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681 BELLARINE HIGHWAY LEOPOLD 3224
 Updated today Refresh 100%
 Lot 1 TP925011 - 1,093m² GREATER GEELONG PARKING CATEGORY 1 of 2
 R622 - RESIDENTIAL GROWTH ZONE - SCHEDULE 2 of 2 TR22 - TRANSPORT ZONE 2 - PRINCIPAL ROAD NETWORK of 2

Carparking Provision

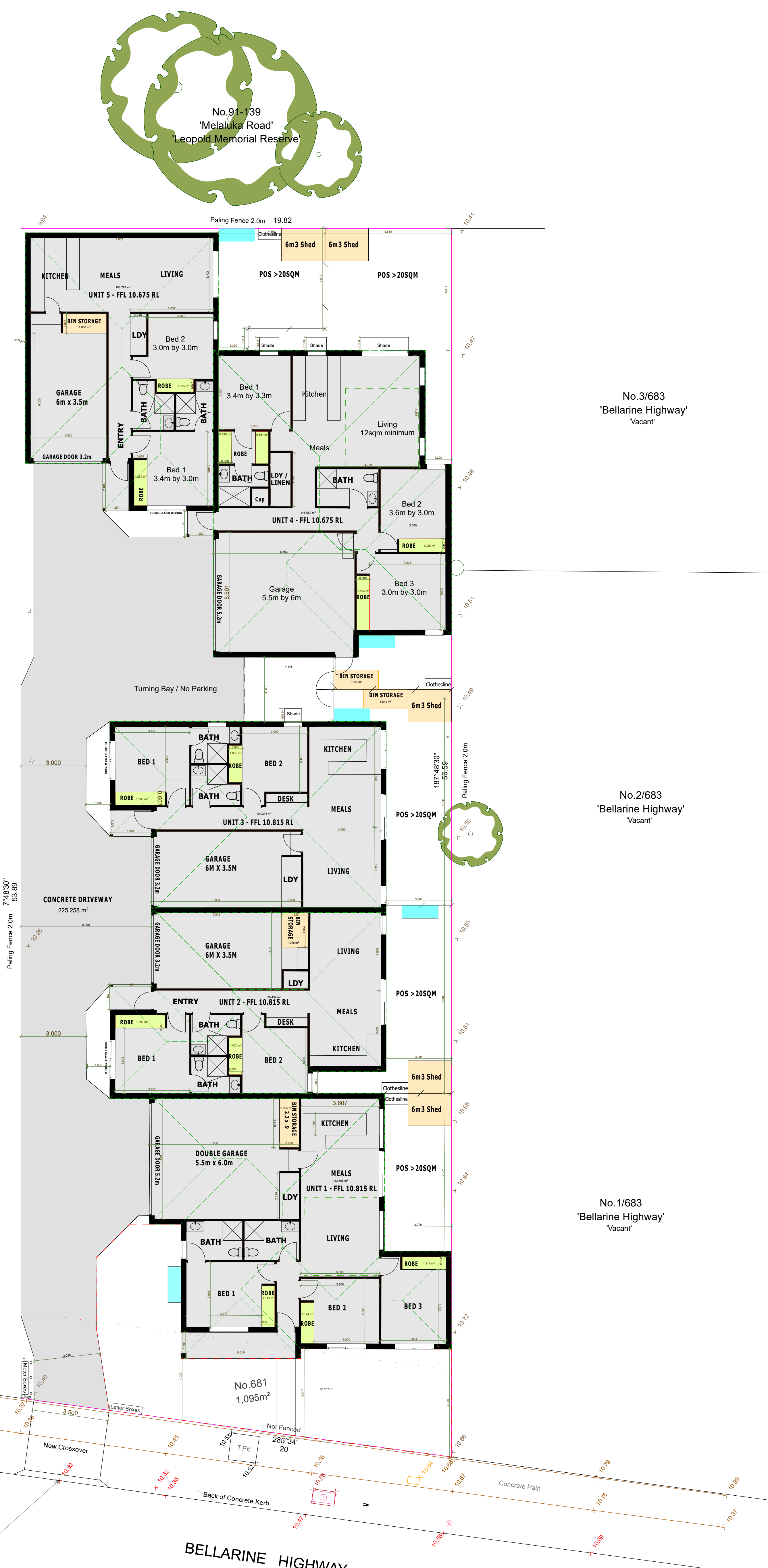
5 Dwellings = Requirement 5 car spaces (Parking Category 1)
5 Dwellings = Provision of 7 car spaces (Parking Category 1)

- ResCode Notes**
- Site services to be screened from view in accordance with Standard to comply with Standard B3-3
 - Lighting to be provided to all external accessways and paths in accordance with Standard B3-3
 - Stormwater to be connected to the legal point of discharge LPOD as required by Council's Engineering department
 - No Front Fence is proposed.
 - Mailboxes are to be provided at the front of each dwelling in accordance with the Australia Post requirements.
 - Each Dwelling is to have an internal waste and recycling storage space of at least 0.07cubic metres with a minimum depth of 250mm
 - All internal fencing to be a minimum of 1.8m in height.
 - Private Open Space Areas to each dwelling all exceed 25sqm with a minimum 3m dimension.

ResCode Calculation

Unit 1 Area	133.25sqm
Unit 2 Area	100.75sqm
Unit 3 Area	104.25sqm
Unit 4 Area	150.62sqm
Unit 5 Area	105.11sqm
Total Dwelling Area	593.98sqm
Driveway Areas	225.258sqm
Total Hard Surface Area	819.238sqm
Total Site Area	1095sqm
Permeability (275.762qm)	25.18%
Site Coverage (593.98sqm)	54.24%

No.91-139
 'Melaluka Road'
 'Leopold Memorial Reserve'
 'Tennis Courts'



No.3/683
 'Bellarine Highway'
 'Vacant'

No.2/683
 'Bellarine Highway'
 'Vacant'

No.1/683
 'Bellarine Highway'
 'Vacant'

GROUND FLOOR / SITE PLAN
 SCALE 1:100

revision	date	description

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PROPOSED DWELLING	681 Bellarine Hwy Leopold site location
project scale: 1:100 @ Architecture ESheet	drawn JB
date: 1/05/2020	checked JB

031-2025	reference number
	client approval signature
TOWN PLANNING DRAWINGS	

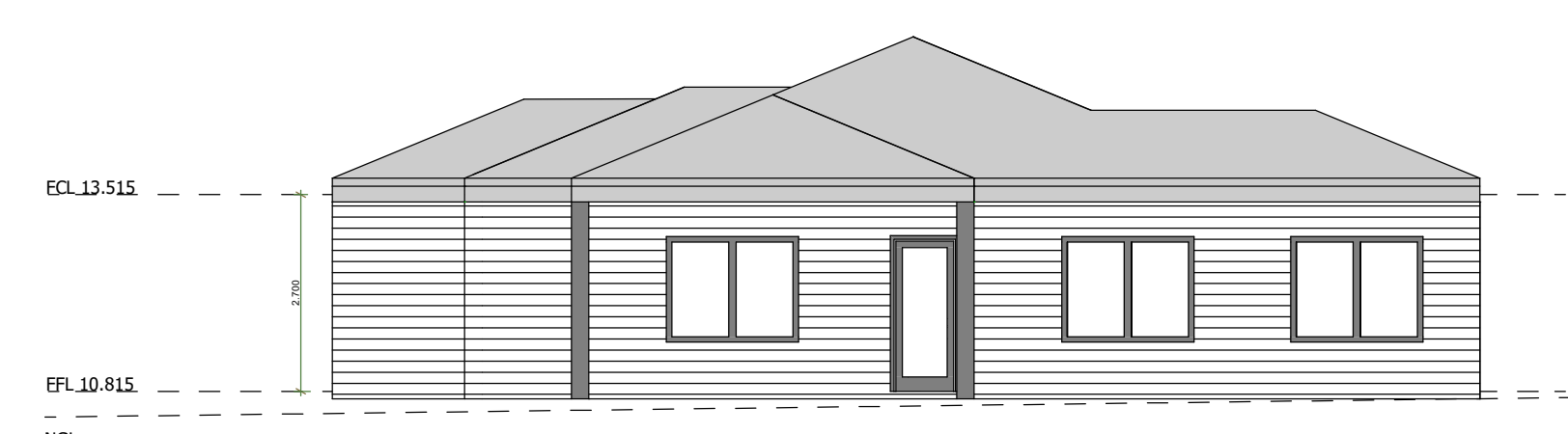
TP01
 of TP02

sheet

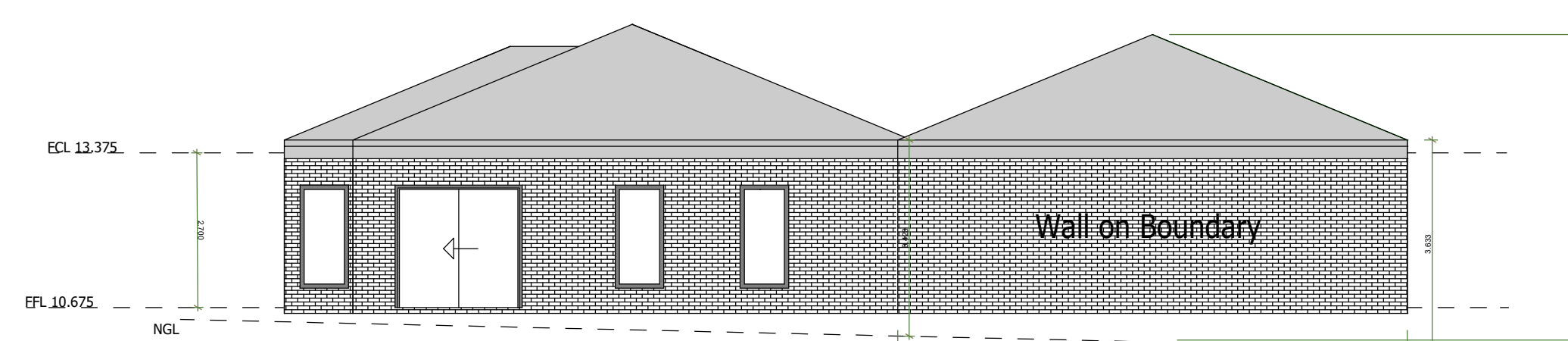
Prior to occupation and the use of development, the proposed new accessway and crossover to the Bellarine Highway must be designed and constructed to the satisfaction of the Responsible Authority and at no cost to the landowner.

3.0 M Right of Way RL: 10.30m

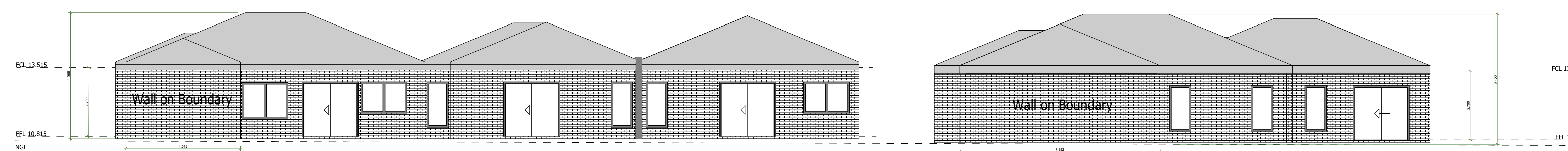
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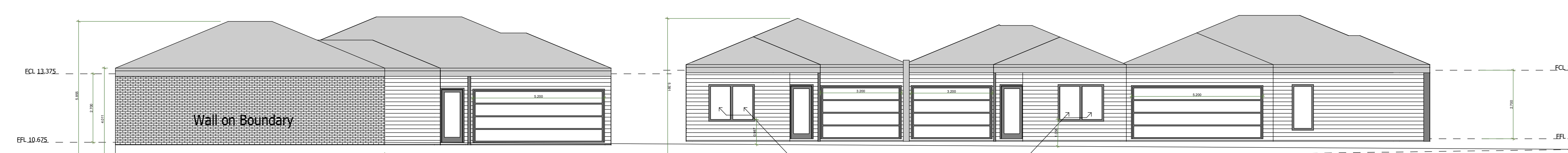
SOUTH ELEVATION



NORTH ELEVATION



EAST ELEVATION



WEST ELEVATION

COLOURS AND MATERIALS SCHEDULE

- Monument Colourbond roof (or similar)
- Brick (or similar)
- Grey uPVC doors and windows (or Similar)
- Grey horizontal cladding (or similar)

ELEVATION PLAN
SCALE 1:100

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Standard B2-7
Provide a minimum canopy cover as specified in Table B2-7.1.

Table B2-7.1 Canopy cover	Site area	Canopy cover
	1000 square metres or less	10% of site area
	More than 1000 square metres	20% of site area

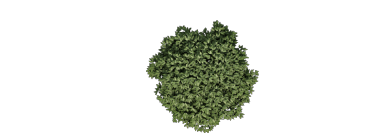
Area of subject site: 1095sqm
Canopy Cover Requirement: 20% = 219sqm

Canopy and number of Trees Provided:
0 x 5m wide canopy trees = 0
18 x 4m wide canopy trees = 18 x 12.57 = 226.25
Total Canopy of 226.25sqm and 18 'Type A' Trees provided.
Type A tree details below

Table B2-7.2 Tree type, canopy cover, deep soil and planter requirements

Tree Type:	A
Minimum canopy diameter at maturity	4 meters
Minimum mature canopy cover	12.6 metres
Tree in deep soil Area of deep soil	12sqm (min 2.5m dimension)
Tree in planter	12 cubic meters (min 2.5m dimension)
Minimum depth off planter soil	0.8m

PLANTING SCHEDULE

	Botanical Name	Common Name	Pot S	Height (m)	Width (m)	No.
	Type A - Eucalypt Polyanthemos	Red Box	20L	7.0 - 25.0	5.0	0
	Type A - Corymbia Eximia	Nana	20L	6.0 - 8.0	4.0	8
	Dianella Longiflora	Pale Flax Lily	140mm	1.0	1.5	6
	Lomandra longifolia confertifolia Lime	Lime Tuff	100mm	0.8	0.8	15

12.000 m² 12sqm Deep Soil

Lighting to Driveway / Paths

Notes: No significant existing vegetation is to be retained.
All garden beds to be mulched.
Couch or other warm season turf to be utilised.



TREE CANOPY PLAN / LANDSCAPE PLAN
SCALE 1:100



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Project # A174E32F
681 Bellarine Highway, Leopold
planspace@outlook.com
681 Bellarine Hwy, Leopold VIC 3224, Australia
06 May 2026 12:22 a.m.

681 Bellarine Highway, Leopold

The proposed stormwater treatments comply with all the relevant objectives for management of stormwater flows on-site.

154%
SCORE

Project details

Name	681 Bellarine Highway, Leopold
Project ID	A174E32F
Street address	681 Bellarine Hwy, Leopold VIC 3224, Australia
Municipality	Greater Geelong
Site area	1095 m ²
Planning Number	PP-240-2026

Flow and pollutant load reductions

Item	Result	Target
Mean annual runoff volume harvested or evapotranspired (%)	48%	>32%
Mean annual runoff volume infiltrated or filtered (%)	30%	>3%
Total suspended solids (%)	81%	>80%
Total phosphorus (%)	69%	>45%
Total nitrogen (%)	69%	>45%
Total gross pollutants (%)	96%	>70%

Notes

Stormwater to be connected to the legal point of discharge LPOD as required by Council's Engineering department.

Legend	
	Rainwater Tank
	Rain Garden
	Treated Area
↘	Grade of Treated Area

STORMWATER PLAN
SCALE 1:100



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TOWN PLANNING DRAWINGS

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