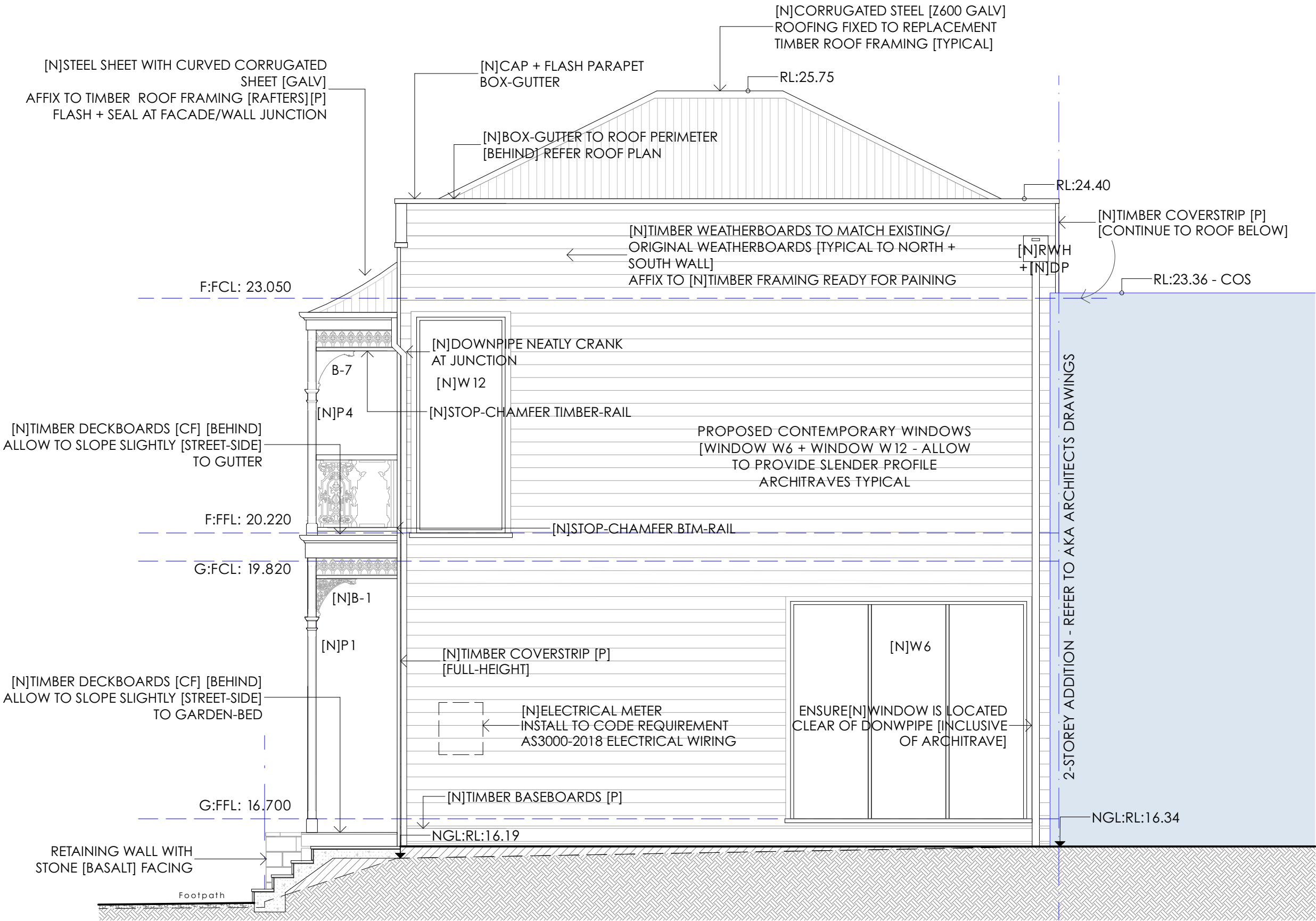


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Revision:

-	PRELIMINARY ISSUE FOR ARCHITECT/OWNER REVIEW - 12.04.2024
A	PRELIMINARY ISSUE FOR ARCHITECT/OWNER REVIEW - 20.05.2024
B	ISSUE FOR PLANNING - 06.05.2024
C	ISSUE FOR PLANNING - 11.11.2025
D	ISSUE FOR PLANNING AMENDMENT - 09.03.2026
E	ISSUE FOR PLANNING AMENDMENT - 20.05.2026

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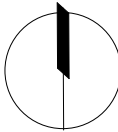
Drawing Title:

RECONSTRUCTION - NORTH [SIDE] ELEVATION

Project:

FYFE HOUSE - 8 SWANSTON STREET | GEELONG

NO CHANGES SHALL BE MADE TO ANY ASPECT DETAIL NOR THE DESIGN INTENT WITHOUT WRITTEN CONSENT OF THE ARCHITECT | HERITAGE SPECIALIST. NO PART NOR PORTION TO BE UPLOADED NOR USED IN CONJUNCTION WITH ANY AI PLATFORM.



Drawing No:

076-H02

Issue - Revision:

E

Drawn:

LO

Checked:

LO

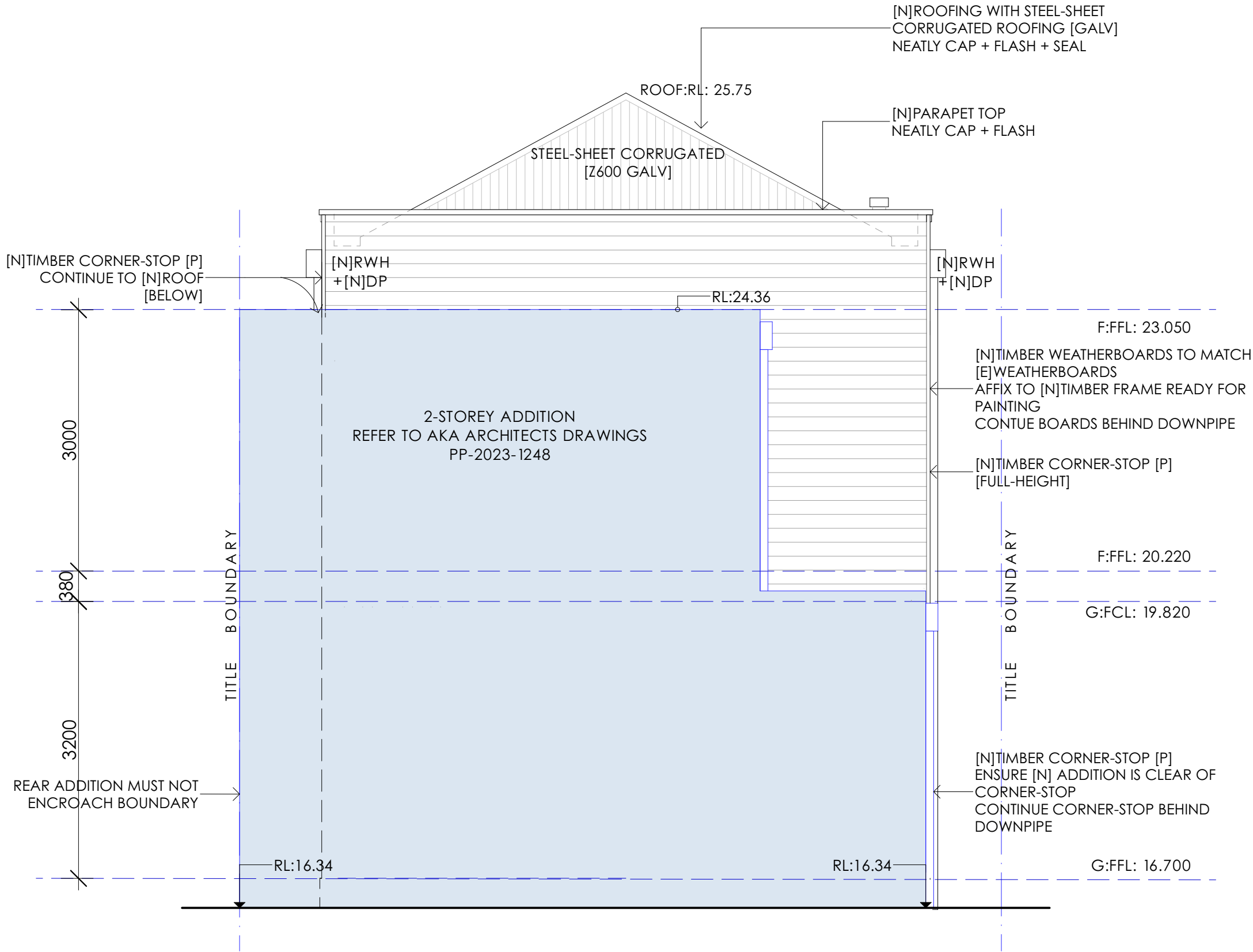
Scale:

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Date:

12.04.2024

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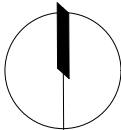
Drawing Title:

RECONSTRUCTION - REAR WEST ELEVATION

Project:

FYFE HOUSE - 8 SWANSTON STREET | GEELONG

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Drawing No:

076-H03

Issue - Revision:

E

Drawn:

LO

Checked:

LO

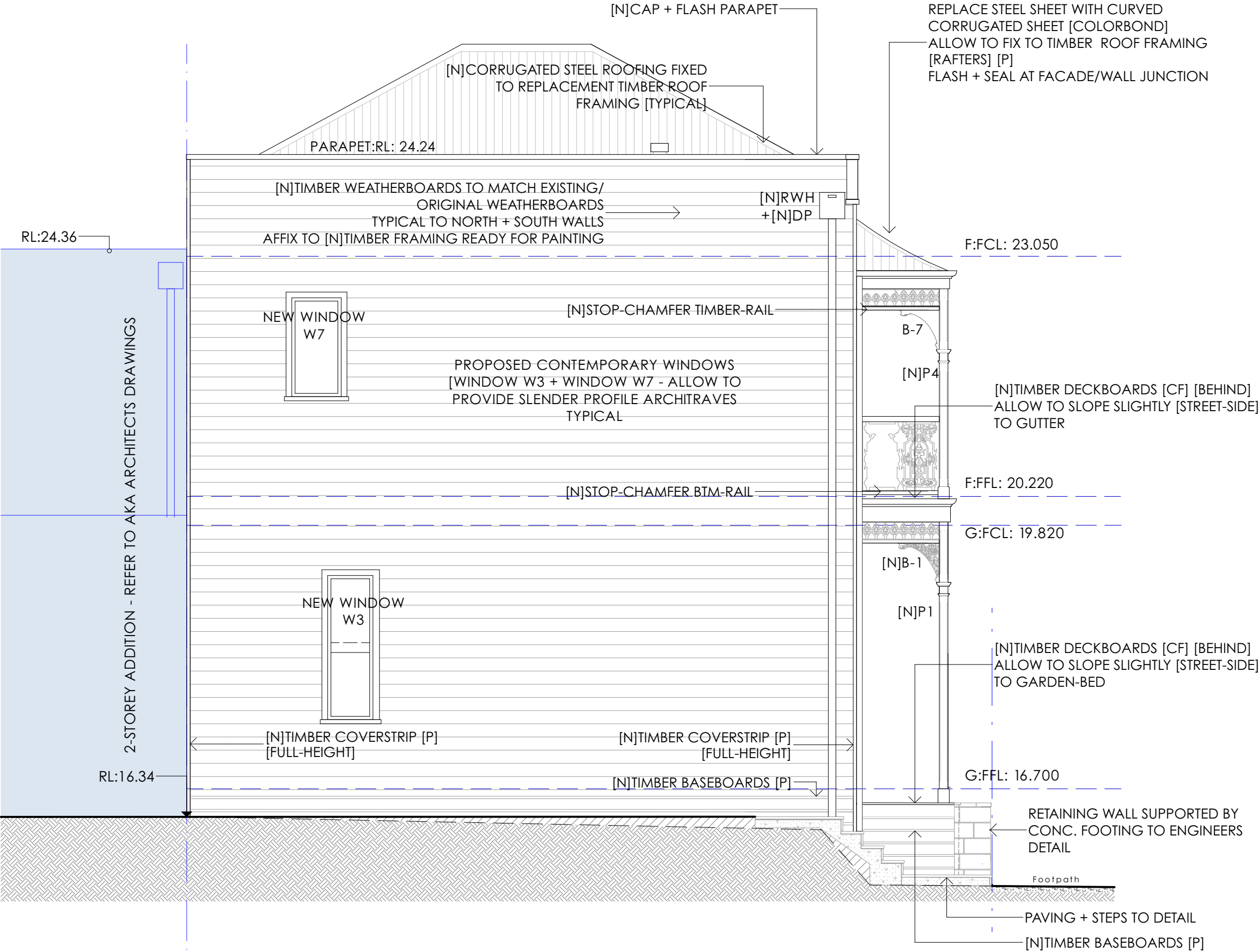
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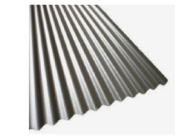
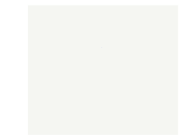
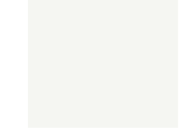
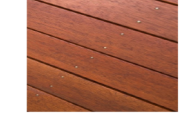
Date:

12.04.2024

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FYFE HOUSE RECONSTRUCTION
MATERIAL + FINISHES

-  Z600 GALVANISED [GALV] CORRUGATED SHEET ROOFING [HIP ROOF]
Z600 GALVANISED CURVED CUSTOM-ORB [VERANDAH]
EXCLUDES PARAPET CAPPING
-  PAINTED TIMBER FACADE LININGS [BLOCK-BOARDS]
PAINTED TIMBER WEATHERBOARD + BASEBOARDS
PAINTED TIMBER VERANDAH SOFFIT
DULUX WHISPER WHITE
-  PARAPET CAPPING
BALCONY ROOF GUTTERS
DOWNPIPES + ASTRAGALS
COLORBOND SURFMIST
-  CASTWORK FRETWORK + BRACKETS
CASTWORK BALUSTRADE PANELS
DULUX WHISPER WHITE
-  PAINTED TIMBER RAILS [FRETWORK]
PAINTED TIMBER POSTS + FASCIAS
PAINTED TIMBER SOFFIT LININGS [VERANDAH]
PAINTED TIMBER WINDOWS + FRENCH DOORS
PAINTED ARCHITRAVES + TRIMS
DULUX WHISPER WHITE
-  PAINTED TIMBER ENTRY DOOR WITH GLAZED TRANSOM-LIGHT OVER
DULUX BRUNSWICK GREEN - GLOSS
-  CLEAR FINISH BALCONY BOARDS
CLEAR FINISH VERANDAH BOARDS
CLEAR FINISH HANDRAIL
- POWDERCOTE ELEMENTS [WINDOWS] NOT INDICATED

Revision:

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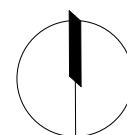
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Drawing Title:
RECONSTRUCTION - SOUTH [SIDE] ELEVATION

Project:
FYFE HOUSE - 8 SWANSTON STREET | GEELONG

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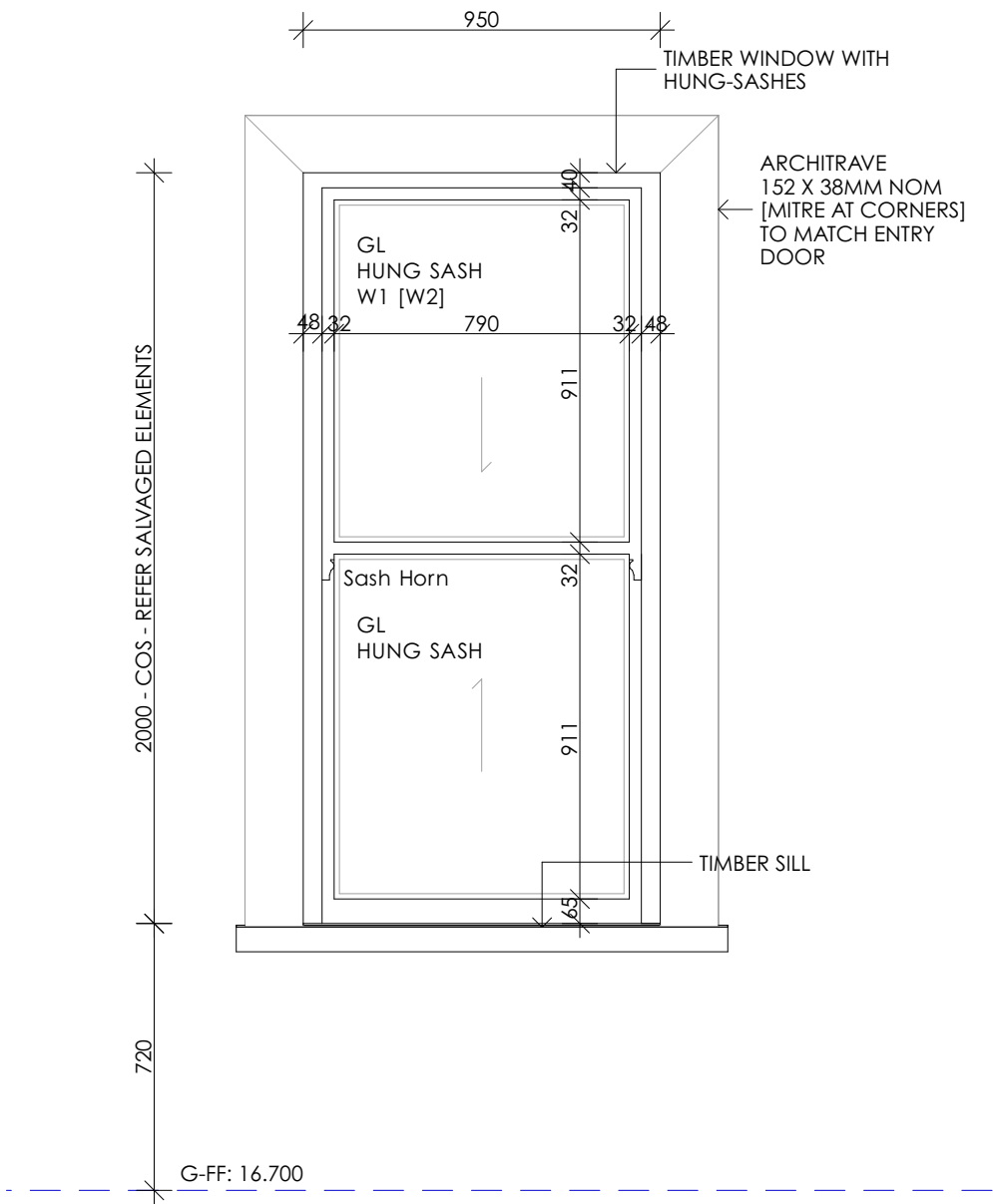
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Checked: LO

Scale: 1:50 Date: 12.04.2024

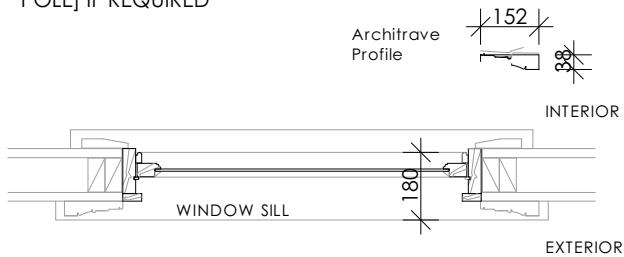
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PLANNING PERMIT AMENDMENT 2026 - 8 SWANSTON STREET - GEELONG



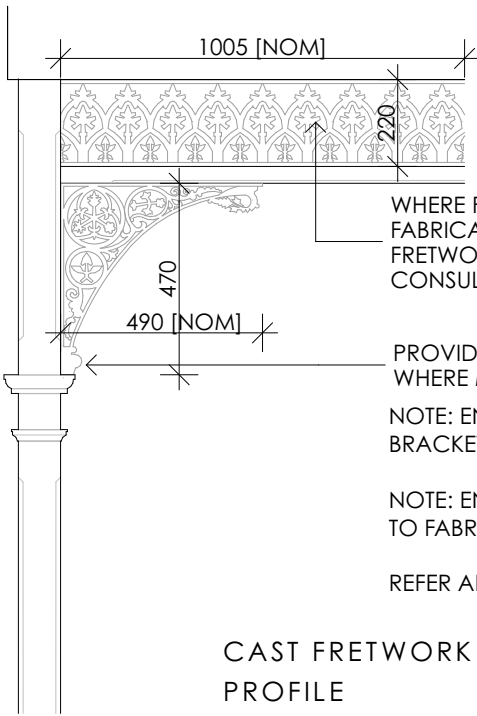
WINDOW [HUNG-SASH]

1No DOORSET WITH TRANSOM-LIGHT OVER
ALLOW FOR REBATED MEETING STILES
SIZE: 2050 X 970MM NOM. THICKNESS: 50MM NOM
ENSURE DOORS CAN SEAMLESSLY + SMOOTHLY OPEN
HARDWARE:
ALLOW TO PROVIDE ALL DOOR HARDWARE INCLUDING
HINGES + LOCKSET + DOOR BOLTS + STAYS
ALLOW TO PROVIDE TRANSOM-LIGHT HARDWARE INCLUDING
STOP + FASTENER - APPOW TO PROVIDE HOOK [HOOK ON
POLE] IF REQUIRED



WINDOW [HUNG-SASH]

PLAN THRU WINDOW
ENSURE OPENABLE SASHES SEAMLESSLY OPERATE
TRANSOM-LIGHT OVER - NOT SHOWN



CAST FRETWORK + CAST BRACKET
PROFILE

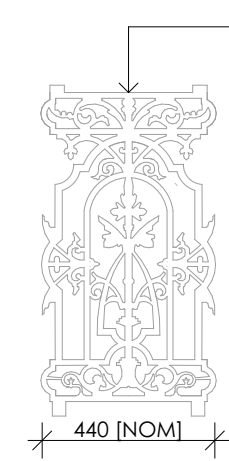
WHERE FRETWORK REQUIRED ALLOW TO HAVE
FABRICATOR CAST FRETWORK TO MATCH EXTANT
FRETWORK - RECONFIRM WITH HERITAGE
CONSULTANT

PROVIDE CAST BRACKETS
WHERE MISSING/LOST

NOTE: ENSURE BRACKETS ARE THE CORRECT 'HAND'
BRACKETS ARE NOT DOUBLE-SIDED/REVERSIBLE

NOTE: ENSURE BRACKETS + FRETWORK ARE INSTALLED
TO FABRICATORS INSTALLATION REQUIREMENTS

REFER ALSO - RECONSTRUCTION SCOPE OF WORKS



CAST PANEL
PROFILE

CAST BALUSTRADE PANEL [P]
ALLOW TO INSTALL TO FABRICATORS
INSTALLATION REQUIREMENTS

BALUSTRADE TO MEASURE 1000MM [MIN] IN
HEIGHT OVER ALL

HANDRAIL TO MATCH THE EXTANT PROFILED
HANDRAIL - REFER SALVAGED/TEMPLATE
PORTION

ENSURE HANDRAIL + BALUSTRADE + BTM
RAIL FULLY COMPLIES WITH NCC + ALL
APPLICABLE CODES

NOTE: CONTRACTOR TO PROVIDE FRETWORK
FABRICATOR WITH A PANEL AND/OR BRACKET TO
ALLOW FABRICATOR TO FABRICATE EACH
REQUIRED ELEMENT [REFER SALVAGED ELEMENTS]
ENSURE ELEMENTS ARE THE CORRECT 'HAND'

NOTE: FACADE-TOP DETAIL TO BE RECONFIRMED
BY PROJECT HERITAGE CONSULTANT ONCE
DISMANTLING/DEMOLITION OF FYFE HOUSE
COMMENCES

NOTE: ALL NEW [N] TIMBER ELEMENTS TO BE
PRIMED PRIOR TO BEING INSTALLED READY FOR
PAINTING

NOTE: FULLY PRIME ALL PAINTED ELEMENTS READY
FOR REPAINTING

NOTE: ALL CLEAR FINISHED TIMBER ELEMENTS TO BE
CLEAR FINISHED - ALLOW TO TREAT TIMBER PRIOR
TO APPLYING CLEAR FINISH

NOTE: ALL RECONSTRUCTION ELEMENTS TO BE
REPLACED WITH 'LIKE' ELEMENTS - CONSULT WITH
PROJECT HERITAGE CONSULTANT IF IN DOUBT.

NOTE: READ DRAWINGS IN CONJUNCTION WITH
RECONSTRUCTION SCOPE OF WORKS

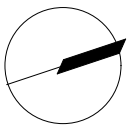
Revision:	
-	PRELIMINARY ISSUE FOR ARCHITECT/OWNER REVIEW - 12.04.2024
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Drawing Title:
**RECONSTRUCTION - WINDOW DETAIL
+ CASTWORK PROFILES**

Project:
FYFE HOUSE - 8 SWANSTON STREET | GEELONG



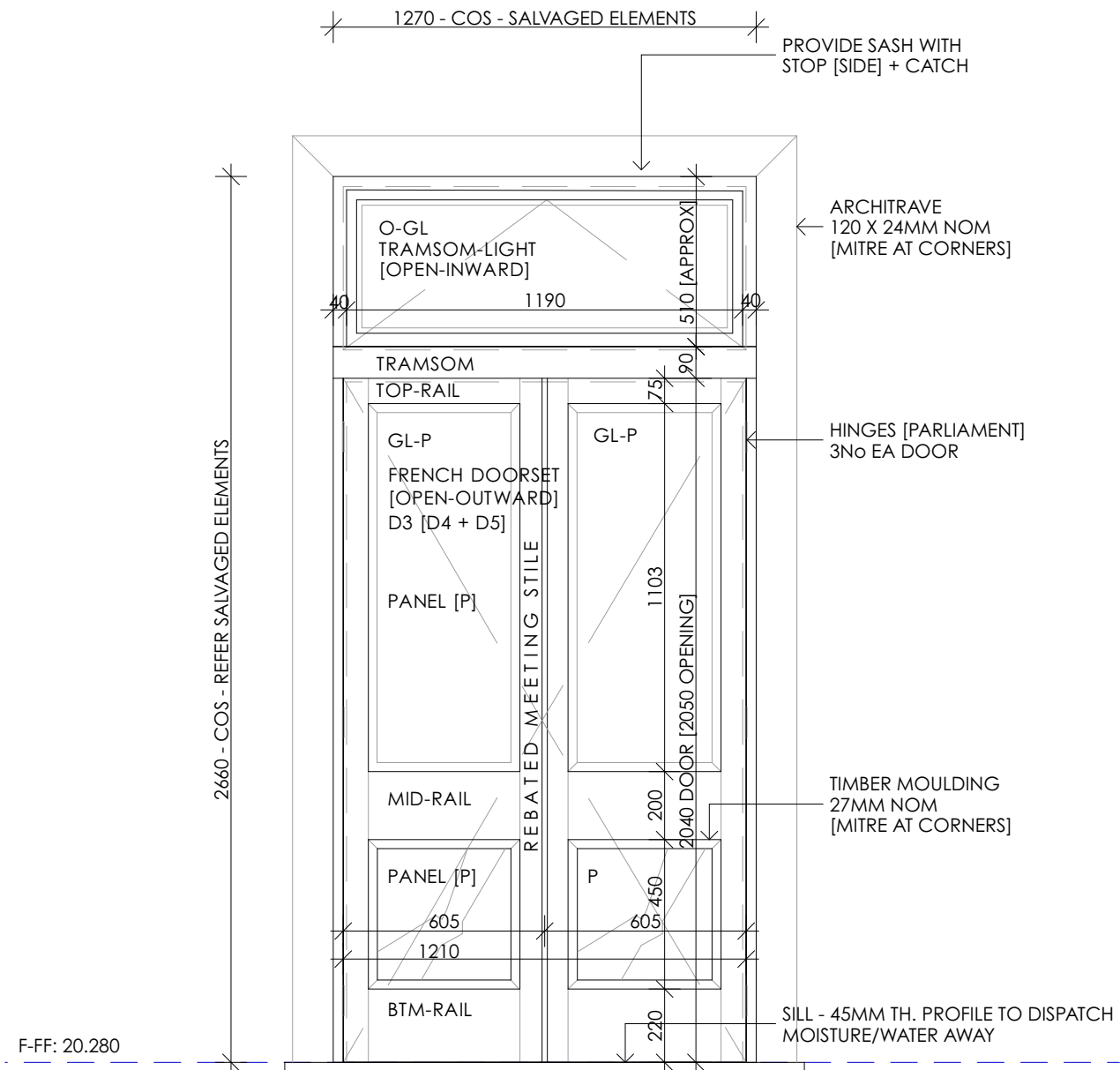
Drawing No: **076-H06** Issue - Revision: **E**

Drawn: LO

Checked: LO

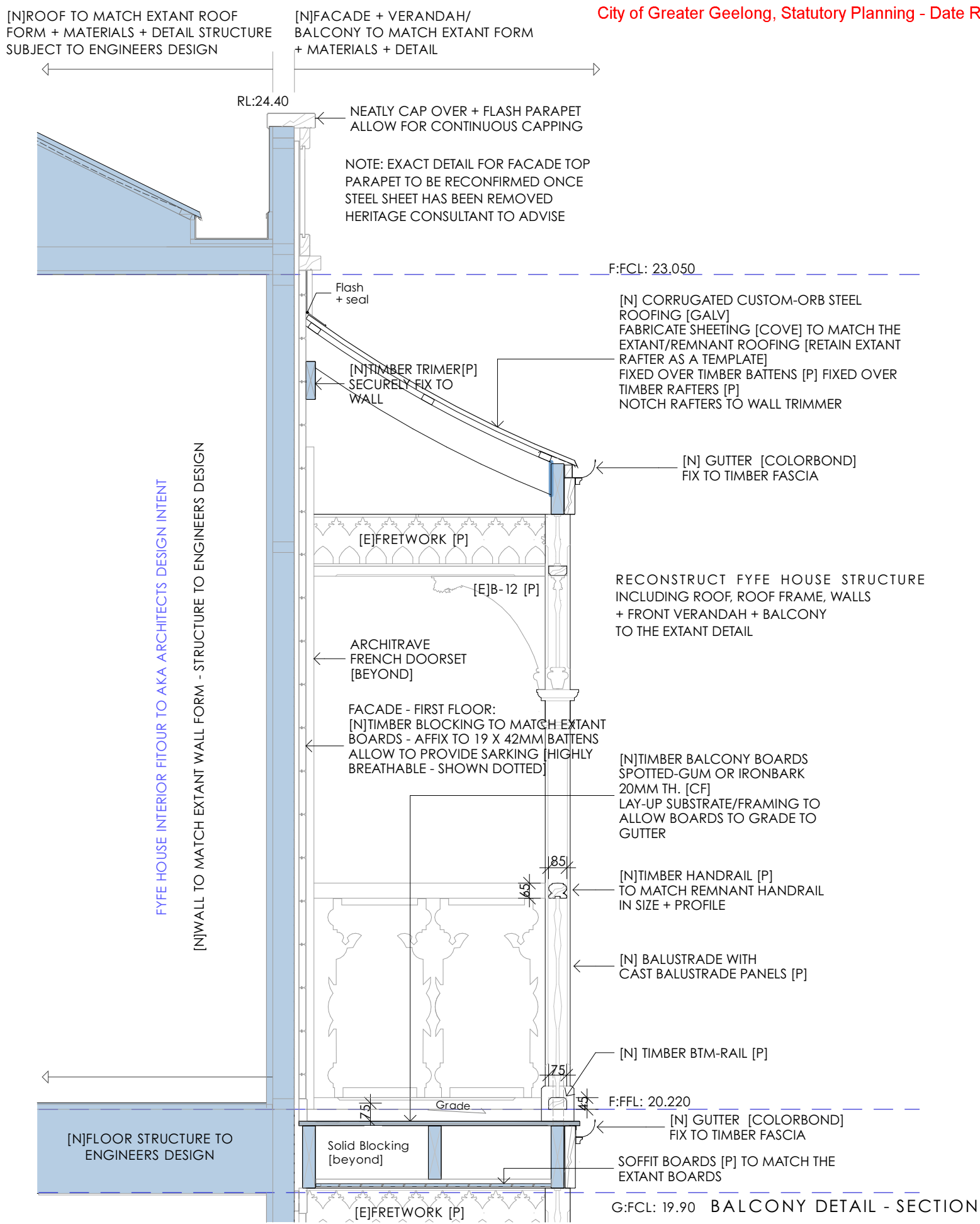
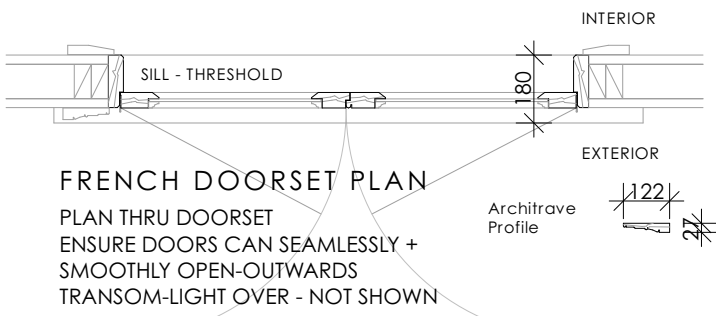
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FRENCH DOORSET ELEVATION [EXTERIOR-SIDE]

1No FRENCH DOORSET WITH TRAMSOM-LIGHT OVER ALLOW FOR REBATED MEETING STILES
SIZE: 2050 X 605MM NOM. THICKNESS: 42MM NOM
ENSURE DOORS CAN SEAMLESSLY + SMOOTHLY OPEN
HARDWARE:
ALLOW TO PROVIDE ALL DOOR HARDWARE INCLUDING HINGES + LOCKSET + DOOR BOLTS + STAYS
ALLOW TO PROVIDE TRAMSOM-LIGHT HARDWARE INCLUDING STOP + FASTENER - APPOW TO PROVIDE HOOK [HOOK ON POLE] IF REQUIRED



Revision:

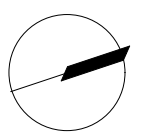
-	PRELIMINARY ISSUE FOR ARCHITECT/OWNER REVIEW - 12.04.2024
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Drawing Title:
**RECONSTRUCTION - FRENCH DOOR DETAILS
BALCONY DETAIL**

Project:
FYFE HOUSE - 8 SWANSTON STREET | GEELONG



Drawing No: **076-H07** Issue - Revision: **E**

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HERITAGE SIGNIFICANCE:
FYFE HOUSE LOCATED WITHIN THE GEELONG CITY'S GEELONG CITY FRINGE PRECINCT HO 1639. FYFE HOUSE EXISTS AS ONE OF GEELONG'S FEW REMAINING c1850s TWO-STOREY TIMBER HOUSES. BY ITS VERY NATURE THE HOUSE IS GENERALLY DEEMED LOCALLY SIGNIFICANT.

CONDITION:
SUBJECT TO INDEPENDENT ASSESSMENT [ENG CONSULTANTS [STRUCTURAL ENGINEERS] 11.12.2025] FYFE HOUSE INCLUDING THE FRONT VERANDAH + FIRST-FLOOR BALCONY HAS BEEN DEEMED COMPROMISED IN TERMS OF STRUCTURAL INTEGRITY. FURTHER TO THAT THE FRONT FACADE + THE IMMEDIATE SIDE WALLS LACK RELIABLE LOAD PATHS + CONNECTION CAPACITY TO ENABLE THE EXTANT STRUCTURE TO BE RETAINED + PRESERVED - IN THIS INSTANCE PROPPING + PINNING IS DEEMED UNRELIABLE AND UNSAFE.

DEMOLITION:
FYFE HOUSE INCLUSIVE OF THE FRONT VERANDAH + THE FIRST FLOOR BALCONY SHALL BE FULLY CAREFULLY DISMANTLED.

APPROPRIATE HOARDING + EXCLUSION ZONES SHALL BE PROVIDED TO THE PROPERTY/SITE.

A PROJECT-SPECIFIC SAFE WORK METHOD STATEMENT [SWMS] SHALL BE PROVIDED TO THE PROJECT BUILDING SURVEYOR.

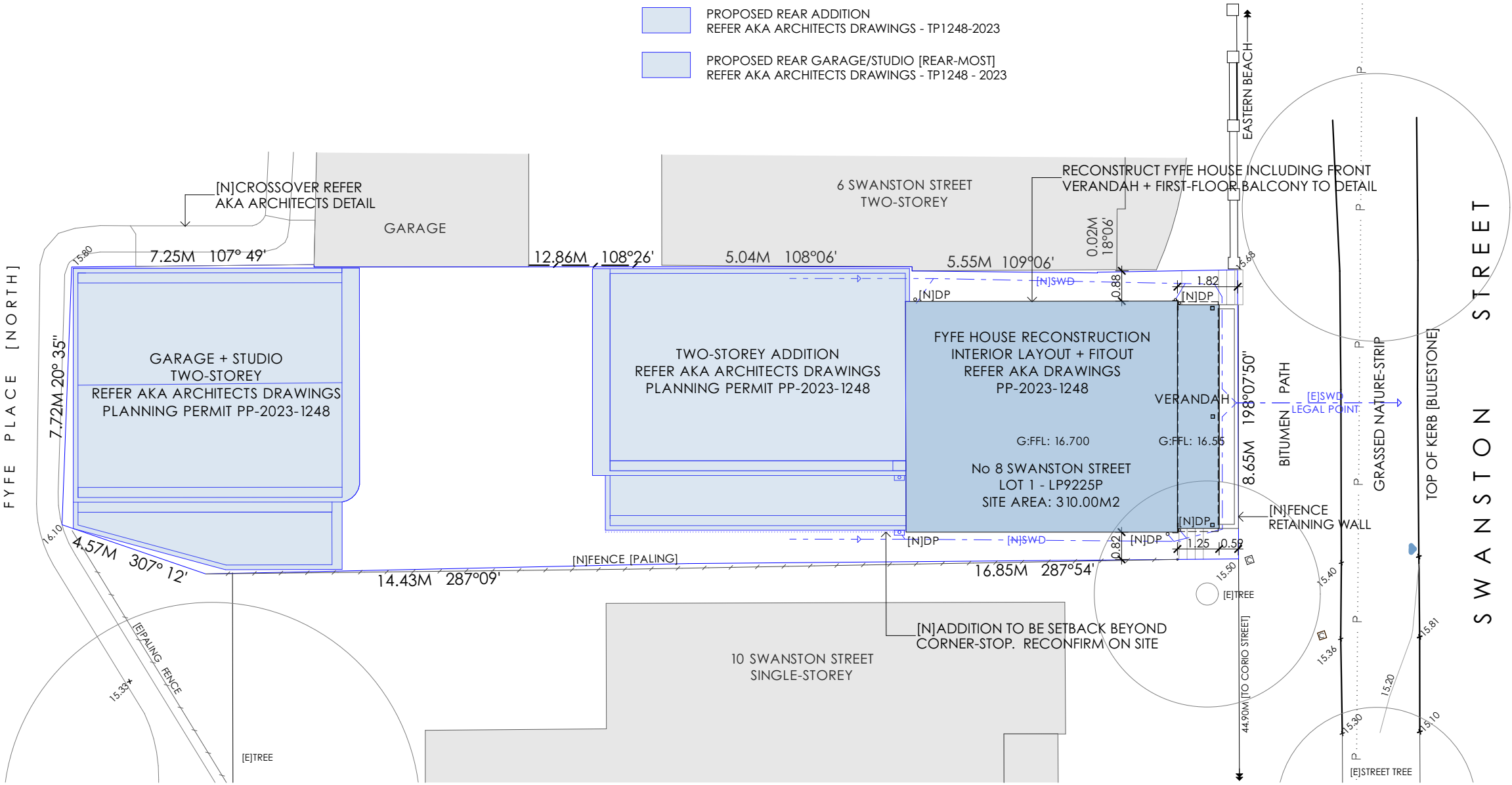
ONCE DISMANTLING/DEMOLITION WORKS HAVE BEEN COMPLETED - THE SITE SHALL BE CLEARED OF ALL REFUSE/WASTE. ANY REQUIRED SALVAGEABLE MATERIAL SHALL BE RETAINED AND STORED READY FOR REUSE/TEMPLATING AS DIRECTED BY THE PROJECT HERITAGE CONSULTANT.

RECONSTRUCTION:
FYFE HOUSE SHALL BE RECONSTRUCTED TO THE BUILDINGS CURRENT FORM, SCALE/SIZE, MATERIALS + DETAIL IN COMPLIANCE WITH CITY OF GREATER [CGG] GEELONG'S HERITAGE FRAMEWORK AND IN ACCORDANCE WITH:
- CGG's CLAUSE 15.03:
- THE BURRA CHARTER - 2013: THE AUSTRALIA ICOMOS CHARTER FOR PLACES OF CULTURAL SIGNIFICANCE: &
- CGG's HERITAGE INFORMATION GUIDELINES/SHEET DEMOLITION.
ALL WORKS SHALL COMPLY WITH ALL APPLICABLE CODES [CURRENT ADDITION] + NCC.

FYFE HOUSE INTERIORS:
RECONSTRUCTION OF FYFE HOUSE IS APPLICABLE TO THE RECONSTRUCTION OF THE BUILDING'S EXTERNAL FORM AS NOTED - THE INTERIOR PLANNING + FITOUT SHALL BE AS PER THE AKA ARCHITECTS DESIGN PER PLANNING PERMIT PP 1248 - 2023

RECONSTRUCTION LEGEND:

- RECONSTRUCT FYFE HOUSE INCLUDING FRONT VERANDAH + BALCONY
- PROPOSED REAR ADDITION REFER AKA ARCHITECTS DRAWINGS - TP1248-2023
- PROPOSED REAR GARAGE/STUDIO [REAR-MOST] REFER AKA ARCHITECTS DRAWINGS - TP1248 - 2023



Revision:	
D	ISSUE FOR PLANNING AMENDMENT - 02.03.2026
E	ISSUE FOR PLANNING AMENDMENT - 20.05.2026
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Drawing Title:
RECONSTRUCTION - SITE PLAN

Project:
FYFE HOUSE - 8 SWANSTON STREET | GEELONG

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Drawing No: **076-H08** Issue - Revision: **E**

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PLANNING PERMIT AMENDMENT 2026 - 8 SWANSTON STREET - GEELONG - NOT FOR CONSTRUCTION

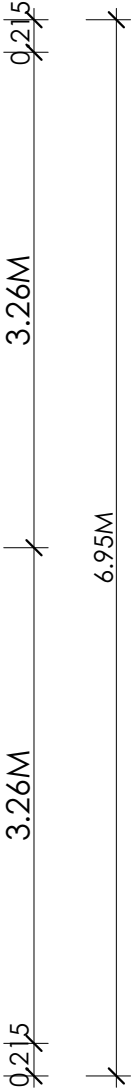
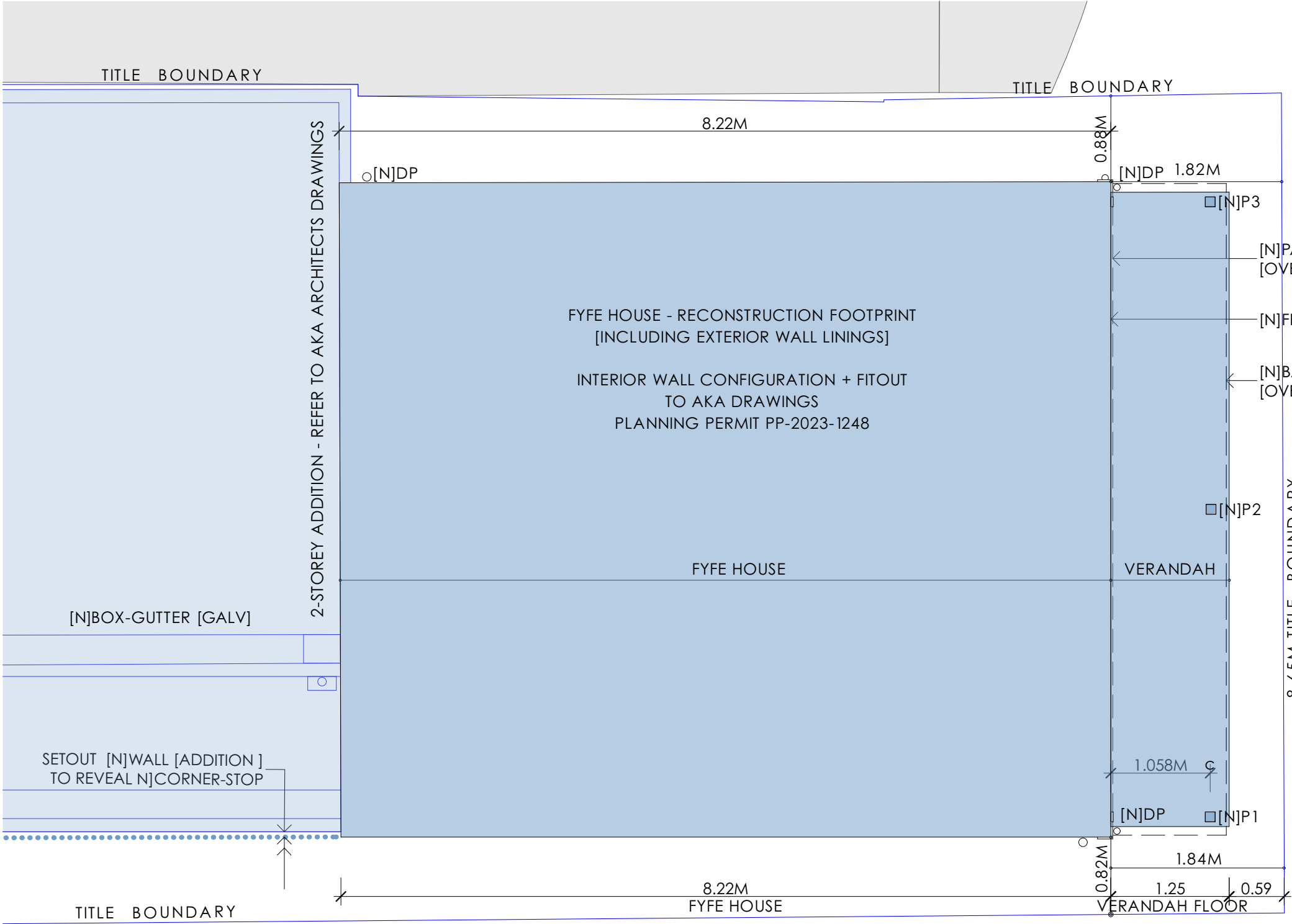
GENERAL NOTES:

DRAWINGS ARE NOT TO BE SCALED. HAVE ANY ANOMALIES CHECKED & CLARIFIED PRIOR TO COMMENCEMENT OF WORKS

EVERY EFFORT HAS BEEN MADE TO WELL INDICATE THE SITE + SITE DEMOLITION WORKS - SHOULD ANY ANOMALIES BE IDENTIFIED - PLEASE CONTACT THE ARCHITECT TO RECONFIRM/CLARIFY IMMEDIATELY

CONTRACTOR/BUILDER TO IDENTIFY EXTANT STRUCTURE STUMP LOCATIONS.

READ DRAWING - ROOF PLAN IN CONJUNCTION WITH RECONSTRUCTION SCOPE OF WORKS



PLANNING PERMIT AMENDMENT 2026 - 8 SWANSTON STREET - GEELONG - NOT FOR CONSTRUCTION

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Drawing Title:
RECONSTRUCTION - SET-OUT PLAN

Project:
FYFE HOUSE - 8 SWANSTON STREET | GEELONG



Drawing No: **076-H09** Issue - Revision: **E**

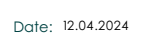
Drawn: LO

Checked: LO

Scale: 1:50 Date: 12.04.2024

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READ DRAWING - ROOF PLAN IN CONJUNCTION WITH
RECONSTRUCTION SCOPE OF WORKS



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ALL DEMOLITION WORKS TO COMPLY WITH AS 2601 DEMOLITION OF STRUCTURES - 2001

ALL DEMOLITION WORKS TO COMPLY WITH VICTORIAN OH&S REGULATION ALLOW TO COMPLY WITH WORKSAFE DEMOLITION COMPLIANCE CODE -2018

DEMOLITION CONTRACTOR TO CARRY-OUT DEMOLITION WORKS IN PORTIONS - WHERE RISK OF FALL/COLLAPSE IS POSSIBLE - ENSURE PORTIONS ARE TEMPORARILY BRACED - SEEK ADVICE FROM THE PROJECT ENGINEER.

DEMOLITION WORKS LEGEND:

[N]	NEW ELEMENT
[E]	EXISTING ELEMENT
[R]	REPLACE ELEMENT
—	TEMPORARY SITE FENCING [PANEL]
—	REMOVE FENCE [TYPE MAY VARY]
—	REMOVE WALL
—	REMOVE ELEMENT
—	REMOVE CONCRETE PAVING
—	REMOVE STRUCTURE IN FULL

'RED TEXT' APPLICABLE TO DEMOLITION WORKS

ALL DEMOLITION WORKS TO BE CAREFULLY CARRIED-OUT

CAP ALL SERVICES INCLUDING ELECTRICAL SERVICES WHERE REQUIRED DURING THE COURSE OF DEMOLITION WORKS

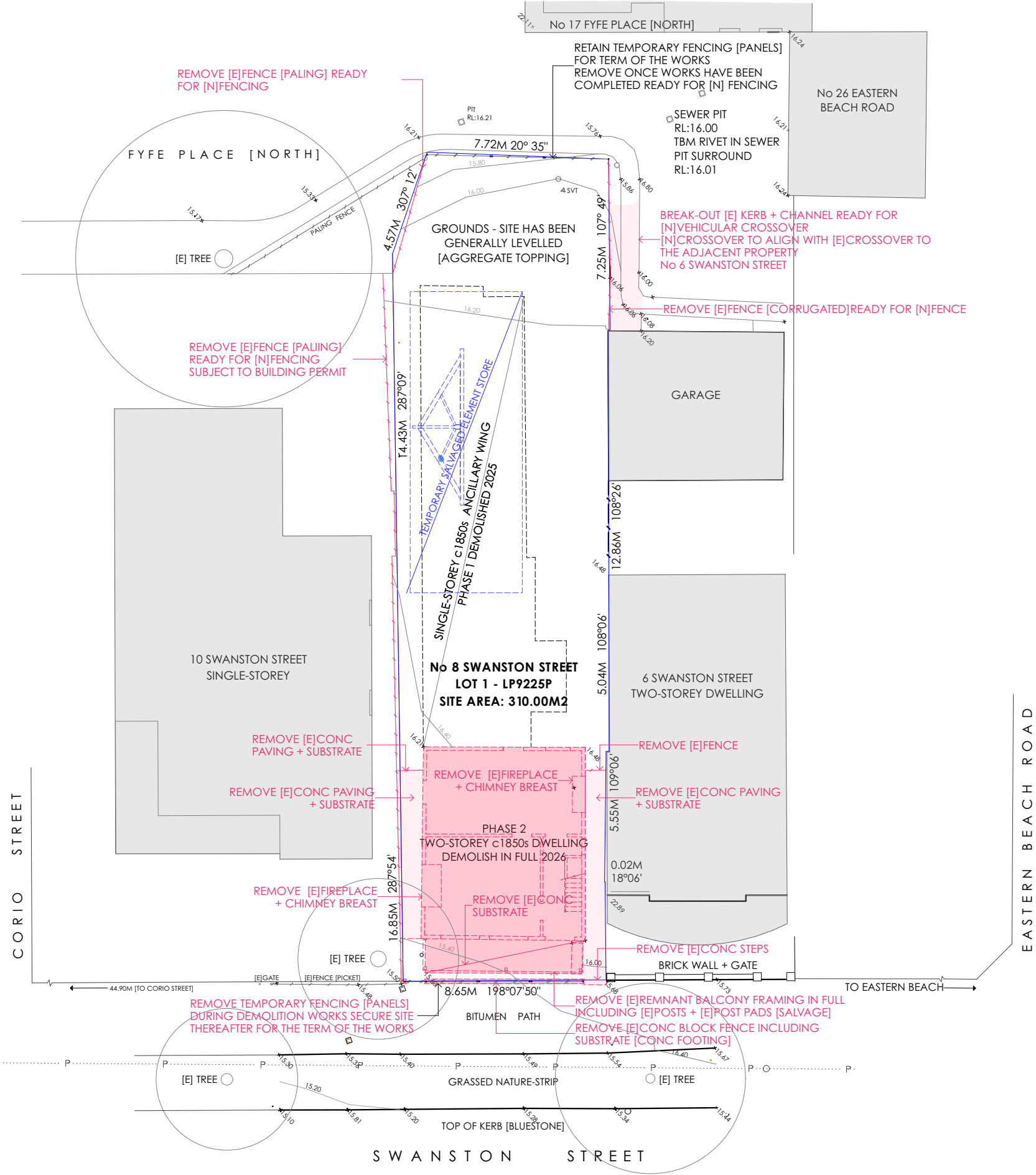
ALLOW TO PROTECT ALL ADJACENT BUILDINGS+ BUILT-FORM DURING THE COURSE OF DEMOLITION WORKS

ALL WASTE MATERIAL TO BE REMOVED FROM SITE DURING THE COURSE OF WORKS - NO WASTE OR RUBBISH SHALL BE LEFT ONSITE.

ELEMENTS FOR SALVAGE:

ALLOW TO RETAIN IDENTIFIED ELEMENTS FOR SALVAGE AND/OR TEMPLATE USE INCLUDING: ROOF FRAMING ELEMENTS [INCLUDING THE EXTANT ROOF TRUSSES], BALCONY + VERANDAH FRAMING ELEMENTS, TRIMS, MOULDINGS, POSTS, FACADE BLOCKING + CAST-IRON FRETWORK. ALLOW TO STORE ON SITE [SALVAGE STORE] READY FOR HERITAGE CONSULTANT + ENGINEER CONFIRMATION.

REFER RECONSTRUCTION SCOPE OF WORKS.



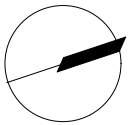
Revision:	
D	ISSUE FOR PLANNING AMENDMENT - 02.03.2026
E	ISSUE FOR PLANNING AMENDMENT - 20.05.2026

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Drawing Title:
**RECONSTRUCTION - DEMOLITION SITE PLAN
+ GROUND PLAN**
Project:
FYFE HOUSE - 8 SWANSTON STREET | GEELONG

NO CHANGES SHALL BE MADE TO ANY ASPECT DETAIL NOR THE DESIGN INTENT WITHOUT WRITTEN CONSENT OF THE ARCHITECT | HERITAGE SPECIALIST. NO PART NOR PORTION TO BE UPLOADED NOR USED IN CONJUNCTION WITH ANY AI PLATFORM.



Drawing No:
076-H11
Issue - Revision:
E
Drawn: LO
Checked: LO
Scale: 1:200
Date: 12.04.2024

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GENERAL NOTES:

DRAWINGS ARE NOT TO BE SCALED. HAVE ANY ANOMALIES CHECKED & CLARIFIED PRIOR TO COMMENCEMENT OF WORKS

EVERY EFFORT HAS BEEN MADE TO WELL INDICATE THE SITE + SITE DEMOLITION WORKS - SHOULD ANY ANOMALIES BE IDENTIFIED - PLEASE CONTACT THE ARCHITECT TO RECONFIRM/CLARIFY IMMEDIATELY

ALL DEMOLITION WORKS TO COMPLY WITH AS 2601 DEMOLITION OF STRUCTURES - 2001

ALL DEMOLITION WORKS TO COMPLY WITH VICTORIAN OH&S REGULATION ALLOW TO COMPLY WITH WORKSAFE DEMOLITION COMPLIANCE CODE -2018

DEMOLITION CONTRACTOR TO CARRY-OUT DEMOLITION WORKS IN PORTIONS - WHERE RISK OF FALL/COLLAPSE IS POSSIBLE - ENSURE PORTIONS ARE TEMPORARILY BRACED - SEEK ADVICE FROM THE PROJECT ENGINEER.

DEMOLITION WORKS LEGEND:

[N]	NEW ELEMENT
[E]	EXISTING ELEMENT
[R]	REPLACE ELEMENT
—//—	TEMPORARY SITE FENCING [PANEL]
—/—	REMOVE FENCE [TYPE MAY VARY]
= = =	REMOVE WALL
[]	REMOVE ELEMENT
[]	REMOVE CONCRETE PAVING
[]	REMOVE STRUCTURE IN FULL

'RED TEXT' APPLICABLE TO DEMOLITION WORKS

ALL DEMOLITION WORKS TO BE CAREFULLY CARRIED-OUT

CAP ALL SERVICES INCLUDING ELECTRICAL SERVICES WHERE REQUIRED DURING THE COURSE OF DEMOLITION WORKS

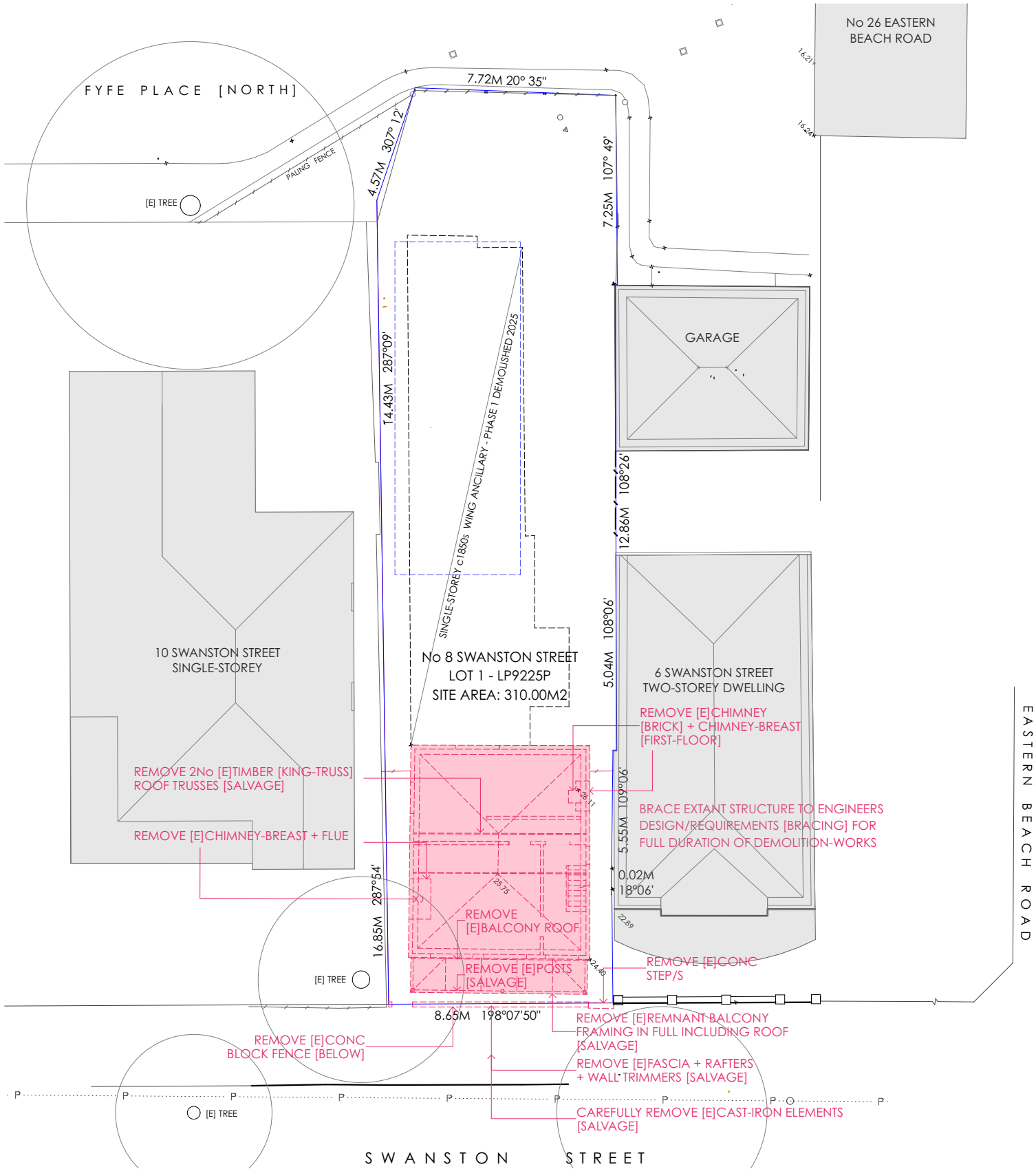
ALLOW TO PROTECT ALL ADJACENT BUILDINGS+ BUILT-FORM DURING THE COURSE OF DEMOLITION WORKS

ALL WASTE MATERIAL TO BE REMOVED FROM SITE DURING THE COURSE OF WORKS - NO WASTE OR RUBBISH SHALL BE LEFT ONSITE.

ELEMENTS FOR SALVAGE:

ALLOW TO RETAIN IDENTIFIED ELEMENTS FOR SALVAGE AND/OR TEMPLATE USE INCLUDING: ROOF FRAMING ELEMENTS [INCLUDING THE EXTANT ROOF TRUSSES], BALCONY + VERANDAH FRAMING ELEMENTS, TRIMS, MOULDINGS, POSTS, FACADE BLOCKING + CAST-IRON FRETWORK. ALLOW TO STORE ON SITE [SALVAGE STORE] READY FOR HERITAGE CONSULTANT + ENGINEER CONFIRMATION.

REFER RECONSTRUCTION SCOPE OF WORKS.



Revision:

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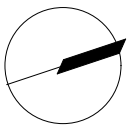
Drawing Title:

RECONSTRUCTION - DEMOLITION ROOF PLAN + FIRST FLOOR PLAN [EXISTING]

Project:

FYFE HOUSE - 8 SWANSTON STREET | GEELONG

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Drawing No:

076-H12

Issue - Revision:

E

Drawn:

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Checked:

LO

Scale:

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Date:

12.04.2024

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