01	0.18		
N10	2.4	0.27	4.7	0.8	3.2	0.8	0.3	0.3	0.94	0.00	0.08	E10	2.7	0.27	4.7	0	0	0	0	0	1.00	0.01	0.13		
N11	7.2	0.27	4.7	0.8	3.2	0.8	0.3	0.3	0.94	0.01	0.23	E11	0	0.27	4.7	0	0	0	0	0	1.00	0.00	0		
N12	1.68	0.27	4.7	0.8	3.2	0.8	0.3	0.3	0.94	0.00	0.05	E12	0	0.27	4.7	0	0	0	0	0	1.00	0.00	0		
N13	10.2	0.27	4.7	0	0	0	0	0	1.00	0.02	0.32	E13	0	0.27	4.7	0	0	0	0	0	1.00	0.00	0		
N14	6.88	0.27	4.7	0	0	0	0	0	1.00	0.01	0.22	E14	0	0.27	4.7	0	0	0	0	0	1.00	0.00	0		
N15	1.69	0.27	4.7	0	0	0	0	0	1.00	0.00	0.05	E15	0	0.27	4.7	0	0	0	0	0	1.00	0.00	0		

South														West													
Glazing No	Area (sqm)	SHGC	U-Value	Projection (P) (m)	Height (H) (m)	Head offset (G) (m)	G/H	P/H	Shading Multiplier	Solar Admittance	Weighted U-Value	Glazing No	Area (sqm)	SHGC	U-Value	Projection (P) (m)	Height (H) (m)	Head offset (G) (m)	G/H	P/H	Shading Multiplier	Solar Admittance	Weighted U-Value				
S1	8.1	0.27	4.7	0	0	0	0	0	1.00	0.04	0.76	W1	4.62	0.27	4.7	0	0	0	0	0	1.00	0.01	0				
S2	3.5	0.27	4.7	0	0	0	0	0	1.00	0.02	0.33	W2	2.59	0.27	4.7	0	0	0	0	0	1.00	0.01	0				
S3	0	0.27	4.7	0	0	0	0	0	1.00	0.00	0	W3	1.71	0.27	4.7	0	0	0	0	0	1.00	0.01	0				
S4	0	0.27	4.7	0	0	0	0	0	1.00	0.00	0	W4	0	0.27	4.7	0	0	0	0	0	1.00	0.00	0				
S5	0	0.27	4.7	0	0	0	0	0	1.00	0.00	0	W5	0	0.27	4.7	0	0	0	0	0	1.00	0.00	0				
S6	0	0.27	4.7	0	0	0	0	0	1.00	0.00	0	W6	0	0.27	4.7	0	0	0	0	0	1.00	0.00	0				
S7	0	0.27	4.7	0	0	0	0	0	1.00	0.00	0	W7	0	0.27	4.7	0	0	0	0	0	1.00	0.00	0				
S8	0	0.27	4.7	0	0	0	0	0	1.00	0.00	0	W8	0	0.27	4.7	0	0	0	0	0	1.00	0.00	0				
S9	0	0.27	4.7	0	0	0	0	0	1.00	0.00	0	W9	0	0.27	4.7	0	0	0	0	0	1.00	0.00	0				
S10	0	0.27	4.7	0	0	0	0	0	1.00	0.00	0	W10	0	0.27	4.7	0	0	0	0	0	1.00	0.00	0				
S11	0	0.27	4.7	0	0	0	0	0	1.00	0.00	0	W11	0	0.27	4.7	0	0	0	0	0	1.00	0.00	0				
S12	0	0.27	4.7	0	0	0	0	0	1.00	0.00	0	W12	0	0.27	4.7	0	0	0	0	0	1.00	0.00	0				
S13	0	0.27	4.7	0	0	0	0	0	1.00	0.00	0	W13	0	0.27	4.7	0	0	0	0	0	1.00	0.00	0				
S14	0	0.27	4.7	0	0	0	0	0	1.00	0.00	0	W14	0	0.27	4.7	0	0	0	0	0	1.00	0.00	0				
S15	0	0.27	4.7	0	0	0	0	0	1.00	0.00	0	W15	0	0.27	4.7	0	0	0	0	0	1.00	0.00	0				



Legend

- External Wall
- - - Internal Wall to Unconditioned Space
- External Floor
- External Roof
- External Floor and Roof (same area)

Refer to Report for Insulation Requirements

GENERAL NOTES
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PROPOSED CONDITIONS LEGEND

—	NEW
—	EXISTING

PROJECT
BARWON HEADS HOTEL
 WADAWURRUNG
 1 BRIDGE ROAD, BARWON HEADS VIC 3227



DRAWING TITLE
PROPOSED GROUND FLOOR

DRAWING No.
TP101

TP-1 ISSUE FOR TOWN PLANNING 27.11.25
 No REVISION DATE

CLIENT
 TAYLORS GROUP

PROJECT No.
 24029

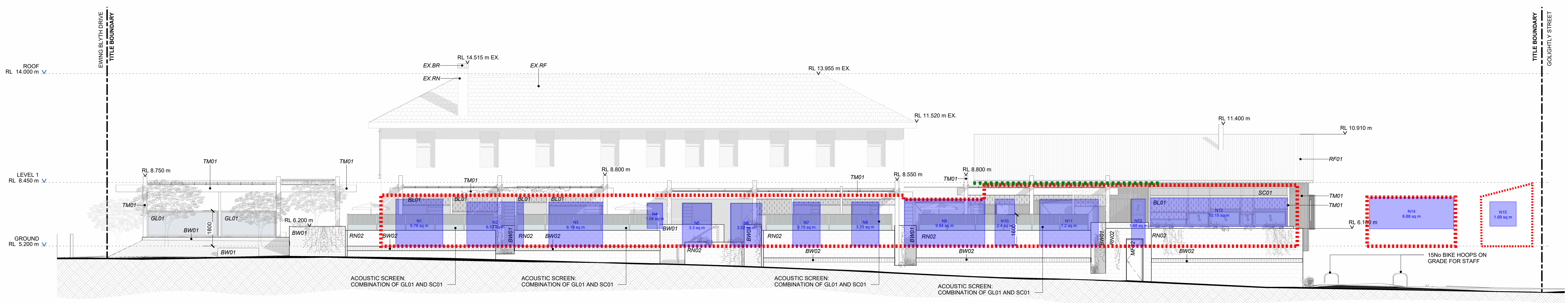
STATUS
PRELIMINARY

NOT FOR CONSTRUCTION

SCALE
 As indicated @A1

REV
TP-1

MATERIALS LEGEND	
EX.BW	EXISTING BRICKWORK
EX.GL	EXISTING GLASS
EX.RN	EXISTING MASONRY RENDER
EX.RF	EXISTING ROOF
BA01	BALUSTRADE TYPE 1
BL01	EXTERNAL BLIND TYPE 1
BW01	BRICKWORK TYPE 1
BW02	BRICKWORK TYPE 2
GL01	CLEAR GLASS
GL02	FLUTED GLASS
GL03	STAINED GLASS
MF01	METAL FINISH TYPE 1
MF02	METAL FINISH TYPE 2
MG01	METAL GRATING TYPE 1
PV01	PAVING TYPE 1
RF01	ROOF TYPE 1
RF02	ROOF TYPE 2 (RETRACTABLE)
RN01	BAGGED/RENDERED BRICKWORK
RN02	BAGGED/RENDERED BLOCKWORK
SC01	SCREEN TYPE 1
TM01	TIMBER TYPE 1



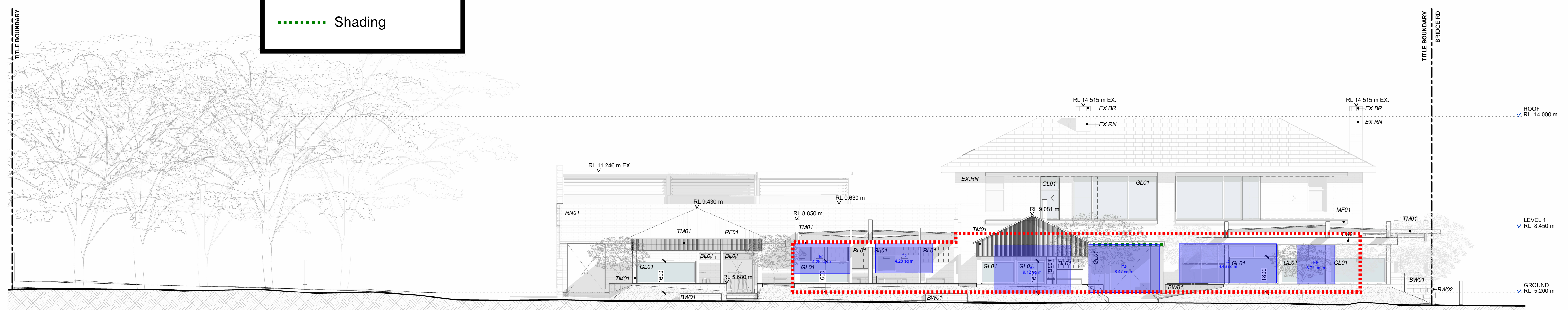
1 PROPOSED NORTH ELEVATION
1:100

Legend

..... Facade area

N1 Glazing (Vision)

..... Shading



2 PROPOSED EAST ELEVATION
1:100

GENERAL NOTES
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 DO NOT SCALE DRAWING.

PROPOSED CONDITIONS LEGEND

	NEW
	EXISTING

SYMBOL LEGEND:

ANY DIMENSION OR LEVEL WITH EX. REFERS TO AN EXISTING MEASUREMENT

⊕ RL 0.000m	RELATIVE LEVEL
⊕ SFL 0.000m	STRUCTURAL FLOOR LEVEL
⊕ FFL 0.000m	FINISHED FLOOR LEVEL

TP-1 ISSUE FOR TOWN PLANNING 27.11.25
 No REVISION DATE

PROJECT
BARWON HEADS HOTEL
 WADAWURRUNG
 1 BRIDGE ROAD, BARWON HEADS VIC 3227
 CLIENT
 TAYLORS GROUP

PROJECT No.
 24029

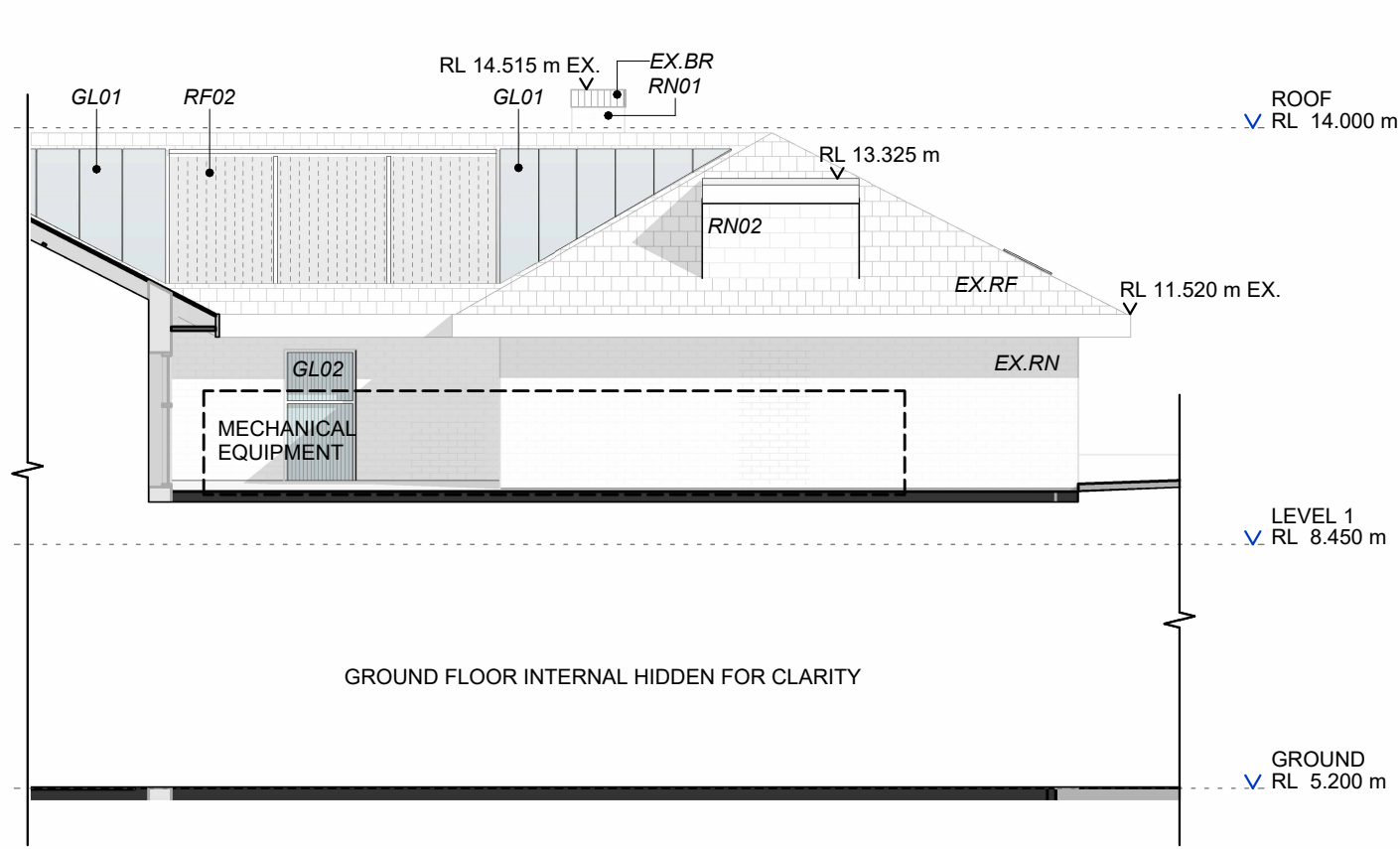
DRAWING TITLE
PROPOSED ELEVATIONS (1)
 STATUS
PRELIMINARY
 NOT FOR CONSTRUCTION
 SCALE
 As indicated @A1

REV
TP-1

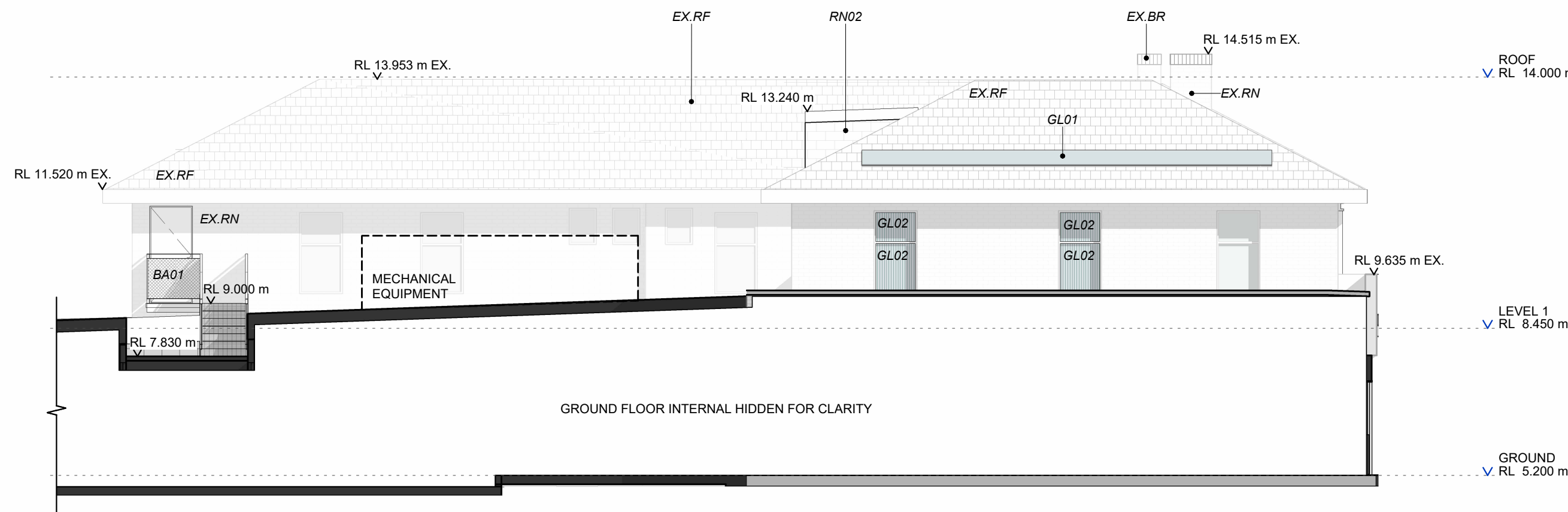
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TP200

MATERIALS LEGEND

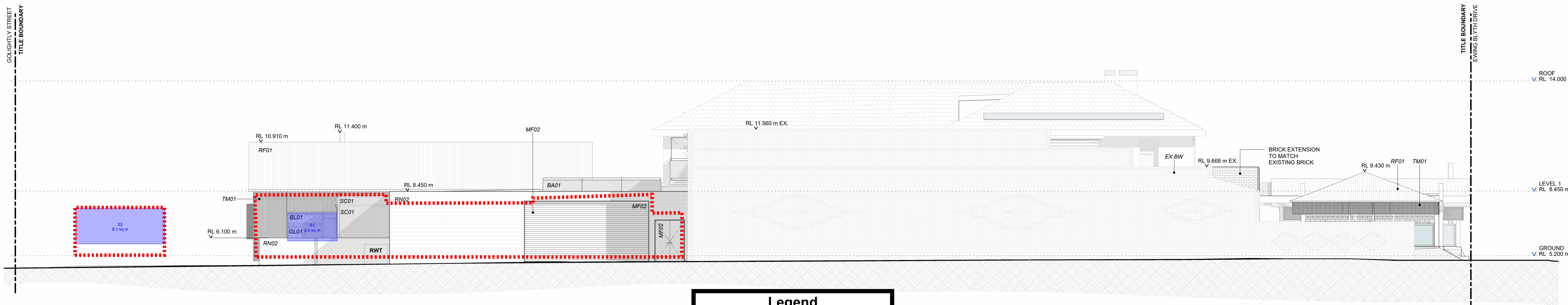
- EX.BW EXISTING BRICKWORK
- EX.GL EXISTING GLASS
- EX.RN EXISTING MASONRY RENDER
- EX.RF EXISTING ROOF
- BA01 BALUSTRADE TYPE 1
- BL01 EXTERNAL BLIND TYPE 1
- BW01 BRICKWORK TYPE 1
- BW02 BRICKWORK TYPE 2
- GL01 CLEAR GLASS
- GL02 FLUTED GLASS
- GL03 STAINED GLASS
- MF01 METAL FINISH TYPE 1
- MF02 METAL FINISH TYPE 2
- MG01 METAL GRATING TYPE 1
- PV01 PAVING TYPE 1
- RF01 ROOF TYPE 1
- RF02 ROOF TYPE 2 (RETRACTABLE)
- RN01 BAGGED/RENDERED BRICKWORK
- RN02 BAGGED/RENDERED BLOCKWORK
- SC01 SCREEN TYPE 1
- TM01 TIMBER TYPE 1



4 PROPOSED WEST ELEVATION (LEVEL 1)
1:100



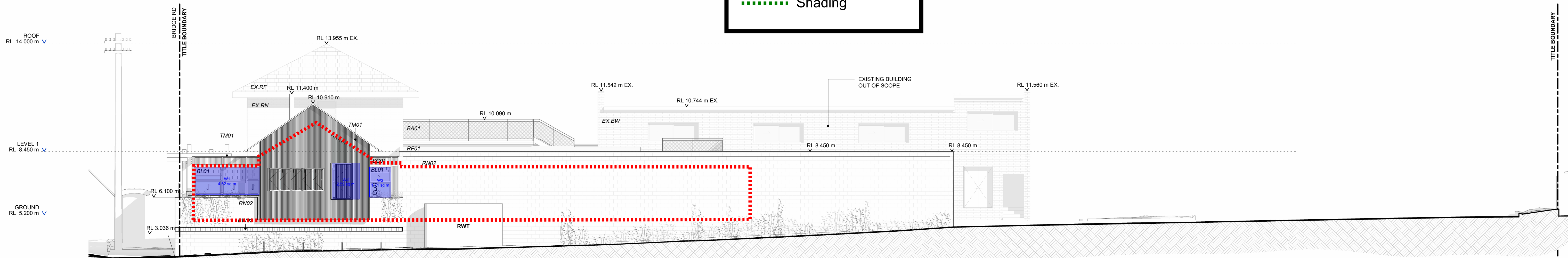
3 PROPOSED SOUTH ELEVATION (LEVEL 1)
1:100



2 PROPOSED SOUTH ELEVATION
1:100

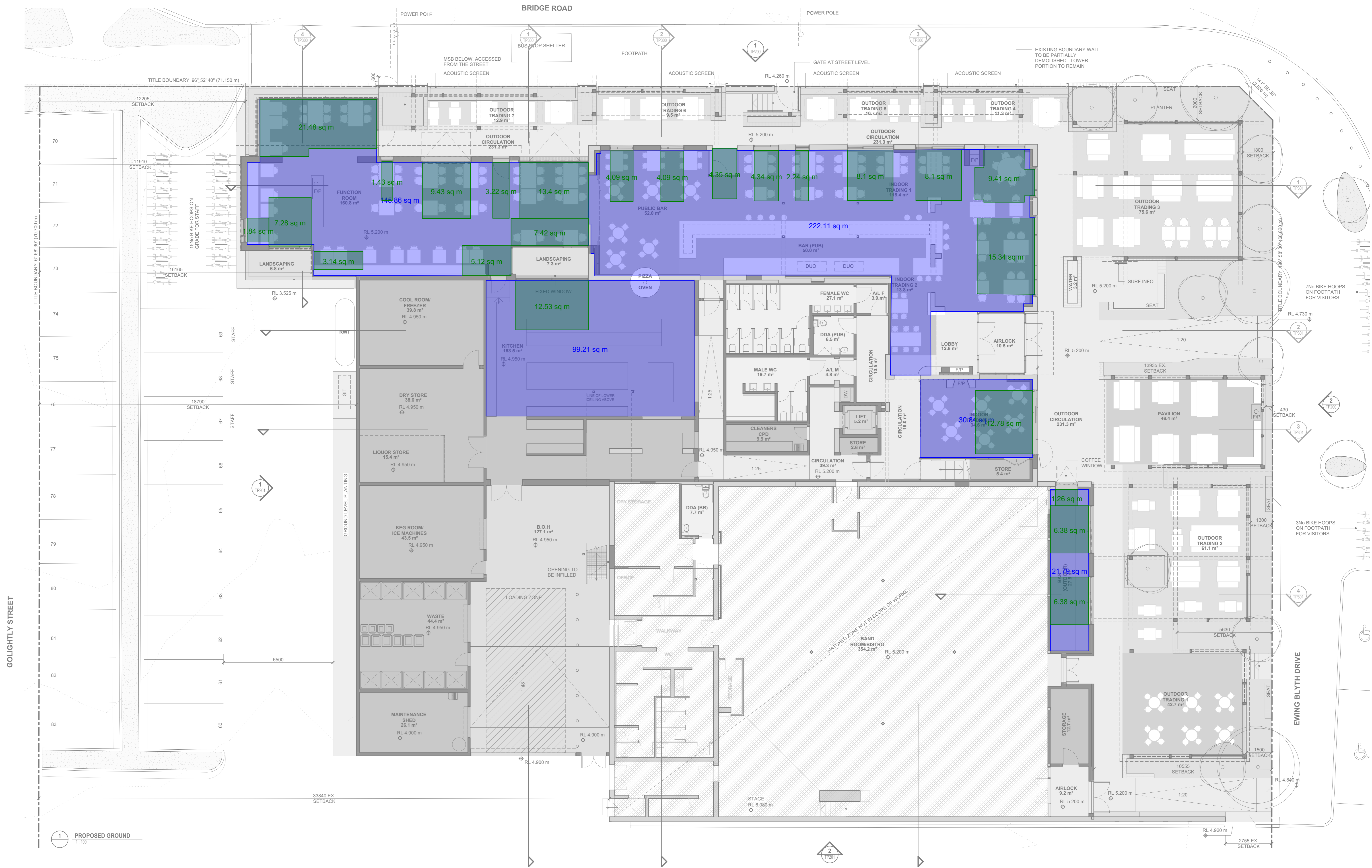
Legend

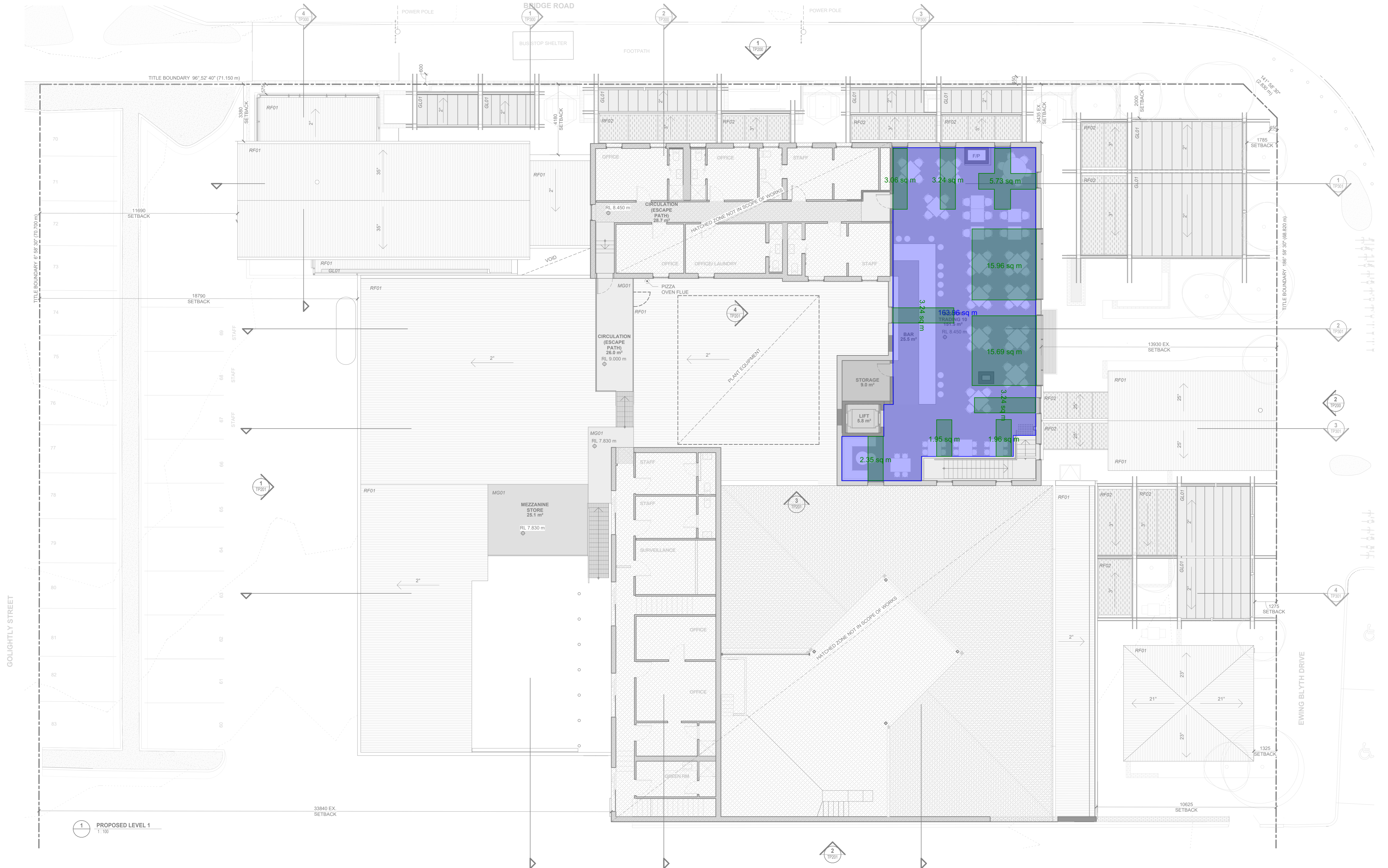
- Facade area
- Glazing (Vision)
- Shading



1 PROPOSED WEST ELEVATION
1:100

Appendix C – Daylight Calculations





1 PROPOSED LEVEL 1
T:100

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PROPOSED CONDITIONS LEGEND
■ NEW
■ EXISTING

PROJECT
BARWON HEADS HOTEL
WADAWURRUNG
1 BRIDGE ROAD, BARWON HEADS VIC 3227



DRAWING TITLE
PROPOSED LEVEL 1

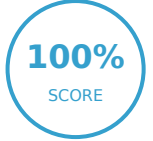
DRAWING No.
TP102

Appendix D – Blue Factor Assessment

Project # 3B413E46 - Barwon Heads Hotel
 1 Bridge Rd, Barwon Heads VIC 3227, Australia
 04 February 2026 3:29 p.m.

Barwon Heads Hotel

The proposed stormwater treatments provide 'deemed to comply' compliance with the minimum planning requirement for total nitrogen but does not comply with all the relevant objectives for management of stormwater flows on-site.



Project details

Name	Barwon Heads Hotel
Street address	1 Bridge Rd, Barwon Heads VIC 3227, Australia
Municipality	Greater Geelong
Site area	1003 m ²
Planning Number	

Flow and pollutant load reductions

Item	Result	Target
Mean annual runoff volume harvested or evapotranspired (%)	45%	>28%
Mean annual runoff volume infiltrated or filtered (%)	0%	>9%
Total suspended solids (%)	46%	>80%
Total phosphorus (%)	45%	>45%
Total nitrogen (%)	45%	>45%
Total gross pollutants (%)	52%	>70%

Warning: Warning high demand adopted relative to catchment. Consider reducing demands or increasing catchment area

Water treatment

Catchments

Roof to RWT 532.6m²

Treatments

Rainwater Tank 1

Rainwater tank retention volume in kilolitres: 8

Buildings & dwellings

Building 1 Non-Residential BCA Class 6 - Retail/Food,
1000 employee(s)

Configuration 1

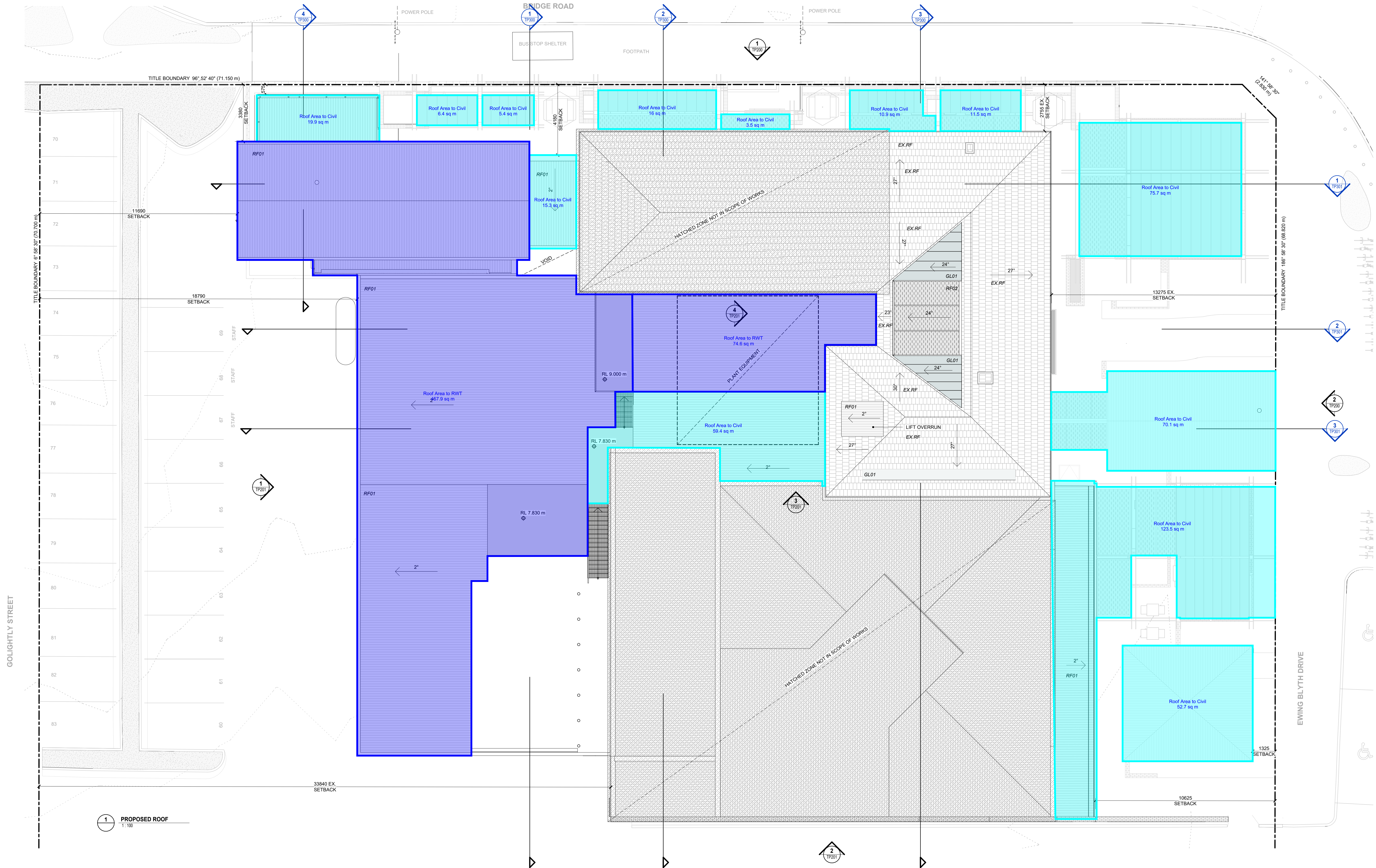
Roof to RWT 532.6m2

Rainwater Tank 1

Rainwater tank retention volume in kilolitres: 8,

Building 1 Non-Residential BCA Class 6 - Retail/Food,
1000 employee(s)

Legend
Description Quantity Unit



SIX DEGREES ARCHITECTS

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ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
DO NOT SCALE DRAWING.

PROPOSED CONDITIONS LEGEND
■ NEW
■ EXISTING

PROJECT
BARWON HEADS HOTEL
WADAWURRUNG
1 BRIDGE ROAD, BARWON HEADS VIC 3227

NORTH
↑

DRAWING TITLE
PROPOSED ROOF

DRAWING No.
TP103

+61 3 9636 0000
110 ARGYLE STREET, FITZROY (NGAR-GO) VIC 3065
WWW.SIXDEGREES.COM.AU

SIX DEGREES PTY LTD
A.C.N. 070 147 278

TP-1 ISSUE FOR TOWN PLANNING 27.11.25
No REVISION DATE

CLIENT
TAYLORS GROUP

PROJECT No.
24029

STATUS
PRELIMINARY

NOT FOR CONSTRUCTION

SCALE
As indicated @A1

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TP-1

27/11/2025 2:58:42 PM