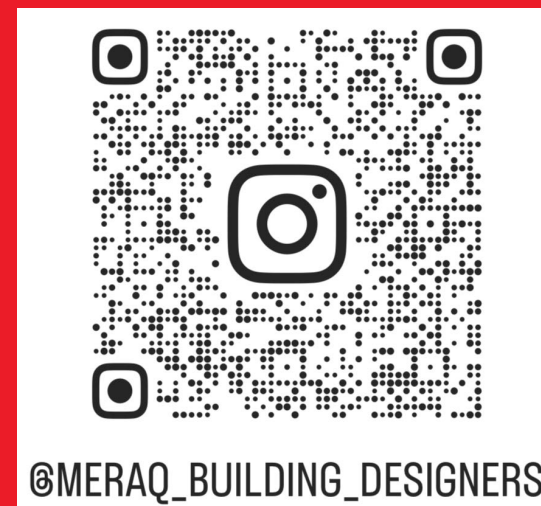




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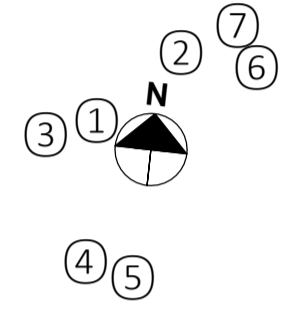
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POINTS OF INTEREST

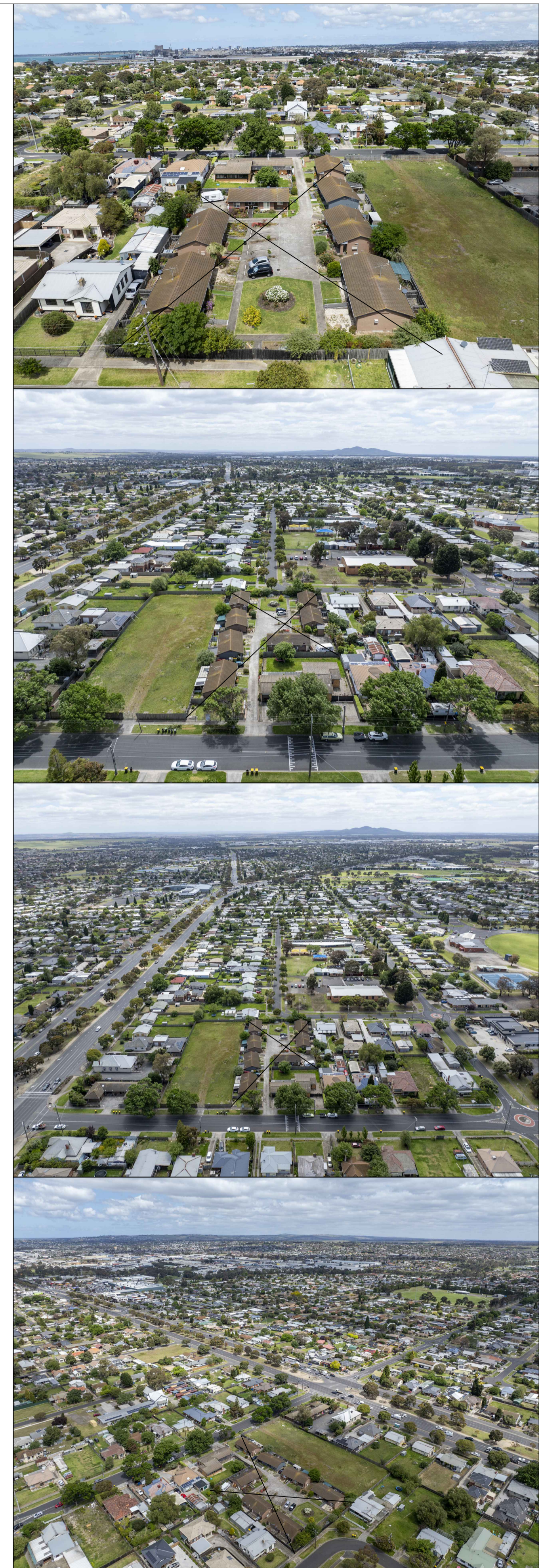
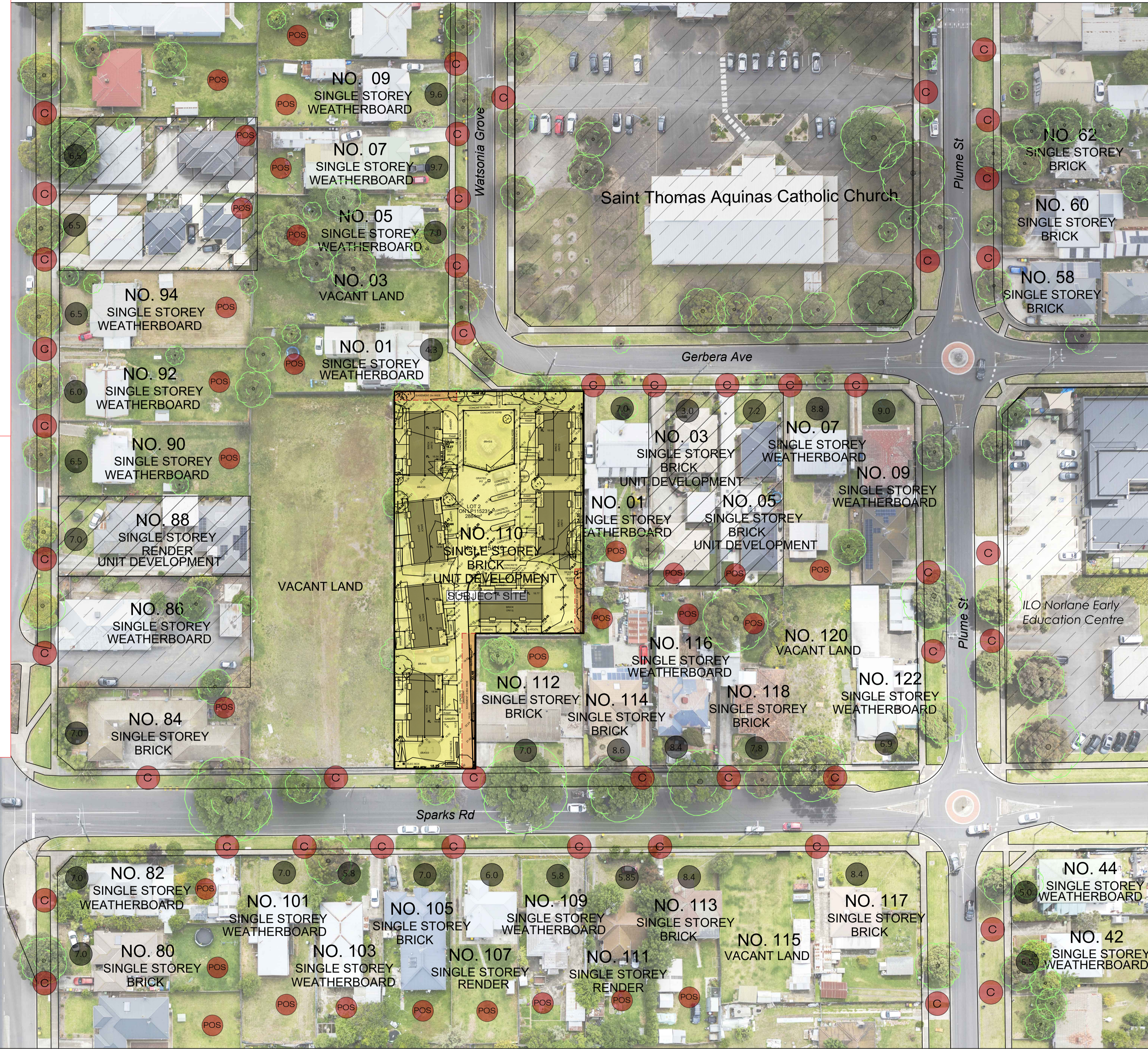
- 1| 600m Rosella Court Playground 74
- 2| 750m North Shore Football & Netball Club
- 3| 850m Evans Reserve Playground
- 4| 1.0km Cultura Northern Community Hub
- 5| 1.0 km Pettit Crescent Playground
- 6| 1.0 km Northern Bay College, Tallis Street P-8 Campus
- 7| 1.3 km Hockey Geelong
- 8| 3.5 km Bell Park North Primary School
- 9| 4.0 Rollins Primary School - Main Campus
- 10| 73.00km CBD Melbourne

10



LEGEND

- UNIT DEVELOPMENT
- RECREATIONAL / PUBLIC SPACES
- EXISTING TREES
- EXISTING CROSSOVER
- PRIVATE OPEN SPACE



NEIGHBOURHOOD SITE DESCRIPTION
SCALE 1:500

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PROJECT.
PROPOSED DEVELOPMENT
14 EXISTING DWELLINGS & 5 PROPOSED DWELLINGS - ALL SINGLE STOREY
NO. 110 SPARKS ROAD, NORLANE VIC

CLIENT.
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JOB NO: MQ_25_036
SCALE: AS NOTATED
DRAWN BY: MERAQ BUILDING DESIGNERS
DATE: 28/04/2026

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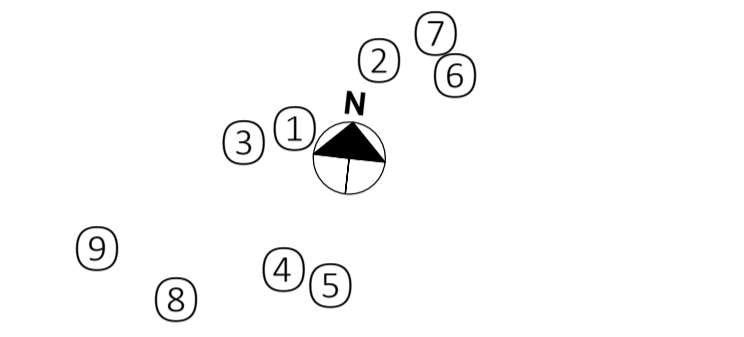
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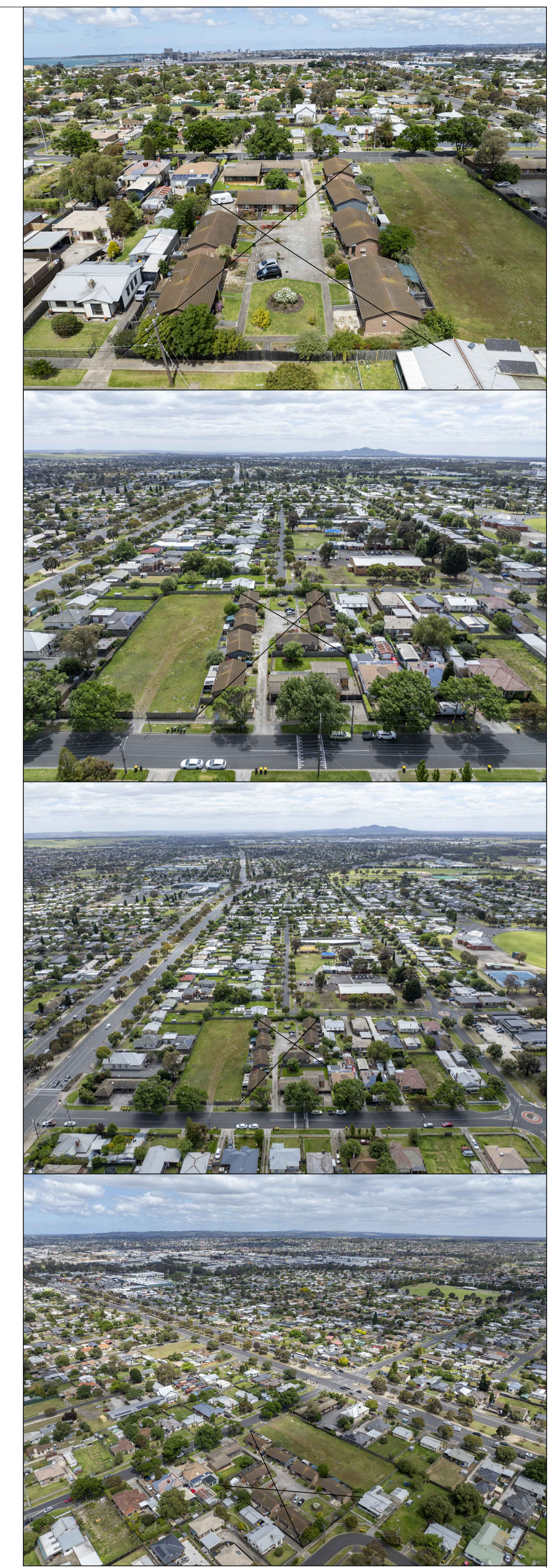
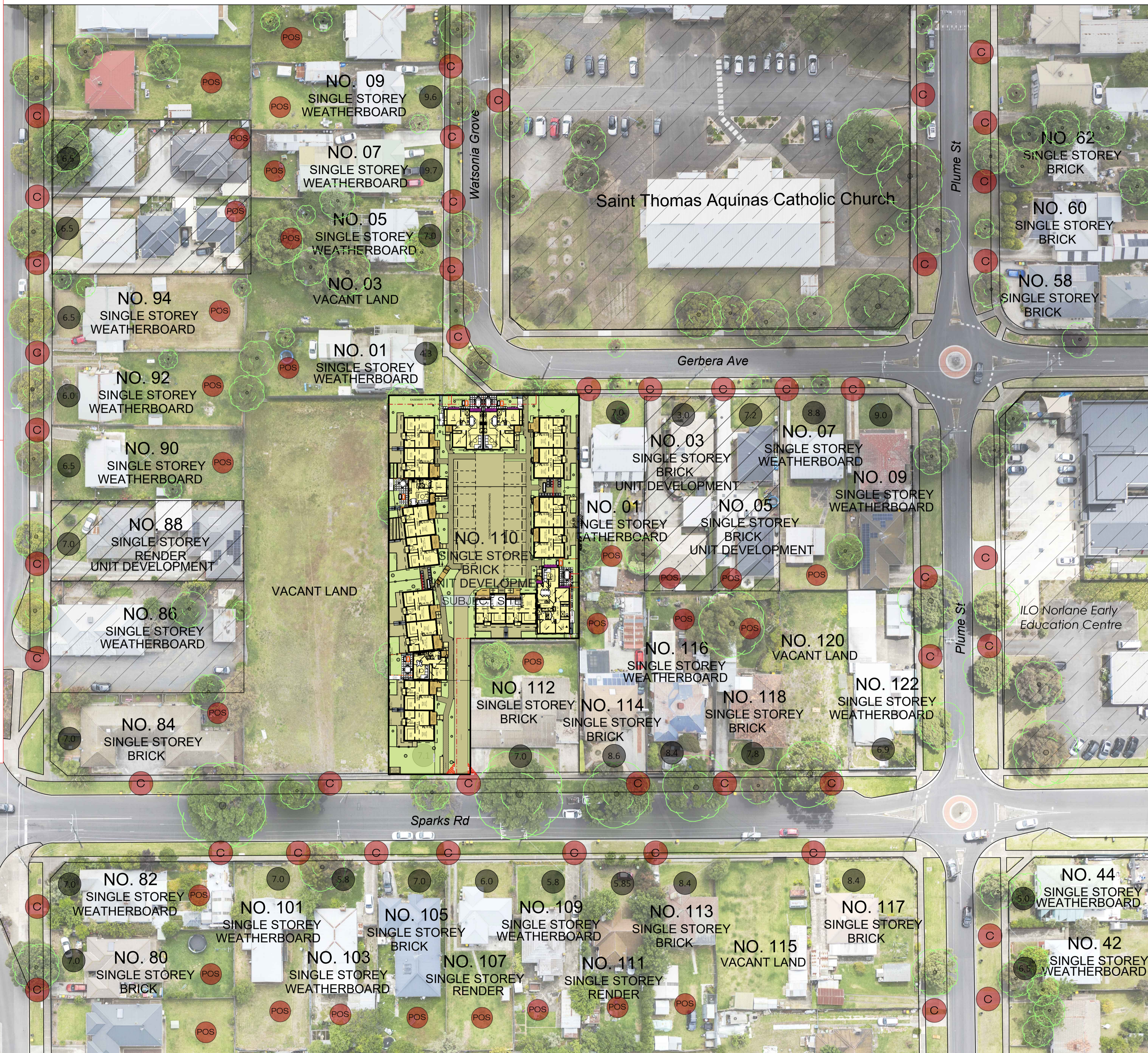
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NSD

- POINTS OF INTEREST**
- 1| 600m Rosella Court Playground 74
 - 2| 750m North Shore Football & Netball Club
 - 3| 850m Evans Reserve Playground
 - 4| 1.0km Cultura Northern Community Hub
 - 5| 1.0 km Pettitt Crescent Playground
 - 6| 1.0 km Northern Bay College, Tallis Street P-8 Campus
 - 7| 1.3 km Hockey Geelong
 - 8| 3.5 km Bell Park North Primary School
 - 9| 4.0 Rollins Primary School - Main Campus
 - 10| 73.00km CBD Melbourne



- LEGEND**
- UNIT DEVELOPMENT
 - RECREATIONAL / PUBLIC SPACES
 - EXISTING TREES
 - EXISTING CROSSOVER
 - PRIVATE OPEN SPACE



DESIGN RESPONSE SCALE 1:500

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PROJECT:
 PROPOSED DEVELOPMENT
 14 EXISTING DWELLINGS & 5 PROPOSED DWELLINGS - ALL SINGLE STOREY DWELLINGS - ALL SINGLE STOREY VIC
 NO. 110 SPARKS ROAD, NORLANE VIC

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|-------------------|------------------------------------|
| CLIENT: -- | |
| JOB NO: MQ_25_036 | DRAWN BY: MERAQ BUILDING DESIGNERS |
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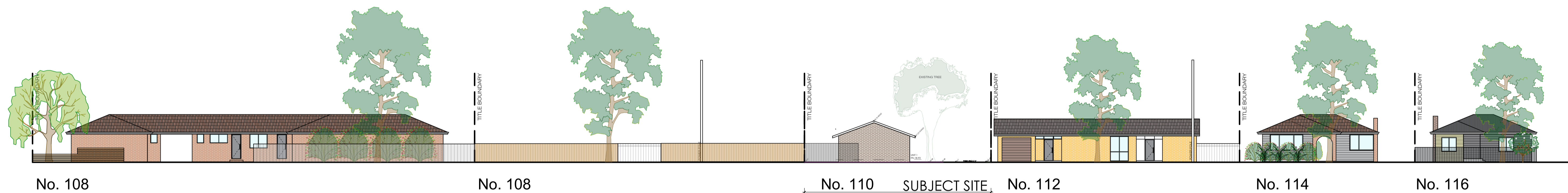
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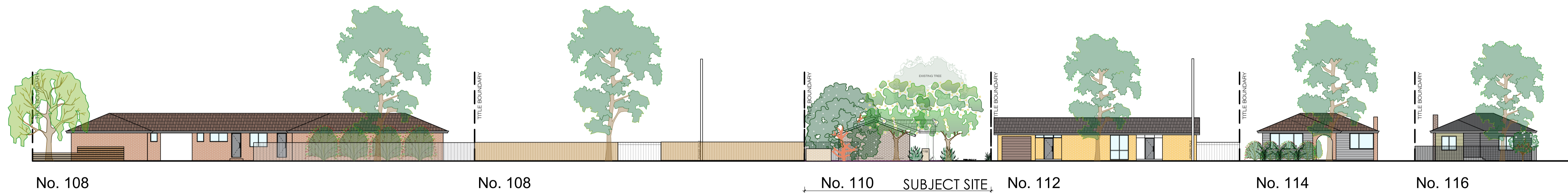
No. 108

No. 110 SUBJECT SITE No. 112

No. 114

No. 116

EXISTING STREETScape
SCALE 1:200



No. 108

No. 108

No. 110 SUBJECT SITE No. 112

No. 114

No. 116

PROPOSED STREETScape
SCALE 1:200

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PROJECT.
PROPOSED DEVELOPMENT
14 EXISTING DWELLINGS & 5 PROPOSED
DWELLINGS - ALL SINGLE STOREY
NO. 110 SPARKS ROAD, NORLANE VIC

CLIENT.
--
JOB NO: MQ_25_036
SCALE: AS NOTATED
DRAWN BY: MERAQ BUILDING DESIGNERS
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LEGEND

- EASEMENT AREA - REFER PLAN OF SUBDIVISION
- COLOURED CONCRETE FINISH - AS PER COLOUR SCHEDULE SOLAR ABSORBENCY 0.2
- COLOURED CONCRETE FINISH - AS PER COLOUR SCHEDULE SOLAR ABSORBENCY 0.7
- EXPOSED AGGREGATE CONCRETE FINISH - AS PER COLOUR SCHEDULE SOLAR ABSORBENCY 0.2
- PERMEABLE DECKING
- LAWN AND LANDSCAPED AREAS - COUCH OR KIKUYU GRASS - NOT ARTIFICIAL TURF
- PEBBLES, CRUSHED ROCK, OR OTHER PERMEABLE ROCK FINISH
- GARDEN BED - BLACK OR RED MULCH
- GROUND FLOOR ROOF UNDER (FIRST FLOOR PLAN ONLY)
- ANAL STORAGE AREA PER DWELLING - HEIGHT TO BE LESS THAN ANY ADJACENT PARKING GARAGE OVER CAR STORAGE TO BE SHOWN IN ADDITIONAL DIAGRAM
- FREE-STANDING CLOTHESLINE - NOT TO BE MOUNTED ON FENCES OR BOUNDARY WALLS - HEIGHT TO BE MAX 1.8M
- WATER TANKS - OR - SOLAR HOT WATER - EACH DWELLING TO HAVE EITHER A WATER TANK OR A SOLAR HOT WATER SYSTEM
- BINS AS PER INDIVIDUAL COUNCIL REQUIREMENTS - WHERE LOCATED WITHIN GARAGES, DWELLING MAY BE PROVIDED - WHERE LOCATED IN FRONT OF DWELLING, SCREENING AS NOTATED
- LETTER BOXES AS PER ELEVATIONS - NUMBERED AS PER DWELLING
- PERMEABLE PAVERS - SPACES TO ALLOW FOR JOBS PERMISSIBLY
- METER BOXES - WHERE ELEC WITH LETTER BOX, STRUCTURE MUST BE MIN. 1200MM HIGH, ALL ELECTRICAL CONNECTIONS FOR SITE TO BE UNDERGROUND
- HOT WATER SYSTEM OR BOOSTER (WHERE EXTERNAL)
- NEIGHBOURING - NEIGHBOURING PERMISSIBLE / DOOR / WINDOW
- ELECTRICAL POLE, TELECOM PIT, LIGHT POLE
- HEATING & COOLING SPLIT SYSTEM EXTERNAL CONDENSER OR ROOF MOUNTED EVAPORATIVE COOLING UNIT
- SMOKE DETECTORS AS PER AS3786
- EXHAUST FANS VENTED EXTERNALLY AS PER AS1468.2
- NATURAL GROUND LEVELS TO A.H.D. UNLESS SPECIFIED OTHERWISE. FILL CODES FINISHED FLOOR LEVEL.
- EXISTING FENCES
- SENSOR LIGHTING (BOLLARD OR WALL MOUNTED)
- APPROX. DRAIN LOCATION TO BE CONFIRMED ON SITE.
- SEWER PIT, LINE & TIE.
- RETAINING WALLS - HEIGHTS AS NOTATED. TO BE CONSTRUCTED AS PER ENG. APPROVED. LANDSCAPING PLANS.
- FEATURES - CONCRETE INTERSPERSED WITH GRASS SOLAR ABSORBENCY 0.2
- RAINGARDEN - REFER TO PLAN FOR RAINGARDEN REQUIREMENTS AND DETAILS

TOWN PLANNING DRAWINGS ARE TO BE READ AS A WHOLE. NOTES ONLY INCLUDED ON AN INDIVIDUAL PAGE ARE STILL REQUIRED BY THE WHOLE PROPOSAL.

ELECTRICITY COMPANY CONNECTIONS TO THE PROPOSED DWELLINGS ARE TO BE PROVIDED UNDERGROUND.

ALL STORM WATER INFRASTRUCTURE AS REQUIRED BY CONDITIONS OF THE PLANNING PERMIT ARE TO BE LOCATED WITHIN THE DRIVEWAY AND NOT IN THE AREAS SET ASIDE FOR LANDSCAPING.

ALFRESCO/DECK - ANY EXTERNAL LIVING AREAS (ALFRESCO, DECK, ETC) FOR EACH DWELLING IS NOT TO BE FULLY ENCLOSED AT ANY TIME. SIDE AND/OR REAR SECTION MUST BE LEFT OPEN TO PRIVATE OPEN SPACE.

PLANT AND EQUIPMENT - ALL EXTERNAL PLANT AND EQUIPMENT TO BE POSITIONED TO PREVENT UNREASONABLE NOISE AND VISUAL IMPACT. POSITIONS OF ROOF FIXTURES (SUCH AS SKYLIGHTS, SOLAR PANELS, CONDENSERS, ETC) ARE APPROXIMATE. LOCATIONS TBC WITH BUILDER & TRUSS MFR.

SERVICE PIPES, FITTINGS, & FIXTURES EXCLUDING DOWNPIPES TO BE CONCEALED ON EXPOSED ELEVATIONS TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY. DOWNPIPES TO BE PAINTED TO MATCH WALL FINISHES WHERE NECESSARY. REFER COLOUR SCHEDULE.

VISIBILITY SPLAYS AS PER CLAUSE 52.06.9, HAVE A CORNER SPLAY OR AREA AT LEAST 50 PER CENT CLEAR OF VISUAL OBSTRUCTIONS EXTENDING AT LEAST 2 METRES ALONG THE FRONTAGE ROAD FROM THE EDGE OF AN EXIT LANE AND 2.5 METRES ALONG THE EXIT LANE FROM THE FRONTAGE. TO PROVIDE A CLEAR VIEW OF PEDESTRIANS ON THE FOOTPATH OF THE FRONTAGE ROAD. THE AREA CLEAR OF VISUAL OBSTRUCTIONS MAY INCLUDE AN ADJACENT ENTRY OR EXIT LANE WHERE MORE THAN ONE LANE IS PROVIDED, OR ADJACENT LANDSCAPED AREAS, PROVIDED THE LANDSCAPING IN THOSE AREAS IS LESS THAN 900MM IN HEIGHT.

SUSTAINABILITY DESIGN ASSESSMENT WHERE ANY ADDITIONAL INFORMATION IS SUPPLIED WITHIN VISUAL PLANS, FORMANUSIC REPORTS, AND BSS REPORTS, ALL CONSTRUCTION MUST ALSO COMPLY WITH SPECIFICATIONS WITHIN THESE DOCUMENTS.

VEHICLE PARKING AREAS SET ASIDE FOR PARKED VEHICLES AND ACCESS LANES AS SHOWN ON THE PROPOSED PLANS MUST BE TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY BE:

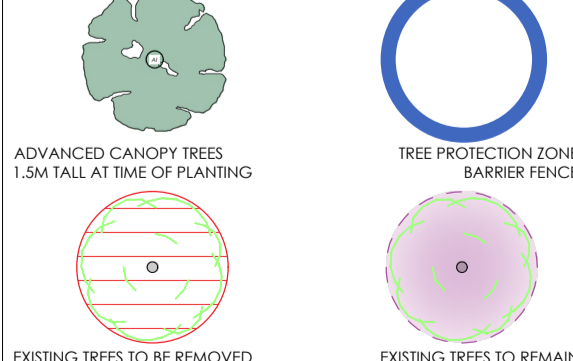
- (i) CONSTRUCTED;
- (ii) PROPERLY FORMED TO SUCH LEVELS THAT THEY CAN BE USED IN ACCORDANCE WITH THE PLANS;
- (iii) SURFACED WITH ASPHALT OR CONCRETE UNLESS ANOTHER SURFACE TREATMENT IS APPROVED BY THE RESPONSIBLE AUTHORITY;
- (iv) DRAINED AND MAINTAINED;
- (v) LINES MARKED TO INDICATE EACH CAR SPACE AND ALL ACCESS LANES AND BE KEPT AVAILABLE FOR THESE PURPOSES AT ALL TIMES;
- (vi) GARAGES MUST AT ALL TIMES BE KEPT AVAILABLE FOR PRIMARY PURPOSE OF PARKING MOTOR VEHICLES AND MUST NOT BE USED FOR ANY OTHER PURPOSE.

VEHICLE CROSSOVER ANY VEHICLE CROSSINGS MUST BE CONSTRUCTED IN THE LOCATION SHOWN ON THE ENDORSED PLAN TO A STANDARD SATISFACTORY TO THE RESPONSIBLE AUTHORITY. THE RELOCATION OF ANY SERVICES INCLUDING ELECTRICITY POLES, DRAINAGE PITS, TELECOM PITS, FIRE HYDRANTS AND THE LIKE MUST BE AT THE EXPENSE OF THE OWNER AND APPROVED BY THE APPROPRIATE AUTHORITY PRIOR TO UNDERTAKING SUCH WORKS. CONSENT FOR SUCH CROSSINGS MUST BE OBTAINED THROUGH COUNCIL'S CONTRACTS, PROCUREMENT AND ASSET PROTECTION DEPARTMENT PRIOR TO CONSTRUCTION.

TREE PROTECTION ZONES

A SUITABLE TREE PROTECTION ZONE OF 1.0M RADIUS WITH BARRIER FENCE MUST BE ESTABLISHED AROUND THE STREET TREE ON THE SUBJECT SITE. THIS FENCE MUST NOT ENCLOSE THE FOOTPATH WHICH MUST BE KEPT CLEAR FOR PEDESTRIAN ACCESS AND A SIGN MUST BE ERRECTED ON THE FENCE INFORMING THAT THE FENCE IS A TREE PROTECTION ZONE.

TREE PROTECTION ZONES MUST BE ENCLOSED USING A 2 METER HIGH TEMPORARY CYCLOPE FENCE OR SIMILAR, WHICH MUST REMAIN IN PLACE THROUGH ALL STAGES OF THE DEVELOPMENT. THE AREA WITHIN THE PROTECTION ZONE MUST NOT BE DISTURBED BY ANY MEANS (INCL. PARKING OF VEHICLES OR STORAGE OF PLANT & EQUIPMENT, MATERIALS, SOIL OR WASTE). NO EXCAVATION IS ALLOWED WITHIN THE TREE PROTECTION ZONE EXCEPT WITH THE CONSENT OF COUNCIL'S TOWN PLANNING DEPARTMENT & UNDER THE SUPERVISION OF A QUALIFIED ARBORIST.



PROPOSED SITE PLAN SHOWING FULL SITE SCALE 1:150

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PROJECT.
PROPOSED DEVELOPMENT
14 EXISTING DWELLINGS & 5 PROPOSED DWELLINGS - ALL SINGLE STOREY
NO. 110 SPARKS ROAD, NORLANE VIC

CLIENT.
--

JOB NO: MQ_25_036

SCALE: AS NOTATED

DRAWN BY: MERAQ BUILDING DESIGNERS

DATE: 28/04/2026

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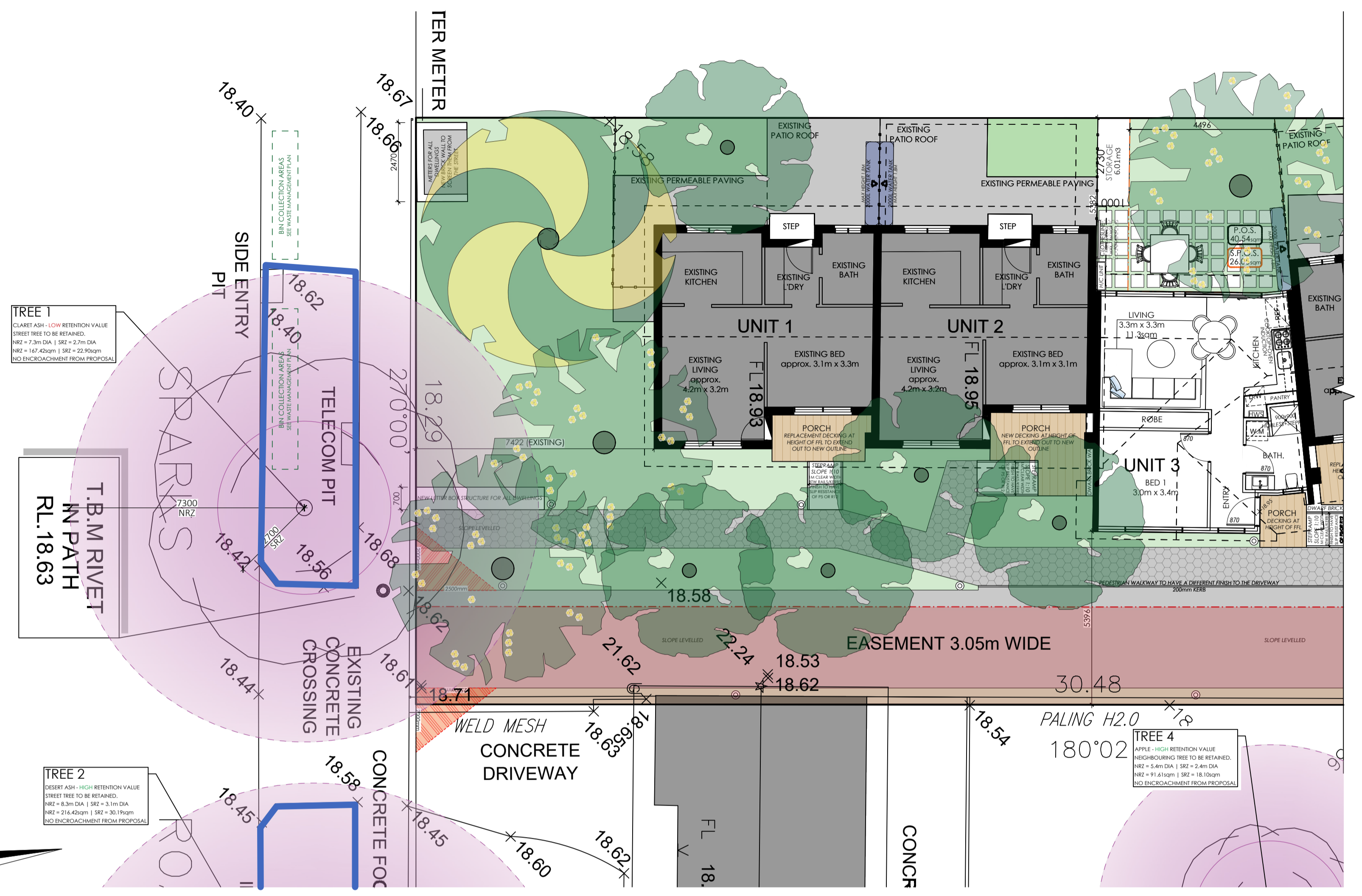
LEGEND

| | |
|--|--|
| | EASEMENT AREA REFER PLAN OF SUBDIVISION |
| | COLOURED CONCRETE FINISH - AS PER COLOUR SCHEDULE SOLAR ABSORBENCY 0.2 |
| | EXPOSED AGGREGATE CONCRETE FINISH - AS PER COLOUR SCHEDULE, SOLAR ABSORBENCY 0.2 |
| | PERMEABLE DECKING |
| | LAWN AND LANDSCAPED AREAS COURCH OR KIKIYU GRASS - NOT ARTIFICIAL TURF |
| | PEBBLES, CRUSHED ROCK, OR OTHER PERMEABLE ROCK FINISH |
| | GARDEN BED - BLACK OR RED MULCH |
| | GROUND FLOOR ROOF UNDER FIRST FLOOR PLAN ONLY |
| | BIN STORAGE AREA PER DWELLING HEIGHT TO BE LESS THAN ANY ADJACENT FINISHING GARAGE FLOOR TO BE LOWER THAN ANY ADJACENT ADDITIONAL DIAGRAM |
| | FREE-STANDING CLOSETLINE - NOT TO BE LOCATED ON FENCES OR BOUNDARY WALLS - HEIGHT TO BE 1.8m MAX |
| | WATER TANKS - OR - SOLAR HOT WATER EACH DWELLING TO HAVE EITHER A WATER TANK OR A SOLAR HOT WATER SYSTEM |
| | BINS AS PER INDIVIDUAL COUNCIL REQUIREMENTS WHERE LOCATED WITHIN GARAGE, BINNAGE MUST BE PROVIDED WHERE LOCATED IN FRONT OF DWELLING, SCREENING AS NOTATED |
| | LETTER BOXES AS PER ELEVATIONS - NUMBERED AS PER DWELLING |
| | PERMEABLE PAVERS - SPACES TO MATCH 50% PERMEABILITY |
| | METER BOXES WHERE BINS ARE LOCATED, STRUCTURE MUST BE MIN. 1200MM HIGH, ALL ELECTRICAL CONNECTIONS FOR SITE TO BE UNDERGROUND |
| | HOT WATER SYSTEM OR BOOSTER (WHERE EXTERNAL) |
| | NEIGHBOURING BOUNDARY - PERMEABLE / DOOR / WINDOW SIDE ENTRY PIT |
| | ELECTRICAL POLE, TELECOM PIT, LIGHT POLE |
| | HEATING & COOLING SPLIT SYSTEM EXTERNAL CONDENSER OR ROOF MOUNTED EVAPORATIVE COOLING UNIT |
| | SMOKE DETECTORS AS PER AS3786 |
| | EXHAUST FANS VENTED EXTERNALLY AS PER AS1688.2 |
| | NATURAL GROUND LEVELS TO A.H.D. UNLESS SPECIFIED OTHERWISE, 'FL' DENOTES FINISHED FLOOR LEVEL. |
| | EXISTING FENCES |
| | SENSOR LIGHTING (BOLLARD OR WALL MOUNTED) |
| | APPROX. DRAIN LOCATION TO BE CONFIRMED ON SITE. |
| | SEWER PIT, LINE & TIE |
| | RETAINING WALLS - HEIGHTS AS NOTATED, TO BE CONSTRUCTED AS PER ENG. APPROVED, & LANDSCAPING PLANS. |
| | FEATURE TO BE INTERSECTED WITH GRASS (SOLAR ABSORBENCY 0.2) |
| | RAIN GARDEN REFER REQUIREMENTS AND DETAILS |

DEVELOPMENT SUMMARY

| | | | | | | | | | | | | | | | | | | |
|--|--|--|---|--|---|--|--|---|--|--|--|--|---|---|--|---|---|---|
| DWELLING ONE (1) EXISTING UNIT ONE - NO CHANGES DWELLING SIZE: approx. 44.83 SQM PORCH: approx. 3.17 SQM COURTYARD: approx. 31 SQM SITE COVERAGE: 48.00 SQM 1.66% | DWELLING TWO (2) EXISTING UNIT TWO - NO CHANGES DWELLING SIZE: approx. 44.83 SQM PORCH: approx. 5.17 SQM BEDROOMS: 1 BATHROOMS: 1 PROPOSED PARKING: 1 COURTYARD: approx. 22 SQM SITE COVERAGE: 50.00 SQM 1.73% | DWELLING THREE (3) PROPOSED ADDITIONAL DWELLING DWELLING SIZE: 47.30 SQM PORCH: 1.77 SQM BEDROOMS: 1 BATHROOMS: 1 PROPOSED PARKING: 1 SCCLUDED POS: 26.05 SQM TOTAL POS: 40.57 SQM SITE COVERAGE: 49.07 SQM 1.70% | DWELLING FOUR (4) EXISTING UNIT THREE - NO CHANGES DWELLING SIZE: approx. 44.83 SQM PORCH: approx. 5.17 SQM BEDROOMS: 1 BATHROOMS: 1 PROPOSED PARKING: 1 COURTYARD: approx. 29 SQM SITE COVERAGE: 50.00 SQM 1.73% | DWELLING FIVE (5) EXISTING UNIT FOUR - NO CHANGES DWELLING SIZE: approx. 44.83 SQM PORCH: approx. 5.17 SQM BEDROOMS: 1 BATHROOMS: 1 PROPOSED PARKING: 1 COURTYARD: approx. 29 SQM SITE COVERAGE: 50.00 SQM 1.73% | DWELLING SIX (6) EXISTING UNIT FIVE - NO CHANGES DWELLING SIZE: approx. 44.83 SQM PORCH: approx. 5.17 SQM BEDROOMS: 1 BATHROOMS: 1 PROPOSED PARKING: 1 COURTYARD: approx. 29 SQM SITE COVERAGE: 50.00 SQM 1.73% | DWELLING SEVEN (7) EXISTING UNIT SIX - NO CHANGES DWELLING SIZE: approx. 44.83 SQM PORCH: approx. 5.17 SQM BEDROOMS: 1 BATHROOMS: 1 PROPOSED PARKING: 1 COURTYARD: approx. 24 SQM SITE COVERAGE: 50.00 SQM 1.73% | DWELLING EIGHT (8) PROPOSED ADDITIONAL DWELLING DWELLING SIZE: 44.05 SQM PORCH: 2.44 SQM BEDROOMS: 1 BATHROOMS: 1 PROPOSED PARKING: 1 SCCLUDED POS: 25.62 SQM TOTAL POS: 36.79 SQM SITE COVERAGE: 46.49 SQM 1.61% | DWELLING NINE (9) EXISTING UNIT SEVEN - NO CHANGES DWELLING SIZE: approx. 44.83 SQM PORCH: approx. 5.17 SQM BEDROOMS: 1 BATHROOMS: 1 PROPOSED PARKING: 1 COURTYARD: approx. 23 SQM SITE COVERAGE: 50.00 SQM 1.73% | DWELLING TEN (10) EXISTING UNIT EIGHT - NO CHANGES DWELLING SIZE: approx. 44.83 SQM PORCH: approx. 5.17 SQM BEDROOMS: 1 BATHROOMS: 1 PROPOSED PARKING: 1 COURTYARD: approx. 24 SQM PROPOSED TOTAL POS: 94.07 SQM SITE COVERAGE: 50.00 SQM 1.73% | DWELLING ELEVEN (11) PROPOSED ADDITIONAL DWELLING DWELLING SIZE: 68.20 SQM PORCH: 2.25 SQM BEDROOMS: 2 BATHROOMS: 1 PROPOSED PARKING: 1 SCCLUDED POS: 25.00 SQM TOTAL POS: 47.90 SQM SITE COVERAGE: 70.45 SQM 2.44% | DWELLING TWELVE (12) PROPOSED ADDITIONAL DWELLING DWELLING SIZE: 68.20 SQM PORCH: 2.25 SQM BEDROOMS: 2 BATHROOMS: 1 PROPOSED PARKING: 1 SCCLUDED POS: 25.00 SQM TOTAL POS: 47.90 SQM SITE COVERAGE: 70.45 SQM 2.44% | DWELLING THIRTEEN (13) EXISTING UNIT NINE - NO CHANGES DWELLING SIZE: approx. 44.83 SQM PORCH: approx. 5.17 SQM BEDROOMS: 1 BATHROOMS: 1 PROPOSED PARKING: 1 COURTYARD: approx. 24 SQM PROPOSED TOTAL POS: 68.33 SQM SITE COVERAGE: 50.00 SQM 1.73% | DWELLING FOURTEEN (14) EXISTING UNIT TEN - NO CHANGES DWELLING SIZE: approx. 44.83 SQM PORCH: approx. 5.17 SQM BEDROOMS: 1 BATHROOMS: 1 PROPOSED PARKING: 1 COURTYARD: approx. 23 SQM PROPOSED TOTAL POS: 41.33 SQM SITE COVERAGE: 50.00 SQM 1.73% | DWELLING FIFTEEN (15) EXISTING UNIT ELEVEN - NO CHANGES DWELLING SIZE: approx. 44.83 SQM PORCH: approx. 5.17 SQM BEDROOMS: 1 BATHROOMS: 1 PROPOSED PARKING: 1 COURTYARD: approx. 23 SQM PROPOSED TOTAL POS: 41.27 SQM SITE COVERAGE: 50.00 SQM 1.73% | DWELLING SIXTEEN (16) EXISTING UNIT TWELVE - NO CHANGES DWELLING SIZE: approx. 44.83 SQM PORCH: approx. 5.17 SQM BEDROOMS: 1 BATHROOMS: 1 PROPOSED PARKING: 1 COURTYARD: approx. 23 SQM SITE COVERAGE: 50.00 SQM 1.73% | DWELLING SEVENTEEN (17) PROPOSED ADDITIONAL DWELLING DWELLING SIZE: 96.29 SQM PORCH: 1.80 SQM BEDROOMS: 3 BATHROOMS: 2 PROPOSED PARKING: 2 SCCLUDED POS: 28.33 SQM TOTAL POS: 78.00 SQM SITE COVERAGE: 98.09 SQM 3.40% | DWELLING EIGHTEEN (18) EXISTING UNIT THIRTEEN - NO CHANGES DWELLING SIZE: approx. 44.83 SQM PORCH: approx. 3.17 SQM BEDROOMS: 1 BATHROOMS: 1 PROPOSED PARKING: 1 COURTYARD: approx. 23 SQM SITE COVERAGE: 48.00 SQM 1.66% | DWELLING NINETEEN (19) EXISTING UNIT FOURTEEN - NO CHANGES DWELLING SIZE: approx. 44.83 SQM PORCH: approx. 5.17 SQM BEDROOMS: 1 BATHROOMS: 1 PROPOSED PARKING: 1 COURTYARD: approx. 23 SQM SITE COVERAGE: 50.00 SQM 1.73% |
|--|--|--|---|--|---|--|--|---|--|--|--|--|---|---|--|---|---|---|

TOTAL ALLOTMENT SIZE: 2884.00 SQM
SITE COVERAGE: 696.00 SQM
EXISTING: 9.66 SQM
EXISTING NEW PORCHES: 334.55 SQM
PROPOSED: 25.18 SQM
TOTAL: 1065.39 SQM
MAX. 65%
OFF-STREET PARKING: 6 SPACES
EXISTING LEGITIMATE: 0 SPACES
EXISTING DIRT SPACES: 0 SPACES
PROPOSED ASSIGNED CAR SPACES: 1x CAR SPACE PER 1 BED DWELLING
1x CAR SPACE PER 2 BED DWELLING (2)
2x CAR SPACE PER 3 BED DWELLING (1)
TOTAL: 20 SPACES
PERMEABLE AREA: 750.51 SQM (26.0%)
GARDEN SPACE: 1152.78 SQM (39.97%)
MIN. 35%



PROPOSED SITE AND GROUND FLOOR PLAN SCALE 1:100

DOWN PLANNING DRAWINGS ARE TO BE READ AS A WHOLE. NOTES ONLY INCLUDED ON AN INDIVIDUAL PAGE ARE STILL REQUIRED BY THE WHOLE PROPOSAL.

ELECTRICITY COMPANY CONNECTIONS TO THE PROPOSED DWELLING/S ARE TO BE PROVIDED UNDERGROUND.

ALL STORM WATER INFRASTRUCTURE AS REQUIRED BY CONDITIONS OF THE PLANNING PERMIT ARE TO BE LOCATED WITHIN THE DRIVEWAY AND NOT IN THE AREAS SET ASIDE FOR LANDSCAPING.

ALFRESCO/DECK - ANY EXTERNAL LIVING AREAS (ALFRESCO, DECK, ETC) FOR EACH DWELLING IS NOT TO BE FULLY ENCLOSED AT ANY TIME, SIDE AND/OR REAR SECTION MUST BE LEFT OPEN TO PROVIDE AN OPEN SPACE.

PLANT AND EQUIPMENT - ALL EXTERNAL PLANT AND EQUIPMENT TO BE POSITIONED TO PREVENT UNREASONABLE NOISE AND VISUAL IMPACT. POSITIONS OF ROOF FIXTURES (SUCH AS SKYLIGHTS, SOLAR PANELS, CONDENSERS, ETC) ARE APPROXIMATE. LOCATIONS TO BE CONFIRMED BY BUILDER & TRUSS MFR.

SERVICE PIPES, FITTINGS, & FIXTURES EXCLUDING DOWNPIPES TO BE CONCEALED ON EXPOSED ELEVATIONS TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY. DOWNPIPES TO BE PAINTED TO MATCH WALL FINISHES WHERE NECESSARY. REFER COLOUR SCHEDULE.

VISIBILITY SPLAYS AS PER CLAUSE 52.06-9, HAVE A CORNER SPLAY OR AREA AT LEAST 50 PER CENT CLEAR OF VISUAL OBSTRUCTIONS EXTENDING AT LEAST 2 METRES ALONG THE FRONTAGE ROAD FROM THE EDGE OF AN EXIT LANE AND 2.5 METRES ALONG THE EXIT LANE FROM THE FRONTAGE TO PROVIDE A CLEAR VIEW OF PEDESTRIANS ON THE FOOTPATH OF THE FRONTAGE ROAD. THE AREA CLEAR OF VISUAL OBSTRUCTIONS MAY INCLUDE AN ADJACENT ENTRY OR EXIT LANE WHERE MORE THAN ONE LANE IS PROVIDED, OR ADJACENT LANDSCAPED AREAS, PROVIDED THE LANDSCAPING IN THOSE AREAS IS LESS THAN 900MM IN HEIGHT.

SUSTAINABILITY DESIGN ASSESSMENT WHERE ANY ADDITIONAL INFORMATION IS SUPPLIED WITHIN S.D.A. WIND PLANS, STORMWATER REPORTS, AND BESS REPORTS, ALL CONSTRUCTION MUST ALSO COMPLY WITH SPECIFICATIONS WITHIN THESE DOCUMENTS.

VEHICLE PARKING AREAS SET ASIDE FOR PARKED VEHICLES AND ACCESS LANES AS SHOWN ON THE ENDORSED PLANS MUST TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY BE:

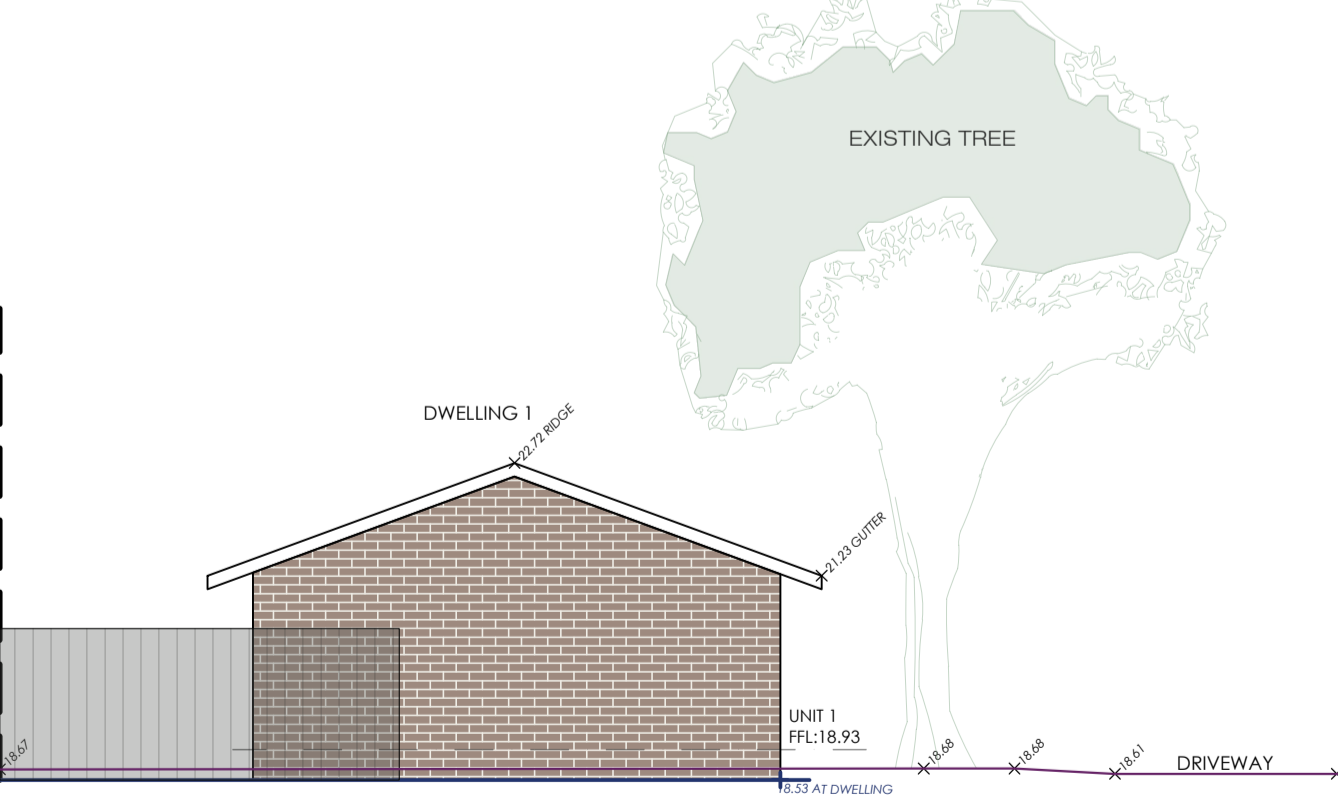
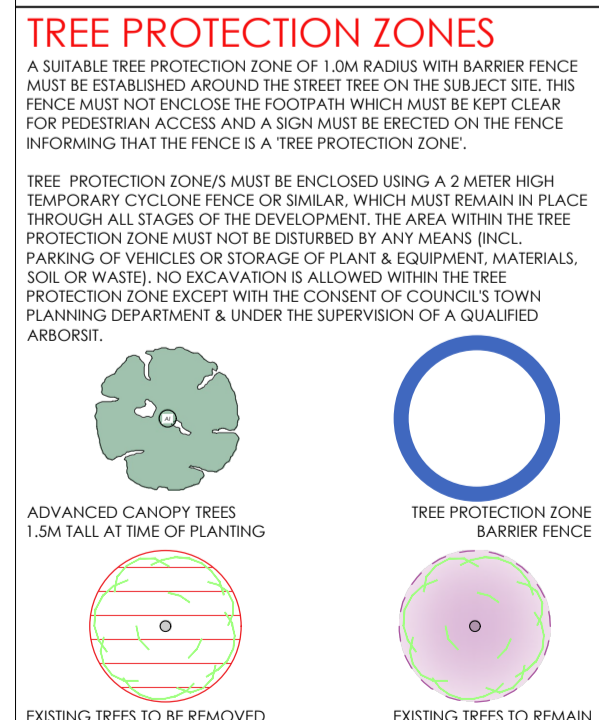
- a) CONSTRUCTED.
- b) PROPERLY FORMED TO SUCH LEVELS THAT THEY CAN BE USED IN ACCORDANCE WITH THE PLANS.
- c) SURROUNDED WITH ASPHALT OR CONCRETE UNLESS ANOTHER SURFACE TREATMENT IS APPROVED BY THE RESPONSIBLE AUTHORITY.
- d) DRAINED AND MAINTAINED.
- e) LINE-MARKED TO INDICATE EACH CAR SPACE AND ALL ACCESS LANES AND BE KEPT AVAILABLE FOR THESE PURPOSES AT ALL TIMES.

GARAGES MUST AT ALL TIMES BE KEPT AVAILABLE FOR PRIMARY PURPOSE OF PARKING MOTOR VEHICLES AND MUST NOT BE USED FOR ANY OTHER PURPOSE.

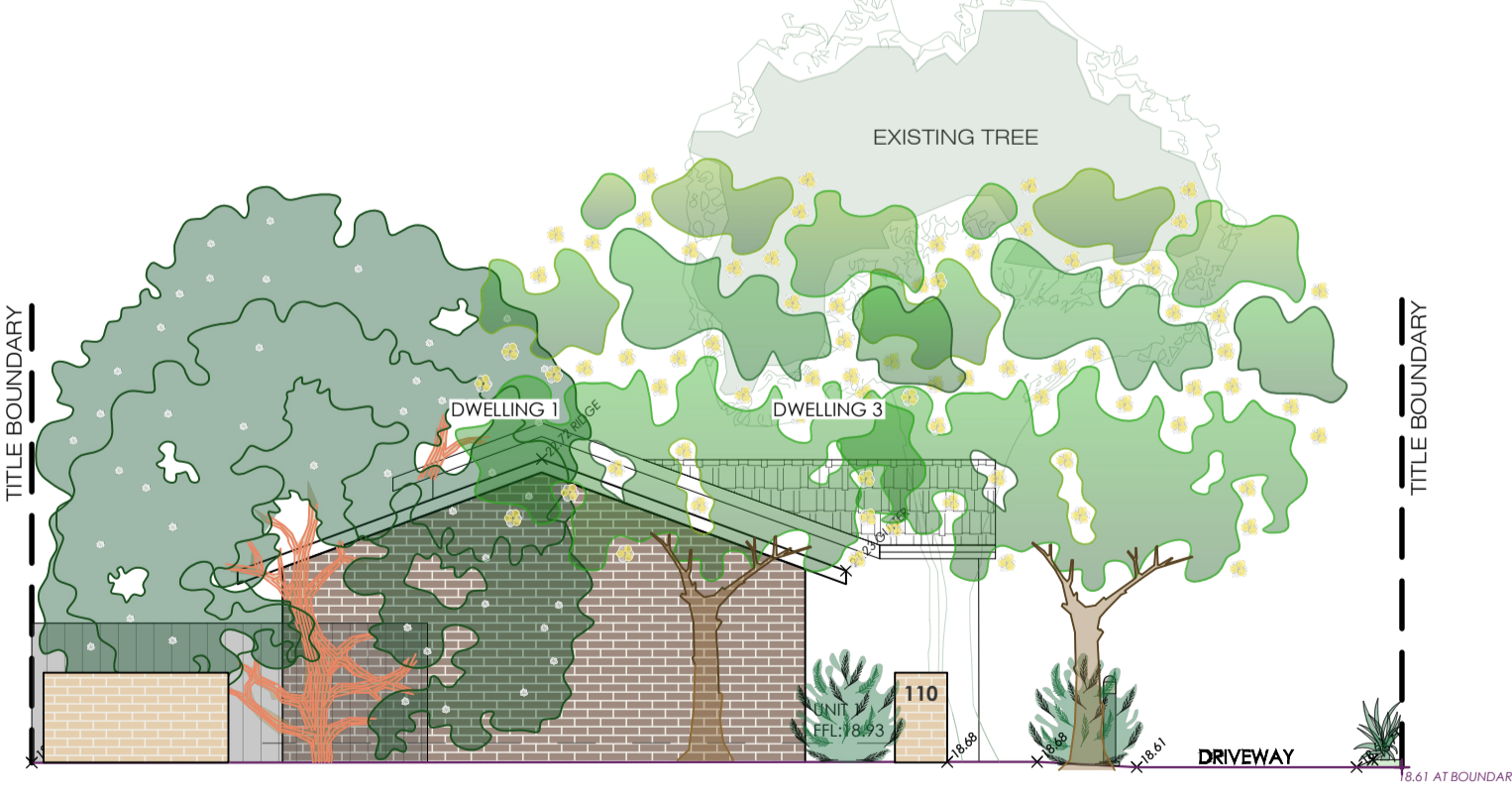
VEHICLE CROSSOVER
ANY VEHICLE CROSSINGS MUST BE CONSTRUCTED IN THE LOCATION SHOWN ON THE ENDORSED PLANS TO A STANDARD SATISFACTORY TO THE RESPONSIBLE AUTHORITY. THE RELOCATION OF ANY SERVICES INCLUDING ELECTRICITY POLES, DRAINAGE PITS, TRESTLA PITS, FIRE HYDRANTS AND THE LIKE MUST BE AT THE EXPENSE OF THE OWNER AND APPROVED BY THE APPROPRIATE AUTHORITY PRIOR TO UNDERTAKING SUCH WORKS. CONSENT FOR SUCH CROSSINGS MUST BE OBTAINED THROUGH COUNCIL'S CONTRACTS, PROCUREMENT AND ASSET PROTECTION DEPARTMENT PRIOR TO CONSTRUCTION.

TREE PROTECTION ZONES
A SUITABLE TREE PROTECTION ZONE OF 1.0M RADIUS WITH BARRIER FENCE MUST BE ESTABLISHED AROUND THE STREET TREE ON THE SUBJECT SITE. THIS FENCE MUST ENCLOSE THE FOOTPATH WHICH MUST BE KEPT CLEAR FOR PEDESTRIAN ACCESS AND A SIGN MUST BE ERRECTED ON THE FENCE INFORMING THAT THE FENCE IS A TREE PROTECTION ZONE.

TREE PROTECTION ZONES MUST BE ENCLOSED USING A 2 METER HIGH TEMPORARY CYCLO ONE FENCE OR SIMILAR, WHICH MUST REMAIN IN PLACE THROUGHOUT ALL STAGES OF THE DEVELOPMENT. THE AREA WITHIN THE TREE PROTECTION ZONE MUST NOT BE DISTURBED BY ANY MEANS (INCL. PARKING OF VEHICLES OR STORAGE OF PLANT & EQUIPMENT, MATERIALS, SOIL OR WASTE). NO EXCAVATION IS ALLOWED WITHIN THE TREE PROTECTION ZONE EXCEPT WITH THE CONSENT OF COUNCIL'S TOWN PLANNING DEPARTMENT & UNDER THE SUPERVISION OF A QUALIFIED ARBORIST.



EXISTING FACADE - SOUTH ELEVATION SCALE 1:100



PROPOSED FACADE - SOUTH ELEVATION SCALE 1:100

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B3-11 STORAGE CALCULATION TABLES FOR PROPOSED DWELLINGS

| DWELLING 3 | DWELLING 8 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|--|---------------|-----------|----|------------------|----------|------|-------------|--------------|------|------------------|--------------|------|--------------|---------------|------|-----------------|---------------|------|------------------------|---------------|------|-----------------|---------------|------|------------------|---------|------|----------------------------|-------------|---|-------|---------|------|---|---------------|-----------|----|------------------|----------|------|-------------|--------------|------|------------------|--------------|------|--------------|---------------|------|-----------------|---------------|------|------------------------|---------------|------|-----------------|---------------|------|------------------|---------|------|----------------------------|-------------|------|-------|---------|------|
| <p>STORAGE CALCULATION (B3-11) 1 Bedroom Dwelling</p> <table border="1"> <tr><td>TOTAL STORAGE</td><td>MIN: 10m³</td><td>17</td></tr> <tr><td>INTERNAL STORAGE</td><td>MIN: 8m³</td><td>6.21</td></tr> <tr><td>MASTER ROBE</td><td>3.40 m x 1.2</td><td>4.08</td></tr> <tr><td>500mm DEEP LINEN</td><td>0.00 m x 1.2</td><td>0.00</td></tr> <tr><td>BENCH LENGTH</td><td>1.40 m x 0.45</td><td>0.63</td></tr> <tr><td>BENCH OVERHEADS</td><td>1.70 m x 0.25</td><td>0.43</td></tr> <tr><td>FULL HEIGHT PANTRY ETC</td><td>0.60 m x 1.44</td><td>0.86</td></tr> <tr><td>BATHROOM VANITY</td><td>0.90 m x 0.28</td><td>0.25</td></tr> <tr><td>OTHER/ADDITIONAL</td><td>0.00 m³</td><td>0.00</td></tr> <tr><td>OUTSIDE ACCESSIBLE STORAGE</td><td>MIN: 1.99m³</td><td>6</td></tr> <tr><td>OTHER</td><td>1.00 m³</td><td>6.00</td></tr> </table> | TOTAL STORAGE | MIN: 10m³ | 17 | INTERNAL STORAGE | MIN: 8m³ | 6.21 | MASTER ROBE | 3.40 m x 1.2 | 4.08 | 500mm DEEP LINEN | 0.00 m x 1.2 | 0.00 | BENCH LENGTH | 1.40 m x 0.45 | 0.63 | BENCH OVERHEADS | 1.70 m x 0.25 | 0.43 | FULL HEIGHT PANTRY ETC | 0.60 m x 1.44 | 0.86 | BATHROOM VANITY | 0.90 m x 0.28 | 0.25 | OTHER/ADDITIONAL | 0.00 m³ | 0.00 | OUTSIDE ACCESSIBLE STORAGE | MIN: 1.99m³ | 6 | OTHER | 1.00 m³ | 6.00 | <p>STORAGE CALCULATION (B3-11) 1 Bedroom Dwelling</p> <table border="1"> <tr><td>TOTAL STORAGE</td><td>MIN: 10m³</td><td>17</td></tr> <tr><td>INTERNAL STORAGE</td><td>MIN: 8m³</td><td>6.21</td></tr> <tr><td>MASTER ROBE</td><td>2.36 m x 1.2</td><td>2.83</td></tr> <tr><td>500mm DEEP LINEN</td><td>0.00 m x 1.2</td><td>0.00</td></tr> <tr><td>BENCH LENGTH</td><td>1.97 m x 0.45</td><td>0.89</td></tr> <tr><td>BENCH OVERHEADS</td><td>3.33 m x 0.25</td><td>0.83</td></tr> <tr><td>FULL HEIGHT PANTRY ETC</td><td>1.03 m x 1.44</td><td>1.48</td></tr> <tr><td>BATHROOM VANITY</td><td>1.00 m x 0.28</td><td>0.28</td></tr> <tr><td>OTHER/ADDITIONAL</td><td>0.00 m³</td><td>0.00</td></tr> <tr><td>OUTSIDE ACCESSIBLE STORAGE</td><td>MIN: 1.99m³</td><td>6.01</td></tr> <tr><td>OTHER</td><td>6.01 m³</td><td>6.00</td></tr> </table> | TOTAL STORAGE | MIN: 10m³ | 17 | INTERNAL STORAGE | MIN: 8m³ | 6.21 | MASTER ROBE | 2.36 m x 1.2 | 2.83 | 500mm DEEP LINEN | 0.00 m x 1.2 | 0.00 | BENCH LENGTH | 1.97 m x 0.45 | 0.89 | BENCH OVERHEADS | 3.33 m x 0.25 | 0.83 | FULL HEIGHT PANTRY ETC | 1.03 m x 1.44 | 1.48 | BATHROOM VANITY | 1.00 m x 0.28 | 0.28 | OTHER/ADDITIONAL | 0.00 m³ | 0.00 | OUTSIDE ACCESSIBLE STORAGE | MIN: 1.99m³ | 6.01 | OTHER | 6.01 m³ | 6.00 |
| TOTAL STORAGE | MIN: 10m³ | 17 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| INTERNAL STORAGE | MIN: 8m³ | 6.21 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| MASTER ROBE | 3.40 m x 1.2 | 4.08 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 500mm DEEP LINEN | 0.00 m x 1.2 | 0.00 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| BENCH LENGTH | 1.40 m x 0.45 | 0.63 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| BENCH OVERHEADS | 1.70 m x 0.25 | 0.43 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| FULL HEIGHT PANTRY ETC | 0.60 m x 1.44 | 0.86 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| BATHROOM VANITY | 0.90 m x 0.28 | 0.25 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| OTHER/ADDITIONAL | 0.00 m³ | 0.00 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| OUTSIDE ACCESSIBLE STORAGE | MIN: 1.99m³ | 6 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| OTHER | 1.00 m³ | 6.00 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| TOTAL STORAGE | MIN: 10m³ | 17 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| INTERNAL STORAGE | MIN: 8m³ | 6.21 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| MASTER ROBE | 2.36 m x 1.2 | 2.83 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 500mm DEEP LINEN | 0.00 m x 1.2 | 0.00 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| BENCH LENGTH | 1.97 m x 0.45 | 0.89 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| BENCH OVERHEADS | 3.33 m x 0.25 | 0.83 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| FULL HEIGHT PANTRY ETC | 1.03 m x 1.44 | 1.48 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| BATHROOM VANITY | 1.00 m x 0.28 | 0.28 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| OTHER/ADDITIONAL | 0.00 m³ | 0.00 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| OUTSIDE ACCESSIBLE STORAGE | MIN: 1.99m³ | 6.01 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| OTHER | 6.01 m³ | 6.00 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |

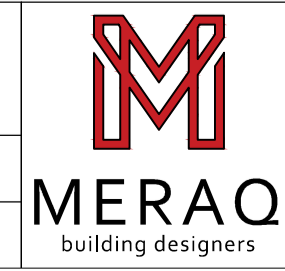
| DWELLING 11 | DWELLING 12 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|---|---------------|-----------|----|------------------|----------|------|-------------|--------------|------|----------------|--------------|------|------------------|--------------|------|--------------|---------------|------|-----------------|---------------|------|------------------------|---------------|------|-----------------|---------------|------|------------------|---------|------|----------------------------|-------------|---|-------|---------|------|---|---------------|-----------|----|------------------|----------|------|-------------|--------------|------|----------------|--------------|------|------------------|--------------|------|--------------|---------------|------|-----------------|---------------|------|------------------------|---------------|------|-----------------|---------------|------|------------------|---------|------|----------------------------|-------------|---|-------|---------|------|
| <p>STORAGE CALCULATION (B3-11) 2 Bedroom Dwelling</p> <table border="1"> <tr><td>TOTAL STORAGE</td><td>MIN: 14m³</td><td>15</td></tr> <tr><td>INTERNAL STORAGE</td><td>MIN: 8m³</td><td>6.21</td></tr> <tr><td>MASTER ROBE</td><td>3.40 m x 1.2</td><td>4.08</td></tr> <tr><td>OTHER BED ROBE</td><td>1.88 m x 1.2</td><td>2.26</td></tr> <tr><td>500mm DEEP LINEN</td><td>0.00 m x 1.2</td><td>0.00</td></tr> <tr><td>BENCH LENGTH</td><td>1.70 m x 0.45</td><td>0.77</td></tr> <tr><td>BENCH OVERHEADS</td><td>2.10 m x 0.25</td><td>0.53</td></tr> <tr><td>FULL HEIGHT PANTRY ETC</td><td>0.80 m x 1.44</td><td>1.15</td></tr> <tr><td>BATHROOM VANITY</td><td>1.40 m x 0.28</td><td>0.39</td></tr> <tr><td>OTHER/ADDITIONAL</td><td>0.00 m³</td><td>0.00</td></tr> <tr><td>OUTSIDE ACCESSIBLE STORAGE</td><td>MIN: 4.98m³</td><td>6</td></tr> <tr><td>OTHER</td><td>6.00 m³</td><td>6.00</td></tr> </table> | TOTAL STORAGE | MIN: 14m³ | 15 | INTERNAL STORAGE | MIN: 8m³ | 6.21 | MASTER ROBE | 3.40 m x 1.2 | 4.08 | OTHER BED ROBE | 1.88 m x 1.2 | 2.26 | 500mm DEEP LINEN | 0.00 m x 1.2 | 0.00 | BENCH LENGTH | 1.70 m x 0.45 | 0.77 | BENCH OVERHEADS | 2.10 m x 0.25 | 0.53 | FULL HEIGHT PANTRY ETC | 0.80 m x 1.44 | 1.15 | BATHROOM VANITY | 1.40 m x 0.28 | 0.39 | OTHER/ADDITIONAL | 0.00 m³ | 0.00 | OUTSIDE ACCESSIBLE STORAGE | MIN: 4.98m³ | 6 | OTHER | 6.00 m³ | 6.00 | <p>STORAGE CALCULATION (B3-11) 2 Bedroom Dwelling</p> <table border="1"> <tr><td>TOTAL STORAGE</td><td>MIN: 14m³</td><td>15</td></tr> <tr><td>INTERNAL STORAGE</td><td>MIN: 8m³</td><td>6.21</td></tr> <tr><td>MASTER ROBE</td><td>3.40 m x 1.2</td><td>4.08</td></tr> <tr><td>OTHER BED ROBE</td><td>1.88 m x 1.2</td><td>2.26</td></tr> <tr><td>500mm DEEP LINEN</td><td>0.00 m x 1.2</td><td>0.00</td></tr> <tr><td>BENCH LENGTH</td><td>1.70 m x 0.45</td><td>0.77</td></tr> <tr><td>BENCH OVERHEADS</td><td>2.10 m x 0.25</td><td>0.53</td></tr> <tr><td>FULL HEIGHT PANTRY ETC</td><td>0.80 m x 1.44</td><td>1.15</td></tr> <tr><td>BATHROOM VANITY</td><td>1.40 m x 0.28</td><td>0.39</td></tr> <tr><td>OTHER/ADDITIONAL</td><td>0.00 m³</td><td>0.00</td></tr> <tr><td>OUTSIDE ACCESSIBLE STORAGE</td><td>MIN: 4.98m³</td><td>6</td></tr> <tr><td>OTHER</td><td>6.00 m³</td><td>6.00</td></tr> </table> | TOTAL STORAGE | MIN: 14m³ | 15 | INTERNAL STORAGE | MIN: 8m³ | 6.21 | MASTER ROBE | 3.40 m x 1.2 | 4.08 | OTHER BED ROBE | 1.88 m x 1.2 | 2.26 | 500mm DEEP LINEN | 0.00 m x 1.2 | 0.00 | BENCH LENGTH | 1.70 m x 0.45 | 0.77 | BENCH OVERHEADS | 2.10 m x 0.25 | 0.53 | FULL HEIGHT PANTRY ETC | 0.80 m x 1.44 | 1.15 | BATHROOM VANITY | 1.40 m x 0.28 | 0.39 | OTHER/ADDITIONAL | 0.00 m³ | 0.00 | OUTSIDE ACCESSIBLE STORAGE | MIN: 4.98m³ | 6 | OTHER | 6.00 m³ | 6.00 |
| TOTAL STORAGE | MIN: 14m³ | 15 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| INTERNAL STORAGE | MIN: 8m³ | 6.21 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| MASTER ROBE | 3.40 m x 1.2 | 4.08 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| OTHER BED ROBE | 1.88 m x 1.2 | 2.26 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 500mm DEEP LINEN | 0.00 m x 1.2 | 0.00 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| BENCH LENGTH | 1.70 m x 0.45 | 0.77 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| BENCH OVERHEADS | 2.10 m x 0.25 | 0.53 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| FULL HEIGHT PANTRY ETC | 0.80 m x 1.44 | 1.15 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| BATHROOM VANITY | 1.40 m x 0.28 | 0.39 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| OTHER/ADDITIONAL | 0.00 m³ | 0.00 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| OUTSIDE ACCESSIBLE STORAGE | MIN: 4.98m³ | 6 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| OTHER | 6.00 m³ | 6.00 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| TOTAL STORAGE | MIN: 14m³ | 15 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| INTERNAL STORAGE | MIN: 8m³ | 6.21 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| MASTER ROBE | 3.40 m x 1.2 | 4.08 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| OTHER BED ROBE | 1.88 m x 1.2 | 2.26 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 500mm DEEP LINEN | 0.00 m x 1.2 | 0.00 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| BENCH LENGTH | 1.70 m x 0.45 | 0.77 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| BENCH OVERHEADS | 2.10 m x 0.25 | 0.53 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| FULL HEIGHT PANTRY ETC | 0.80 m x 1.44 | 1.15 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| BATHROOM VANITY | 1.40 m x 0.28 | 0.39 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| OTHER/ADDITIONAL | 0.00 m³ | 0.00 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| OUTSIDE ACCESSIBLE STORAGE | MIN: 4.98m³ | 6 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| OTHER | 6.00 m³ | 6.00 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |

| DWELLING 17 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|--|---------------|-----------|----|------------------|-----------|-------|-------------|--------------|------|--------------------|--------------|------|------------------|--------------|------|--------------|---------------|------|-----------------|---------------|------|------------------------|---------------|------|-----------------|---------------|------|------------------|---------|------|----------------------------|-------------|------|-------|---------|------|
| <p>STORAGE CALCULATION (B3-11) 3 or more Bedroom Dwelling</p> <table border="1"> <tr><td>TOTAL STORAGE</td><td>MIN: 18m³</td><td>18</td></tr> <tr><td>INTERNAL STORAGE</td><td>MIN: 10m³</td><td>13.24</td></tr> <tr><td>MASTER ROBE</td><td>3.72 m x 1.2</td><td>4.46</td></tr> <tr><td>OTHER BEDROOM ROBE</td><td>3.72 m x 1.2</td><td>4.46</td></tr> <tr><td>500mm DEEP LINEN</td><td>0.88 m x 1.2</td><td>1.06</td></tr> <tr><td>BENCH LENGTH</td><td>2.78 m x 0.45</td><td>1.25</td></tr> <tr><td>BENCH OVERHEADS</td><td>4.14 m x 0.25</td><td>1.04</td></tr> <tr><td>FULL HEIGHT PANTRY ETC</td><td>1.64 m x 1.44</td><td>2.36</td></tr> <tr><td>BATHROOM VANITY</td><td>2.86 m x 0.28</td><td>0.80</td></tr> <tr><td>OTHER/ADDITIONAL</td><td>0.00 m³</td><td>0.00</td></tr> <tr><td>OUTSIDE ACCESSIBLE STORAGE</td><td>MIN: 4.98m³</td><td>6.01</td></tr> <tr><td>OTHER</td><td>6.01 m³</td><td>6.00</td></tr> </table> | TOTAL STORAGE | MIN: 18m³ | 18 | INTERNAL STORAGE | MIN: 10m³ | 13.24 | MASTER ROBE | 3.72 m x 1.2 | 4.46 | OTHER BEDROOM ROBE | 3.72 m x 1.2 | 4.46 | 500mm DEEP LINEN | 0.88 m x 1.2 | 1.06 | BENCH LENGTH | 2.78 m x 0.45 | 1.25 | BENCH OVERHEADS | 4.14 m x 0.25 | 1.04 | FULL HEIGHT PANTRY ETC | 1.64 m x 1.44 | 2.36 | BATHROOM VANITY | 2.86 m x 0.28 | 0.80 | OTHER/ADDITIONAL | 0.00 m³ | 0.00 | OUTSIDE ACCESSIBLE STORAGE | MIN: 4.98m³ | 6.01 | OTHER | 6.01 m³ | 6.00 |
| TOTAL STORAGE | MIN: 18m³ | 18 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| INTERNAL STORAGE | MIN: 10m³ | 13.24 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| MASTER ROBE | 3.72 m x 1.2 | 4.46 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| OTHER BEDROOM ROBE | 3.72 m x 1.2 | 4.46 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 500mm DEEP LINEN | 0.88 m x 1.2 | 1.06 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| BENCH LENGTH | 2.78 m x 0.45 | 1.25 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| BENCH OVERHEADS | 4.14 m x 0.25 | 1.04 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| FULL HEIGHT PANTRY ETC | 1.64 m x 1.44 | 2.36 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| BATHROOM VANITY | 2.86 m x 0.28 | 0.80 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| OTHER/ADDITIONAL | 0.00 m³ | 0.00 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| OUTSIDE ACCESSIBLE STORAGE | MIN: 4.98m³ | 6.01 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| OTHER | 6.01 m³ | 6.00 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |

THIS PAGE IS TO BE READ IN CONJUNCTION WITH COMPLETE ARCHITECTURAL PLANS, ALL ENGINEERING AND SHOP DRAWINGS, AND ALL CONSULTANT REPORTS (INCL. SDA). WORK SHALL CONFORM TO THE SPECIFICATION, SPREADSHEETS REPORTS, RELEVANT AUSTRALIAN REQUIREMENTS, AND LOCAL AUTHORITY REQUIREMENTS. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED WORK. BUILDER / CONTRACTOR TO VERIFY ALL DIMENSIONS & CHECK FOR DISCREPANCIES BETWEEN ARCHITECTURAL AND ALL OTHER DRAWINGS BEFORE ANY JOB COMMENCES. THIS DRAWING IS PROTECTED BY COPYRIGHT. (CAD) A1

| REV. | BY. | DATE. | DESCRIPTION. |
|------|------|----------|--|
| SK09 | H.C. | 25/09/25 | UPDATES FOR RFI AND SEPARATION FROM JOB FOR #112 |

| REV. | BY. | DATE. | DESCRIPTION. | PROJECT. | CLIENT. | JOB NO. | SCALE: | DRAWN BY. | DATE. | # |
|------|-----|-------|--------------|--|---------|-----------|------------|--------------------------|------------|----|
| | | | | PROPOSED DEVELOPMENT 14 EXISTING DWELLINGS & 5 PROPOSED DWELLINGS - ALL SINGLE STOREY NO. 110 SPARKS ROAD, NORLANE VIC | | MQ_25_036 | AS NOTATED | MERAQ BUILDING DESIGNERS | 28/04/2026 | 02 |



MERAQ PROJECTS
 PO BOX 310 WILLIAMSTOWN VIC 3016
 P. 03 9391 0023
 ABN. 85146959775
 E. admin@meraq.com.au

02

LEGEND

- EASEMENT AREA
- REFER PLAN OF SUBDIVISION
- COLOURED CONCRETE FINISH - AS PER COLOUR SCHEDULE SOLAR ABSORBENCY 0.2
- COLOURED CONCRETE FINISH - AS PER COLOUR SCHEDULE SOLAR ABSORBENCY 0.7
- EXPOSED AGGREGATE CONCRETE FINISH - AS PER COLOUR SCHEDULE SOLAR ABSORBENCY 0.2
- PERMEABLE DECKING
- LAWN AND LANDSCAPED AREAS
- COUCH OR KIKUYU GRASS - NOT ARTIFICIAL TURF
- PEBBLES, CRUSHED ROCK, OR OTHER PERMEABLE ROCK FINISH
- GARDEN BED - BLACK OR RED MULCH
- GROUND FLOOR ROOF UNDER (FIRST FLOOR PLAN ONLY)
- STORAGE
- 2x3 STORAGE AREA PER DWELLING
- HEIGHT TO BE LESS THAN ANY ADJACENT FINISHING
- CLIMATIC CHANGE OVER SPACE TO BE SHOWN IN ADDITIONAL DIAGRAM
- FREE-STANDING CLOTHESLINE
- NOT TO BE LOCATED ON FENCES OR BOUNDARY WALLS
- HEIGHT TO BE MAX 1.8m
- WATER TANKS - OR - SOLAR HOT WATER
- EACH DWELLING TO HAVE EITHER A WATER TANK OR A SOLAR HOT WATER SYSTEM
- BINS AS PER INDIVIDUAL COUNCIL REQUIREMENTS
- WHERE LOCATED IN FRONT OF DWELLINGS, SCREENING AS NOTATED
- WHERE LOCATED IN FRONT OF DWELLINGS, SCREENING AS NOTATED
- LETTER BOXES AS PER ELEVATIONS - NUMBERED AS PER DWELLING
- PERMEABLE PAVING
- SPACES TO ALLOW JOBS PERMISSIBLE
- METER BOXES
- WHERE BUILT WITH LETTER BOX, STRUCTURE MUST BE MIN. 1200MM HIGH
- ALL ELECTRICAL CONNECTIONS FOR SITE TO BE UNDERGROUND
- HOT WATER SYSTEM OR BOOSTER (WHERE EXTERNAL)
- NEIGHBOURING
- HIGHWAY/FUTURE/DOOR/SHED/SHED
- SIDE ENTRY PIT
- ELECTRICAL POLE, TELECOM PIT, LIGHT POLE
- HEATING & COOLING SPLIT SYSTEM EXTERNAL CONDENSER
- OR ROOF MOUNTED EVAPORATIVE COOLING UNIT
- SMOKE DETECTORS AS PER AS3786
- EXHAUST FANS VENTED EXTERNALLY AS PER AS1468.2
- NATURAL GROUND LEVELS TO A.H.D. UNLESS SPECIFIED OTHERWISE, FIN. LEVELS FINISHED FLOOR LEVEL.
- EXISTING FENCES
- SENSOR LIGHTING (BOLLARD OR WALL MOUNTED)
- APPROX. DRAIN LOCATION TO BE CONFIRMED ON SITE.
- SEWER PIT, LINE & TIE.
- RETAINING WALLS - HEIGHTS AS NOTATED.
- TO BE CONSTRUCTED AS PER ENG. APPROVED. & LANDSCAPING PLANS.
- FEATURES CONCRETE INTERSPERSED WITH GRASS
- SOLAR ABSORBENCY 0.2
- RAIN GARDEN
- REFER TO POSITION PLAN FOR RAIN GARDEN REQUIREMENTS AND DETAILS

TOWN PLANNING DRAWINGS ARE TO BE READ AS A WHOLE. NOTES ONLY INCLUDED ON AN INDIVIDUAL PAGE ARE STILL REQUIRED BY THE WHOLE PROPOSAL.

ELECTRICITY COMPANY CONNECTIONS TO THE PROPOSED DWELLINGS ARE TO BE PROVIDED UNDERGROUND.

ALL STORM WATER INFRASTRUCTURE AS REQUIRED BY CONDITIONS OF THE PLANNING PERMIT ARE TO BE LOCATED WITHIN THE DRIVEWAY AND NOT IN THE AREAS SET ASIDE FOR LANDSCAPING.

ALFRESCO/DECK - ANY EXTERNAL LIVING AREAS (ALFRESCO, DECK, ETC) FOR EACH DWELLING IS NOT TO BE FULLY ENCLOSED AT ANY TIME. SIDE AND/OR REAR SECTION MUST BE LEFT OPEN TO PRIVATE OPEN SPACE.

PLANT AND EQUIPMENT - ALL EXTERNAL PLANT AND EQUIPMENT TO BE POSITIONED TO PREVENT UNREASONABLE NOISE AND VISUAL IMPACT. POSITIONS OF ROOF FIXTURES (SUCH AS SKYLIGHTS, SOLAR PANELS, CONDENSERS, ETC) ARE APPROXIMATE. LOCATIONS TBC WITH BUILDER & TRUSS MFR.

SERVICE PIPES, FITTINGS, & FIXTURES EXCLUDING DOWNPIPES TO BE CONCEALED ON EXPOSED ELEVATIONS TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY. DOWNPIPES TO BE PAINTED TO MATCH WALL FINISHES WHERE NECESSARY - REFER COLOUR SCHEDULE.

VISIBILITY SPLAYS AS PER CLAUSE 52.06-9, HAVE A CORNER SPLAY OR AREA AT LEAST 50 PER CENT CLEAR OF VISUAL OBSTRUCTIONS EXTENDING AT LEAST 2 METRES ALONG THE FRONTAGE ROAD FROM THE EDGE OF AN EXIT LANE AND 2.5 METRES ALONG THE EXIT LANE FROM THE FRONTAGE. TO PROVIDE A CLEAR VIEW OF PEDESTRIANS ON THE FOOTPATH OF THE FRONTAGE ROAD. THE AREA CLEAR OF VISUAL OBSTRUCTIONS MAY INCLUDE AN ADJACENT ENTRY OR EXIT LANE WHERE MORE THAN ONE LANE IS PROVIDED, OR ADJACENT LANDSCAPED AREAS, PROVIDED THE LANDSCAPING IN THOSE AREAS IS LESS THAN 900MM IN HEIGHT.

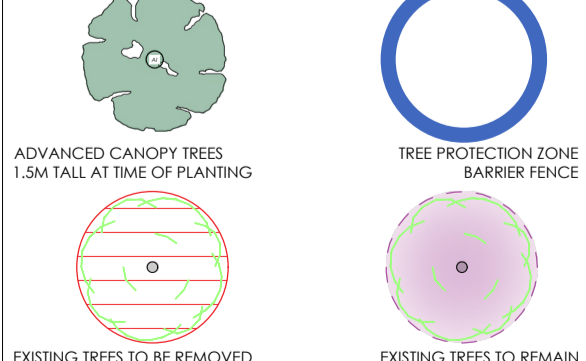
SUSTAINABILITY DESIGN ASSESSMENT WHERE ANY ADDITIONAL INFORMATION IS SUPPLIED WITH D.A., VISUAL PLANS, TORMANUSIC REPORTS, AND BSS REPORTS, ALL CONSTRUCTION MUST ALSO COMPLY WITH SPECIFICATIONS WITHIN THESE DOCUMENTS.

VEHICLE PARKING AREAS SET ASIDE FOR PARKED VEHICLES AND ACCESS LANES AS SHOWN ON THE ENCLOSED PLANS MUST TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY BE:

- (a) CONSTRUCTED.
- (b) PROPERLY FORMED TO SUCH LEVELS THAT THEY CAN BE USED IN ACCORDANCE WITH THE PLANS.
- (c) SURFACED WITH ASPHALT OR CONCRETE UNLESS ANOTHER SURFACE TREATMENT IS APPROVED BY THE RESPONSIBLE AUTHORITY.
- (d) DRAINED AND MAINTAINED.
- (e) LINES MARKED TO INDICATE EACH CAR SPACE AND ALL ACCESS LANES AND BE KEPT AVAILABLE FOR THESE PURPOSES AT ALL TIMES.

VEHICLE CROSSOVER ANY VEHICLE CROSSINGS MUST BE CONSTRUCTED IN THE LOCATION SHOWN ON THE ENCLOSED PLAN TO A STANDARD SATISFACTORY TO THE RESPONSIBLE AUTHORITY. THE RELOCATION OF ANY SERVICES INCLUDING ELECTRICITY POLES, DRAINAGE PITS, TELSTRA PITS, FIRE HYDRANTS AND THE LIKE MUST BE AT THE EXPENSE OF THE OWNER AND APPROVED BY THE APPROPRIATE AUTHORITY PRIOR TO UNDERTAKING SUCH WORKS. CONSENT FOR SUCH CROSSINGS MUST BE OBTAINED THROUGH COUNCIL'S CONTRACTS, PROCUREMENT AND ASSET PROTECTION DEPARTMENT PRIOR TO CONSTRUCTION.

TREE PROTECTION ZONES A SUITABLE TREE PROTECTION ZONE OF 1.0M RADIUS WITH BARRIER FENCE MUST BE ESTABLISHED AROUND THE STREET TREE ON THE SUBJECT SITE. THIS FENCE MUST NOT ENCLOSE THE FOOTPATH WHICH MUST BE KEPT CLEAR FOR PEDESTRIAN ACCESS AND A SIGN MUST BE ERRECTED ON THE FENCE MARKING THAT THE FENCE IS A TREE PROTECTION ZONE. TREE PROTECTION ZONES MUST BE ENCLOSED USING A 2 METER HIGH TEMPORARY CYCLO GUN FENCE OR SIMILAR, WHICH MUST REMAIN IN PLACE THROUGH ALL STAGES OF THE DEVELOPMENT. THE AREA WITHIN THE TREE PROTECTION ZONE MUST NOT BE DISTURBED BY ANY MEANS (INCL. PARKING OF VEHICLES OR STORAGE OF PLANT & EQUIPMENT, MATERIALS, FUEL OR WASTE). NO EXCAVATION IS ALLOWED WITHIN THE TREE PROTECTION ZONE EXCEPT WITH THE CONSENT OF COUNCIL'S TOWN PLANNING DEPARTMENT & UNDER THE SUPERVISION OF A QUALIFIED ARBORIST.



PROPOSED SITE AND GROUND FLOOR PLAN SCALE 1:100

| REV. | BY. | DATE. | DESCRIPTION. |
|------|------|----------|--|
| SK09 | H.C. | 25/09/25 | UPDATES FOR RFI AND SEPARATION FROM JOB FOR #112 |

| REV. | BY. | DATE. | DESCRIPTION. |
|------|-----|-------|--------------|
| | | | |

PROJECT.
 PROPOSED DEVELOPMENT
 14 EXISTING DWELLINGS & 5 PROPOSED DWELLINGS - ALL SINGLE STOREY
 NO. 110 SPARKS ROAD, NORLANE VIC

CLIENT.
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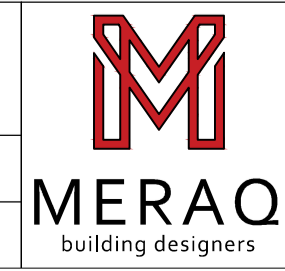
JOB NO: MQ_25_036

SCALE: AS NOTATED

DRAWN BY: MERAQ BUILDING DESIGNERS

DATE: 28/04/2026

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03



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LEGEND

- EASEMENT AREA
- REFER PLAN OF SUBDIVISION
- COLOURED CONCRETE FINISH - AS PER COLOUR SCHEDULE SOLAR ABSORBENCY 0.2
- COLOURED CONCRETE FINISH - AS PER COLOUR SCHEDULE SOLAR ABSORBENCY 0.7
- EXPOSED AGGREGATE CONCRETE FINISH - AS PER COLOUR SCHEDULE SOLAR ABSORBENCY 0.2
- PERMEABLE DECKING
- LAWN AND LANDSCAPED AREAS
- COUCH OR KIKUYU GRASS - NOT ARTIFICIAL TURF
- PEBBLES, CRUSHED ROCK, OR OTHER PERMEABLE ROCK FINISH
- GARDEN BED - BLACK OR RED MULCH
- GROUND FLOOR ROOF UNDER (FIRST FLOOR PLAN ONLY)
- STORAGE
- MAX STORAGE AREA PER DWELLING
- HEIGHT TO BE LESS THAN ANY ADJACENT FENCING
- GARAGE OVER CAR STORAGE TO BE SHOWN IN APPROPRIAL DIAGRAM
- FREE-STANDING CLOTHESLINE
- NOT TO BE LOCATED ON FENCES OR BOUNDARY WALLS
- HEIGHT TO BE MAX 1.8M
- WATER TANKS - OR - SOLAR HOT WATER
- EACH DWELLING TO HAVE EITHER A WATER TANK OR A SOLAR HOT WATER SYSTEM
- BINS AS PER INDIVIDUAL COUNCIL REQUIREMENTS
- WHERE LOCATED WITHIN GARAGES, BINNAGE MUST BE PROVIDED
- WHERE LOCATED IN FRONT OF DWELLING, SCREENING AS NOTATED
- LETTER BOXES AS PER ELEVATIONS - NUMBERED AS PER DWELLING
- PERMEABLE PAVERS
- SPACED TO ALLOW MIN 30% PERMEABILITY
- METER BOXES
- WHERE ELEC WITH LETTER BOX, STRUCTURE MUST BE MIN 1200MM HIGH
- ALL ELECTRICAL CONNECTIONS FOR SITE TO BE UNDERGROUND
- HOT WATER SYSTEM OR BOOSTER (WHERE EXTERNAL)
- NEIGHBOURING
- NEIGHBOURING PERMEABLE / DOOR / WINDOW
- SIDE ENTRY PIT
- ELECTRICAL POLE, TELECOM PIT, LIGHT POLE
- HEATING & COOLING SPLIT SYSTEM EXTERNAL CONDENSER
- OR ROOF MOUNTED EVAPORATIVE COOLING UNIT
- SMOKE DETECTORS AS PER AS3786
- EXHAUST FANS VENTED EXTERNALLY AS PER AS1668.2
- NATURAL GROUND LEVELS TO A.H.D. UNLESS SPECIFIED OTHERWISE. ITL DENOTES FINISHED FLOOR LEVEL.
- EXISTING FENCES
- SENSOR LIGHTING (BALLARD OR WALL MOUNTED)
- APPROX. DRAIN LOCATION TO BE CONFIRMED ON SITE.
- SEWER PIT, LINE & TIE.
- RETAINING WALLS - HEIGHTS AS NOTATED.
- TO BE CONSTRUCTED AS PER ENG. APPROVED. & LANDSCAPING PLANS.
- FEATURE CONCRETE INTERSPERSED WITH GRASS
- SOLAR ABSORBENCY 0.2
- RAIN GARDEN
- REFER PLAN FOR RAIN GARDEN REQUIREMENTS AND DETAILS

TOWN PLANNING DRAWINGS ARE TO BE READ AS A WHOLE. NOTES ONLY INCLUDED ON AN INDIVIDUAL PAGE ARE STILL REQUIRED BY THE WHOLE PROPOSAL.

ELECTRICITY COMPANY CONNECTIONS TO THE PROPOSED DWELLINGS ARE TO BE PROVIDED UNDERGROUND.

ALL STORM WATER INFRASTRUCTURE AS REQUIRED BY CONDITIONS OF THE PLANNING PERMIT ARE TO BE LOCATED WITHIN THE DRIVEWAY AND NOT IN THE AREAS SET ASIDE FOR LANDSCAPING.

ALFRESCO/DECK - ANY EXTERNAL LIVING AREAS (ALFRESCO, DECK, ETC) FOR EACH DWELLING IS NOT TO BE FULLY ENCLOSED AT ANY TIME. SIDE AND/OR REAR SECTION MUST BE LEFT OPEN TO PRIVATE OPEN SPACE.

PLANT AND EQUIPMENT - ALL EXTERNAL PLANT AND EQUIPMENT TO BE POSITIONED TO PREVENT UNREASONABLE NOISE AND VISUAL IMPACT. POSITIONS OF ROOF FIXTURES (SUCH AS SKYLIGHTS, SOLAR PANELS, CONDENSERS, ETC) ARE APPROXIMATE. LOCATIONS TBC WITH BUILDER & TRUSS MFR.

SERVICE PIPES, FITTINGS, & FIXTURES EXCLUDING DOWNPIPES TO BE CONCEALED ON EXPOSED ELEVATIONS TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY. DOWNPIPES TO BE PAINTED TO MATCH WALL FINISHES WHERE NECESSARY. REFER COLOUR SCHEDULE.

VISIBILITY SPLAYS AS PER CLAUSE 52.06-9, HAVE A CORNER SPLAY OR AREA AT LEAST 50 PER CENT CLEAR OF VISUAL OBSTRUCTIONS EXTENDING AT LEAST 2 METRES ALONG THE FRONTAGE ROAD FROM THE EDGE OF AN EXIT LANE AND 2.5 METRES ALONG THE EXIT LANE FROM THE FRONTAGE. TO PROVIDE A CLEAR VIEW OF PEDESTRIANS ON THE FOOTPATH OF THE FRONTAGE ROAD. THE AREA CLEAR OF VISUAL OBSTRUCTIONS MAY INCLUDE AN ADJACENT ENTRY OR EXIT LANE WHERE MORE THAN ONE LANE IS PROVIDED, OR ADJACENT LANDSCAPED AREAS. PROVIDED THE LANDSCAPING IN THOSE AREAS IS LESS THAN 900MM IN HEIGHT.

SUSTAINABILITY DESIGN ASSESSMENT WHERE ANY ADDITIONAL INFORMATION IS SUPPLIED WITHIN A VISUAL PLANS, STORMWATER REPORTS, AND BESS REPORTS, ALL CONSTRUCTION MUST ALSO COMPLY WITH SPECIFICATIONS WITHIN THESE DOCUMENTS.

VEHICLE PARKING AREAS SET ASIDE FOR PARKED VEHICLES AND ACCESS LANES AS SHOWN ON THE ENDORSED PLANS MUST TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY BE:

- CONSTRUCTED.
- PROPERLY FORMED TO SUCH LEVELS THAT THEY CAN BE USED IN ACCORDANCE WITH THE PLANS.
- SURFACED WITH ASPHALT OR CONCRETE UNLESS ANOTHER SURFACE TREATMENT IS APPROVED BY THE RESPONSIBLE AUTHORITY.
- DRAINED AND MAINTAINED.
- LINE MARKED TO INDICATE EACH CAR SPACE AND ALL ACCESS LANES AND BE KEPT AVAILABLE FOR THESE PURPOSES AT ALL TIMES.

GARAGES MUST AT ALL TIMES BE KEPT AVAILABLE FOR PRIMARY PURPOSE OF PARKING MOTOR VEHICLES AND MUST NOT BE USED FOR ANY OTHER PURPOSE.

VEHICLE CROSSOVER

ANY VEHICLE CROSSINGS MUST BE CONSTRUCTED IN THE LOCATION SHOWN ON THE ENDORSED PLAN TO A STANDARD SATISFACTORY TO THE RESPONSIBLE AUTHORITY. THE RELOCATION OF ANY SERVICES INCLUDING ELECTRICITY POLES, DRAINAGE PITS, TELLER PITS, FIRE HYDRANTS AND THE LIKE MUST BE AT THE EXPENSE OF THE OWNER AND APPROVED BY THE APPROPRIATE AUTHORITY PRIOR TO UNDERTAKING SUCH WORKS. CONSENT FOR SUCH CROSSINGS MUST BE OBTAINED THROUGH COUNCIL'S CONTRACTS, PROCUREMENT AND ASSET PROTECTION DEPARTMENT PRIOR TO CONSTRUCTION.

TREE PROTECTION ZONES

A SUITABLE TREE PROTECTION ZONE OF 1.0M RADIUS WITH BARRIER FENCE MUST BE ESTABLISHED AROUND THE STREET TREE ON THE SUBJECT SITE. THIS FENCE MUST NOT ENCLOSE THE FOOTPATH WHICH MUST BE KEPT CLEAR FOR PEDESTRIAN ACCESS AND A SIGN MUST BE ERRECTED ON THE FENCE INFORMING THAT THE FENCE IS A TREE PROTECTION ZONE.

TREE PROTECTION ZONES MUST BE ENCLOSED USING A 2 METER HIGH TEMPORARY CYCLOPE FENCE OR SIMILAR, WHICH MUST REMAIN IN PLACE THROUGH ALL STAGES OF THE DEVELOPMENT. THE AREA WITHIN THE TREE PROTECTION ZONE MUST NOT BE DISTURBED BY ANY MEANS (INCL. PARKING OF VEHICLES OR STORAGE OF PLANT & EQUIPMENT, MATERIALS, SOIL OR WASTE). NO EXCAVATION IS ALLOWED WITHIN THE TREE PROTECTION ZONE EXCEPT WITH THE CONSENT OF COUNCIL'S TOWN PLANNING DEPARTMENT & UNDER THE SUPERVISION OF A QUALIFIED ARBORIST.

ADVANCED CANOPY TREES 1.5M TALL AT TIME OF PLANTING

TREE PROTECTION ZONE BARRIER FENCE

EXISTING TREES TO BE REMOVED

EXISTING TREES TO REMAIN



PROPOSED ROOF PLAN
SCALE 1:150

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| SK09 | H.C. | 25/09/25 | UPDATES FOR RFI AND SEPARATION FROM JOB FOR #112 | | | | |

| | |
|--|---------|
| PROJECT. | CLIENT. |
| PROPOSED DEVELOPMENT | -- |
| 14 EXISTING DWELLINGS & 5 PROPOSED DWELLINGS - ALL SINGLE STOREY | |
| NO. 110 SPARKS ROAD, NORLANE VIC | |

| | |
|------------|--------------------------|
| JOB NO: | DRAWN BY: |
| MQ_25_036 | MERAQ BUILDING DESIGNERS |
| SCALE: | DATE: |
| AS NOTATED | 28/04/2026 |

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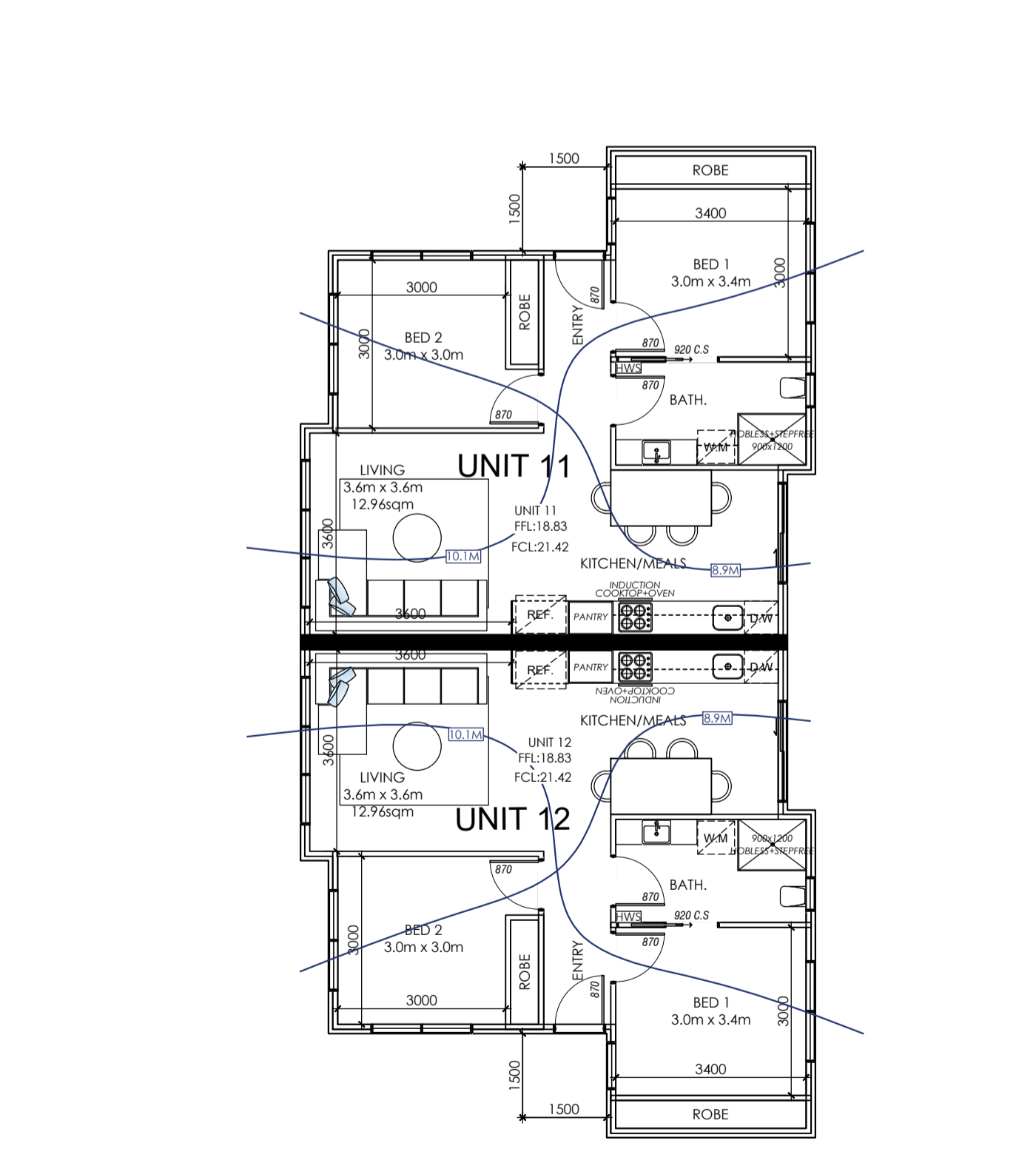
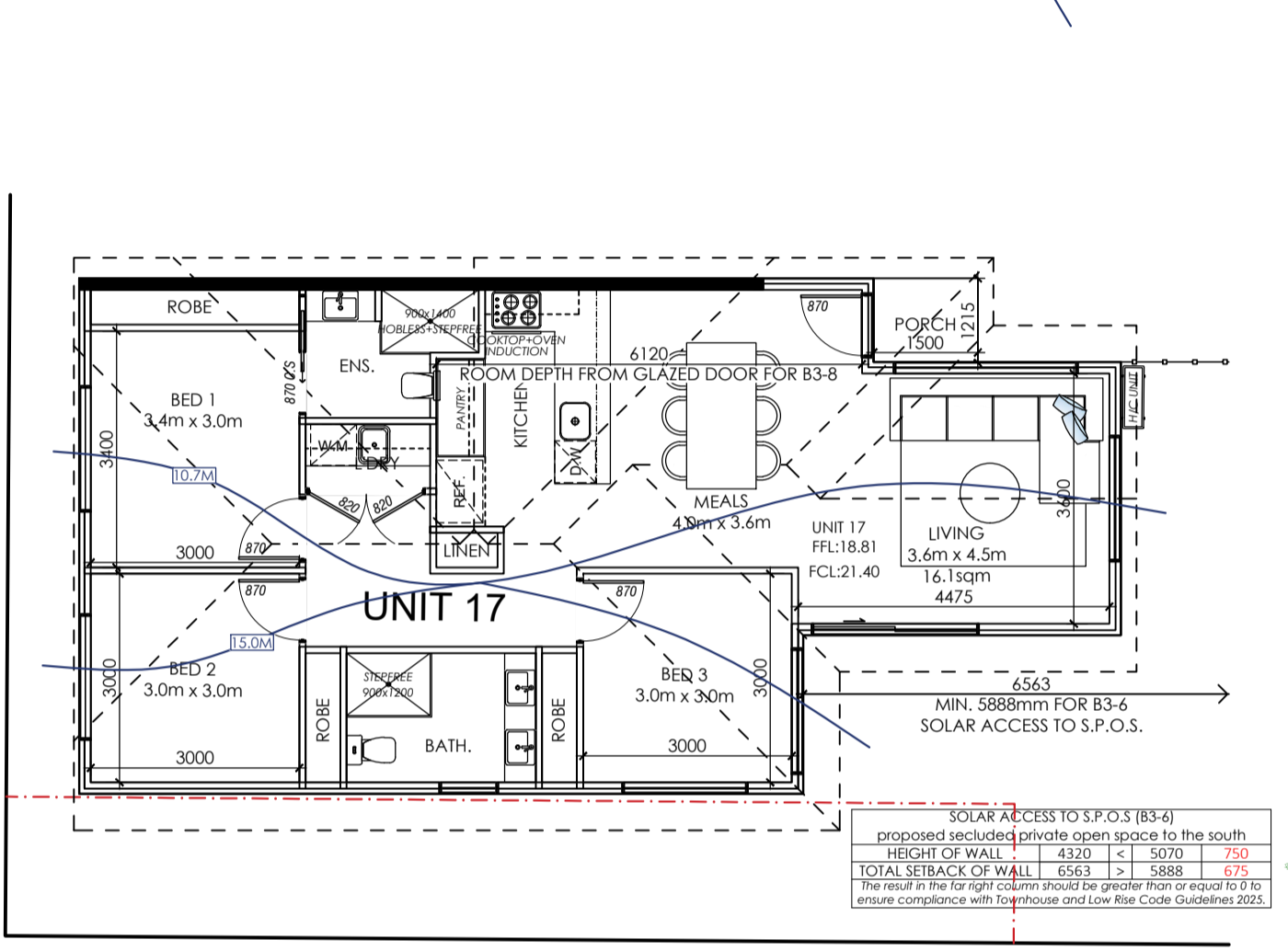
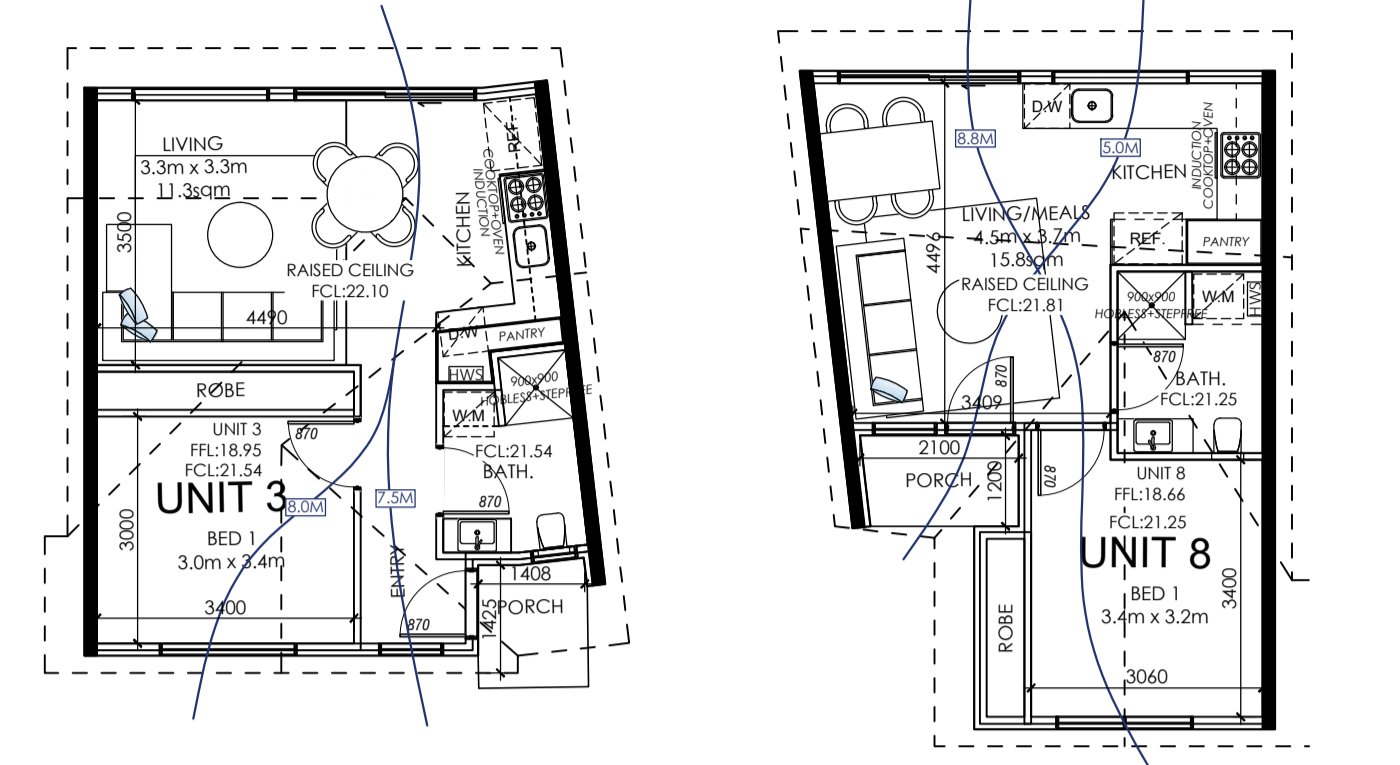
CLAUSE 55

- B2-1 STREET SETBACK**
 FACADE TO MATCH THE LESSER SETBACK OF DIRECT NEIGHBOURS -OR- 4.0M (WHICHEVER IS LESSER) NA
 FACADE WHERE NO NEIGHBOURS - 4.0M FOR TRANSPORT ZONE 2 OR 4.0M FOR OTHER STREETS NA
 SIDE STREET FACADE TO MATCH THE SETBACK OF DIRECT NEIGHBOURS -OR- 3.0M (WHICHEVER IS LESSER) NA
 SIDE STREET SETBACK TO MATCH THE SETBACK OF DIRECT NEIGHBOURS -OR- 2.0M (WHICHEVER IS LESSER) NA
- B2-2 BUILDING HEIGHT**
 SCHEDULE OR OVERLAY ADJUSTING THE BUILDING HEIGHT REQUIREMENTS NA
 MAXIMUM HEIGHT 9.0M NA
 SITE SLOPED >2.5° AT ANY CROSS SECTION >8.0M MAXIMUM HEIGHT 10.0M NA
- B2-3 SIDE AND REAR SETBACKS**
 SEE CALCULATION TABLES FOR REG 79 (B2.3.1) NA
 B2.3.2 NORTH, EAST, AND WEST WALLS SET BACK 3.0M, WHERE WALLS ARE >1.0M SETBACK TO BE 24.5M NA
 B2.3.3 SOUTH WALLS SET BACK 4.0M, WHERE WALLS ARE >1.0M SETBACK TO BE 49.0M (WITHIN 30° OF SOUTH) WALLS LESS THAN OR EQUAL TO 3.6M TO BE ON OR WITHIN 200MM OF THE BOUNDARY OR SET BACK 1.0M NA
- B2-4 WALLS ON BOUNDARIES**
 SEE CALCULATION TABLES FOR REG 80 NA
- B2-5 SITE COVERAGE**
 SCHEDULE OR OVERLAY ADJUSTING THE BUILDING SITE COVERAGE REQUIREMENTS NA
 REFER CALCULATION FOR SITE COVERAGE NA
 SEE ALSO DEVELOPMENT SUMMARY NA
- B2-6 ACCESS**
 STREET FRONTAGE >2.0M 16.67% NA
 WIDTH OF ACCESSWAYS MAX. 40% NA
 STREET FRONTAGE >2.0M NA
 WIDTH OF ACCESSWAYS MAX. 33% NA
 ROAD TRANSPORT ZONE 2 OR 3 NA
 NUMBER OF CROSSOVERS TO REMAIN THE SAME NA
- B2-7 TREE CANOPY**
 REFER CALCULATION FOR CANOPY COVER NA
 REFER LOZ FOR TREE SOIL REQUIREMENTS NA
- B2-8 FRONT FENCES**
 SCHEDULE OR OVERLAY ADJUSTING THE FRONT FENCE HEIGHT REQUIREMENTS NA
 STREETS IN A TRANSPORT ZONE 2 NA
 MAXIMUM 2.0M FRONT FENCE NA
 OTHER STREETS NA
 MAXIMUM 1.5M FRONT FENCE NA
 A FRONT FENCE IS ANY FENCE WITHIN 3.0M OF THE STREET NA

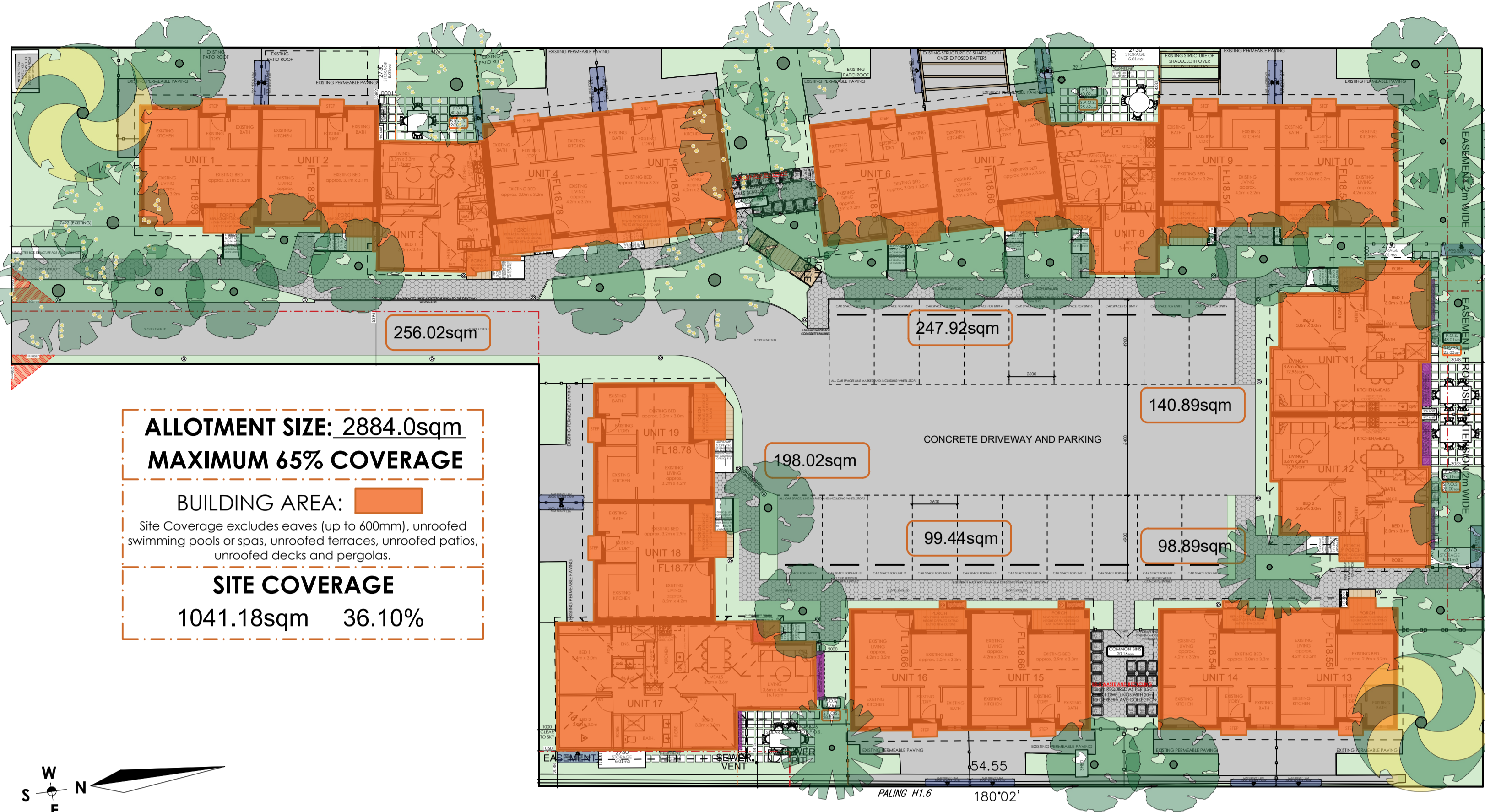
LIVEABILITY

- B3-1 DWELLING DIVERSITY**
 WHERE 210 DWELLINGS, PER EVERY 100 MUST BE NA
 WHERE 210 DWELLINGS TO INCLUDE A KITCHEN, FULL BATHROOM FACILITIES, AND AT LEAST ONE BEDROOM ON GROUND FLOOR, ONE DWELLING TO HAVE NO MORE OR LESS THAN 2 BEDROOMS, ONE DWELLING TO HAVE NO MORE OR LESS THAN 3 BEDROOMS NA
- B3-2 PARKING LOCATION**
 HABITABLE ROOM WINDOWS FACING SHARED ACCESSWAYS AND CARPARKS (FOR OTHER DWELLINGS): NA
 MINIMUM 1.5M STILL HEIGHT ABOVE FLOOR NA
 REQUIRES SETBACK OF MINIMUM 1.0M NA
 SEPARATED BY GARDEN SPACE NA
 REQUIRES SETBACK OF MINIMUM 1.5M NA
 SEPARATED BY A SOLID FENCE AT LEAST 1.5M HIGH REQUIRES SETBACK OF MINIMUM 1.0M NA
- B3-3 STREET INTEGRATION**
 ALL SITE SERVICES WITHIN 3M OF THE STREET TAKE UP 50% OF FRONTAGE AND ARE SCREENED NA
 LIGHTING IS PROVIDED TO ALL EXTERNAL ACCESSWAYS AND PATHS - REFER FLOOR PLAN LEGEND FOR SYMBOLS AND PATHS NA
 MAILBOXES ARE PROVIDED FOR EACH DWELLING AND CAN BE COMMUNALLY LOCATED NA
 PASSIVE SURVEILLANCE PROVIDED BY BALCONY OR HABITABLE ROOM WINDOW TO FRONT AND SIDE STREETS OF PROPOSED LOT, VEHICLE ACCESSWAYS, AND ADJOINING PUBLIC OPEN SPACE NA
- B3-4 ENTRY**
 ALL DWELLINGS HAVE A GROUND LEVEL ENTRY DOOR THAT HAS DIRECT LINE OF SIGHT FROM A STREET NA
 ACCESSWAY OR SHARED WALKWAY IS NOT ACCESSED THROUGH A GARAGE EVEN WHEN LIVEABILITY STEPPED ENTRY IS THROUGH GARAGE NA
 EXTERNAL ENTRYWAY ARE TO BE COVERED NA
 MINIMUM AREAS 1.44sqm AND AT LEAST 1.2M WIDE NA
- B3-5 PRIVATE OPEN SPACE**
 SCHEDULE OR OVERLAY ADJUSTING THE PRIVATE OPEN SPACE REQUIREMENTS NA
 SECURED PRIVATE OPEN SPACE (S.P.O.S) NA
 MINIMUM 25sqm WITH A MINIMUM DIMENSION OF 3.0M NA
 A BALCONY FACING NORTH (20°W TO 30°E) NA
 MINIMUM 8sqm WITH A MINIMUM DIMENSION OF 1.7M NA
 A BALCONY FACING SOUTH (30°W TO 20°E) NA
 MINIMUM 8sqm WITH A MINIMUM DIMENSION OF 1.2M NA
 A BALCONY FACING EAST OR WEST NA
 1 BED DWELLING: MIN 8sqm, DIMENSION OF MIN. 1.8M NA
 2 BED DWELLING: MIN 8sqm, DIMENSION OF MIN. 2.0M NA
 3 BED DWELLING: MIN 12sqm, DIMENSION OF MIN. 2.4M NA
 INCREASE BY 1.5sqm PER HEATING/COOLING UNIT NA
 ROOFTOP SPACE NA
 AT LEAST 10sqm WITH A MINIMUM DIMENSION OF 2.0M NA
- B3-6 SOLAR ACCESS TO OPEN SPACE**
 WHERE SECURED PRIVATE OPEN SPACE FOR A DWELLING IS TO THE SOUTH, SEE CALCULATION TABLES NA
- B3-7 FUNCTIONAL LAYOUT**
 MASTER BEDROOM - MINIMUM 3.0M x 3.4M NA
 ROBE MIN. 1.8M LONG OR 0.8sqm PROVIDED IN ROOM NA
 OTHER BEDROOM - MINIMUM 3.0M x 3.0M NA
 ROBE MIN. 1.8M LONG OR 0.8sqm PROVIDED IN ROOM NA
- B3-8 ROOM DEPTH (SINGLE WINDOW ORIENTATION)**
 SEE CALCULATION TABLES FOR LIVING ROOM DEPTH CAN BE REDUCED TO A DEPTH OF 3.0M WHERE:
 - KITCHEN IS BURST FROM WINDOW NA
 - CEILING HEIGHT IS MIN. 2.7M NA
 - ANY OVERHANG OUTSIDE WINDOW IS <2.0 DEEP NA
- B3-9 DAYLIGHT TO NEW WINDOWS**
 HABITABLE ROOMS TO HAVE WINDOWS WITH A MIN. 350MM AREA OPEN TO THE SKY AT LEAST 1.8M DEEP CANNOT INCLUDE LAND ON ADJACENT LOTS, CARPARKS AND VERANDAS CONSIDERED OPEN WHERE 1/3RD REFERRED TO OPEN, WHERE A BEDROOM HAS WINDOW WITH A SMALLER SECONDARY AREA, THE SECONDARY AREA MUST HAVE: MIN. 1.2M WIDE MAX. DEPTH 1.5x THE WIDTH OF THE SAME AREA (MEASURED FROM OUTSIDE WINDOW SURFACE), WINDOW CLEAR TO THE SKY NA
- B3-10 NATURAL VENTILATION**
 SEE BREEZE PATH PLAN (OR SDA IF PROVIDED) NA
 BREEZE PATHS TO TRAVEL BETWEEN OPENINGS APPROX. THE SAME SIZE ON DIFFERENT ORIENTATIONS, BREEZE PATHS HAVE A MIN. 5.0M AND MAX. 18.0M DISTANCE, DOOR CATCHES TO BE INSTALLED ON ANY DOOR USED AS PART OF A BREEZE PATH NA
- B3-11 STORAGE**
 REFER STORAGE CALCULATION FOR EACH DWELLING NA
- B3-12 ACCESSIBILITY FOR APARTMENT DEVELOPMENTS**
 WHERE PROPOSAL INCLUDES APARTMENTS, INCLUDE AN ANALYSIS OF AT LEAST 50% OF THE DWELLINGS AGAINST B3-12 NA

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PROPOSED BREEZE PATHS PLAN AND ROOM SIZES
 SCALE 1:100



B2-5 SITE COVERAGE PLAN
 SCALE 1:200



B5-3 ROOFTOP SOLAR GENERATION AREAS
 SCALE 1:200

| REV. | BY. | DATE. | DESCRIPTION. |
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| SK09 | H.C. | 25/09/25 | UPDATES FOR RFI AND SEPARATION FROM JOB FOR #112 |

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| PROJECT. PROPOSED DEVELOPMENT 14 EXISTING DWELLINGS & 5 PROPOSED DWELLINGS - ALL SINGLE STOREY NO. 110 SPARKS ROAD, NORLANE VIC | CLIENT. -- | JOB NO: MQ_25_036 | DRAWN BY: MERAQ BUILDING DESIGNERS |
| | | SCALE: AS NOTATED | DATE: 28/04/2026 |

EXT. AMENITY

- B4-1 DAYLIGHT TO EXISTING WINDOWS**
 PROPOSED BUILDINGS TO ALLOW FOR EXISTING HABITABLE ROOM WINDOW TO RECEIVE NATURAL LIGHT, EXISTING HABITABLE ROOMS OPPOSITE FROM PROPOSAL TO BE ASSESSED AS BELOW DIAGRAMS NA
- B4-2 EXISTING NEIGHBOURING WINDOWS WITHIN RANGE FOR DAYLIGHT CALCS.**
 NO EXISTING NEIGHBOURING WINDOWS WITHIN RANGE FOR DAYLIGHT CALCS. NA
- B4-3 EXISTING NORTH FACING WINDOWS.**
 NO EXISTING WINDOWS ON SITE FACING PROPOSED DWELLINGS. NA
- B4-4 OVERSHADOWING SECLUDED PRIVATE OPEN SPACE**
 WHERE THE PROPOSAL OVERSHADOWS ANY EXISTING SECLUDED PRIVATE OPEN SPACE, DIAGRAMS TO BE SHOWN FOR SHADOWS CAST AT THE EQUINOX. REFER SHADOW DIAGRAMS FOR MORE DETAILS NA
- B4-5 OVERLOOKING**
 RESTRICT VIEWS INTO EXISTING PRIVATE OPEN SPACE AND EXISTING HABITABLE ROOMS, BALCONIES, TERRACES, DECKS, PATIOS, ETC. N.B. BEDROOMS ARE NOT INCLUDED FOR THIS CLAUSE NA
 GROUND FLOOR COMPLIANT WHERE FFLS 0.8 ABOVE NGL AT BOUNDARY WHERE FENCE IS 1.8M HIGH NA
 OBSCURING OF OVERLOOKING WINDOWS CAN BE ACHIEVED BY ONE OF THE FOLLOWING:
 - HIGHLIGHT WINDOW - SLI HEIGHT 1.7M ABOVE FFL NA
 - FIXED SCREENS 425E TRANSPARENT NA
 - FIXED SCREENS 425E OPAQUE NA
 *DIAGRAMS TO SHOW COMPLIANCE OF OBSCURING VIEWS WITHIN A 45° ANGLE FROM THE PLANE/PERIMETER AT A HEIGHT OF 1.7M ABOVE FFL FOR 92M NA
- B4-6 INTERNAL VIEWS**
 RESTRICT VIEWS INTO PROPOSED PRIVATE OPEN SPACE AND PROPOSED HABITABLE ROOM WINDOWS NA
 APPLIES TO ALL HABITABLE ROOM WINDOWS, DOORS, BALCONIES, TERRACES, DECKS, PATIOS, ETC. N.B. BEDROOMS ARE NOT INCLUDED FOR THIS CLAUSE. SEE B4-4 FOR REQUIREMENTS. NA

SUSTAINABILITY

- B5-1 PERMEABILITY AND STORMWATER MANAGEMENT**
 SITE TO HAVE A MINIMUM OF 20% PERMEABLE AREAS REFER WUD PLAN FOR STORMWATER BEST PRACTICE MANAGEMENT NA
- B5-2 OVERSHADOWING DOMESTIC SOLAR ENERGY SYSTEMS**
 WITHIN TOWNSHIP ZONE, GENERAL RESIDENTIAL ZONE, OR NEIGHBOURHOOD RESIDENTIAL ZONE WITH ADJACENT EXISTING SOLAR PANELS AT A LOWER ROOF, AN ASSESSMENT TO BE UNDERTAKEN TO ENSURE PROPOSAL DOES NOT SIGNIFICANTLY REDUCE SOLAR PANELS BETWEEN 9AM AND 4PM AT THE EQUINOX. SEE CALCULATIONS FOR SETBACKS WHERE EXISTING SOLAR PANELS ARE AFFECTED NA
 DISPENSATION TO BE APPLIED FOR ON ACCOUNT OF EXISTING SOLAR PANELS NOT HAVING BEEN SITED TO OPTIMIZE EFFICIENCY AND PROTECTION FROM OVERSHADOWING NA
- B5-3 ROOFTOP SOLAR ENERGY GENERATION AREA**
 ENSURE SUITABLE AREA FOR REGULATION OF SOLAR PANELS:
 - MINIMUM 1.7M NA
 - SUITABLE ORIENTATION NA
 - WITHIN TOP 2/3RDS OF A PITCHED ROOF NA
 - ORIENTATION NA
 - NORTH FACING = 99% EFFICIENCY AT 38° NA
 - WEST FACING = 88% EFFICIENCY NA
 - EAST FACING = 83% EFFICIENCY NA
 - SOUTH FACING = 67% EFFICIENCY* NA
 *SOUTH FACING SHOULD BE AVOIDED WHERE POSSIBLE OR HAVE RAISED SOLAR PANELS FACING NORTH NA
- B5-4 SOLAR PROTECTION TO NEW NORTH-FACING WINDOWS**
 NORTH FACING WINDOWS TO BE SHADDED BY FIXED SHADING FOR A DEPTH OF 1/4 THE HEIGHT OF THE WINDOW AND THE SAME DISTANCE EITHER SIDE OF THE WINDOW OR FOLDED DOWN FROM THE SHADING DEVICE NA
 1.8M HIGH WINDOWS COVERED BY 450mm LEAVES NA
 2.4M HIGH WINDOWS COVERED BY 600mm LEAVES NA

- B5-5 WASTE AND RECYCLING**
 EACH DWELLING TO HAVE AN INTERNAL BIN SPACE OF 0.07M³ WITH A MIN. DEPTH OF 250mm WITH KITCHEN CABINETS NA
 EACH DWELLING TO HAVE MIN. COUNCIL BIN AREA OF 1.8sqm WITH MIN. 0.8M DEPTH AND 1.8M HEIGHT NA
 SHARED BIN AREA FOR 3 DWELLINGS OR LESS OF 5.6sqm WITH MIN. 0.8M DEPTH AND 1.8M HEIGHT NA
 SHARED BIN AREA FOR 4 DWELLINGS OR MORE OF 4sqm+1sqm PER DWELLING (DEPTH 0.8M, HEIGHT 1.8M) NA
 SHARED BIN STORAGE AREAS TO BE:
 - LESS THAN 40M FROM KERBSIDE NA
 - INCLUDE A TAP+DRAIN FOR BIN WASHING NA
 - HAVE A TRAVEL PATH FREE OF STEPS TO ALL DWELLINGS NA
 - PRIVATE BIN COLLECTION REQUIRES VEHICLE ACCESS NA
 - ENCLOSED AREAS TO HAVE EXHAUST SYSTEM NA

- B5-6 MECHANICAL PLANT LOCATIONS IN RELATION TO EXISTING AND PROPOSED BEDROOMS**
 SCREENING FOR PLANT WITH LINE OF SIGHT BY SOLID WALLS OR HIGH DENSITY GAP FREE FENCING NA
- B5-7 ENERGY EFFICIENCY FOR APARTMENT DEVELOPMENTS**
 WHERE PROPOSAL INCLUDES APARTMENTS, INCLUDE AN ANALYSIS OF MATTERS MAXIMUM COOLING LOAD TO COMPLY WITH THE CLIMATE ZONE REQUIREMENTS NA

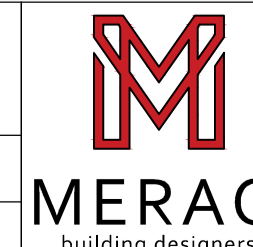
REFER TOWN PLANNING REPORT FOR MORE INFORMATION ON ANY ITEMS MARKED WITH A CROSS

CLAUSE 55 TWO OR MORE DWELLINGS ON A LOT AND RESIDENTIAL DETAILS - TOWNHOUSE AND LOW-RISE CODE GUIDELINES

THIS PAGE IS TO BE READ IN CONJUNCTION WITH COMPLETE ARCHITECTURAL PLANS, ALL ENGINEERING AND SHOP DRAWINGS, AND ALL CONSULTANT REPORTS (INCL. SDA) WORK SHALL CONFORM TO THE SPECIFICATION, SPECIALISTS REPORTS, RELEVANT AUSTRALIAN REQUIREMENTS, AND LOCAL AUTHORITY REQUIREMENTS.

FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED WORK. BUILDER / CONTRACTOR TO VERIFY ALL DIMENSIONS & CHECK FOR DISCREPANCIES BETWEEN ARCHITECTURAL AND ALL OTHER DRAWINGS BEFORE ANY JOB COMMENCES.

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TREE SPECIES - GREATER GEELONG ZONE 17
Anakie East, Lovely Banks and the Corio Basalt Plains

| BOTANICAL NAME & COMMON NAME | B2-7 DETAILS | | CLASS | CLIMATE SUITABILITY |
|--|--------------|--------|--------|---------------------|
| | HEIGHT | WIDTH | | |
| ACACIA IMPLEXA (HICKORY WATTLE/LIGHTWOOD) | 5.1m | 4.7m | TYPE A | EXCELLENT |
| ACACIA MEARNSII (BLACK WATTLE) | 8.2m | 6.1m | TYPE B | EXCELLENT |
| ALLOCASUARINA LUEHMANNII (BULOKE) | 3.1m | 2.5m | N/A | EXCELLENT |
| ALLOCASUARINA VERTICILLATA (DROOPING SHEOKE) | 5.1m | 5.1m | TYPE A | EXCELLENT |
| EUCALYPTUS CAMALIDUNNI (WATER RED GUM) | 15.35m | 15.35m | TYPE C | EXCELLENT |
| EUCALYPTUS LEUCOCORYS (YELLOW GUM) | 10.20m | 6.20m | TYPE B | SUITABLE |
| EUCALYPTUS MELALUCIDA (YELLOW BOX) | 10.30m | 8.25m | TYPE C | SUITABLE |
| EUCALYPTUS POLYCHAETUS (GREY BOX) | 10.25m | 10.15m | TYPE C | EXCELLENT |
| EUCALYPTUS POLYCHAETUS (RED BOX) | 7.25m | 5.15m | TYPE B | UNSATURABLE |

SIZE 1 TREE DETAILS - CODE 2

| BOTANICAL NAME (COMMON NAME/KNOWN AS) ¹ | QTY | HEIGHT ² | WIDTH ³ |
|--|-----|---------------------|--------------------|
| | | | |
| INFORM | | | |
| SPECIFICS ⁶ | | | |

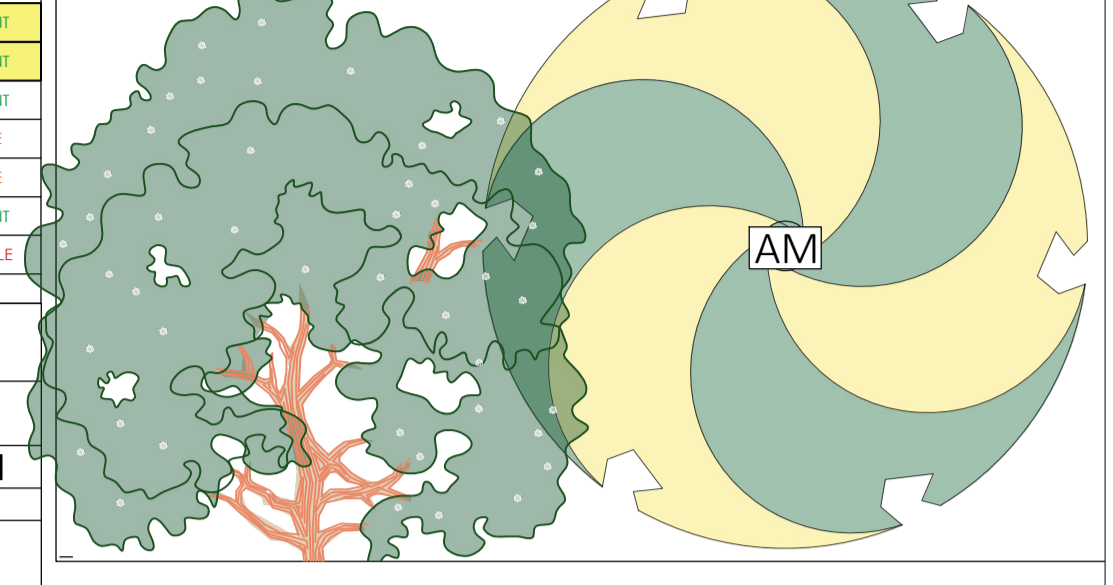
- TREE SIZE BY HEIGHT: S-ML < 8m ≤ 12m ≤ 18m < 18m ≤ GIANT FOR CANOPY TREE TYPE, REFER TO TABLE OF TREE SPECIES FOR AREA
- TREE CODE: BASED ON BOTANICAL NAME WHERE DISTINCT AND USED TO LABEL TREES ON PLAN.
- BOTANICAL NAME OF SELECTED SPECIES.
- COMMON NAMES OF SELECTED SPECIES.
- SPECIFIC INFORMATION:
 - N = Native
 - E/D = Evergreen/Deciduous
 - F = Flowering
 - SI = Suitable for Estabments - shallow or non-invasive root system
- WATERING INFORMATION:
 - DR = Drought Resistant
 - RW = Regular Watering Required post initial settling in period
 - RG = Rain Gardens appropriate plants suitable for inconsistent watering (dry spells and heavy rain areas). N.B. Rain Garden appropriate plants may be used in regular garden areas.
- NORMAL GROWTH SHAPE FOR SELECTED SPECIES. This may differ dependent on site conditions, health of sapling, weather, etc.
- HEIGHT AND WIDTH: Height and Width taken from "Which Plant Where". Average assumed where a range is possible and adjusted where necessary according to Council provided sizes for species grown in the area. ALL CANOPY TREES TO BE 1.5M TALL AT TIME OF PLANTING.
- SOIL AREA REQUIREMENTS: Minimum dimensional area and minimum soil area in square metres as per Standard B2-7 Tree Canopy. This area must be permeable for the whole extent. Permeable Driveways are to be excluded due to vehicle movement restricting root growth underneath.

PERMEABLE FINISHES REFER WSUD PLAN FOR DETAILS OF PERMEABLE FINISHES.

SMALL CANOPY TREE - TYPE B

| AM | ACACIA MEARNSII (BLACK WATTLE) | QTY | 2 |
|-----------|--------------------------------|-----------|-----------------|
| INFO | | HEIGHT | WIDTH |
| N, E.G. F | RW | SPREADING | 6,500mm 8,000mm |

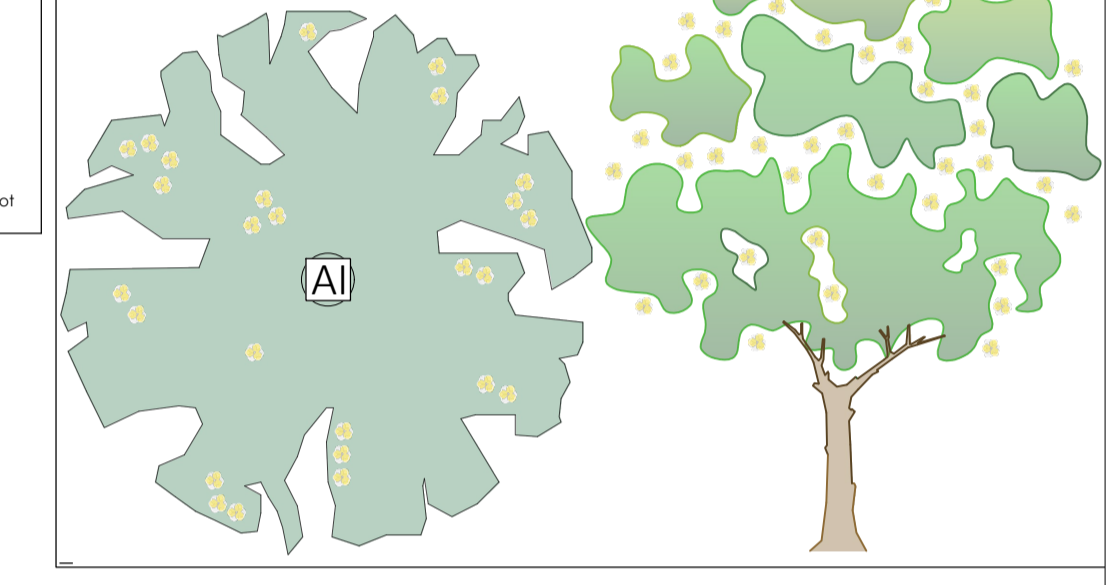
SOIL AREA REQUIRED: min. 4.5m and 49sqm permeable surface*
 *permeable driveways not included.
 SEE ATTACHED INFORMATION SHEETS FROM WHICH PLANT WHERE FOR MORE DETAILS.



MED. CANOPY TREE - TYPE A

| AI | ACACIA IMPLEXA (HICKORY WATTLE/LIGHTWOOD) | QTY | 6 |
|-----------|---|--------|------------------|
| INFO | | HEIGHT | WIDTH |
| N, E.G. F | DR | OVAL | 10,000mm 7,000mm |

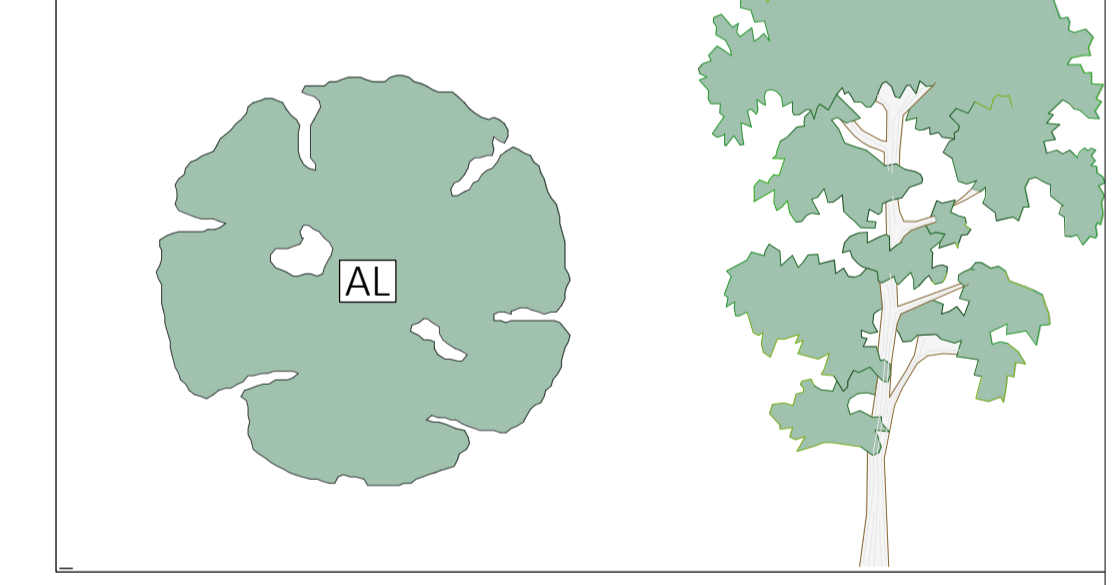
SOIL AREA REQUIRED: min. 4.0m and 36sqm permeable surface*
 *permeable driveways not included.
 SEE ATTACHED INFORMATION SHEETS FROM WHICH PLANT WHERE FOR MORE DETAILS.



MED. CANOPY TREE - TYPE A

| AL | ALLOCASUARINA LUEHMANNII (BULOKE) | QTY | 22 |
|---------------|-----------------------------------|-----------|------------------|
| INFO | | HEIGHT | WIDTH |
| N, E.G. F, SH | RW | SPREADING | 11,000mm 5,500mm |

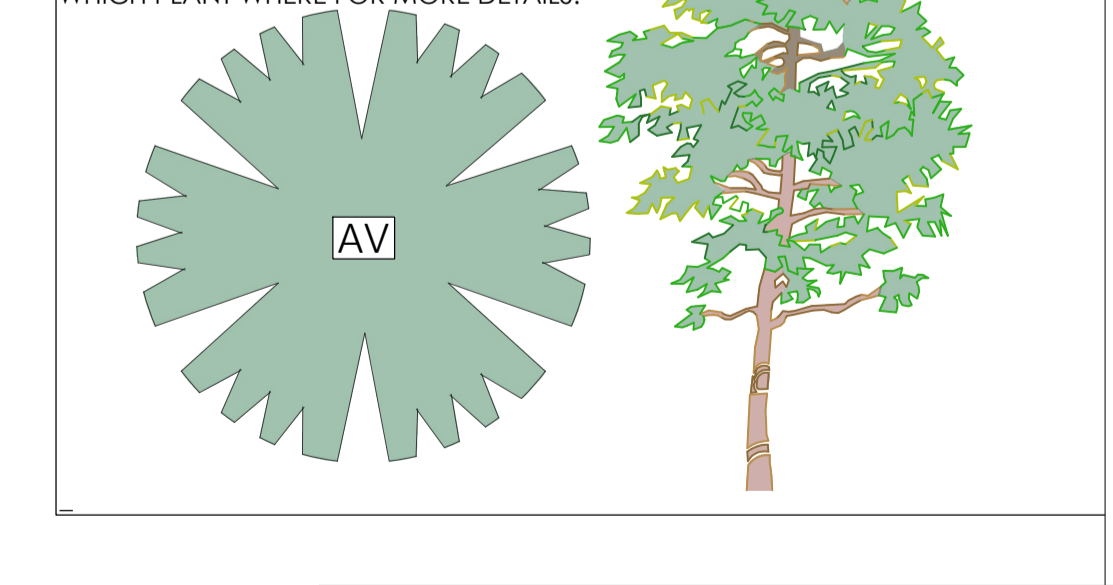
SOIL AREA REQUIRED: min. 3.0m and 16sqm permeable surface*
 *permeable driveways not included.
 SEE ATTACHED INFORMATION SHEETS FROM WHICH PLANT WHERE FOR MORE DETAILS.



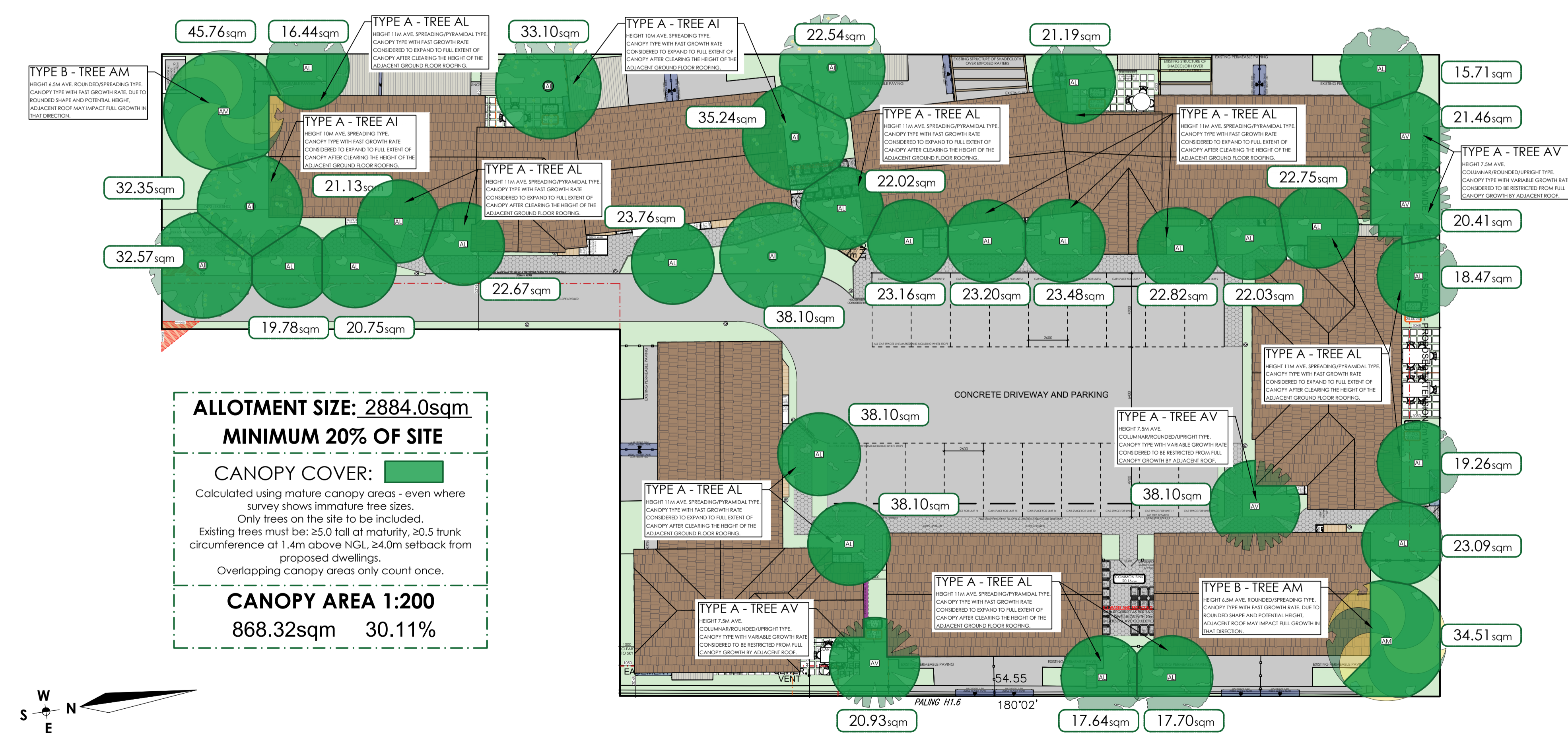
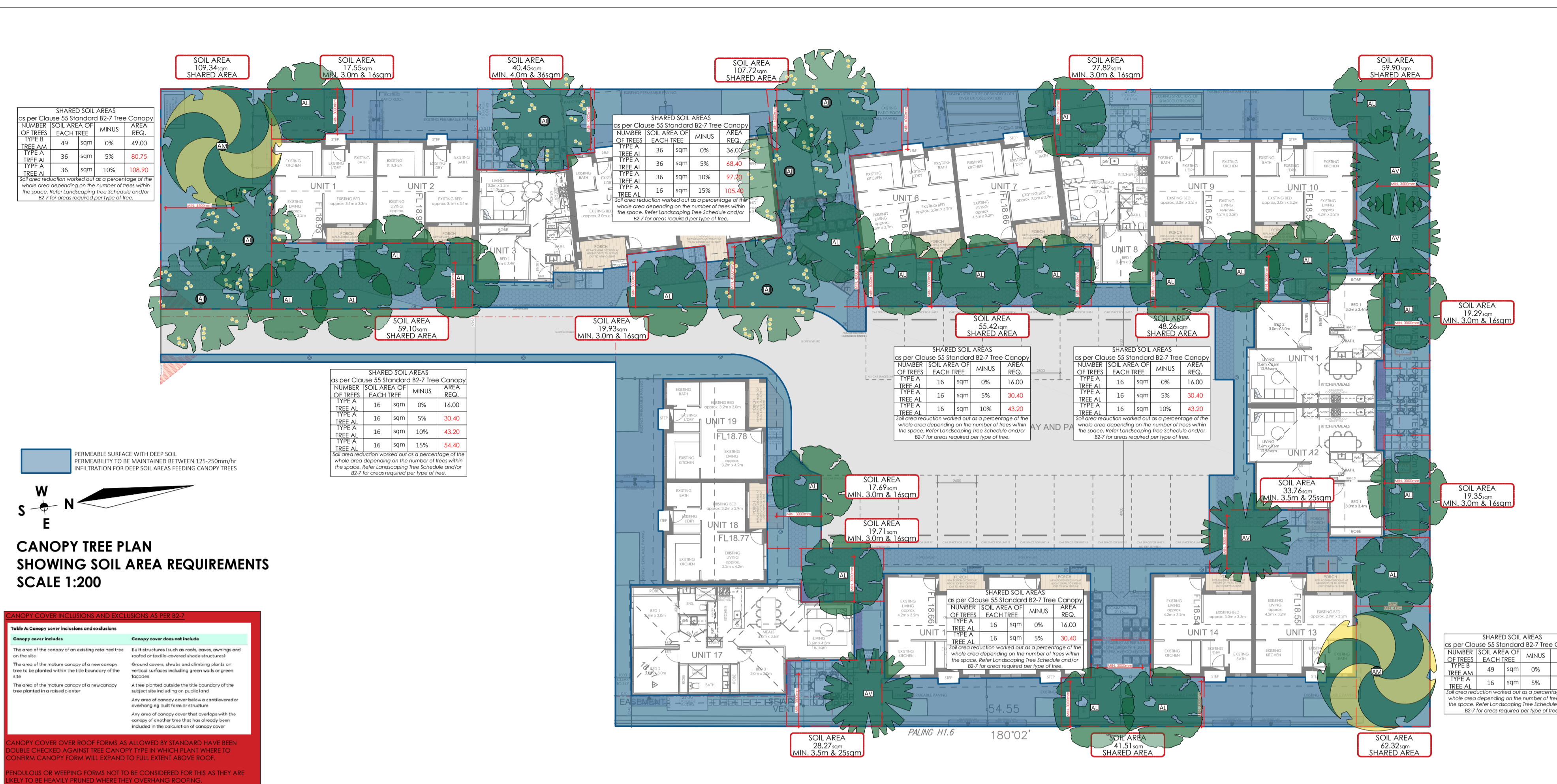
SMALL CANOPY TREE - TYPE A

| AV | ALLOCASUARINA VERTICILLATA (DROOPING SHEOKE) | QTY | 4 |
|---------------|--|---------|-----------------|
| INFO | | HEIGHT | WIDTH |
| N, E.G. F, SH | DR | ROUNDED | 7,500mm 6,000mm |

SOIL AREA REQUIRED: min. 3.5m and 25sqm permeable surface*
 *permeable driveways not included.
 SEE ATTACHED INFORMATION SHEETS FROM WHICH PLANT WHERE FOR MORE DETAILS.



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ALLOTMENT SIZE: 2884.0sqm
MINIMUM 20% OF SITE

CANOPY COVER: [Green bar]

Calculated using mature canopy areas - even where survey shows immature tree sizes.
 Only trees on the site to be included.
 Existing trees must be: ≥5.0 tall at maturity, ≥0.5 trunk circumference at 1.4m above NGL, ≥4.0m setback from proposed dwellings.
 Overlapping canopy areas only count once.

CANOPY AREA 1:200
 868.32sqm 30.11%

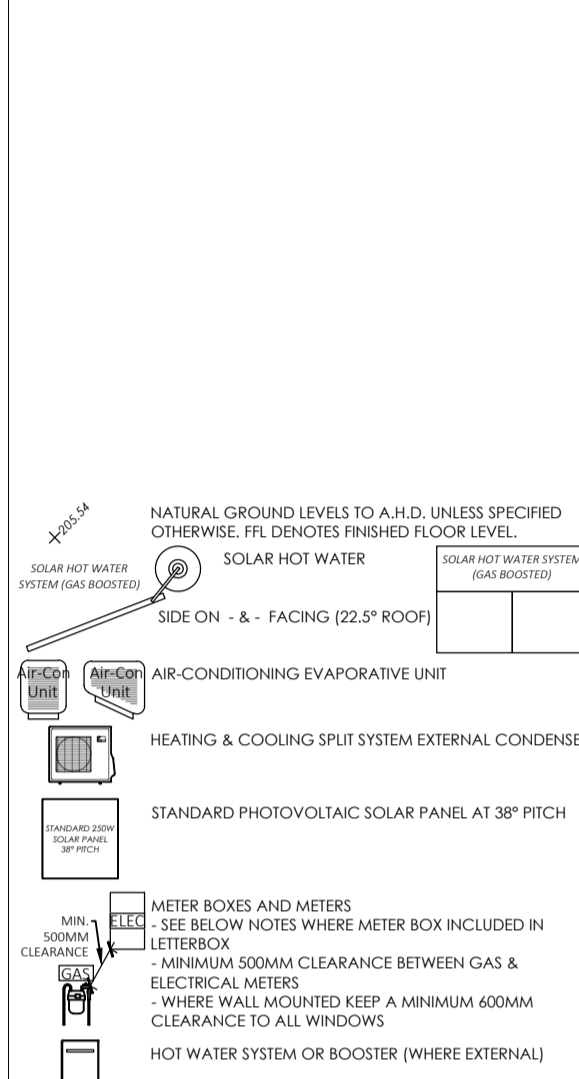
B2-7 TREE CANOPY COVERAGE
SCALE 1:200

| <p>THIS PAGE IS TO BE READ IN CONJUNCTION WITH COMPLETE ARCHITECTURAL PLANS, ALL ENGINEERING AND SHOP DRAWINGS, AND ALL CONSULTANT REPORTS (INCL. SDA) WORK SHALL CONFORM TO THE SPECIFICATION, SPECIALISTS REPORTS, RELEVANT AUSTRALIAN REQUIREMENTS, AND LOCAL AUTHORITY REQUIREMENTS.</p> <p>FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED WORK. BUILDER / CONTRACTOR TO VERIFY ALL DIMENSIONS & CHECK FOR DISCREPANCIES BETWEEN ARCHITECTURAL AND ALL OTHER DRAWINGS BEFORE ANY JOB COMMENCES.</p> <p>THIS DRAWING IS PROTECTED BY COPYRIGHT. (CAD) A1</p> | <table border="1"> <tr> <th>REV.</th> <th>BY.</th> <th>DATE.</th> <th>DESCRIPTION.</th> </tr> <tr> <td>SK09</td> <td>H.C.</td> <td>25/09/25</td> <td>UPDATES FOR RFI AND SEPARATION FROM JOB FOR #112</td> </tr> </table> | REV. | BY. | DATE. | DESCRIPTION. | SK09 | H.C. | 25/09/25 | UPDATES FOR RFI AND SEPARATION FROM JOB FOR #112 | <table border="1"> <tr> <th>REV.</th> <th>BY.</th> <th>DATE.</th> <th>DESCRIPTION.</th> </tr> <tr> <td></td> <td></td> <td></td> <td></td> </tr> </table> | REV. | BY. | DATE. | DESCRIPTION. | | | | | <p>PROJECT: PROPOSED DEVELOPMENT 14 EXISTING DWELLINGS & 5 PROPOSED DWELLINGS - ALL SINGLE STOREY NO. 110 SPARKS ROAD, NORLANE VIC</p> | <p>CLIENT: ---</p> <p>JOB NO: MQ_25_036</p> <p>SCALE: AS NOTATED</p> | <p>DRAWN BY: MERAQ BUILDING DESIGNERS</p> <p>DATE: 28/04/2026</p> | <p>MERAQ PROJECTS</p> <p>PO BOX 310 WILLIAMSTOWN VIC 3016 P. 03 9391 0023 ABN. 85146959775 E. admin@meraq.com.au</p> | <p>#</p> <p>06</p> |
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LEGEND FINISH COLOURS REFER TO COLOUR SCHEDULE

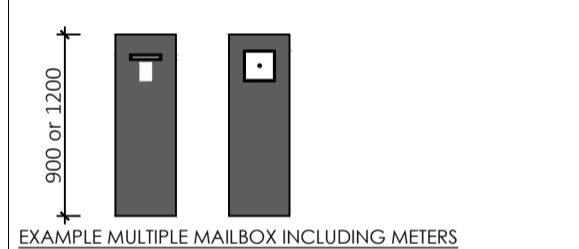
| | |
|--|--|
| | TRUSS ROOF PITCHED AS SHOWN |
| | CONCRETE TILES - EXISTING AND PROPOSED TO MATCH |
| | EXISTING FACE BRICK |
| | EXISTING FACE BRICK |
| | DOUBLE BRICK/BRICK VENEER/PEPER SELECTED FACE BRICK |
| | HEBEL POWERPANEL™ CLADDING LIGHT RENDER/PAINT FINISH |
| | WINDOWS - SEE SCHEDULE |
| | DOORS - SEE SCHEDULE |
| | GLAZING TRANSPARENT |
| | OBSCURED TRANSLUCENT GLASS |



NOTES
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EXAMPLE SINGLE MAILBOX (NO METER BOX)



WHERE WITHIN A VISIBILITY SPAY AS PER SITE AND GROUND FLOOR PLAN, MAIL BOX STRUCTURES TO BE A MAXIMUM OF 900MM HIGH TO ENSURE CLEAR VIEWS.

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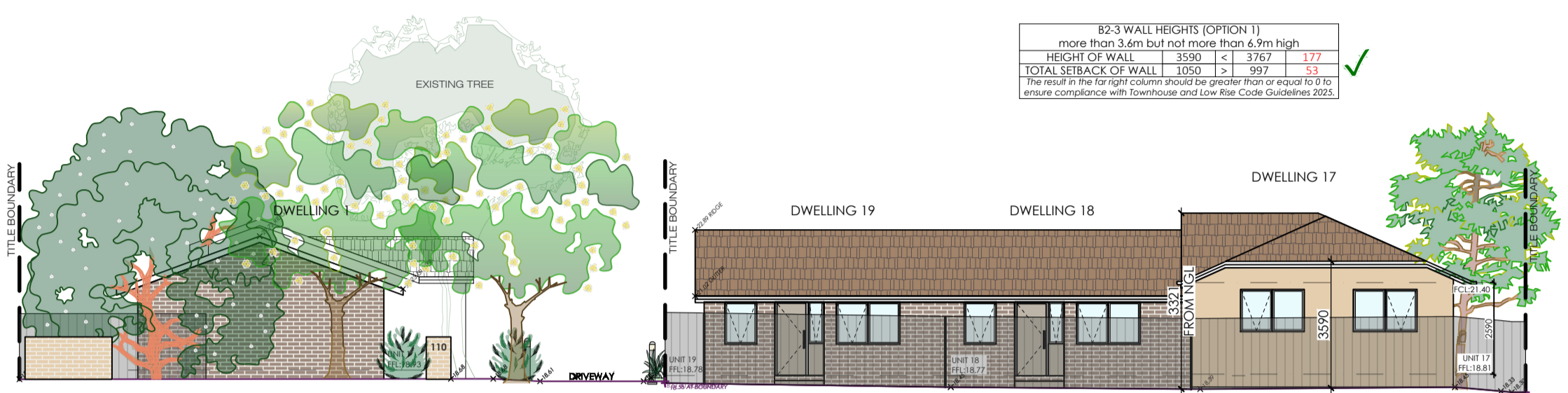
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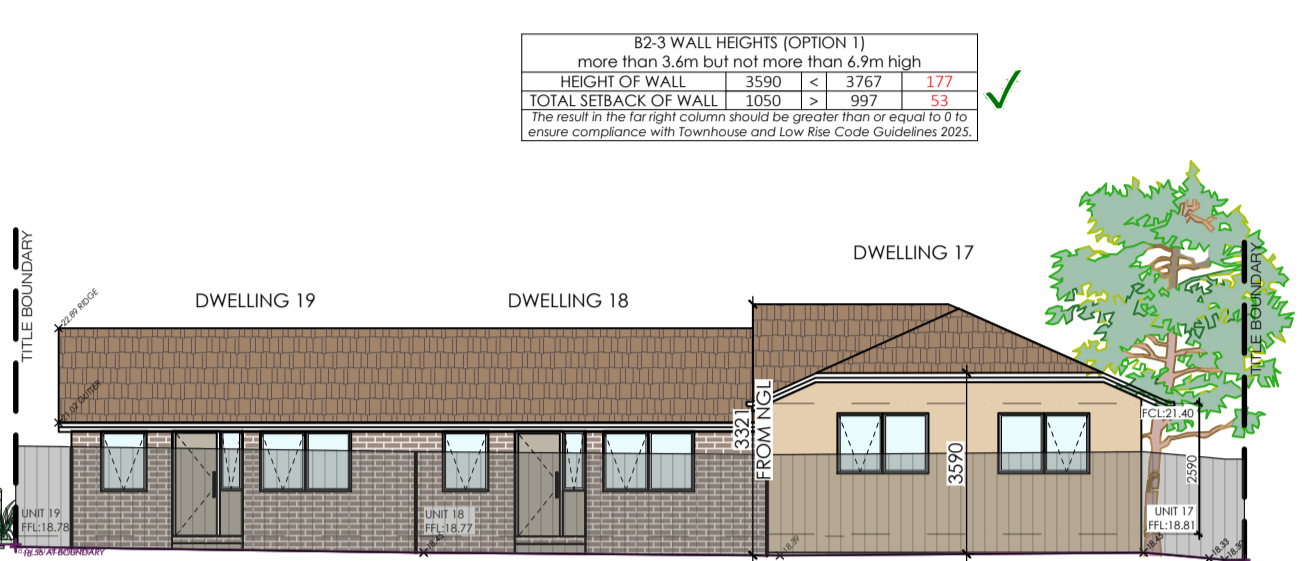
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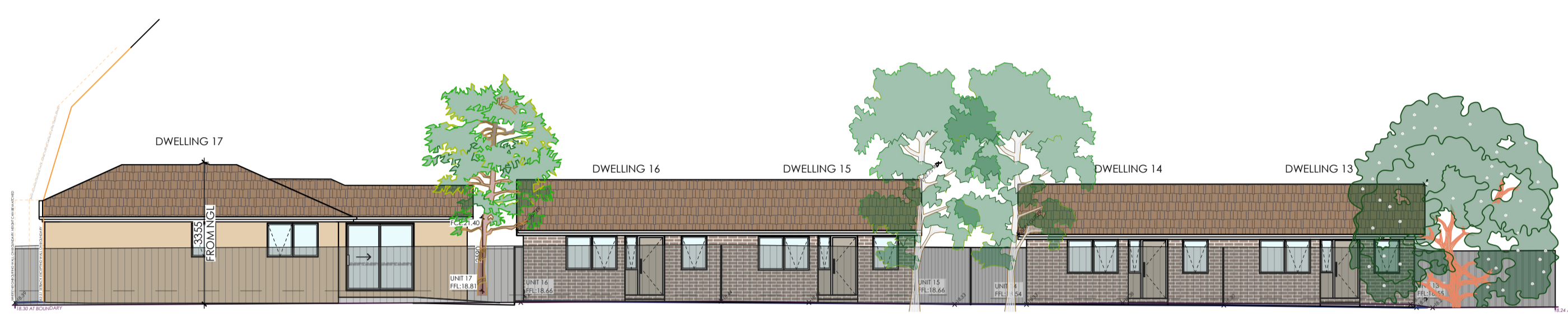
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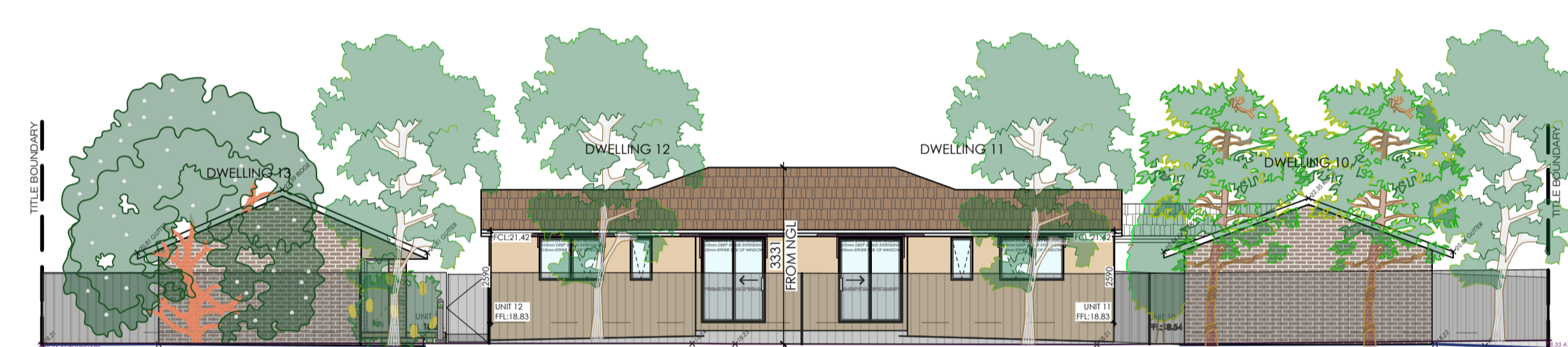
PROPOSED FACADE - SOUTH ELEVATION
SCALE 1:150



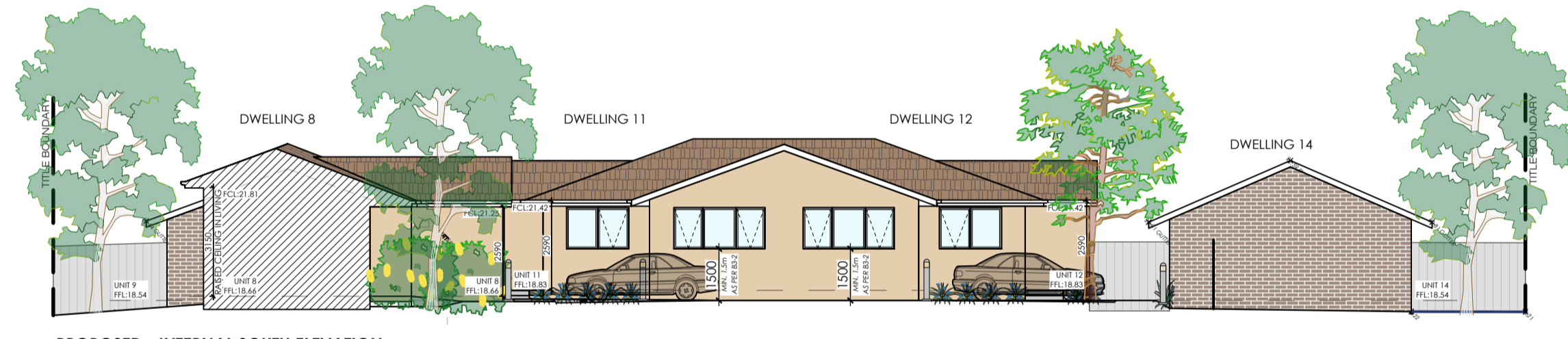
PROPOSED - SOUTH ELEVATION BEHIND 112 SPARKS
SCALE 1:150



PROPOSED - EAST ELEVATION
SCALE 1:150



PROPOSED - NORTH ELEVATION
SCALE 1:150



PROPOSED - INTERNAL SOUTH ELEVATION
SCALE 1:150



PROPOSED - WEST ELEVATION
SCALE 1:150

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PROJECT.
PROPOSED DEVELOPMENT
14 EXISTING DWELLINGS & 5 PROPOSED DWELLINGS - ALL SINGLE STOREY
NO. 110 SPARKS ROAD, NORLANE VIC

| CLIENT. | JOB NO: | DRAWN BY: |
|------------|------------|--------------------------|
| -- | MQ_25_036 | MERAQ BUILDING DESIGNERS |
| SCALE: | DATE: | |
| AS NOTATED | 28/04/2026 | |

MERAQ building designers

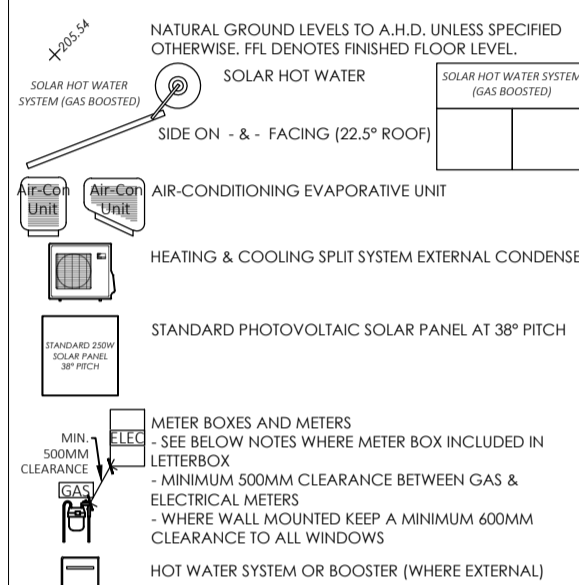
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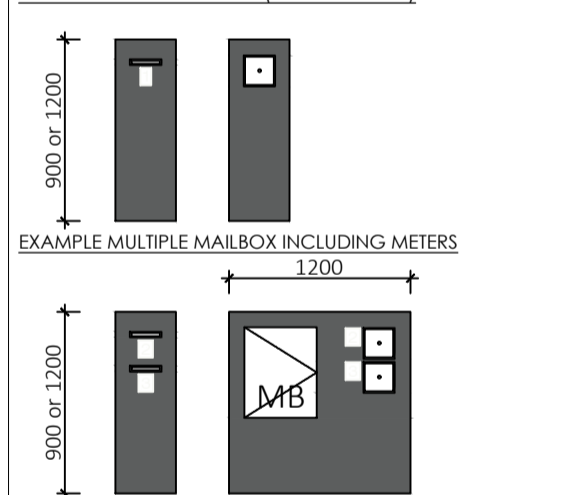


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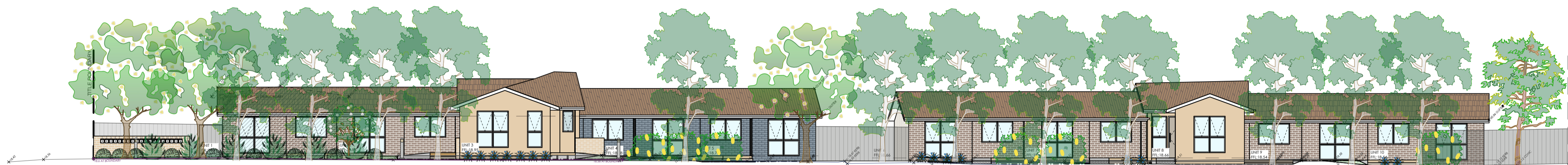
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PROPOSED - INTERNAL EAST ELEVATION
SCALE 1:150



PROPOSED - INTERNAL WEST ELEVATION
SCALE 1:150



PROPOSED - INTERNAL NORTH ELEVATION
SCALE 1:150

| REV. | BY. | DATE. | DESCRIPTION. | REV. | BY. | DATE. | DESCRIPTION. |
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| PROJECT. PROPOSED DEVELOPMENT 14 EXISTING DWELLINGS & 5 PROPOSED DWELLINGS - ALL SINGLE STOREY NO. 110 SPARKS ROAD, NORLANE VIC | CLIENT. -- JOB NO: MQ_25_036 SCALE: AS NOTATED | DRAWN BY: MERAQ BUILDING DESIGNERS DATE: 28/04/2026 | <p>MERAQ PROJECTS PO BOX 310 WILLIAMSTOWN VIC 3016 P. 03 9391 0023 ABN. 85146959775 E. admin@meraq.com.au</p> | # 08 |
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LEGEND

- EASEMENT AREA
- REFER PLAN OF SUBDIVISION
- COLOURED CONCRETE FINISH - AS PER COLOUR SCHEDULE SOLAR ABSORBENCY 0.2
- COLOURED CONCRETE FINISH - AS PER COLOUR SCHEDULE SOLAR ABSORBENCY 0.7
- EXPOSED AGGREGATE CONCRETE FINISH - AS PER COLOUR SCHEDULE SOLAR ABSORBENCY 0.2
- PERMEABLE DECKING
- LAWN AND LANDSCAPED AREAS
- COUCH OR KIKUYU GRASS - NOT ARTIFICIAL TURF
- PEBBLES, CRUSHED ROCK, OR OTHER PERMEABLE ROCK FINISH
- GARDEN BED - BLACK OR RED MULCH
- GROUND FLOOR ROOF UNDER (FIRST FLOOR PLAN ONLY)
- STORAGE
- ANG'S STORAGE AREA PER DWELLING
- HIGHT TO BE LESS THAN ANY ADJACENT FINISH
- GARAGE FLOOR OR STORAGE TO BE SHOWN IN ADDITIONAL DIAGRAM
- FREE-STANDING CLOTHESLINE
- HIGHT TO BE LOCATED ON FENCES OR BOUNDARY WALLS
- HIGHT TO BE MAX 1.8M
- WATER TANKS - OR - SOLAR HOT WATER
- EACH DWELLING TO HAVE EITHER A WATER TANK OR A SOLAR HOT WATER SYSTEM
- BINS AS PER INDIVIDUAL COUNCIL REQUIREMENTS
- WHERE LOCATED WITHIN GARAGES, DRINKING FOUNTAINS TO BE PROVIDED
- WHERE LOCATED IN FRONT OF DWELLING, SCREENING AS NOTATED
- LETTER BOXES AS PER ELEVATIONS - NUMBERED AS PER DWELLING
- PERMEABLE PAVERS
- SPACES TO ALLOW MAX 30% PERMEABILITY
- METER BOXES
- WHERE ELEC WITH LETTER BOX, STRUCTURE MUST BE MIN 1200MM HIGH
- ALL ELECTRICAL CONNECTIONS FOR SITE TO BE UNDERGROUND
- HOT WATER SYSTEM OR BOOSTER (WHERE EXTERNAL)
- NEIGHBOURING
- INDIVIDUALS/FINISHABLE / DOOR / WINDOW
- SIDE ENTRY PIT
- ELECTRICAL POLE, TELECOM PIT, LIGHT POLE
- HEATING & COOLING SPLIT SYSTEM EXTERNAL CONDENSER
- OR ROOF MOUNTED EVAPORATIVE COOLING UNIT
- SMOKE DETECTORS AS PER AS3786
- EXHAUST FANS VENTED EXTERNALLY AS PER AS1688.2
- NATURAL GROUND LEVELS TO A.H.D. UNLESS SPECIFIED OTHERWISE. FL DENOTES FINISHED FLOOR LEVEL.
- EXISTING FENCES
- SENSOR LIGHTING (BOLLARD OR WALL MOUNTED)
- APPROX. DRAIN LOCATION TO BE CONFIRMED ON SITE.
- SEWER PIT, LINE & TIE.
- RETAINING WALLS - HEIGHTS AS NOTATED.
- TO BE CONSTRUCTED AS PER ENG. APPROB. & LANDSCAPING PLANS.
- FEATURE CONCRETE INTERSPERSED WITH GRASS
- SOLAR ABSORBENCY 0.2
- RAIN GARDEN
- REFER TO POSITION PLAN FOR RAIN GARDEN REQUIREMENTS AND DETAILS

TOWN PLANNING DRAWINGS ARE TO BE READ AS A WHOLE. NOTES ONLY INCLUDED ON AN INDIVIDUAL PAGE ARE STILL REQUIRED BY THE WHOLE PROPOSAL.

ELECTRICITY COMPANY CONNECTIONS TO THE PROPOSED DWELLINGS ARE TO BE PROVIDED UNDERGROUND.

ALL STORM WATER INFRASTRUCTURE AS REQUIRED BY CONDITIONS OF THE PLANNING PERMIT ARE TO BE LOCATED WITHIN THE DRIVEWAY AND NOT IN THE AREAS SET ASIDE FOR LANDSCAPING.

ALFRESCO/DECK - ANY EXTERNAL LIVING AREAS (ALFRESCO, DECK, ETC) FOR EACH DWELLING IS NOT TO BE FULLY ENCLOSED AT ANY TIME. SIDE AND/OR REAR SECTION MUST BE LEFT OPEN TO PRIVATE OPEN SPACE.

PLANT AND EQUIPMENT - ALL EXTERNAL PLANT AND EQUIPMENT TO BE POSITIONED TO PREVENT UNREASONABLE NOISE AND VISUAL IMPACT. POSITIONS OF ROOF FIXTURES (SUCH AS SKYLIGHTS, SOLAR PANELS, CONDENSERS, ETC) ARE APPROXIMATE. LOCATIONS TBC WITH BUILDER & TRUSS MFR.

SERVICE PIPES, FITTINGS, & FIXTURES EXCLUDING DOWNPIPES TO BE CONCEALED ON EXPOSED ELEVATIONS TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY. DOWNPIPES TO BE PAINTED TO MATCH WALL FINISHES WHERE NECESSARY. REFER COLOUR SCHEDULE.

VISIBILITY SPLAYS AS PER CLAUSE 52.06-9, HAVE A CORNER SPLAY OR AREA AT LEAST 50 PER CENT CLEAR OF VISUAL OBSTRUCTIONS EXTENDING AT LEAST 2 METRES ALONG THE FRONTAGE ROAD FROM THE EDGE OF AN EXIT LANE AND 2.5 METRES ALONG THE EXIT LANE FROM THE FRONTAGE. TO PROVIDE A CLEAR VIEW OF PEDESTRIANS ON THE FOOTPATH OF THE FRONTAGE ROAD. THE AREA CLEAR OF VISUAL OBSTRUCTIONS MAY INCLUDE AN ADJACENT ENTRY OR EXIT LANE WHERE MORE THAN ONE LANE IS PROVIDED, OR ADJACENT LANDSCAPED AREAS, PROVIDED THE LANDSCAPING IN THOSE AREAS IS LESS THAN 900MM IN HEIGHT.

SUSTAINABILITY DESIGN ASSESSMENT WHERE ANY ADDITIONAL INFORMATION IS SUPPLIED WITHIN SDA, VISUAL PLANS, TORMANUSIC REPORTS, AND BESS REPORTS, ALL CONSTRUCTION MUST ALSO COMPLY WITH SPECIFICATIONS WITHIN THESE DOCUMENTS.

VEHICLE PARKING AREAS SET ASIDE FOR PARKED VEHICLES AND ACCESS LANES AS SHOWN ON THE ENDORSED PLANS MUST TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY BE:

- (i) CONSTRUCTED.
- (ii) PROPERLY FORMED TO SUCH LEVELS THAT THEY CAN BE USED IN ACCORDANCE WITH THE PLANS.
- (iii) SURFACED WITH ASPHALT OR CONCRETE UNLESS ANOTHER SURFACE TREATMENT IS APPROVED BY THE RESPONSIBLE AUTHORITY.
- (iv) DRAINED AND MAINTAINED.
- (v) LINES MARKED TO INDICATE EACH CAR SPACE AND ALL ACCESS LANES AND BE KEPT AVAILABLE FOR THESE PURPOSES AT ALL TIMES.

GARAGES MUST AT ALL TIMES BE KEPT AVAILABLE FOR PRIMARY PURPOSE OF PARKING MOTOR VEHICLES AND MUST NOT BE USED FOR ANY OTHER PURPOSE.

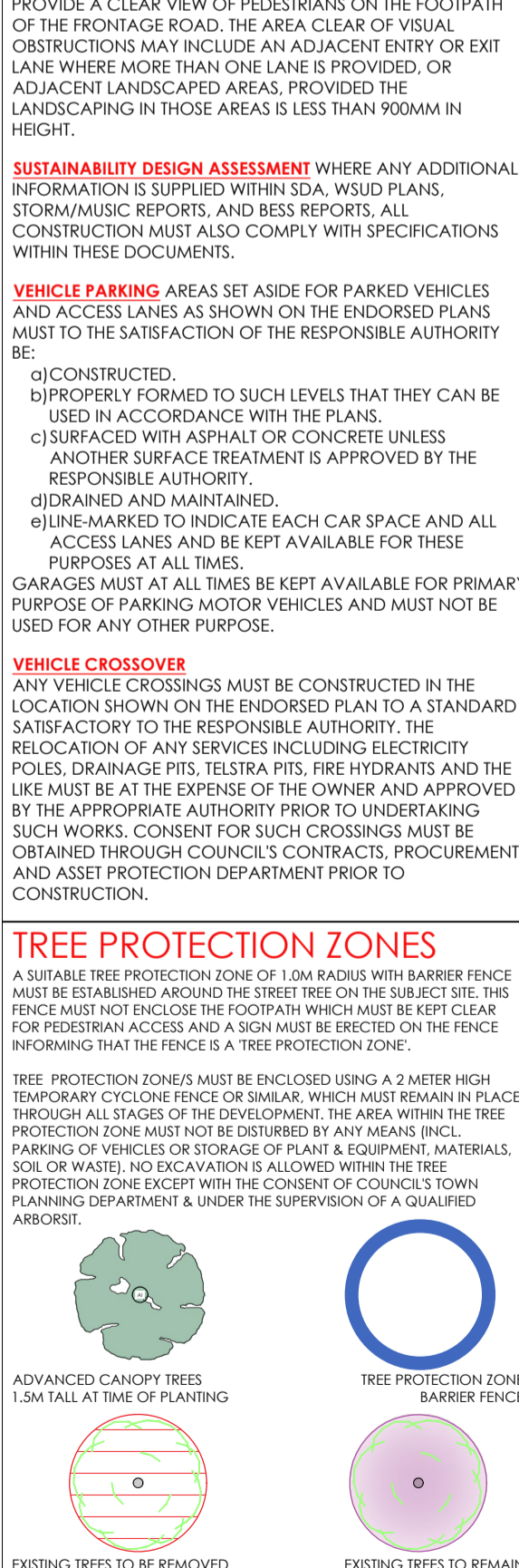
VEHICLE CROSSOVER

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EXISTING SITE PLAN SCALE 1:200



EXISTING CHANGES FOR PROPOSAL SCALE 1:200



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| SK09 | H.C. | 25/09/25 | UPDATES FOR RFI AND SEPARATION FROM JOB FOR #112 |

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PROJECT.
 PROPOSED DEVELOPMENT
 14 EXISTING DWELLINGS & 5 PROPOSED DWELLINGS - ALL SINGLE STOREY
 NO. 110 SPARKS ROAD, NORLANE VIC

CLIENT.
 --
 JOB NO: MQ_25_036
 SCALE: AS NOTATED

DRAWN BY. MERAQ BUILDING DESIGNERS
DATE. 28/04/2026

MERAQ
 building designers

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DEMO

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LEGEND

| | |
|--|---|
| | BASEMENT |
| | REFER PLAN OF SUBDIVISION |
| | COLOURED CONCRETE FINISH - AS PER COLOUR SCHEDULE SOLAR ASSEMBLY #0.2 |
| | COLOURED CONCRETE FINISH - AS PER COLOUR SCHEDULE SOLAR ASSEMBLY #0.7 |
| | EXPOSED AGGREGATE CONCRETE FINISH - AS PER COLOUR SCHEDULE SOLAR ASSEMBLY #0.2 |
| | PERMEABLE DECKING |
| | LAWN AND LANDSCAPED AREAS COUCH OR KIKUYU GRASS - NOT ARTIFICIAL TURF |
| | PEBBLES, CRUSHED ROCK, OR OTHER PERMEABLE ROCK FINISH |
| | GARDEN BED - BLACK OR RED MULCH |
| | GROUND FLOOR ROOF UNDER (FIRST FLOOR PLAN ONLY) |
| | ANS STORAGE AREA PER DWELLING HEIGHT TO BE LESS THAN ANY ADJACENT FINISH - GARAGE, STAIR OR STORAGE TO BE SHOWN IN ADDITIONAL DIAGRAM |
| | FREE-STANDING CLOTHESLINE - NOT TO BE LOCATED ON FENCES OR BOUNDARY WALLS - HEIGHT TO MAX 1.8M |
| | WATER TANKS - OR - SOLAR HOT WATER EACH DWELLING TO HAVE EITHER A WATER TANK OR A SOLAR HOT WATER SYSTEM |
| | BINS AS PER INDIVIDUAL COUNCIL REQUIREMENTS WHERE LOCATED WITHIN GARAGE, BINNAGE MUST BE 1.200M HIGH WHERE LOCATED IN FRONT OF DWELLING, SCREENING AS NOTATED |
| | LETTER BOXES AS PER ELEVATIONS - NUMBERED AS PER DWELLING |
| | PERMEABLE PAVERS - SPACED TO ALLOW 30% PERMEABILITY |
| | METER BOXES WHERE ELECTRIC METER BOX STRUCTURE MUST BE 1.200M HIGH ALL ELECTRICAL CONNECTIONS FOR SITE TO BE UNDERGROUND |
| | HOT WATER SYSTEM OR BOOSTER (WHERE EXTERNAL) |
| | NEIGHBOURING NEIGHBOURING PERMEABLE / DOOR / WINDOW SIDE ENTRY PIT |
| | ELECTRICAL POLE, TELECOM PIT, LIGHT POLE |
| | HEATING & COOLING SPLIT SYSTEM EXTERNAL CONDENSER OR ROOF MOUNTED EVAPORATIVE COOLING UNIT |
| | SMOKE DETECTORS AS PER AS3786 |
| | EXHAUST FANS VENTED EXTERNALLY AS PER AS1648.2 |
| | NATURAL GROUND LEVELS TO A.H.D. UNLESS SPECIFIED OTHERWISE. F.L. DENOTES FINISHED FLOOR LEVEL. |
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| | APPROX. DRAIN LOCATION TO BE CONFIRMED ON SITE. |
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| | FEATURE CONCRETE INTERSPERSED WITH GRASS SOLAR ASSEMBLY #0.2 |
| | RAIN GARDEN REFER TO PROPOSED PLAN FOR RAIN GARDEN REQUIREMENTS AND DETAILS |

NOTES
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VISIBILITY SPLAYS AS PER CLAUSE 52.06-9, WHERE WITHIN THE SUBJECT SITE. STRUCTURES OR VEGETATION WITHIN THESE SPLAYS MUST NOT BE MORE THAN 900MM IN HEIGHT.

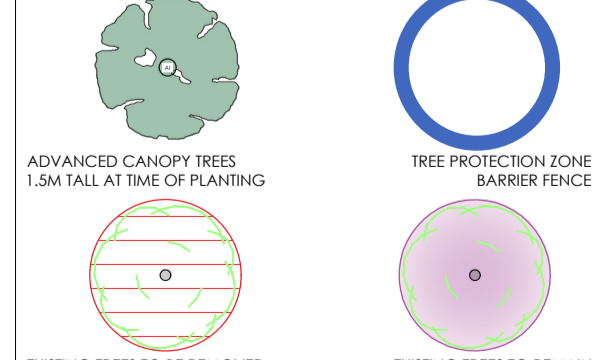
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d) DRAINED AND MAINTAINED.
e) LINE-MARKED TO INDICATE EACH CAR SPACE AND ALL ACCESS LANES. PARKING AREAS AND ACCESS LANES MUST BE KEPT AVAILABLE FOR THESE PURPOSES AT ALL TIMES.
GARAGES MUST AT ALL TIMES BE KEPT AVAILABLE FOR PRIMARY PURPOSE OF PARKING MOTOR VEHICLES AND MUST NOT BE USED FOR ANY OTHER PURPOSE.

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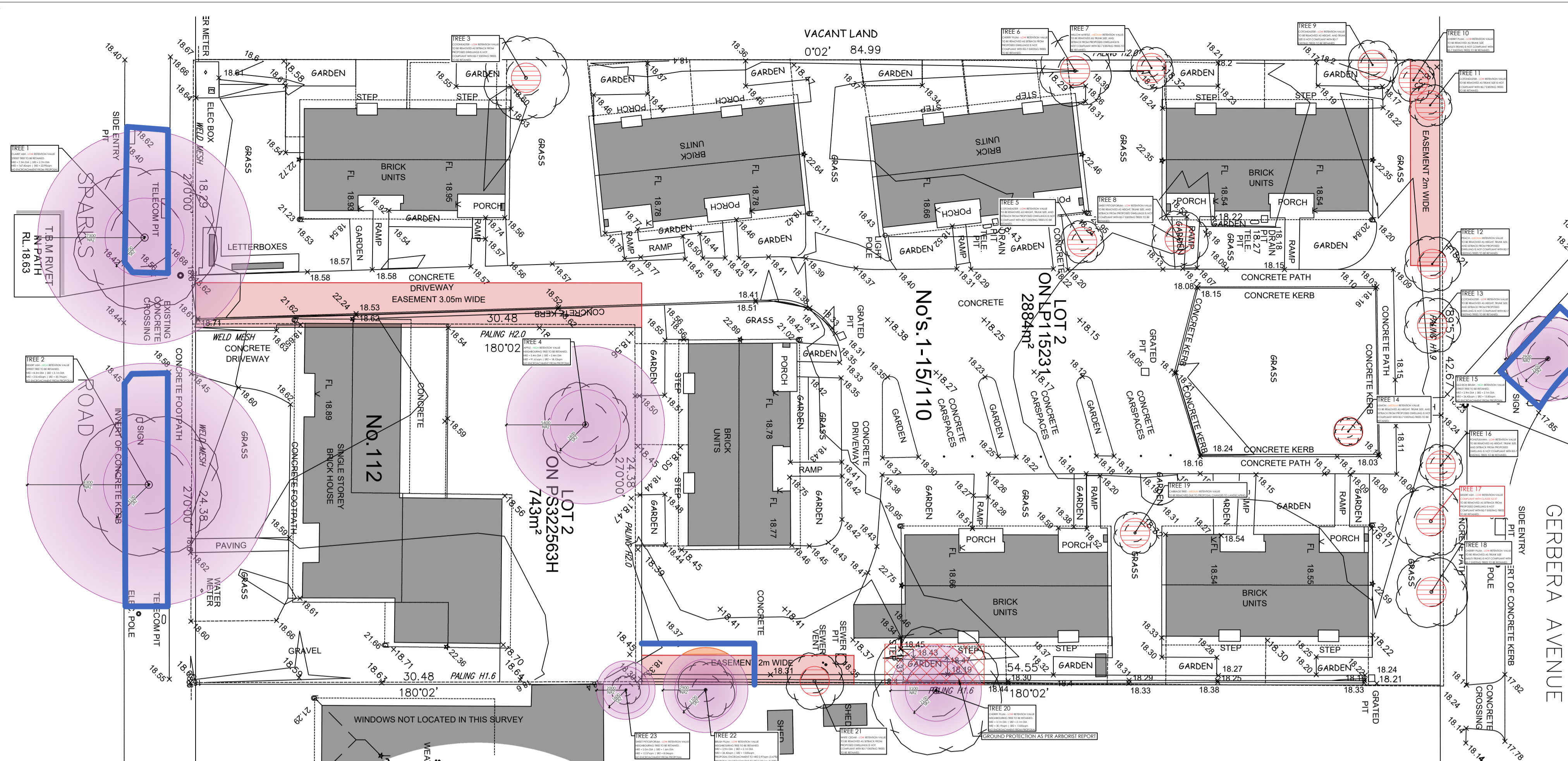
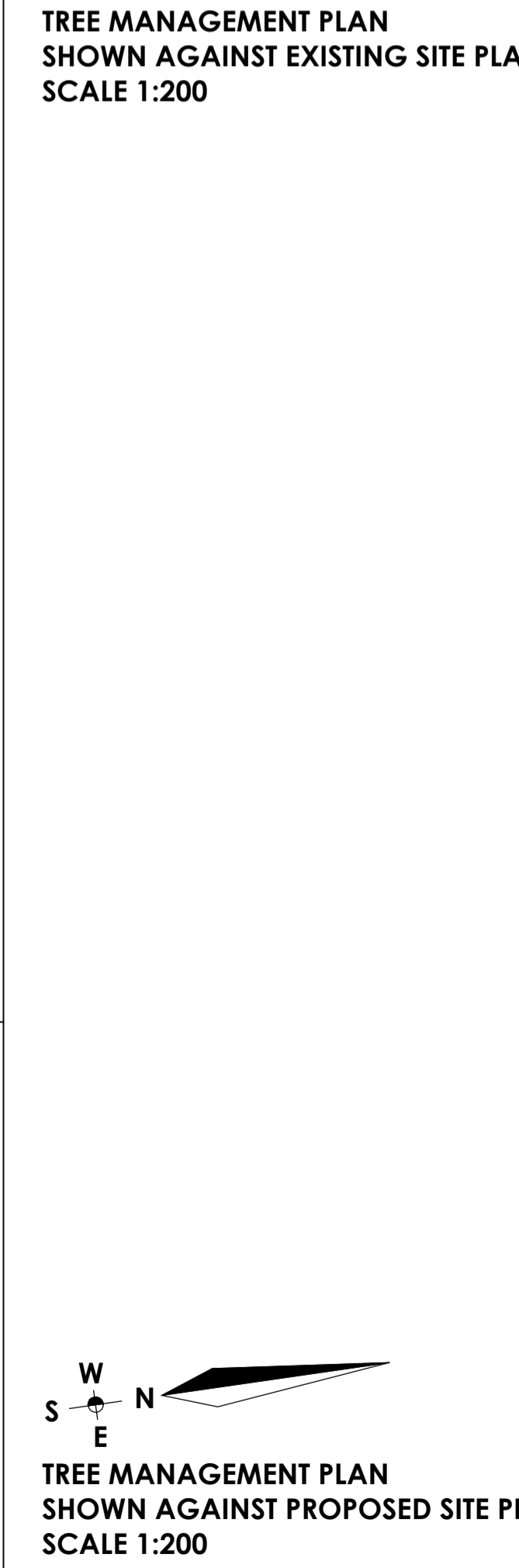
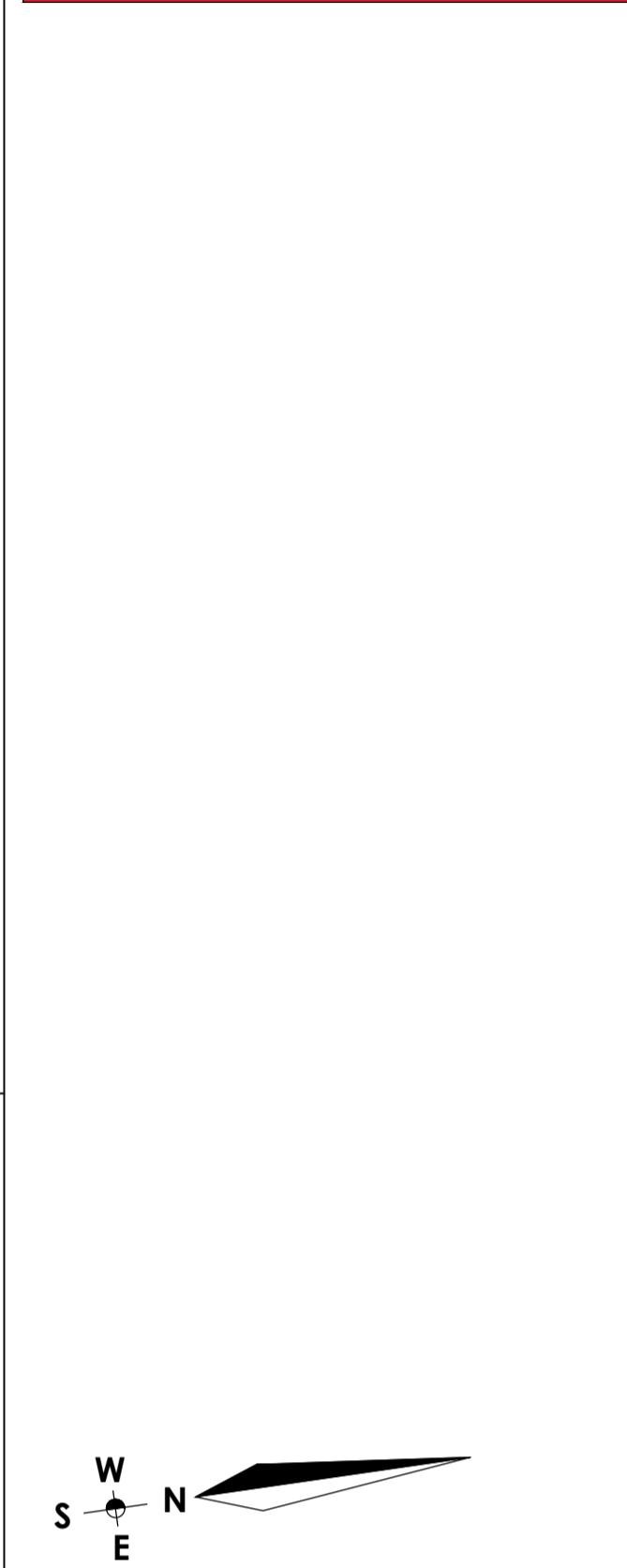
TREE PROTECTION ZONES
A SUITABLE TREE PROTECTION ZONE OF 1.0M RADIUS WITH BARRIER FENCE MUST BE ESTABLISHED AROUND THE STREET TREE ON THE SUBJECT SITE. THIS FENCE MUST NOT ENCLOSE THE FOOTPATH WHICH MUST BE KEPT CLEAR FOR PEDESTRIAN ACCESS AND A SIGN MUST BE ERRECTED ON THE FENCE INFORMING THAT THE FENCE IS A TREE PROTECTION ZONE.

TREE PROTECTION ZONES MUST BE ENCLOSED USING A 2 METER HIGH TEMPORARY CYCLOPE FENCE OR SIMILAR, WHICH MUST REMAIN IN PLACE THROUGH ALL STAGES OF THE DEVELOPMENT. THE AREA WITHIN THE TREE PROTECTION ZONE MUST NOT BE DISTURBED BY ANY MEANS (INCL. PARKING OF VEHICLES OR STORAGE OF PLANT & EQUIPMENT, MATERIALS, SOIL OR WASTE). NO EXCAVATION IS ALLOWED WITHIN THE TREE PROTECTION ZONE EXCEPT WITH THE CONSENT OF COUNCIL'S TOWN PLANNING DEPARTMENT & UNDER THE SUPERVISION OF A QUALIFIED ARBORIST.



THIS PAGE IS TO BE READ IN CONJUNCTION WITH COMPLETE ARCHITECTURAL PLANS, ALL ENGINEERING AND SHOP DRAWINGS, AND ALL CONSULTANT REPORTS (INCL. SDA). WORK SHALL CONFORM TO THE SPECIFICATION, SPECIALS REPORTS, RELEVANT AUSTRALIAN REQUIREMENTS, AND LOCAL AUTHORITY REQUIREMENTS.
FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED WORK. BUILDER / CONTRACTOR TO VERIFY ALL DIMENSIONS & CHECK FOR DISCREPANCIES BETWEEN ARCHITECTURAL AND ALL OTHER DRAWINGS BEFORE ANY JOB COMMENCES.
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COPYING THE REQUIREMENTS
UNLESS SPECIFICALLY STATED OTHERWISE, PERMITS TO REMOVE, DESTROY OR LOSE HAS A HEIGHT OF AT LEAST 5M
- HAS A TRUNK CIRCUMFERENCE OF 150MM OR GREATER AT 1.4M FROM NGL
- A CANOPY DIAMETER OF AT LEAST 4.0M
TREE LOCATION
- WITHIN 4.0M OF NARROWEST STREET FRONTAGE OR
- WITHIN 4.5M OF REAR BOUNDARY
BY EXISTING TREES TO BE RETAINED MUST MEET ALL OF THE FOLLOWING:
- HAS A HEIGHT OF AT LEAST 5M
- HAS A TRUNK CIRCUMFERENCE OF 150MM OR GREATER AT 1.4M FROM NGL
- HAS A TRUNK THAT IS LOCATED AT LEAST 4.0M FROM PROPOSED BUILDINGS
- WHERE ARBORIST GIVES 150M DIAMETER OF TRUNK AT 1.4M FROM NGL
- CANOPY DIAMETER - 4.5M CIRCUMFERENCE.



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| SK09 | H.C. | 25/09/25 | UPDATES FOR RFI AND SEPARATION FROM JOB FOR #112 |

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PROJECT.
PROPOSED DEVELOPMENT
14 EXISTING DWELLINGS & 5 PROPOSED DWELLINGS - ALL SINGLE STOREY
NO. 110 SPARKS ROAD, NORLANE VIC

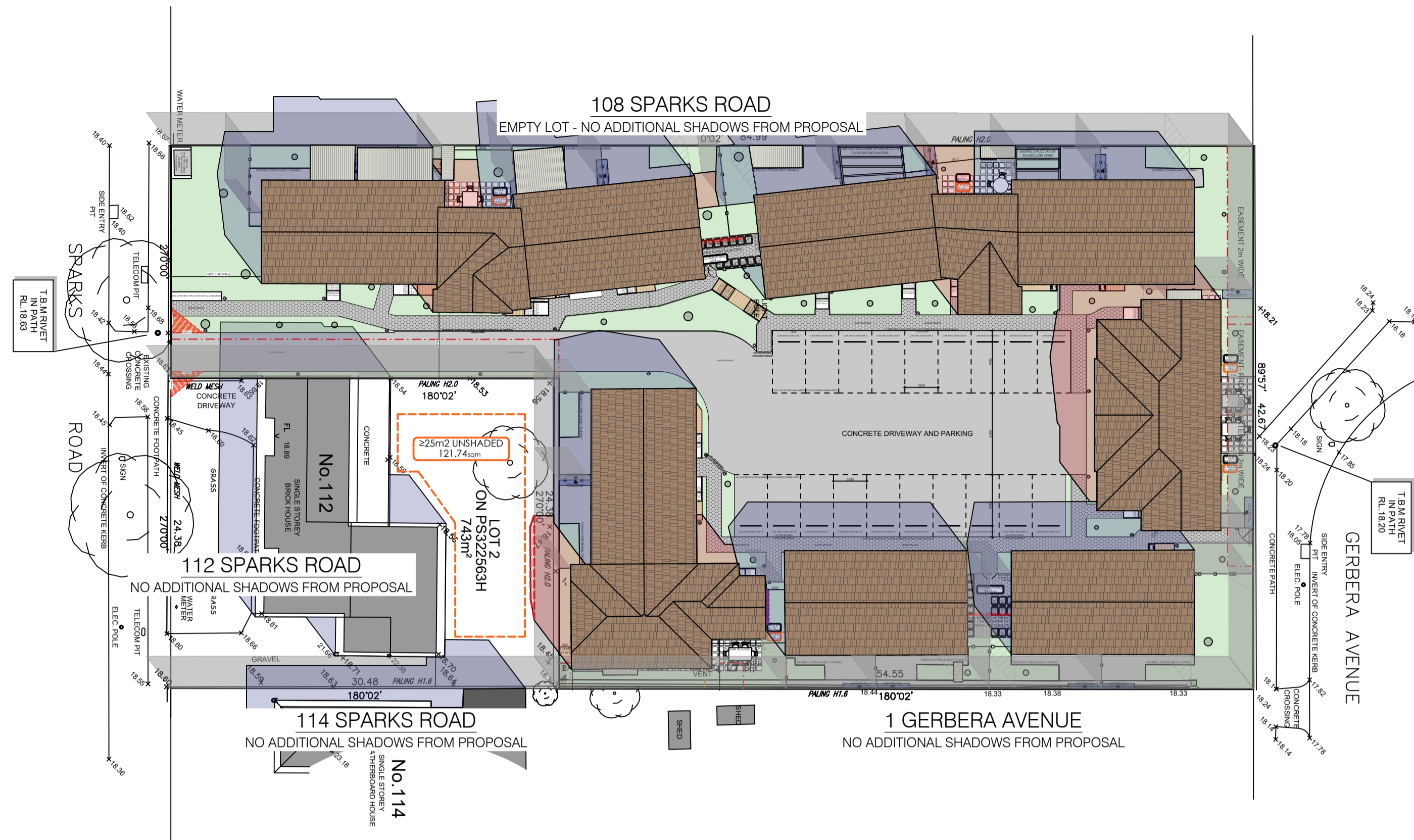
CLIENT.
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JOB NO: MQ_25_036
SCALE: AS NOTATED

DRAWN BY. MERAQ BUILDING DESIGNERS
DATE. 28/04/2026

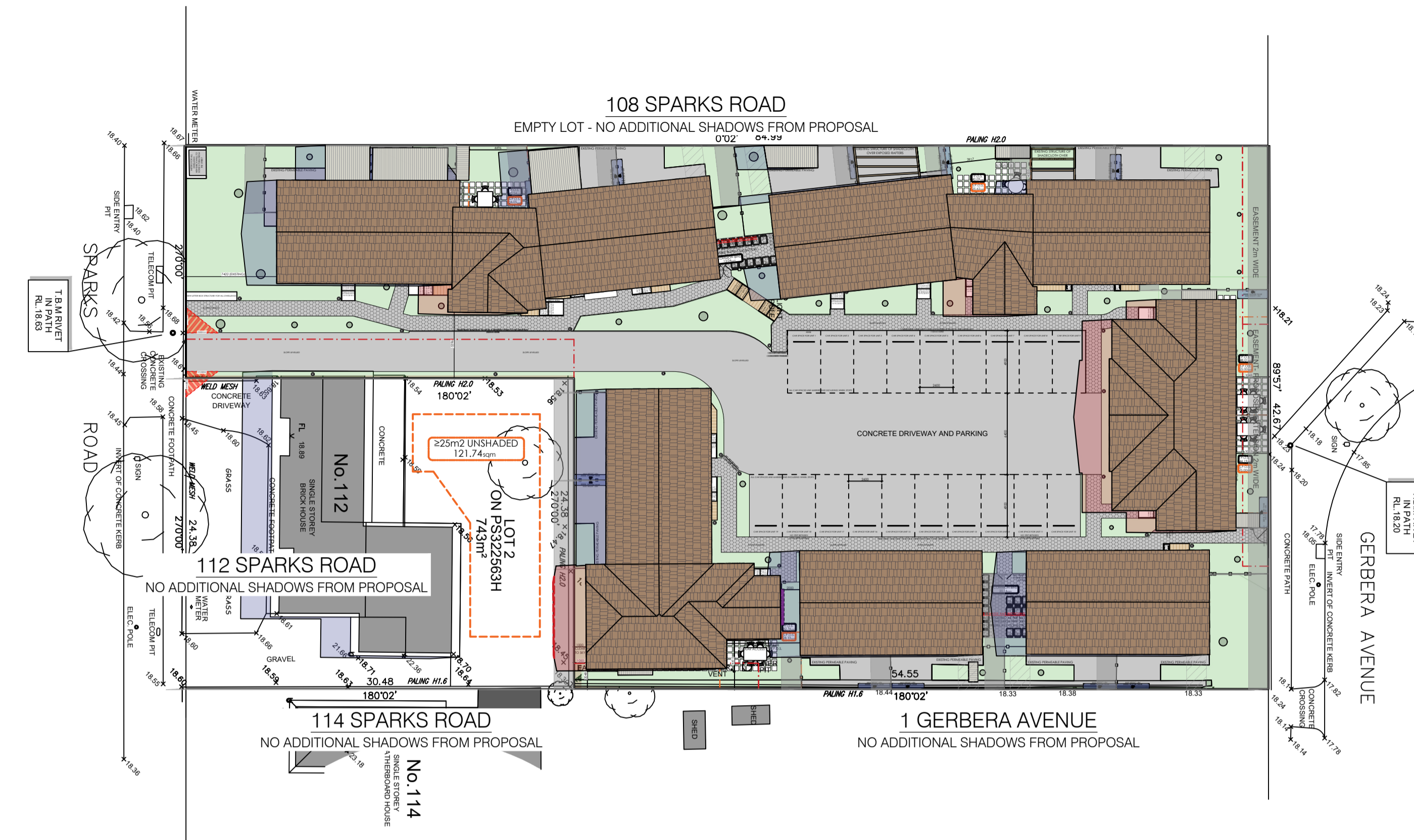
MERAQ
building designers

MERAQ PROJECTS
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E. admin@meraq.com.au

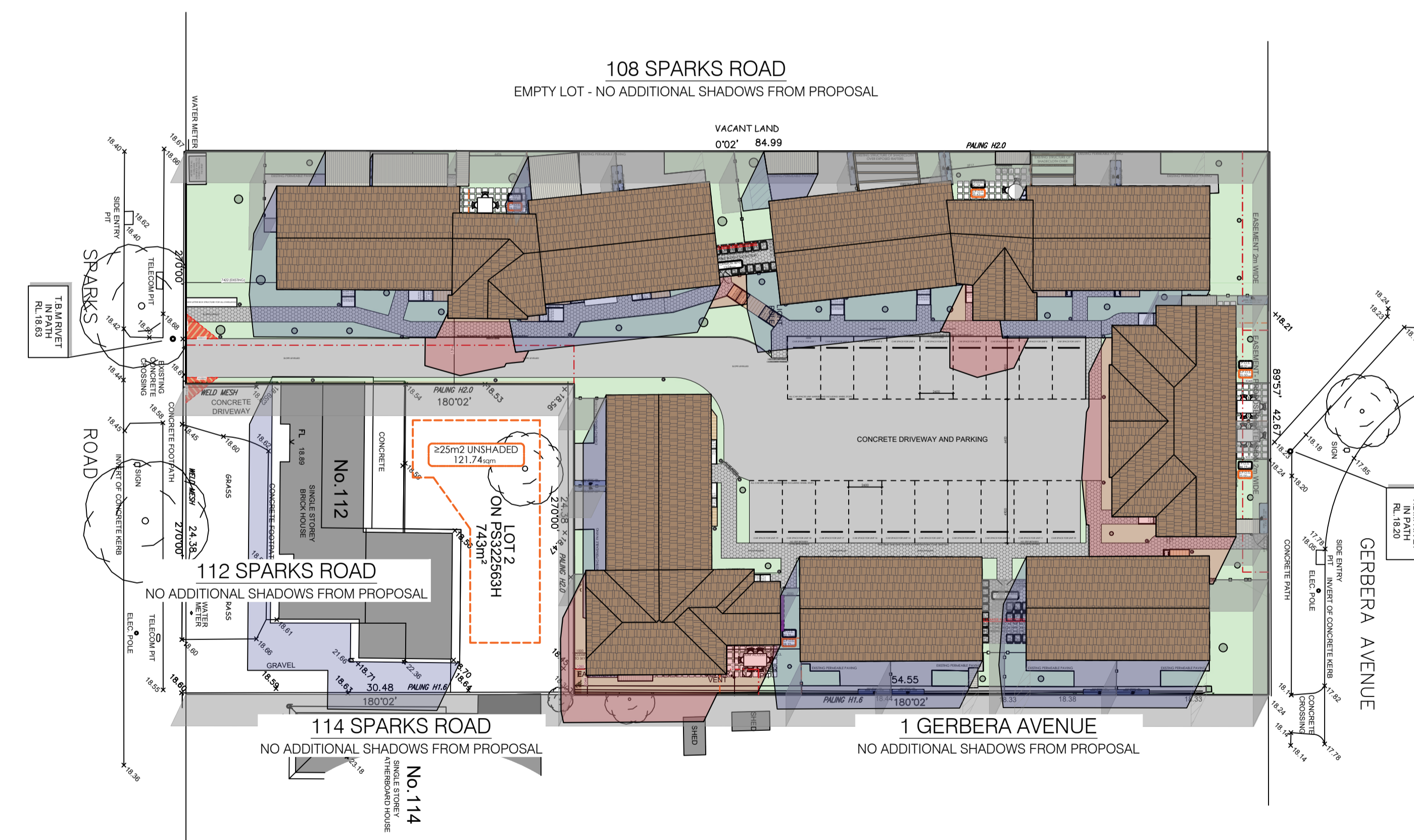
TMP



Shadow Diagram: 9:00am
 March 21 - September 23 (Equinox)
 Standard Time
 Melbourne (Latitude 38.0° South)



Shadow Diagram: 12:00pm
 March 21 - September 23 (Equinox)
 Standard Time
 Melbourne (Latitude 38.0° South)



Shadow Diagram: 3:00pm
 March 21 - September 23 (Equinox)
 Standard Time
 Melbourne (Latitude 38.0° South)

ANALYSIS

ONLY PROPERTY AFFECTED BY PROPOSED SHADOWS IS 112 SPARKS ROAD, NORLANE AFFECT IS MINIMAL. UNSHADOWED PRIVATE OPEN SPACE REMAINS MORE THAN 125SQM FOR ALL HOURS.

B4-3 OVERSHADOWING SECLUDED PRIVATE OPEN SPACE

WHERE THE PROPOSAL OVERSHADOWS ANY EXISTING SECLUDED PRIVATE OPEN SPACE, DIAGRAMS TO BE SHOWN FOR SHADOWS CAST AT THE EQUINOX.

SHADOW DIAGRAMS TO BE PROVIDED FOR 9AM, 12PM, AND 3PM AT EQUINOX (SEPTEMBER AND MARCH).

SHADOW DIAGRAMS TO INCLUDE:

- EXISTING & PROPOSED FENCE SHADOWS
- REMOVED FENCE SHADOWS
- EXISTING BUILDING SHADOWS
- NEIGHBOURING SECLUDED PRIVATE OPEN SPACE: THE LARGEST OPEN RECREATIONAL SPACE (min. 25m²) OR A BALCONY (SHADOWS OVER THE BALCONY TO BE MEASURED AT BALCONY FFL) OR A ROOFTOP SPACE (SHADOWS OVER THE ROOF TO BE MEASURED AT ROOFTOP AREA FFL) MEASUREMENTS FOR AREAS OF PRIVATE OPEN SPACE TO ONLY INCLUDE AREA WITH A MINIMUM WIDTH OF 3.0M
- NO PROPOSED OVERSHADOWING ALLOWED IF NEIGHBOURING SPOS DOESN'T MEET MINIMUM REQUIREMENTS FOR SPOS AREA BEFORE SHADOWS.**
- PROPOSED SHADOWS
- OVERSHADOWING FROM PROPOSAL WITHIN SPOS
- NEIGHBOURING SECLUDED PRIVATE OPEN SPACE AFTER EXISTING SHADOWS

ONCE EXISTING OVERSHADOWING HAS BEEN WORKED OUT, THE AREA NOT OVERSHADOWED MUST BE GREATER THAN THE LESSER OPTION OF:
 50% OR
 25SQM (with a minimum dimension of 3.0m)
 THIS MUST BE MET FOR A MINIMUM OF FIVE (5) HOURS BETWEEN 9AM AND 3PM INCLUSIVE.

W
 S N
 E
SHADOW DIAGRAMS SCALE 1:300

CLAUSE 55 TWO OR MORE DWELLINGS ON A LOT AND RESIDENTIAL DETAILS TOWNHOUSE AND LOW-RISE CODE GUIDELINES

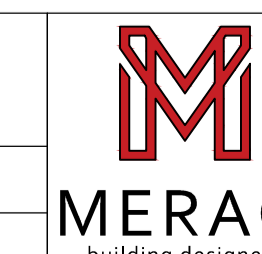
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