



Partial demolition of dwelling, demolition of sheds and front fence, buildings and works associated with a single storey extension and front fence

at

55 Preston Street Geelong West



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1. Introduction

Sincock Planning has been engaged to prepare a planning report for the partial demolition of the dwelling, sheds and front fence, and buildings and works associated with a single storey extension and a front fence.

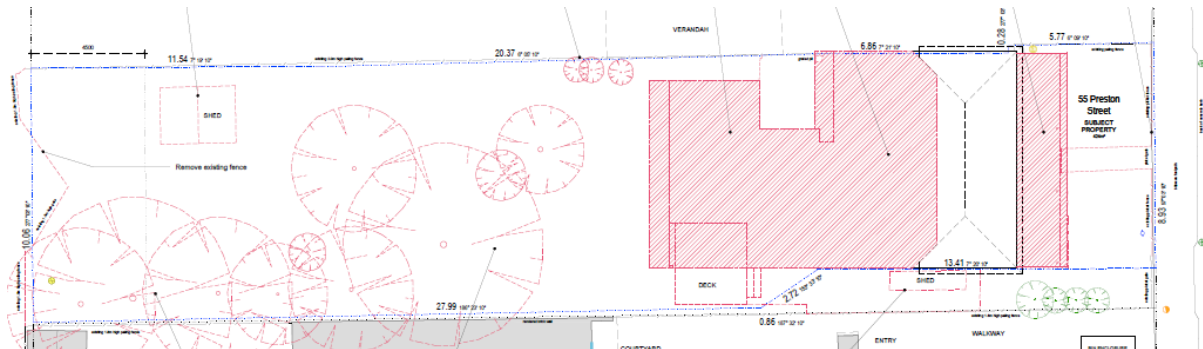
The site is within the Neighbourhood Residential Zone Schedule 3 which applies to Geelong West. HO1962 (Waterloo Heritage Area) applies to the surrounding area. The HO triggers planning approval for the proposed demolition and for buildings and work including fencing.

The site is currently developed with a single storey brick early Victorian dwelling, outbuildings and fencing.

The application is lodged with plans prepared by Charles Maccora Design.

2. Proposal

The application proposes partial demolition of the dwelling and demolition of the outbuildings as seen in the plan extract below:



At the front of the site the 1960's verandah and posts are to be removed, along with the front fence, whilst to the east side of the heritage building a small shed is to be demolished.

At the rear of the site the flat roofed extension is to be demolished.



Looking north toward the flat roofed extension

At the rear of the site a small garden shed is to be removed, whilst the rear boundary fencing will be removed to provide access to the proposed garage.

The new works comprise predominantly extensions to the rear of the dwelling, however the following new works to the front are proposed:

- New verandah roof and posts;
- Tessellated tile and edging tile to concrete base;
- New 1.5m high round top picket fence and gate;

At the rear of the site a single storey extension is proposed that will accommodate the majority of the living and bedroom spaces. Directly behind the retained structure are two bathrooms, a bedroom and retreat. These walls abut the property east and west boundaries, reflecting the siting of the heritage dwelling.

Beyond the bedroom/retreat is a link that joins the main living area/kitchen/dining and the primary outdoor spaces. Two courtyards results to the east and west of the link, one of which contains a new swimming pool.

The proposed dining/living/kitchen extensions runs in a north-south direction and is sited on an angle to the boundary give the unusual shape of the lot. The living area opens to a primary outdoor area to the west side including a roofed outdoor dining area with outdoor kitchen.

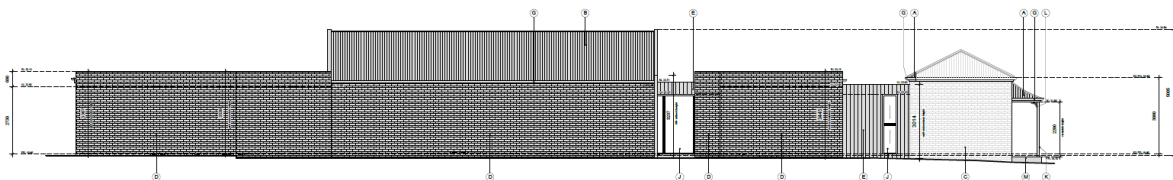
To the south of the living area and extending across the width of the site is the butlers pantry, laundry and master bedroom (with walk in robe and ensuite). At the rear of the site is a double garage and service courtyard, neither of which will be visible from the street. The garage is accessed via the rear laneway. A 2m paling fence will extend around the service yard for security.



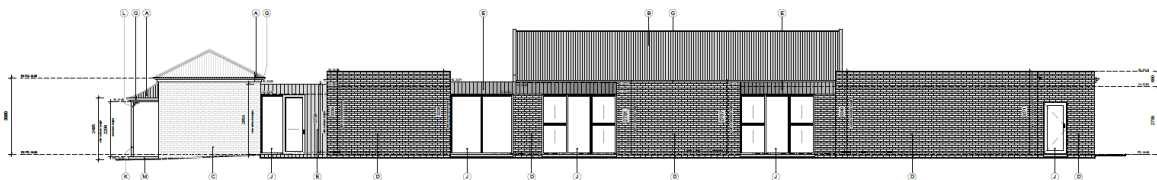
Proposed single storey extension - site plan

Beyond the works already outlined, vegetation is to be removed and a swimming pool installed, however neither of these trigger planning approval in the HO.

There are three separate roof forms proposed. A flat (shallow) roof is proposed to the bathrooms/bedroom and retreat to the immediate south of the heritage building. The main living area has a gable roof whilst the master bedroom, laundry and garage have a flat roof. These roof structures can be seen in the east and west elevations below:

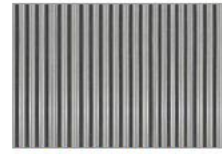


PROPOSED EAST ELEVATION
Scale 1:100



The proposed materials and finishes are noted on Sheet TP10 and includes a schedule and images of the materials and colours. It is reproduced on the following page:

MATERIALS & FINISHES SCHEDULE				
DESCRIPTION	CODE	MATERIAL	FINISH	COLOR
Roof	A	Corrugated Iron	Galvanised	Grey
Roof	B	Colorbond Corrugated Iron	Powdercoated Matt	Surfmist
Wall	C	Brickwork	Painted	Surfmist
Wall	D	Adli Face Brickwork	Smooth	Ivory
Wall	E	James Hardie Sycor Axon 133mm PC Sheeting with Batten to form cavity	Painted Matte Smooth	Surfmist
Wall	F	James Hardie Sycor Matrix PC Sheeting with Batten to form cavity	Painted Matte	Surfmist
Gutter / Downpipe	G	Colorbond Metal	Powdercoated Matt	Surfmist
Garage Door	H	Colorbond Metal Roller Door	Classic	Surfmist
Window	I	Timber Framed	Painted	Surfmist
WindowDoor	J	Aluminum Framed	Powdercoated	Surfmist
Verandah Post	K	Timber Post with Timber Skirts	Painted	Surfmist
	L	deleted		
Verandah Floor	M	Tessellated Tile and Border over Concrete Base	Unglazed	White / Black / Grey
Fence	N	Flat Timber Picket	Painted	Surfmist
Gutter / Downpipe	O	Metal	Galvanised	Grey
Fascia	O	Timber	Painted	Surfmist



A. Corrugated Iron - Galvanised



B. Corrugated Iron - Surfmist



C. Existing Face Brickwork



D. Face Brickwork

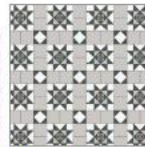


E. Sycor Axon - Surfmist



F. Sycor Matrix - Surfmist

RECTIFICATION NOTE:
Mortar repairs should match the existing original mortar in strength (composition/mix), texture and colour.



M. Verandah Tile



M. Verandah Tile (Border)

3. Site and surrounds

Site

The subject site is located at 55 Preston Street Geelong West.

The property is located on the south side of the street approximately 130m east of Pakington Street. The site comprises one lot and has an area of 423.8m² on an irregular shaped allotment with rear access to a laneway.

The property is developed with a compact early Victorian dwelling from the 1850's with a painted brick façade and inappropriate verandah to the front. The heritage citation refers to an early fence however the current fence appears to be a more recent replacement.



Dwelling as seen from the street (left) and the rear yard (right)

The dwelling appears to have been extended a couple of times with brick structure and a shallow roof that falls to the south.

The site is fenced to all boundaries and has vehicular access available from the rear laneway (although not used at this stage) and a narrow front vehicle gate in the north-east corner to land that appears to have comprised a shared driveway.



Subject site identified by red marker above



Subject site identified by red marker

Vegetation shown in the aerial image above, along the west, south and north boundary were removed approximately 12 months ago to install playground equipment and a basketball ring. The trees were removed well prior to VC289.

Surrounds

The site is located in Geelong West between Pakington and Taylor Streets. The area is desirable due to the heritage context, the location close to Pakington Street and central Geelong and ease of access to public, private and Catholic Schools.

The immediate area is generally comprised of reasonably compact allotments with modestly scaled dwellings, dominated by weatherboard construction. The area is within the Waterloo Heritage Area and as such there has been limited demolition and infill development that has occurred was largely undertaken in the 1960's-1980's.

Vehicle access exists from the rear laneways where this is available, whilst other lots have no off street parking or very narrow side drives, accommodated between dwellings.

To the east is a two dwelling development of attached two storey form. These dwellings have a large hipped roof form to the front that is designed to disguise the second storey form behind. The dwellings lie behind a tall timber fence and as such only a small section of the windows and the roof is visible.

Car parking is accessed from the rear to a large paved area and garaging behind. Secluded open space is located within the front setback.



1 & 2 /53 Preston Street

To the west is a single storey Edwardian timber dwelling. The dwelling has hipped and gable forms, a curved bay window with leadlights, decorative metalwork to the gable ends and a narrow front verandah that extends from the front door across the eastern front room. The dwelling is sited to the west side of the property and has vehicle access along the east side.

A tall picket fence extends across the front of the site, with a pedestrian gate centered within it and vehicular gate to the east.

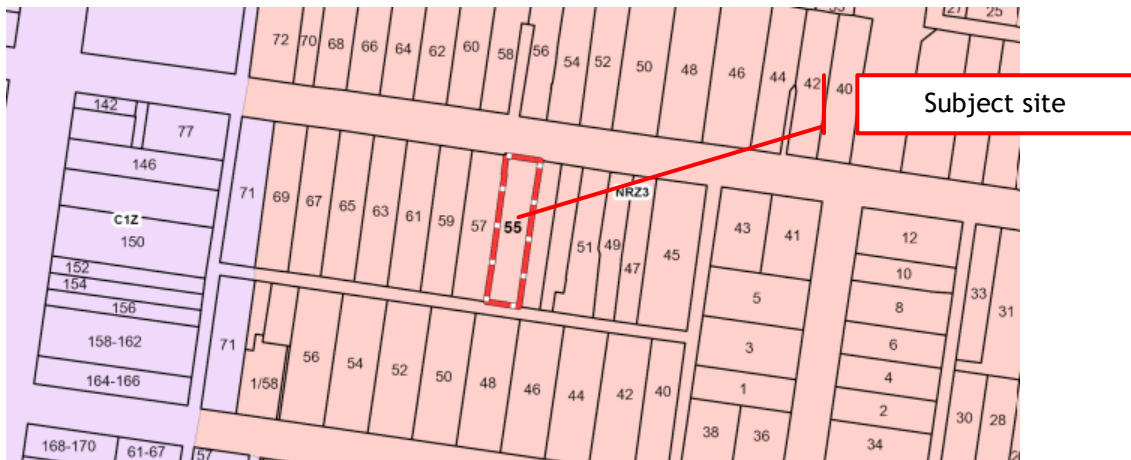


4. Planning Controls

Zoning

The subject site is zoned Neighbourhood Residential Zone, Schedule 3 and the purpose of the Neighbourhood Residential Zone as set out at Clause 32.09 is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To recognise areas of predominantly single and double storey residential development.
- To manage and ensure that development respects the identified neighbourhood character, heritage, environmental or landscape characteristics.
- To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.



Zoning map

Pursuant to the provisions of the Table of uses at Clause 32.09-2 a permit is not required to use the land for a dwelling.

Clause 32.09-4 provides that the minimum garden area must be provided for any application to construct or extend a dwelling. The table provides that 25% of the site, equating to 105.95m², must be set aside as garden area and the plans show that 26% is provided, therefore far exceeding the requirements.

Clause 32.09-10 provides a maximum building height for a dwelling and states that (inter alia):

- exceeds the maximum building height specified in a schedule to this zone; or
- contains more than the maximum number of storeys specified in a schedule to this zone.

If no maximum building height or maximum number of storeys is specified in a schedule to this zone:

- the building height must not exceed 9 metres; and
- the building must contain no more than 2 storeys at any point.

A building may exceed the maximum building height by up to 1 metre if the slope of the natural ground level, measured at any cross section of the site of the building wider than 8 metres, is greater than 2.5 degrees.

The plans clearly show that the maximum height of the dwelling is single storey and 5.085m which meets the standard.

Overlays

The subject site is affected by **Heritage Overlay Schedule 1962 (HO1962)**.

Pursuant to the provisions of the Heritage Overlay, a planning permit is required to demolish or remove a building, to construct a building or construct or carry out works, including a fence and to externally alter a building by structural work, rendering, sandblasting or in any other way. The HO identifies that solar energy system controls applying to this property.

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Solar energy system controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO1962	<p>Waterloo Heritage Area</p> <p>Generally bounded by the northern boundary of properties on the north side of Waterloo Street to the north; the eastern boundaries of Madden Avenue and the Ripley Street road reserve, to the east; the southern boundaries of properties abutting the south side of Hope Street, to the south; and to the west, by the rear boundary of properties on the east side of Pakington Street,</p>	No	No	No	Yes	No	No	No	No

HO1962 applies to properties generally between Pakington Street and Madden Ave, and from Waterloo Street to Hope Street. HO1962 is known as the Waterloo Heritage Area and there are specific incorporated documents that apply to this precinct.

Incorporated documents

The *HO1962 Waterloo Heritage Area Heritage Design Guidelines* state;

Demolition or removal

Retain significant Victorian, Late Victorian, Edwardian, Federation, interwar Bungalow styled dwellings.

Retain significant non-residential buildings in the Heritage Area, including the former shop and dwelling at 11 Preston Street, Geelong West Kindergarten at 46-54 O'Connell Street, former store at 31 Hope Street and Tucker's Funerals building at 57 Hope Street.

Retain Kenworthy Reserve as an important public recreation space in the Heritage Area.

Retain (and where applicable restore) existing 19th century bluestone kerb and channel in Weller and Picton Streets, early 20th century bluestone kerb and concrete channel in Candover and Wellington Streets, asphalt footpaths and the surviving bluestone spoon drains in some of the side and rear lanes, including Kings Lane, Veres Lane and Ripley Street.

Bulk, form and appearance

Encourage the accurate reconstruction of missing architectural details to existing buildings where historic photographic and/or physical evidence survives.

Encourage additions to existing significant dwellings to be located at the rear.

Design dwellings and rear additions to existing dwellings to incorporate the following:

- *Traditional architectural characteristics employed in a contemporary and/or innovative manner.*
- *Detached, single or double fronted, single storey compositions.*
- *Hipped and/or gabled roofs with a pitch between 25-35 degrees as the principal design elements.*

- *Narrow or wide eaves.*
- *Front, side or return verandahs.*
- *Rectangular timber framed windows (that are vertically oriented singularly, or as a horizontal bank if grouped).*
- *Traditional wall construction, including horizontal timber weatherboard cladding and smooth rendered wall finishes.*
- *Non-zincalume (non-highly reflective zincalume) corrugated sheet metal roofing.*

Encourage the retention of existing allotment configurations and contextually modest frontage widths.

Encourage front setbacks that are equivalent to the setback of neighbouring buildings, or if these are different, the setback may be between the setbacks of neighbouring buildings.

Encourage side setbacks that are equivalent to neighbouring buildings within the Heritage Area.

Encourage rear vehicular access and side driveways that follow the traditional pattern in that part of the street.

Encourage building heights to be single storey, incorporating the following new dwellings and additions to existing dwellings visible to public view:

- *The highest point of the roof should not be greater than the highest adjacent single storey building, whereby the height of the roof should not be greater than the main (overall), adjacent ridge line.*
- *The proportion of building roof should not be greater than the proportion of roof to walls of the buildings visually connected to it.*
- *The springing height of the roof should be equivalent to neighbouring buildings, or if these are different, the springing height may be between those of neighbouring buildings.*
- *The principal roof form and massing of the building should be drawn from the significant neighbouring buildings visually connected to it in a contemporary and/or innovative manner, especially where visible to public view*

Encourage new fences to be no higher than 1300mm and of a design and construction reflective of the era and construction of the dwelling.

Encourage the reconstruction of early fence designs where historic photographic evidence survives.

Locate garages or carports to the rear of buildings.

The subject site is also partially affected by the **Special Building Overlay (SBO)**, with the SBO only affecting the front fence on Preston Street.



Pursuant to the provisions of the SBO, a planning permit is required to construct a building or construct or carry out works. The purpose of the SBO is:

- *To implement the Municipal Planning Strategy and the Planning Policy Framework.*
- *To identify land in urban areas liable to inundation by overland flows from the urban drainage system as determined by, or in consultation with, the floodplain management authority.*
- *To ensure that development maintains the free passage and temporary storage of floodwaters, minimises flood damage, is compatible with the flood hazard and local drainage conditions and will not cause any significant rise in flood level or flow velocity.*
- *To protect water quality and waterways as natural resources by managing urban stormwater, protecting water supply catchment areas, and managing saline discharges to minimise the risks to the environmental quality of water and groundwater.*

Pursuant to Clause 44.05-6 an application under this overlay is exempt from the notice requirements of section 52(1)(a), (b) and (d), the decision requirements of section 64(1), (2) and (3) and the review rights of section 82(1) of the Act.

The decision guidelines at Clause 44.05-7 state:

- *The Municipal Planning Strategy and the Planning Policy Framework.*
- *Any local floodplain development plan.*
- *Any comments from the relevant floodplain management authority.*
- *The existing use and development of the land.*
- *Whether the proposed use or development could be located on flood-free land or land with a lesser flood hazard outside this overlay.*
- *The susceptibility of the development to flooding and flood damage.*
- *Flood risk factors to consider include:*
 - *The frequency, duration, extent, depth and velocity of flooding of the site and accessway.*
 - *The flood warning time available.*
 - *The danger to the occupants of the development, other floodplain residents and emergency personnel if the site or accessway is flooded.*
- *The effect of the development on redirecting or obstructing floodwater, stormwater or drainage water and the effect of the development on reducing flood storage and increasing flood levels and flow velocities.*
- *Any other matters specified in a schedule to this overlay.*

Planning Policy

Policy as set out within the Planning Scheme provides strategic direction and guidance in decision making to achieve good planning outcomes. Of relevance to this proposal are the following statewide policy provisions within the Greater Geelong Planning Scheme:

- Clause 02.03 Strategic directions
- Clause 15 Built environment and heritage

Particularly relevant objectives within these policies include:

Clause 02.03-5 Built environment and sustainability

Heritage

Greater Geelong's rich heritage makes a significant contributions to its sense of place and identity. The cultural heritage of the region brings economic and cultural benefits to the community. The diversity of heritage places allows for interpretation of the region's development. It assists in understanding the City's foundation and growth from wool sales and exports, to gold discovery, through to expansion in industry and manufacturing. It also enables appreciation of individual house design and neighbourhoods that contribute to the character, image and sense of place of each of the City's heritage areas.

Strategic direction

- Conserve and enhance individual heritage places and areas of pre- and post-contact heritage significance.

Clause 15.03-1S Heritage conservation

Objective - *To ensure the conservation of places of heritage significance.*

Strategies

- *Identify, assess and document places of natural and cultural heritage significance as a basis for their inclusion in the planning scheme.*
- *Provide for the protection of natural heritage sites and man-made resources.*
- *Provide for the conservation and enhancement of those places that are of aesthetic, archaeological, architectural, cultural, scientific or social significance.*
- *Encourage appropriate development that respects places with identified heritage values.*
- *Retain those elements that contribute to the importance of the heritage place.*
- *Encourage the conservation and restoration of contributory elements of a heritage place.*
- *Ensure an appropriate setting and context for heritage places is maintained or enhanced.*
- *Support adaptive reuse of heritage buildings where their use has become redundant.*

Clause 15.03-1L Heritage conservation

Retain and conserve significant and contributory heritage places.

Discourage demolition of buildings or other elements that are significant or contributory to a heritage place unless it:

- *Will contribute to the long-term conservation of the fabric of the part of the building being retained.*
- *Involves the removal of later unsympathetic modifications.*
- *Will enhance the heritage significance of the place.*

Support use and development of a heritage place that enhances its significance and contributes to its longevity.

Design and site development, including external alterations of buildings, to make a positive contribution to the significance of the heritage place.

Design development in heritage areas to provide a contemporary interpretation that relates to the location, bulk, form and materials of existing or neighbouring significant heritage places.

Encourage the retention or re-instatement of streetworks including street trees and bluestone kerbs, street construction form, asphalt footpaths, channels and crossovers.

Design development to be consistent with the City of Greater Geelong Heritage and Design Guidelines (Helen Lardner Conservation and Design, 1997).

Policy guidelines

Consider as relevant:

- *Supporting the demolition of sites that are not contributory or significant to a heritage place where planning permission for a replacement development has been granted and a bona-fide contract for the new work confirmed.*
- *The following measures (except in the Rocky Point, Girton Crescent, The Dell, Drysdale and McLeods Waterholes Heritage Areas) where the retention of the existing bluestone kerb and channel is not possible:*
 - *Where a street is predominantly bluestone (70 per cent), re-instatement of original street detailing should occur.*
 - *Where a street is fragmented between bluestone and concrete, this should form the basis of the kerb and channel in the street.*
 - *Where a street is predominantly concrete, this should form the basis of the kerb and channel in the street.*
 - *In laneways with bluestone detail, the bluestone detail should be retained and pavements should be reconstructed with either a chip seal and gravel or asphalt surface.*
 - *Where a concrete tray is used with bluestone kerb, the concrete should be treated with a colour mix to give a faded grey colour.*

Particular Provisions

The following particular and general provisions are relevant to the proposal:

- Clause 52.37 Canopy trees
- Clause 65 Decision Guidelines
- Clause 65.01 Approval of an Application or Plans

Clause 52.37 Canopy trees

The purpose of clause 52.37 is:

- To protect and enhance canopy tree cover to support greener and cooler residential areas.
- To maximise the retention of existing canopy tree cover where no development is proposed.
- To ensure that development is designed to maximise the retention and long-term health of existing and new canopy trees and contributes to increasing canopy tree cover.
- To balance the retention of existing canopy trees and residential development to meet the housing needs of Victoria’s growing population.
- To encourage canopy tree cover that is site and climate responsive and supports the local environment.

A permit is required to remove, destroy or lop a canopy tree in the Mixed Use Zone, Township Zone, Residential Growth Zone, General Residential Zone, Neighbourhood Residential Zone, and Housing Choice and Transport Zone.

Clause 52.37-3 states:

The number of canopy trees on the site should meet the minimum canopy tree requirements specified in Table 1.

Clause 65 Decision Guidelines

Clause 65.01 sets out matters that must be considered by the responsible authority prior to deciding on application and includes (inter alia):

- *The matters set out in section 60 of the Act.*
- *Any significant effects the environment, including the contamination of land, may have on the use or development.*
- *The Municipal Planning Strategy and the Planning Policy Framework.*
- *The purpose of the zone, overlay or other provision.*
- *Any matter required to be considered in the zone, overlay or other provision.*
- *The orderly planning of the area.*
- *The effect on the environment, human health and amenity of the area.*
- *The proximity of the land to any public land.*
- *Factors likely to cause or contribute to land degradation, salinity or reduce water quality.*
- *Whether the proposed development is designed to maintain or improve the quality of stormwater within and exiting the site.*
- *The degree of flood, erosion or fire hazard associated with the location of the land and the use, development or management of the land so as to minimise any such hazard.*

5. Assessment

Heritage

The property is of contributory significance in the overlay and planning permission is required for the demolition works including the fence and the new building works.

The design has sought to reintroduce more appropriate verandah and external finishes to the main heritage building, whilst locating the new works to the rear where they are largely not visible from the street.

This proposal is consistent with planning policy as set out in the Greater Geelong Planning Scheme as will be documented below in relation to both demolition and new buildings and works.

Demolition

There are a number of components to the demolition, all of which will be discussed separately below:

Front fence and verandah.

The front verandah is not an original element as identified in the heritage citation, with the verandah likely being a 1960's relic. As it was not original to the building, its removal should have no adverse impact on the heritage overlay providing the new works are considered suitable.

The front fence is noted in the heritage citation as being original, however it would appear that the fence has been replaced since the citation was prepared, and as such no original fence elements remain. The fence as seen from inside the site, including the vehicle access gate, can be seen below.



Rear extension

The rear extension with a skillion roof form is not original to the building and sits behind the hipped roof form such that its removal is not considered to impact the heritage overlay.

Rear sheds

The side and rear sheds are clearly an introduced element, being a more recent metal sheds that have no heritage value.

New works

The purpose of the heritage overlay is to conserve and enhance heritage places of natural or cultural significance, to conserve and enhance those elements which contribute to the significance of heritage places and to ensure that development does not adversely affect the significance of heritage places. The heritage place in this instance is the Waterloo Heritage area.

The City of Greater Geelong Heritage and Design Guidelines 1997 also provide direction and identify design principles for development.

The 1997 guidelines state:

Some heritage buildings need adaptation to suit contemporary lifestyles. These changes must be sensitively managed so that they do not detract from the existing cultural significance of the heritage place.

Often the best approach is to design an addition, which can house modern facilities but retains the integrity of the significant building fabric. To achieve this, it is necessary to retain the visual dominance of the heritage part of the property by careful design and placement of an addition.

If the design of the addition is completely different to the existing building, it will not visually relate to this site. However, an addition should not slavishly copy the existing as it is a piece of contemporary design. The addition should be good architecture in its own right.

The three primary design considerations of the 1997 guidelines are 'impact on setting' (1), 'impact on significant fabric' (2), 'scale & bulk of the addition' (3) and 'rear additions' (4). The Waterloo Heritage Design Guidelines are addressed as follows, with commentary referenced back to the 1997 guidelines:

'Impact on setting'

Retain the uniformity of scale of the area including single storey height, regular front and side setbacks, side or rear driveways, building separation and subdivision pattern by:

Encourage the retention of existing allotment configurations and contextually modest frontage widths.

Encourage front setbacks that are equivalent to the setback of neighbouring buildings, or if these are different, the setback may be between the setbacks of neighbouring buildings.

Encourage side setbacks that are equivalent to neighbouring buildings within the Heritage Area.

Encourage rear vehicular access and side driveways that follow the traditional pattern in that part of the street.

Encourage new fences to be no higher than 1300mm and of a design and construction reflective of the era and construction of the dwelling.

Encourage the reconstruction of early fence designs where historic photographic evidence survives.

Locate garages or carports to the rear of buildings.

As outlined in the 1997 guidelines, before adding to a heritage-listed building or a property within a Conservation Area, consider the possible impact of the addition on views to the heritage property, its context and setting. The HO refers to the desire to retain significant Victorian, Late Victorian,

Edwardian, Federation, interwar Bungalow styled dwellings, and the application is consistent with this by retaining the original two roomed Victorian building and demolishing later additions with skillion forms only.

The 1997 guidelines refer to the need to consider viewing lines in plan, and side setbacks that are equivalent to neighbouring buildings are encouraged by policy. The existing dwelling is constructed across the width of the site, and side boundary setbacks are variable in this location. The site has a very unusual alignment due to what appears to be remnants of an old shared driveway in plan form on the east side that widens at its southern end.

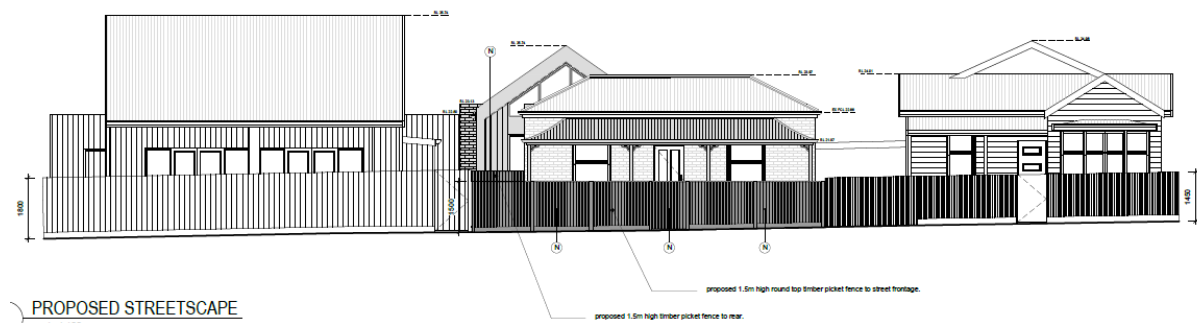
The proposed extension is sited behind the heritage building and as such the new minor bedroom, bathrooms and retreat are not visible to the rear of the heritage form. A narrow corridor links the remainder of the works that comprise the kitchen/dining/living, master bedroom and garage at the rear. These works are partially constructed on the western boundary, and with narrow setbacks to the east boundary. On the east side the living area and garage extension is visible beyond the heritage building due to the wider lot dimensions. The visibility of the extension in this location is submitted to be acceptable given its recessive location and the narrow portion of building that will be seen and therefore will be somewhat inconspicuous in the streetscape. Further to this, a side gate is proposed for security and privacy to the central east courtyard, therefore further reducing the visibility of the new works.

Policy supports the retention of the allotment configuration which is not proposed to be altered.

All vehicle access is proposed via the rear laneway, with a double garage provided for car accommodation. This garaging won't be visible from the street and therefore has no impact on the heritage values.

At the front of the site a 1.5m high round top picket fence is proposed. The style of fencing is consistent with the Heritage Design Guidelines and is appropriate given the simple Victorian form of the building.

The height of the fence exceeds the preferred 1.3m high scale, however the adjoining fences to both sides are 1.45-1.8m in height such that the 1.5m maximum height at the eastern end of the site (allowing for the fall) will sit partway between both neighbouring fence heights and as such maintain a consistency in the streetscape.



'Impact on significant fabric' and 'scale and bulk of the addition' and 'rear additions'

Encourage the accurate reconstruction of missing architectural details to existing buildings where historic photographic and/or physical evidence survives.

Encourage additions to existing significant dwellings to be located at the rear.

Design dwellings and rear additions to existing dwellings to incorporate the following:

- *Traditional architectural characteristics employed in a contemporary and/or innovative manner.*
- *Detached, single or double fronted, single storey compositions.*
- *Hipped and/or gabled roofs with a pitch between 25-35 degrees as the principal design elements.*
- *Narrow or wide eaves.*
- *Front, side or return verandahs.*
- *Rectangular timber framed windows (that are vertically oriented singularly, or as a horizontal bank if grouped).*
- *Traditional wall construction, including horizontal timber weatherboard cladding and smooth rendered wall finishes.*
- *Non-zincalume (non-highly reflective zincalume) corrugated sheet metal roofing.*

Encourage building heights to be single storey, incorporating the following new dwellings and additions to existing dwellings visible to public view:

- *The highest point of the roof should not be greater than the highest adjacent single storey building, whereby the height of the roof should not be greater than the main (overall), adjacent ridge line.*
- *The proportion of building roof should not be greater than the proportion of roof to walls of the buildings visually connected to it.*
- *The springing height of the roof should be equivalent to neighbouring buildings, or if these are different, the springing height may be between those of neighbouring buildings.*
- *The principal roof form and massing of the building should be drawn from the significant neighbouring buildings visually connected to it in a contemporary and/or innovative manner, especially where visible to public view*

Given the siting of the heritage building on this small allotment, the extension is proposed at the rear as encouraged by policy. As outlined earlier, although a small portion of the building will be visible down the east side of the heritage building, this structure is highly recessive, sited behind a boundary fence/gate and single storey in form such that it won't have any adverse impact on the Preston Street streetscape.

The addition directly behind the heritage building has a flat roof and will therefore clearly read as new works. Whilst flat roofing is not encouraged, it won't be visible from the street and has been used in order to minimise any visual impact on the low hipped form of the Victorian building.

The main extension incorporating the kitchen/dining/living area has a contemporary gable roof form. Both hipped and gabled forms are acceptable in this precinct, and it's evident that the roof form won't be highly visible from Preston Street such that there is no adverse impact on any other property or the heritage area generally resulting from the gable.

As the primary extension is physically separate from the heritage form, there is greater opportunity for a clear distinction to be made between the old and new forms via the contemporary gable, windows and materials/finishes. As such the extension includes more contemporary materials and

finishes including smooth brickwork in Ivory colour, Colorbond roofing in Surfmist (extension only), Scyon Axon cladding in Surfmist and Scyon Matrix in Surfmist. These materials will be largely obscured from any streetscape view such that whilst they are clearly contemporary, they will not adversely affect the heritage values of the precinct.

The original heritage building roofing is to remain corrugated iron. The timber framed windows to the street will be replaced (like for like) such that no permission is required for these works.

The introduced verandah with metal posts will be replaced with a more appropriate concave design that suits the Victoria era. Timber verandah posts are proposed to reintroduce lost fabric and return the building back to a more original form, whilst the verandah roof will be new corrugated iron to match the existing roof.

The verandah floor is currently concrete, with the original timber having been long removed. The verandah will be tiled with a tessellated tile and border over the concrete base. The tile is more decorative than the (likely) original floor, however adds a contemporary touch in a subtle manner that will have no adverse impact on the heritage value of the precinct given it is not highly visible within the façade. The tile is also more attractive than a concrete verandah, and is an element that can be simply removed in time without further affecting the heritage values. As such, whilst not a traditional element, we submit this is so inoffensive that it should be supported.

In conclusion, the works are consistent with the matters raised by the heritage area heritage design guidelines as follows:

- The existing original heritage building is to be retained, with the extension located to the rear and generally not visible to the street given its single storey scale;
- New works to the front of the building include replacement windows that do not trigger planning approval and replacement of the inappropriate verandah with a more appropriate concave form, all of which will enhance the building and its presence in the streetscape;
- A contemporary dwelling extension is proposed at the rear which is an accepted and valid form of differentiating heritage forms from new works, particularly where these elements are recessive;
- The existing subdivision pattern is not affected by the proposal;
- The height of the primary dwelling extension is low, and given how recessive it is from the street, will not be visible from Preston Street, whilst the extensions directly behind the heritage building have a flat roof to minimise impacts of new works in the streetscape and differentiate old and new forms;
- Garaging is all located at the rear of the site and accessed from the laneway such that it is not visible from Preston Street;
- The 1.5m high picket fence is an appropriate height given the height of neighbouring fences, and the simple fence design is suitable for the Victorian era building.

It is submitted that the built form outcomes are consistent with that sought by the heritage policy given all of the above.

Canopy trees

A permit is required to remove boundary canopy trees pursuant to Clause 52.37.

In this instance there are no boundary canopy trees within 4.5m of the rear boundary of the site. The only trees within that setback are small fruit trees (a fig and plum) both of which are less than 4m in height.



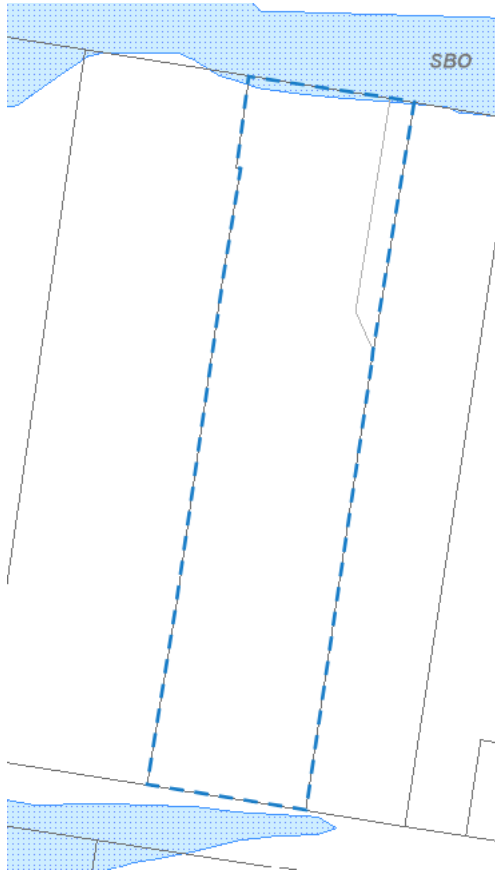
The largest tree is the third tree north of the rear boundary, this being 7.4m (to any part of the trunk) from the boundary and therefore outside the applicable setback.

There are no canopy trees within the front setback, with planting in this location comprising small shrubs and 12 month screening species along the eastern boundary that do not meet the height, spread of trunk circumference as clearly evidenced in the image below.



SBO Flooding

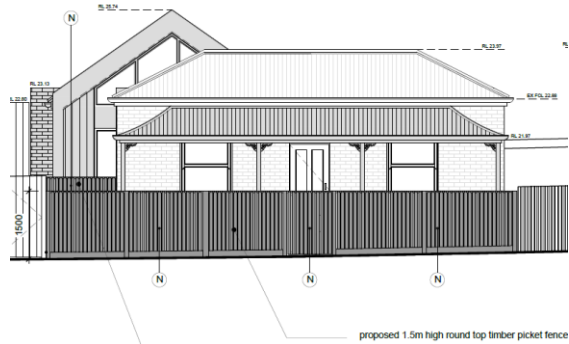
The SBO affects a small portion of the subject site along the northern boundary and partially traverses the title boundary along the front boundary as shown below.



A permit is required for a fence except to fencing with at least 25% openings and with the plinth at least 300mm above the flood level. The proposed fence is a picket design however it has a plinth to the ground, reflective of the existing fence design. As such it triggers planning approval.

As the proposed fence will replace the existing fence with similar details and construction (including plinth, picket spacing and design) and given the small projection of the SBO into the site, we suggest that very minimal impact on the flow of water will result, and no significant shift in flooding that might affect another property is likely to result, however the plans have been updated at request of the SBO team to include a note confirming a minimum 25% openings in the pickets to a height of at least 450mm above ground level.

For comparison purposes the existing fence and the proposed fence can be seen below:



6. Conclusion

The proposal achieves planning policy objectives for heritage and design in a highly desirable inner-Geelong suburb.

The demolition works that are proposed are acceptable given the demolition works are primarily located to the rear of the building and comprising newer works, with only minor changes to the front of the heritage dwelling where more recent verandah forms are being removed and replaced by a concave verandah that suits the Victoria era.

The demolition works at the rear do not comprise original structures and will not have adverse impact on the heritage values of the site and as such should be supported.

The proposed new works have been sited and designed to maintain the rhythm of the street and be recessive to the heritage form, such that the heritage building can be seen in its three dimensional form and continue to dominate the street.

The proposed fencing is an appropriate style and height for the heritage overlay, particularly given the height and style of neighbouring fences, and will have limited impact on flooding given it replaces generally the same style and will have a minimum of 25% openings.

Ultimately the proposal will provide a high level of amenity for the residents without affecting the streetscape nor reducing the heritage values of the dwelling or the heritage precinct more generally.

The proposed works comply with the heritage requirements of the planning scheme, and as such we look forward to the grant of a planning permit in due course.

SINCOCK PLANNING