

Plans for 2/23 Capital Drive. Legacy Boxing.

Current Frontage with 3 parking spaces to the right. (agreement with next door to use their 3 also, landlord owns next door for storage only and not operating a business)

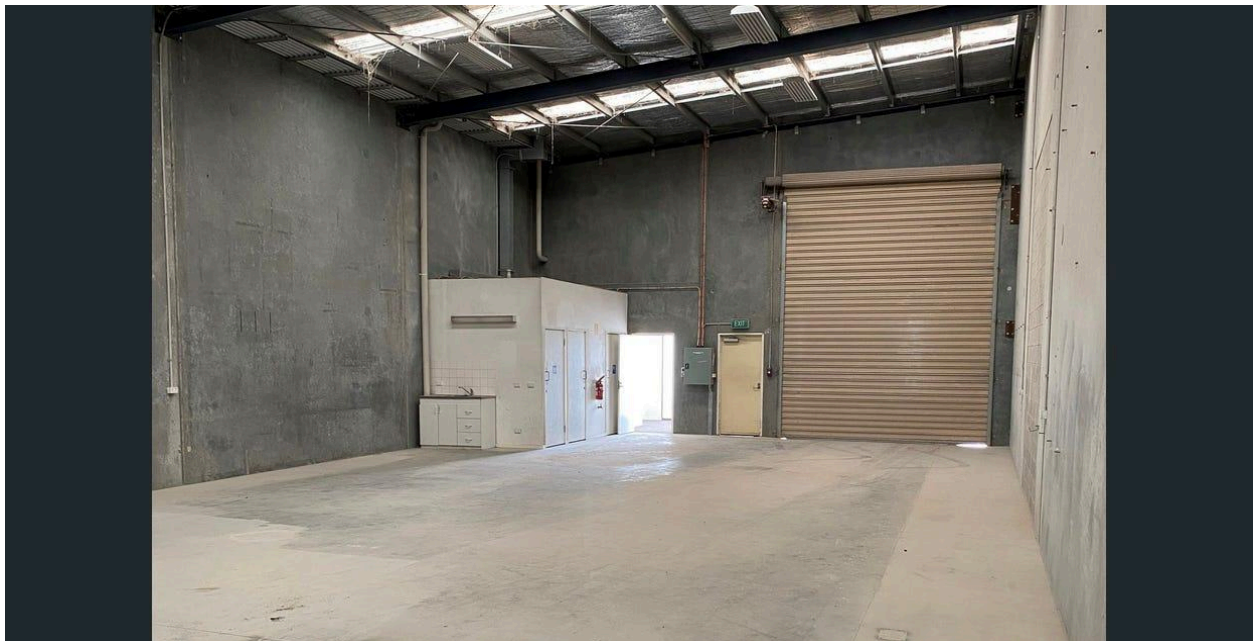


Plans for frontage.

Slight Professional paint job subject to landlord approval and signage placed above shutters.



Current Interior. Including 2 Toilets, 1 disability with basin, shower, kitchenette.



Plans :

Black Rubber mats, 5x5 (16ft) boxing ring, selection of boxing bags & Cardiovascular Equipment.



Current Reception Area.

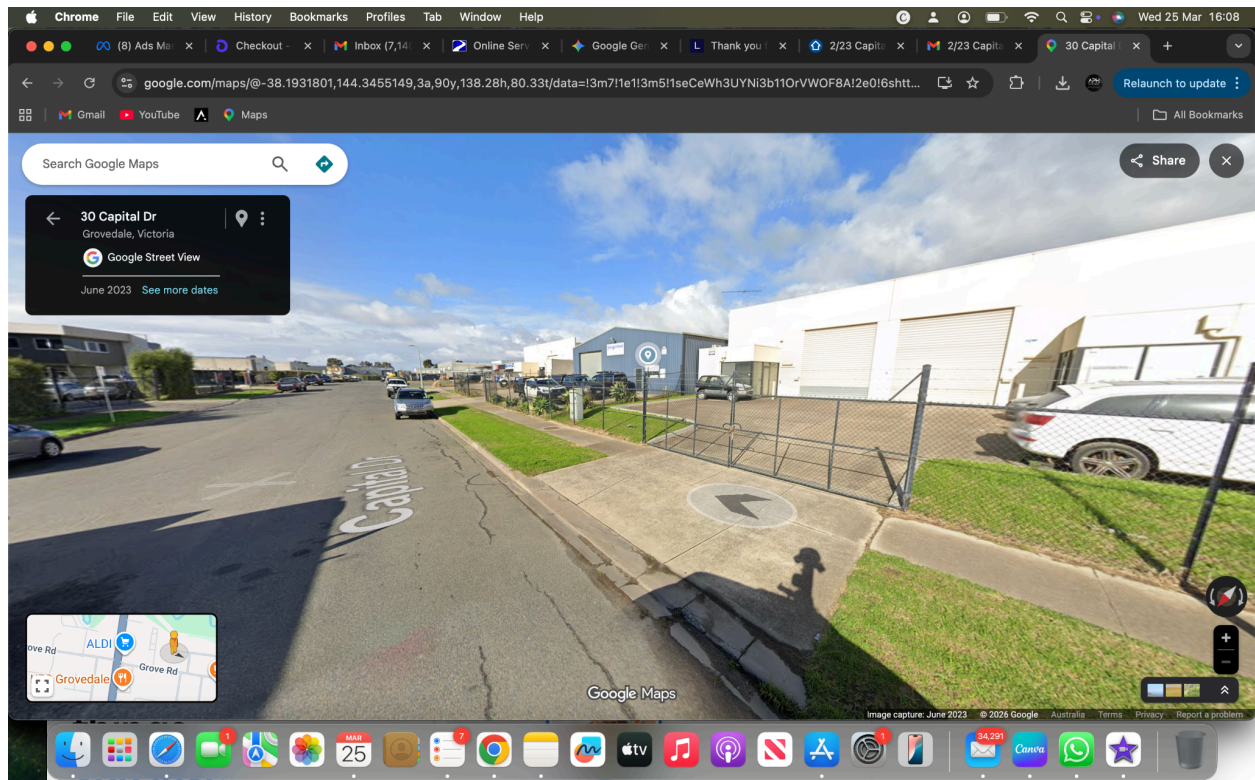


Plans for Reception area - welcoming reception area with signage, lpad sign in for waivers and purchases, supplements, drinks vendor etc and door leading to the gym.



Current Parking Situation. Total of 6 Parking Spaces. Unit 2 has 3 parking spaces, Unit 1 has 3 spaces (we can use it when the landlord is not there, which is majority of the time and rarely there in evenings).

The street is open to at least 10-15 spaces adjacent, side road, outside the property and further up the road without congesting the area as all the business operate during day time hours 8am-5pm we operate after 5pm-8pm maximum 10-15 patrons at any one time, signage will be placed to tell patrons not to block areas leading to congestion. First image is google image showing the area.



The two images below are at 7pm on a Wednesday, Zero cars on the roads at all, this will be peak time for the gym. It will cause no congestion to the areas at all, all roads around the surrounding area were clear also. Both sides of the roads. I have personally been down on 5 separate occasions and witnessed this road completely empty at the gyms proposed peak hours.

