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Planning Report for: 73 Saffron Street **Newtown 3220** **Proposal: Construction of an extension to an existing dwelling**

NEIGHBOURHOOD AND SITE DESCRIPTION **DESIGN RESPONSE**

The proposed alteration comes from the desire to have a more usable private open space. It aims to make the outdoor area more spacious by increasing the secluded private open space square meterage, encouraging an increase in the residents' use of the exterior amenities on the property. It will improve solar access to an additional private open space area, allowing for more use during the cooler months.

The first floor terrace will make the carport area safer for residents, in particular small children, by creating an additional space where these residents can be restricted from access to cars. The terrace improves the livability for all residents.

It will improve the amenities in the street by reducing the number of resident cars taking up parking spaces out the front on Saffron Street.

The dwelling is situated on a small parcel of land (approx 171.5sqm) in Newtown.

NEIGHBOURHOOD CHARACTER

NEIGHBOURHOOD CHARACTER

The proposed alteration will be at the rear of the property and will have negligible impact on heritage overlay. The terrace will blend in with similar structures built by neighbours in the area, keeping the ambience of the neighborhood.

INTEGRATION WITH THE STREET

The proposal alteration will blend with neighboring properties and is not visible from the public street (Saffron Street).

CLAUSE 54 ASSESSMENT – One Dwelling or Second Small Dwelling on a Lot less than 300sqm in Area

APPLICATION REQUIREMENTS

An application to which this clause applies must be accompanied by:

- A site description – Clause 54.01-1.
- A design response – Clause 54.01-2 including a landscape plan.
- A written statement outlining which standards are met and which are not met. If a standard is not met, the written statement must include an explanation of how the development meets the corresponding objective having regard to the corresponding decision guidelines.

CLAUSE 54 ASSESSMENT

The following objectives and standards are current up to and including Amendment VC282 on 13/8/2025.

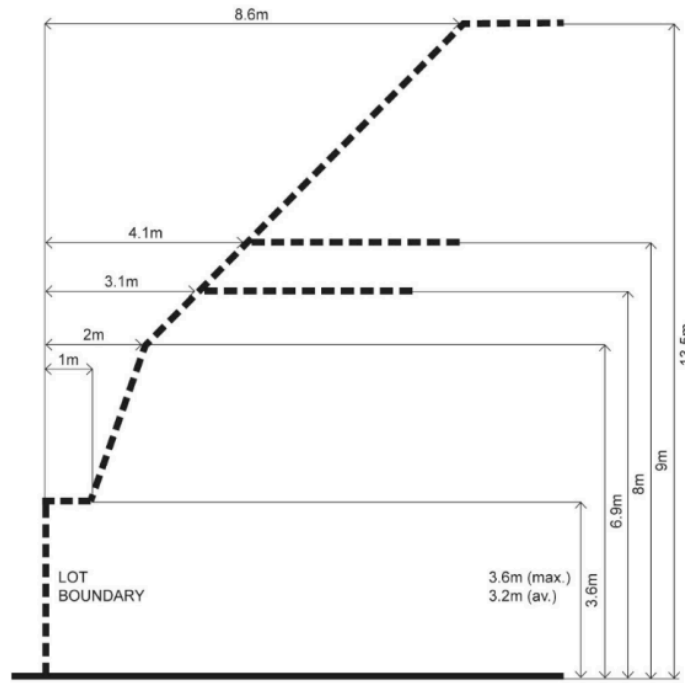
54.02 Neighbourhood character

<p>54.02-1 Street setback objective To ensure that the setbacks of buildings from a street respond to the existing or preferred neighbourhood character and make efficient use of the site.</p>	<p>Standard A2-1 Walls of buildings are set back from streets:</p> <ul style="list-style-type: none"> • At least the distance specified in a schedule to the zone if the distance specified in the schedule is less than the distance specified in Table A2-1; or • If no distance is specified in a schedule to the zone, the distance specified in Table A2-1. <p>Porches, pergolas and verandahs that are less than 3.6 metres high and eaves may encroach not more than 2.5 metres into the setbacks of this standard.</p>	<p>Deemed to Comply Not Applicable The established front setback is to be retained. Alterations to rear of property. Not applicable.</p>	<p>Right of Appeal No, standard not relevant.</p>
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Table A2-1 Street setback			
Development context	Minimum setback from front street	Minimum setback from a side street	
There is an existing building on both the abutting allotments facing the same street, and the site is not on a corner.	The same distance as the lesser front wall setback of the existing buildings on the abutting allotments facing the front street or 6 metres, whichever is the lesser.	Not applicable	
There is an existing building on one abutting allotment facing the same street and no existing building on the other abutting allotment facing the same street, and the site is not on a corner.	The same distance as the setback of the front wall of the existing building on the abutting allotment facing the front street or 6 metres, whichever is the lesser.	Not applicable	
There is no existing building on either of the abutting allotments facing the same street, and the site is not on a corner.	6 metres for streets in a Transport Zone 2 and 4 metres for other streets.	Not applicable	
The site is on a corner.	<p>If there is a building on the abutting allotment facing the front street, the same distance as the setback of the front wall of the existing building on the abutting allotment facing the front street or 6 metres, whichever is the lesser.</p> <p>If there is no building on the abutting allotment facing the front street, 6 metres for streets in a Transport Zone 2 and 4 metres for other streets.</p>	<p>Front walls of new development fronting the side street of a corner site are setback at least the same distance as the setback of the front wall of any existing building on the abutting allotment facing the side street or 3 metres, whichever is the lesser.</p> <p>Side walls of new development on a corner site are setback the same distance as the setback of the front wall of any existing building on the abutting allotment facing the side street or 2 metres, whichever is the lesser.</p>	
54.02-2 Building height objective To ensure that the height of buildings responds the existing or preferred	Standard A2-2 The maximum building height does not exceed the maximum height specified in the zone, schedule to the zone or an overlay that applies to the land. If no maximum height is specified in the zone, schedule to the zone or an overlay, the maximum building height does	Deemed to Comply The maximum building height applicable to the site is 9 metres and two storeys at any point (excluding a basement). The proposed maximum building height of 6 metres meets the standard/mandatory building height requirement of the ZONE.	Right of Appeal No, standard met.

neighbourhood character.	not exceed 9 metres, unless the slope of the natural ground level at any cross section wider than 8 metres of the site of the building is 2.5 degrees or more, in which case the maximum building height should not exceed 10 metres.		
<p>54.02-3 Side and rear setbacks objective</p> <p>To ensure that the height and setback of a building from a boundary responds to the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings or small second dwellings.</p>	<p>Standard A2-3</p> <p>A new building not on or within 200mm of a boundary is set back from side or rear boundaries at least 1 metre, plus 0.3 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres.</p> <p>Sunblinds, verandahs, porches, eaves, facias, gutters, masonry chimneys, flues, pipes, domestic fuel or water tanks, and heating or cooling equipment or other services may encroach not more than 0.5 metres into the side and rear setbacks.</p> <p>Landings that have an area of not more than 2 square metres and less than 1 metre high, stairways, ramps, pergolas, shade sails and carports may encroach into the side and rear setbacks.</p>	<p>Deemed to Comply</p> <p>SIDE</p> <p>The terrace structure is to run inline with the current first floor setbacks on the East and West side.</p> <p>The required setbacks have been achieved for the East side.</p> <p>A variation for the West side of 0.22 metres is requested (building height 6 metres), so that the setback is 1.50 metres, rather than 1.72 metres per the standard.</p> <p>The component of the structure is slightly over the standard guidelines due to there being two posts at each end with a beam running along on top of the West side of the terrace. They are to support a retractable shade sail. There is no infill between the 1.7 metre aluminium screening and top of the post/beam (0.70 metres). If the post for the retractable shade sail were not present the structure would be 5.3 metres and would meet the guidelines setbacks. The impact of the additional post/beams are negligible, as there are no habitable rooms or windows along the West side where construction is to take place. It is a solid garage brick wall. The secluded private open space on the West side neighbour is on their first floor with none existing on the ground floor.</p>	<p>Right of Appeal</p> <p>Yes, standard varied.</p>

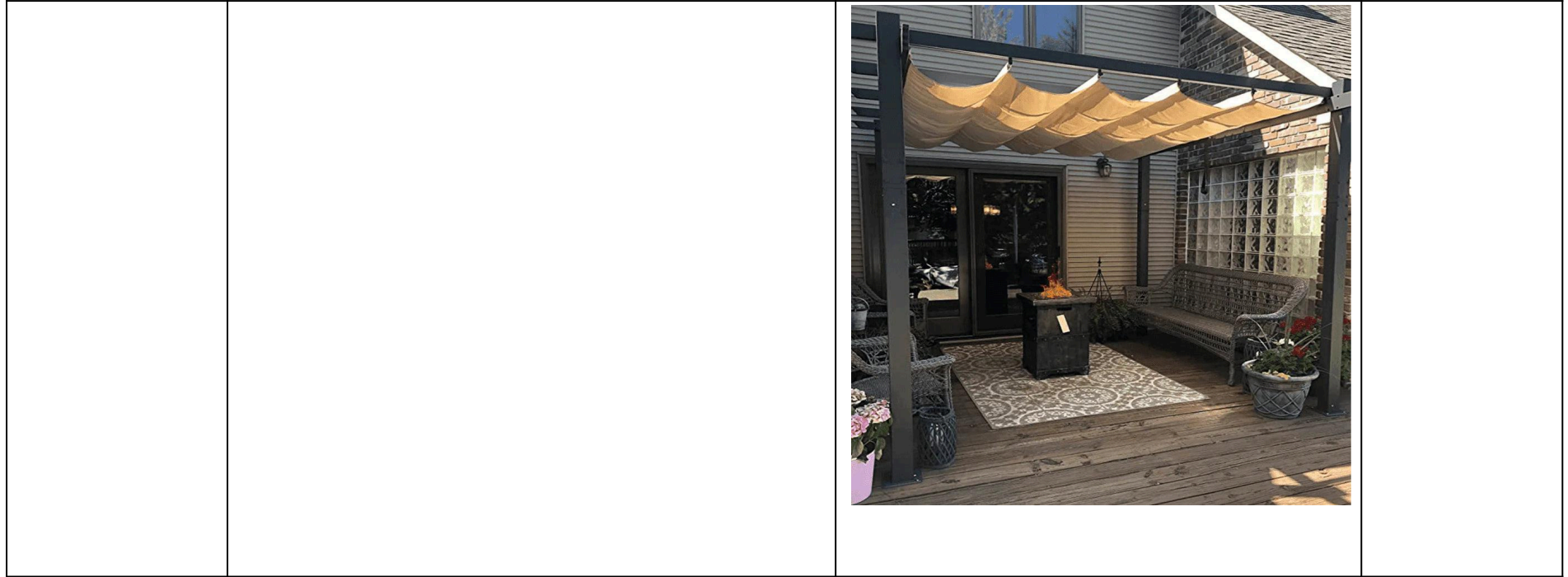
Diagram A2-3 Side and rear setbacks

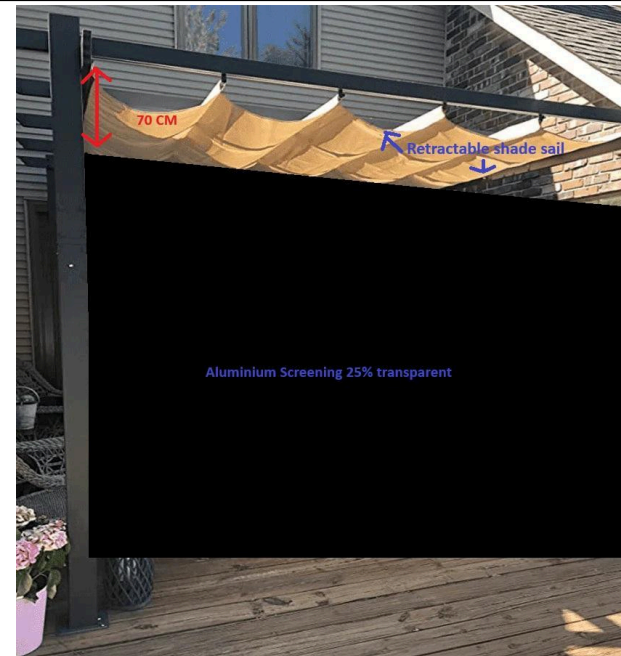


Refer below for view of the West side boundary and an example of the posts for shade sail that are referred to above.

West side view from proposed terrace







REAR

The rear structure and subsequent privacy screen is 0.85 metres from the rear alley. The upper terrace level sits within the required setbacks, not encroaching more than the .50 metres outside of the building envelope.

No walls or carports are to be constructed along the boundaries. Privacy screening (1.7 metres) to be placed along the terrace on the rear boundary. Design request is of like nature to the neighbouring property on the West side, where a first floor terrace is abutting the rear alley. The precedent has been set on the West side. Picture below (black wall is alley view of the West side to

proposed project and cream roller door is 73
Saffron Street, Newtown..



No impact on any residential properties or amenities, Structure will meet fire codes due to materials selected to be used. 8 trees in the backyard will not be impacted by structure and are to remain.

<p>54.02-4 Walls on boundaries objective</p> <p>To ensure that the location, length and height of a wall on a boundary responds to the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings and small second dwellings.</p>	<p>Standard A2-4</p> <p>A new wall constructed on or within 200mm of a side or rear boundary of a lot or a carport constructed on or within 1 metre of a side or rear boundary of lot does not abut the boundary for a length that exceeds the greater of the following distances:</p> <ul style="list-style-type: none"> • 10 metres plus 25 per cent of the remaining length of the boundary of an adjoining lot, or • The length of existing or simultaneously constructed walls or carports abutting the boundary on an abutting lot. <p>A new wall or carport may fully abut a side or rear boundary where slope and retaining walls or fences would result in the effective height of the wall or carport being less than 2 metres on the abutting property boundary.</p> <p>A building on a boundary includes a building set back up to 200mm from a boundary.</p> <p>The height of a new wall constructed on or within 200mm of a side or rear boundary or a carport constructed on or within 1 metre of a side or rear boundary does not exceed an average of 3.2 metres with no part higher than 3.6 metres unless abutting a higher existing or simultaneously constructed wall.</p>	<p>Deemed to Comply</p> <p>Not Applicable</p> <p>No new walls on or within 200mm of a boundary, or carport within 1m of a boundary are proposed as part of this application.</p>	<p>Right of Appeal</p> <p>No, standard met.</p>
<p>54.02-5 Site coverage objective</p> <p>To ensure that the site coverage responds to the existing or preferred</p>	<p>Standard A2-5</p> <p>The site area covered by buildings does not exceed:</p> <ul style="list-style-type: none"> • The maximum site coverage specified in a schedule to a zone; or • If no maximum site coverage specified in a schedule to a zone, the percentage specified in Table A2-5: 	<p>Deemed to Comply</p> <p>The maximum site coverage specified for this site is 60 percent as per the schedule to the zone/Table A2-5.</p> <p>The proposed structure will not impact the current site coverage, as it is an unroofed and permeable terrace structure.</p>	<p>Right of Appeal</p> <p>No, standard met.</p>

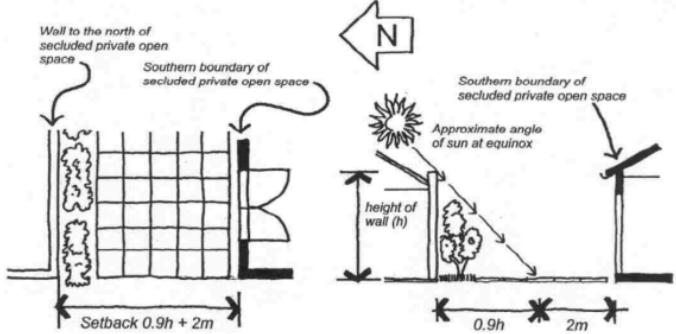
<p>neighbourhood character and responds to the features of the site.</p>	<p>Table A2-5 Site coverage</p> <table border="1"> <thead> <tr> <th>Zone</th> <th>Area</th> </tr> </thead> <tbody> <tr> <td>Neighbourhood Residential Zone</td> <td>60 per cent</td> </tr> <tr> <td>Township Zone</td> <td></td> </tr> <tr> <td>General Residential Zone</td> <td>65 per cent</td> </tr> <tr> <td>Residential Growth Zone</td> <td>70 per cent</td> </tr> <tr> <td>Mixed Use Zone</td> <td></td> </tr> <tr> <td>Housing Choice and Transport Zone</td> <td></td> </tr> </tbody> </table>	Zone	Area	Neighbourhood Residential Zone	60 per cent	Township Zone		General Residential Zone	65 per cent	Residential Growth Zone	70 per cent	Mixed Use Zone		Housing Choice and Transport Zone		<p>There was a previous exemption given to the property by Geelong Council when the last planning permit was approved. During this the site coverage was actually decreased in comparison to what the previous footprint was on the property prior to its renovation. It would be expected that there is no impact or need to change this requirement as the proposed development is not impacting site coverage from its current state.</p>	
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<p>54.02-6 Tree canopy objective To provide tree canopy that responds to the neighbourhood character of the area and reduces the visual impact of buildings on the streetscape. To preserve existing canopy cover and support the provision of new canopy cover. To ensure new canopy trees are climate responsive, support biodiversity, wellbeing and amenity, and help reduce urban heat</p>	<p>Standard A2-6 Provide a minimum canopy cover as specified in Table A2-6.</p> <p>Table A2-6 Minimum tree requirement</p> <table border="1"> <thead> <tr> <th>Site area</th> <th>Tree</th> </tr> </thead> <tbody> <tr> <td>100 square metres or less</td> <td>One tree</td> </tr> <tr> <td>Above 100 square metres to 200 square metres</td> <td>Two trees</td> </tr> <tr> <td>Above 200 square metres to 300 square metres</td> <td>Three trees</td> </tr> </tbody> </table> <p>A tree must meet the following:</p> <ul style="list-style-type: none"> ● Reach a height of at least 6 metres at maturity. ● Achieve a canopy width of at least 4 metres at maturity. ● Planted in a minimum deep soil area of 12 square metres with a minimum plan dimension 2.5 metres or in a planter with a minimum volume of 12 cubic metres with a minimum depth of 0.8 metres of planter soil <p>Existing trees to be retained meet all of the following:</p> <ul style="list-style-type: none"> ● Has a height of at least 5 metres, ● Has a trunk circumference of 0.5 metres or greater at 1.4 metres above ground level, ● Has a trunk that is located at least 4 metres from proposed buildings. 	Site area	Tree	100 square metres or less	One tree	Above 100 square metres to 200 square metres	Two trees	Above 200 square metres to 300 square metres	Three trees	<p>Deemed to Comply There are adequate areas available on site to allow for tree retention/planting which will complement the landscape character of the area.</p> <p>The tree canopy requirement has been achieved as per Table A2-6 though the retainment of 8 Lilly Pilly Syzygium trees, which are currently 5 metres high by 2 metres wide and are on a tree trunk, not hedge. These will not be impacted during the development.</p>	<p>Right of Appeal No, standard met.</p>						
Site area	Tree																
100 square metres or less	One tree																
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	<p>Existing trees that are retained can be used to satisfy the tree canopy requirement.</p> <p>Any tree required to be planted under this standard must be of species to the satisfaction of the responsible authority, having regard to the location and relevant geographic factors.</p>								
<p>54.02-7 Front Fences To encourage front fence design that responds the existing or preferred neighbourhood character.</p>	<p>Standard A2-7 A front fence within 3 metres of a street is:</p> <ul style="list-style-type: none"> • The maximum height specified in a schedule to the zone, or • If no maximum height is specified in a schedule to the zone, the maximum height specified in Table A2-7. <p>Table A2-7 Maximum front fence height</p> <table border="1"> <thead> <tr> <th>Street context</th> <th>Maximum front fence height</th> </tr> </thead> <tbody> <tr> <td>Streets in a Transport Zone 2</td> <td>2 metres</td> </tr> <tr> <td>Other streets</td> <td>1.5 metres</td> </tr> </tbody> </table> <p>This standard does not apply to a small second dwelling.</p>	Street context	Maximum front fence height	Streets in a Transport Zone 2	2 metres	Other streets	1.5 metres	<p>Deemed to Comply Not Applicable No front fence is proposed as part of this permit application.</p>	<p>Right of Appeal No, standard not relevant.</p>
Street context	Maximum front fence height								
Streets in a Transport Zone 2	2 metres								
Other streets	1.5 metres								
<p>54.02-8 Building setback for small second dwelling To ensure that small second dwellings are sited to respond to the existing or preferred neighbourhood character.</p>	<p>Standard A2-8 Walls of a small second dwelling are set back behind the front wall of the existing dwelling on the lot, facing the frontage.</p> <p>Porches, pergolas, verandahs, and eaves do not encroach into the setback of this standard</p>	<p>Deemed to Comply Not Applicable This Standard does not apply to a dwelling.</p>	<p>Right of Appeal No, standard not relevant.</p>						

54.03 Liveability

<p>54.03-1 Street integration objective To integrate the layout of development with the street to support the safety and amenity of residents</p>	<p>Standard A3-1 Where a development fronts a street, a vehicle accessway or abuts public open space passive surveillance is provided by a direct view from a balcony or a habitable room window to each street, vehicle accessway and public open space.</p> <p>This Standard does not apply to a small second dwelling.</p>	<p>Deemed to Comply The development is designed to provide passive surveillance of a vehicle accessway (alley) through a direct view from a terrace from the dwellings. Note: CCTV security cameras are present on the rear of the property already.</p>	<p>Right of Appeal No, standard met.</p>
<p>54.03-2 Private open space objective To provide adequate private open space for the reasonable recreation and service needs of residents.</p>	<p>Standard A3-2 A dwelling or small second dwelling has private open space of an area and dimensions specified in the schedule to the zone. If no area or dimensions are specified in the schedule to the zone, a dwelling or residential building has private open space with direct access from a living room, dining area or kitchen consisting of:</p> <ul style="list-style-type: none"> ● An area of 20 per cent of the area of the lot, but not less than 25 square metres. At least one part of the private open space consists of secluded private open space with a minimum area of 25 square metres and a minimum dimension of 3 metres width; or ● A balcony with at least the area and dimensions specified in Table A3-2; or ● An area on a roof of at least 10 square metres with a minimum width of 2 metres. <p>If the area and dimensions of the private open space or secluded private open space is specified in a schedule to the zone:</p> <ul style="list-style-type: none"> ● The area and dimensions specified for the private open space and secluded private open space must be less than the area and dimensions specified in this standard, and 	<p>Deemed to Comply An area of 25 square metres of secluded private open space with a minimum dimension of 3 metres with direct access from a living room/dining area/kitchen is already provided and will remain.</p> <p>The addition of the terrace private open space areas will increase this by an additional 14.58 square metres. The terrace has a dimension of 3.91 metres by 3.73 metres and has direct access from a living room in accordance with Table A3-2.</p>	<p>Right of Appeal No, standard met.</p>

	<ul style="list-style-type: none"> The area and dimensions specified for a balcony or an area on a roof must be less than the area and dimensions specified in this standard. <p>A small second dwelling has a secluded private open space consisting of an area of 8 square metres with a minimum dimension of 1.6 metres and convenient access from a living area, dining area or kitchen</p> <p>If a cooling or heating unit is located in the secluded private open space or private open space the required area is increased by 1.5 square metres.</p> <p>Where ground level private open space is provided, an area for clothes drying is provided.</p> <p>Table A3-2 Private open space for a balcony</p> <table border="1"> <thead> <tr> <th>Orientation of dwelling</th> <th>Dwelling type</th> <th>Minimum area</th> <th>Minimum dimension</th> </tr> </thead> <tbody> <tr> <td>North (between north 20 degrees west to north 30 degrees east)</td> <td>All</td> <td>8 square metres</td> <td>1.7 metres</td> </tr> <tr> <td>South (between south 30 degrees west to south 20 degrees east)</td> <td>All</td> <td>8 square metres</td> <td>1.2 metres</td> </tr> <tr> <td rowspan="3">Any other orientation</td> <td>1 bedroom dwelling</td> <td>8 square metres</td> <td>1.8 metres</td> </tr> <tr> <td>2 bedroom dwelling</td> <td>8 square metres</td> <td>2 metres</td> </tr> <tr> <td>3 bedroom dwelling</td> <td>12 square metres</td> <td>2.4 metres</td> </tr> </tbody> </table>	Orientation of dwelling	Dwelling type	Minimum area	Minimum dimension	North (between north 20 degrees west to north 30 degrees east)	All	8 square metres	1.7 metres	South (between south 30 degrees west to south 20 degrees east)	All	8 square metres	1.2 metres	Any other orientation	1 bedroom dwelling	8 square metres	1.8 metres	2 bedroom dwelling	8 square metres	2 metres	3 bedroom dwelling	12 square metres	2.4 metres		
Orientation of dwelling	Dwelling type	Minimum area	Minimum dimension																						
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<p>54.03-3 Solar access to open space objective</p> <p>To allow solar access into the secluded private</p>	<p>Standard A3-3</p> <p>The southern boundary of secluded private open space is set back from any wall on the north of the space at least (2+0.9h) metres, where 'h' is the height of the wall.</p>	<p>Deemed to Comply</p> <p>All proposed secluded private open space receives adequate solar access.</p> <p>No change to walls on current building. Secluded private open space allowing more solar access created through first floor unroofed terrace.</p>	<p>Right of Appeal</p> <p>No, standard met.</p>																						

<p>open space of new dwellings.</p>	<p>Diagram A3-3 Solar access to open space</p>  <p>This standard does not apply to a small second dwelling.</p>	<p>The wall located on the northern side of the proposed secluded private open space is 5.685 metres high, requiring the southern boundary of the proposed secluded private open space on the ground to be set back 7.12 metres from the wall. The southern boundary is 4.76 metres from the north wall under the current building footprint. This cannot be varied in regards to the ground level secluded private open space, as the building has already been built and not able to be moved.</p> <p>However, the creation of a first floor terrace with secluded private open space ensures that this standard is better complied with.</p>	
<p>54.03-4 Daylight to new windows objective To allow adequate daylight into new habitable room windows.</p>	<p>Standard A3-4 A window in an external wall of the building is provided to all habitable rooms.</p> <p>Habitable rooms in a dwelling have a window that faces:</p> <ul style="list-style-type: none"> • An outdoor space clear to the sky or a light court with a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky, not including land on an abutting lot; or • A verandah provided it is open for at least one third of its perimeter; or • A carport provided it has two or more open sides and is open for at least one third of its perimeter. 	<p>Deemed to Comply All habitable room windows are located on an external wall. No additional windows or change to any windows that exist.</p> <p>All habitable room windows face:</p> <ul style="list-style-type: none"> • An outdoor space clear to the sky or a light court with a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky, not including land on an abutting lot; or • A verandah provided it is open for at least one third of its perimeter; or • A carport provided it has two or more open sides and is open for at least one third of its perimeter. 	<p>Right of Appeal No, standard met.</p>
<p>54.03-5 Safety and accessibility</p>	<p>Standard A3-5</p>	<p>Deemed to Comply Not Applicable</p>	<p>Right of Appeal</p>

<p>for small second dwelling objective</p> <p>To ensure access to a small second dwelling is safe, convenient and meets the needs of residents.</p>	<p>A small second dwelling is provided with a clear and unobstructed path from the frontage that:</p> <ul style="list-style-type: none"> • Has a minimum width of at least 1 metre, with no encroachments. If the path is longer than 30 metres, the minimum width of the path is at least 1.8 metres. • Has a minimum clear height of at least 2 metres, with no encroachments. • Has a gradient no steeper than 1 in 14. • Has a cross fall no steeper than 1 in 40. • Is sealed or has an all-weather access. 	<p>This Standard does not apply to a dwelling.</p>	<p>No, standard not relevant.</p>
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54.04 External Amenity

<p>54.04-1 Daylight to existing windows objective</p> <p>To allow adequate daylight into existing habitable room windows.</p>	<p>Standard A4-1</p> <p>Buildings opposite an existing habitable room window provide for a light court to the existing window that has a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky. The calculation of the area may include land on the abutting lot.</p> <p>Walls or carports more than 3 metres in height opposite an existing habitable room window are set back from the window at least 50 per cent of the height of the new wall if the wall is within a 55 degree arc from the centre of the existing window. The arc may be swung to within 35 degrees of the plane of the wall containing the existing window.</p> <p>Where the existing window is above ground floor level, the wall height is measured from the floor level of the room containing the window.</p>	<p>Deemed to Comply</p> <p>The required light court of 3 square metres with a minimum dimension of 1 metre clear to the sky has been achieved and all windows have access to the required level of daylight. No windows are being adjusted or impacted by proposed design.</p> <p>Not Applicable</p> <p>There are no existing habitable room windows opposite the proposed buildings that require consideration.</p>	<p>Right of Appeal</p> <p>No, standard not relevant.</p>
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	<p>Diagram A4-1 Daylight to existing windows</p>		
<p>54.04-2 Existing north facing windows objective To allow adequate solar access to existing north-facing habitable room windows.</p>	<p>Standard A4-2 Where a north-facing habitable room window of a neighbouring dwelling or small second dwelling is within 3 metres of a boundary on an abutting lot a new building is to be set back from the boundary 1 metre, plus 0.6 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres. This setback is to be provided for a distance of at least 3 metres from the edge of each side of the window.</p> <p>For this standard, a north-facing window is a window with an axis perpendicular to its surface oriented north 20 degrees west to north 30 degrees east.</p>	<p>Deemed to Comply Not Applicable There are no North facing habitable room windows on abutting lots that require consideration.</p>	<p>Right of Appeal No, standard not relevant.</p>

	<p>Diagram A4-2 North-facing windows</p> <p>The diagram illustrates a north-facing window profile. A dashed line shows the window's path from a 3.6m vertical section, through a 6.9m horizontal section, and up a 3.3m sloped section. The total width is 9.6m and the total height is 13.5m. A 3m offset is shown from the left edge. Other dimensions include 1m, 2m, 1.1m, 1m, 4.1m, 5.1m, 8m, and 9m.</p>		
<p>54.04-3 Overshadowing secluded open space objective To ensure buildings do not significantly overshadow existing secluded private open space.</p>	<p>Standard A4-3 The area of secluded private open space that is not overshadowed by the new development is greater than 50 per cent, or 25 square metres with a minimum dimension of 3 metres, whichever is the lesser area, for a minimum of five hours between 9 am and 3 pm on 22 September. If existing sunlight to the secluded private open space of an existing dwelling or small second dwelling is less than the requirements of this standard, the amount of sunlight will not be further reduced</p>	<p>Deemed to Comply Overshadowing by the new structure will not have any further impact on East side neighbours' secluded open space. As can be viewed in the planning permit design submitted (highlighted in blue). The new structure creates an overshadow over the alley. There is no secluded private open space on adjoining land on the West side that requires consideration.</p>	<p>Right of Appeal No, standard met.</p>

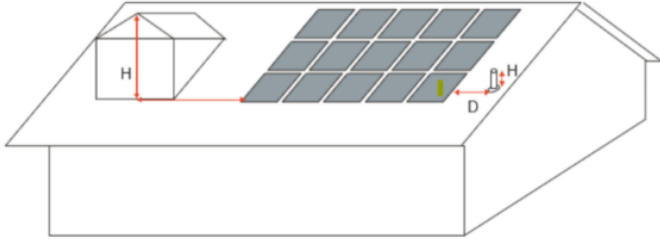
<p>54.04-4 Overlooking objective</p> <p>To limit views into existing secluded private open space and habitable room windows.</p>	<p>Standard A4-4</p> <p>In Clause 54.04-4 a habitable room does not include a bedroom.</p> <p>A habitable room window, balcony, podium, terrace, deck or patio is located and designed to avoid direct views into the secluded private open space of an existing dwelling or small second dwelling within a horizontal distance of 9 metres (measured at ground level) of the window, balcony, terrace, deck or patio. Views are measured within a 45 degree angle from the plane of the window or perimeter of the balcony, terrace, deck or patio, and from a height of 1.7 metres above floor level.</p> <p>A habitable room window, balcony, terrace, deck or patio that is located with a direct view into a habitable room window of existing dwelling or small second dwelling within a horizontal distance of 9 metres (measured at ground level) of the window, balcony, terrace, deck or patio:</p> <ul style="list-style-type: none"> ● Is offset a minimum of 1.5 metres from the edge of one window to the edge of the other; or ● Has sill heights of at least 1.7 metres above floor level; or ● Has fixed, obscure glazing in any part of the window below 1.7 metre above floor level; or ● Has permanently fixed external screens to at least 1.7 metres above floor level and be no more than 25 per cent transparent; or ● Has fixed elements that prevent direct views, such as horizontal ledges or vertical fins. <p>Obscure glazing in any part of the window below 1.7 metres above floor level may be openable provided that there are no direct views as specified in this standard.</p>	<p>Deemed to Comply Not Applicable</p> <p>There are no habitable room windows or secluded private open space on adjoining land that require consideration.</p>	<p>Right of Appeal</p> <p>No, standard met.</p>
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	<p>Screens used to obscure a view should be:</p> <ul style="list-style-type: none"> ● Perforated panels or trellis with a maximum of 25 per cent openings or solid translucent panels. ● Permanent, fixed and durable. ● Designed and coloured to blend in with the development. <p>This standard does not apply to a new habitable room window, balcony, terrace, deck or patio which faces a property boundary where there is a visual barrier at least 1.8 metres high and the floor level of the habitable room, balcony, terrace, deck or patio is less than 0.8 metres above ground level at the boundary.</p> <p>Diagram A4-4 Overlooking</p>		
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54.05 Sustainability

<p>54.05-1 Permeability objectives To reduce the impact of increased stormwater run-off</p>	<p>Standard A5-1 The site area covered by the pervious surfaces is at least 20 percent of the site.</p>	<p>Deemed to Comply The site retains minimum 20 per cent permeability, assisting in on site stormwater filtration. No adjustment to the current ground plan. Grass and dirt will remain. Water from the deck is designed to flow through to the ground as it currently does.</p>	<p>Right of Appeal No, standard met.</p>
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<p>on the drainage system.</p> <p>To facilitate on-site stormwater infiltration.</p> <p>To contribute to urban cooling</p>			
<p>54.05-2 Overshadowing domestic solar energy systems</p> <p>To ensure that the height and setback of a building from a boundary allows reasonable solar access to existing domestic solar energy systems on the roofs of buildings</p>	<p>Standard A5-2</p> <p>Any part of a new building that will reduce the sunlight at any time between 9am and 4 pm on 22 September to an existing domestic solar energy system on the roof of a building on an adjoining lot be set back from the boundary to that lot by at least 1 metre at 3.6 metres above ground level, plus 0.3 metres for every metre of building height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres.</p> <p>This standard applies to an existing building in a Township Zone, General Residential Zone or Neighbourhood Residential Zone.</p> <p>In Clause 54.05-2, domestic solar energy system means a domestic solar energy system that existed at the date the application was lodged.</p>	<p>Deemed to Comply</p> <p>Not Applicable</p> <p>There are no existing domestic solar energy systems on adjoining buildings that require consideration.</p>	<p>Right of Appeal</p> <p>No, standard met.</p>
<p>54.05-3 Rooftop solar energy generation area objective</p> <p>To support the future installation of appropriately sited rooftop solar energy systems for a dwelling.</p>	<p>Standard A5-3</p> <p>In Clause 54.05-3, rooftop solar energy area means an area provided on the roof of a dwelling to enable the future installation of a solar energy system.</p> <p>An area on the roof is capable of siting a rooftop solar energy area for each dwelling which:</p> <ul style="list-style-type: none"> ● Has a minimum dimension of 1.7 metres. ● Has a minimum area in accordance with Table B5-3. ● Is oriented to the north, west or east. ● Is positioned on the top two thirds of a pitched roof. 	<p>Not Applicable</p> <p>No change to the current dwelling roof footprint is being requested. There is enough roof space on the current building to comply with this measure. 26 square metres is available with a minimum dimension of 1.7 metres. Proposed alteration is an unroofed terrace with no power attached.</p>	<p>Right of Appeal</p> <p>No, standard met.</p>

	<ul style="list-style-type: none"> • Can be a contiguous area or multiple smaller areas. • Is free of obstructions on the roof of the dwelling within twice the height of each obstruction (H), measured horizontally (D) from the centre point of the base of the obstruction to the nearest point of the rooftop solar energy area. <p>Diagram A5-3 Allowable distance between obstructions and the rooftop solar energy area</p>  <p>Obstructions located south of all points of the rooftop solar energy area are not subject to the horizontal distance requirements.</p> <p>Table A5-3 Minimum rooftop solar energy generation area</p> <table border="1" data-bbox="479 799 1144 946"> <thead> <tr> <th>Number of bedrooms</th> <th>Minimum roof area</th> </tr> </thead> <tbody> <tr> <td>1 bedroom dwelling</td> <td>15 square metres</td> </tr> <tr> <td>2 or 3 bedroom dwelling</td> <td>26 square metres</td> </tr> <tr> <td>4 or more bedroom dwelling</td> <td>34 square metres</td> </tr> </tbody> </table> <p>This standard does not apply to a small second dwelling.</p>	Number of bedrooms	Minimum roof area	1 bedroom dwelling	15 square metres	2 or 3 bedroom dwelling	26 square metres	4 or more bedroom dwelling	34 square metres		
Number of bedrooms	Minimum roof area										
1 bedroom dwelling	15 square metres										
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4 or more bedroom dwelling	34 square metres										
<p>54.05-4 Solar protection to new north facing windows objective</p> <p>To encourage external shading of north facing</p>	<p>Standard A5-4</p> <p>North facing windows are shaded by eaves, fixed horizontal shading devices or fixed awnings with a minimum horizontal depth of 0.25 times the window height.</p>	<p>Deemed to Comply</p> <p>Not applicable by the North facing windows are shaded by eaves, fixed horizontal shading devices or fixed awnings with a minimum horizontal depth of 0.60 metres being 0.25 x the window height of 2.4 metres. No change to this element on the plans. Already in place on North windows.</p>	<p>Right of Appeal</p> <p>No, standard not relevant.</p>								

windows to minimise summer heat gain			
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INSERT – Planning Officer

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Team Leader