



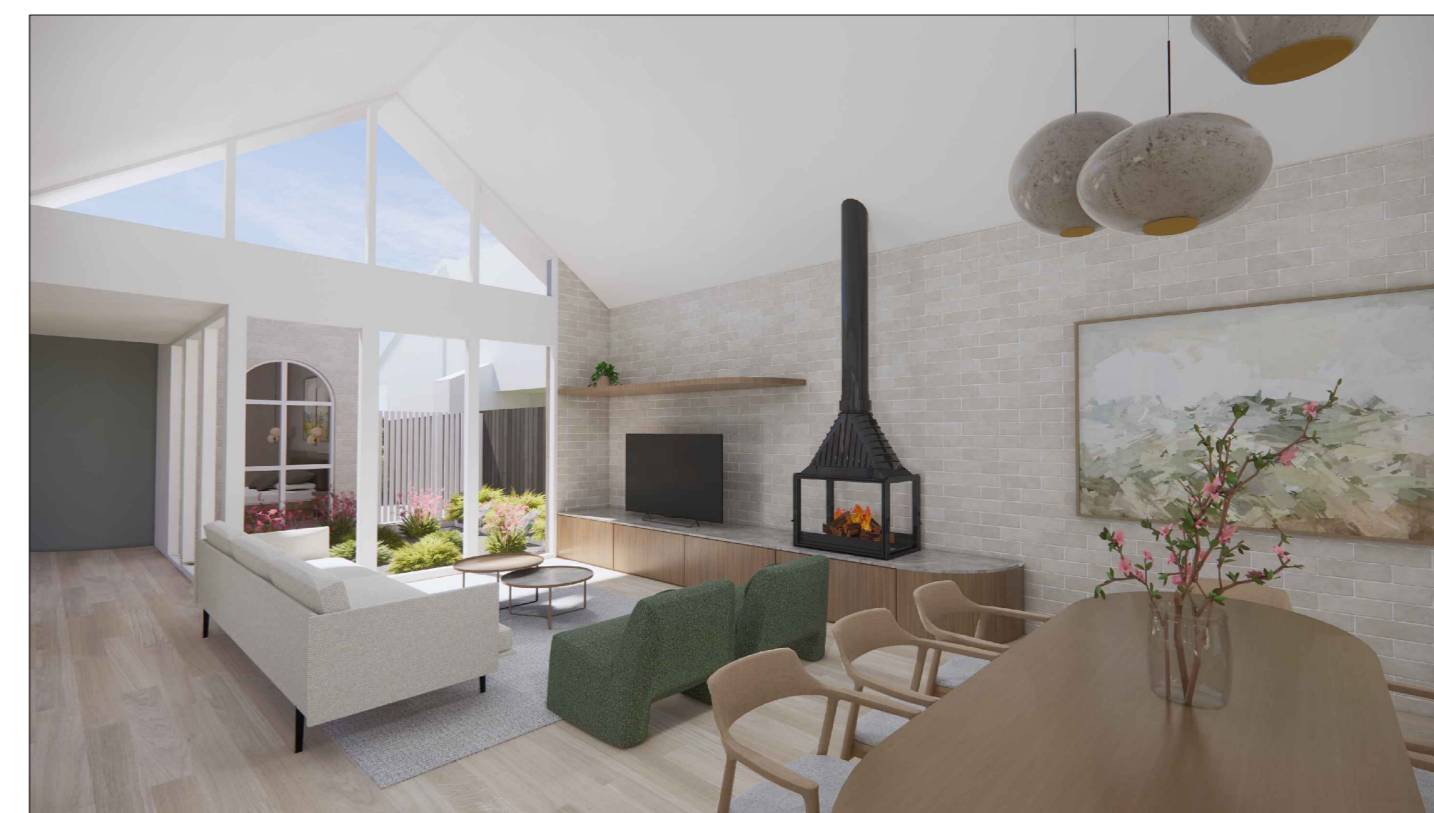
TOWN PLANNING DRAWINGS

PROJECT

PROJECT Proposed Extension.
 ADDRESS 55 Preston Street, Geelong West.
 CLIENT
 BUILDING DESIGNER Charles Maccora Design Pty Ltd.
 DRAWING ISSUE: TOWN PLANNING - RFI.
 DATE: 28th April 2026.

DRAWING LIST

TP01 Existing Site Plan
 TP02 Existing Floor Plan
 TP03 Existing / Demolition Elevations
 TP04 Demolition Roof Plan
 TP05 Demolition Floor Plan
 TP06 Proposed Site / Roof Plan
 TP07 Proposed Floor Plan
 TP08 Proposed Elevations 01
 TP09 Proposed Elevations 02 / Streetscape
 TP10 3D Images





50 Candover Street
NEIGHBOURING
PROPERTY

SHED
sheet steel

SHED
brick clad

SHED
sheet steel

SHED
sheet steel

48 Candover Street
NEIGHBOURING
PROPERTY

SHED
sheet steel

46 Candover Street
NEIGHBOURING
PROPERTY

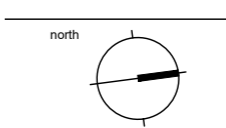
LANEWAY

PRESTON STREET

LEGEND

	Existing Dwelling		Site Area (contained within re-established title boundaries)
	Adjoining Dwelling / Out-buildings		Excess Land (potential adverse possession rights)

EXISTING SITE PLAN
scale 1:100



reference number
212-2025

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sheet

page title

EXISTING SITE PLAN

reason for issue
TOWN PLANNING DRAWINGS

TP01
of TP11





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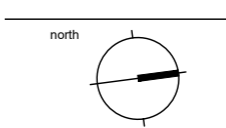
LANEWAY

PRESTON STREET

EXISTING GROUND FLOOR PLAN
scale 1:100

LEGEND

	Existing Dwelling		Site Area (contained within re-established title boundaries)
	Adjoining Dwelling / Out-buildings		Excess Land (potential adverse possession rights)



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212-2025

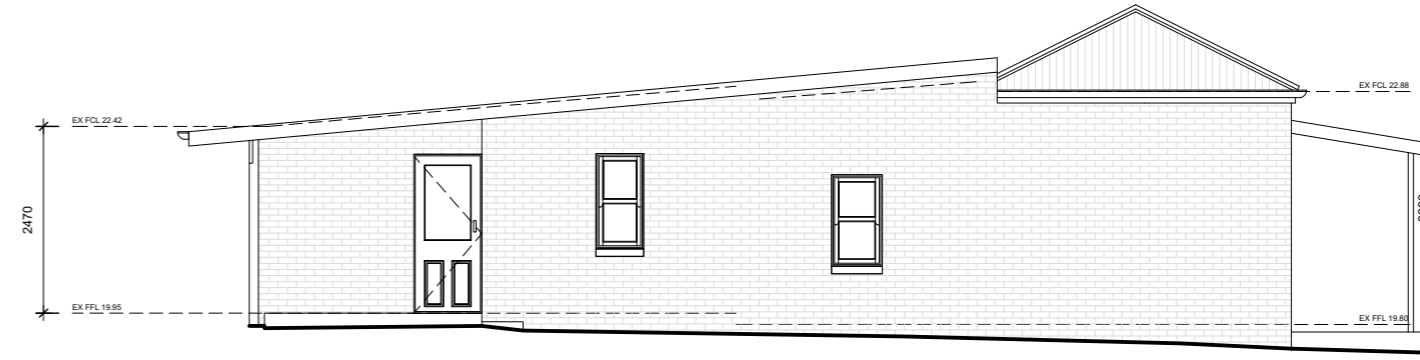
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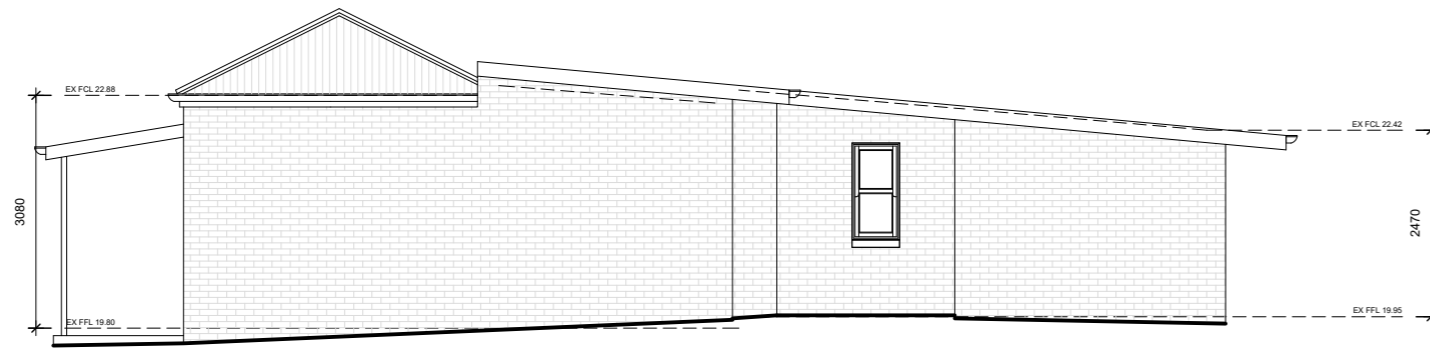




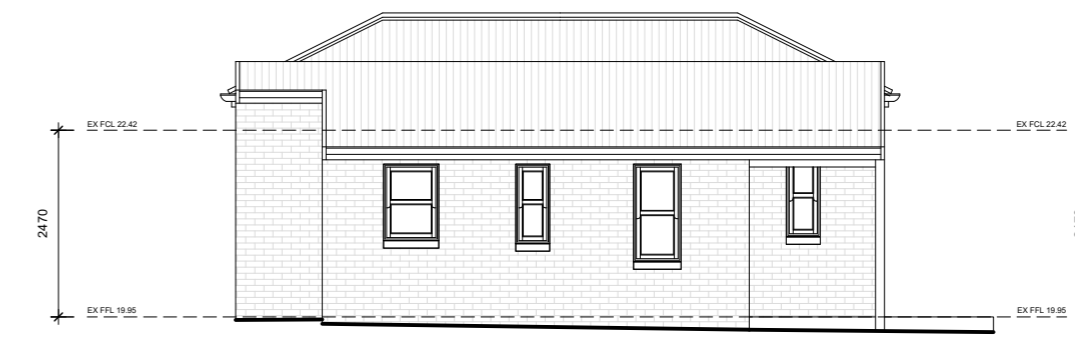
EXISTING NORTH ELEVATION
scale 1:100



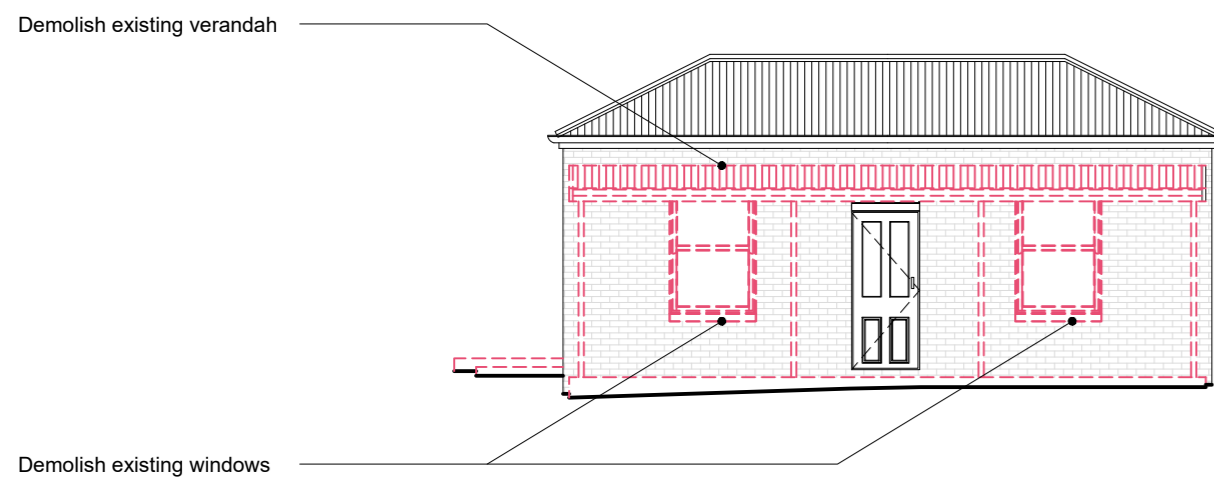
EXISTING EAST ELEVATION
scale 1:100



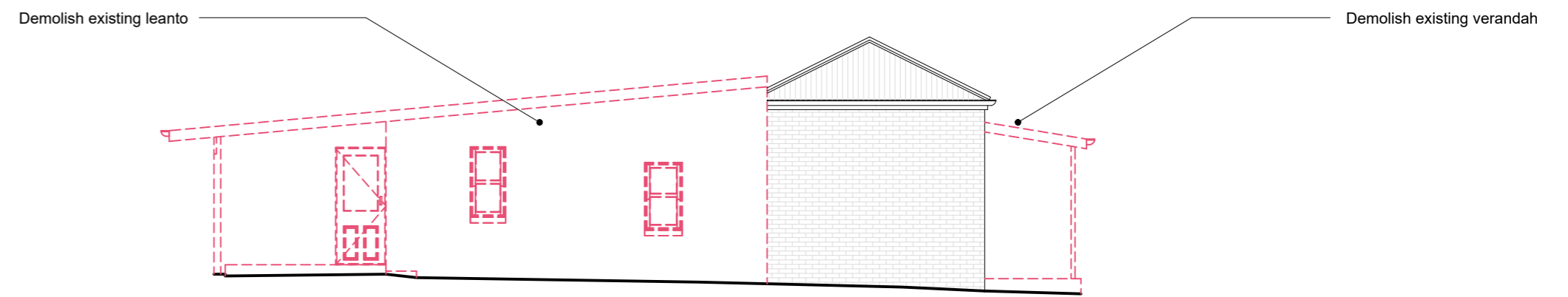
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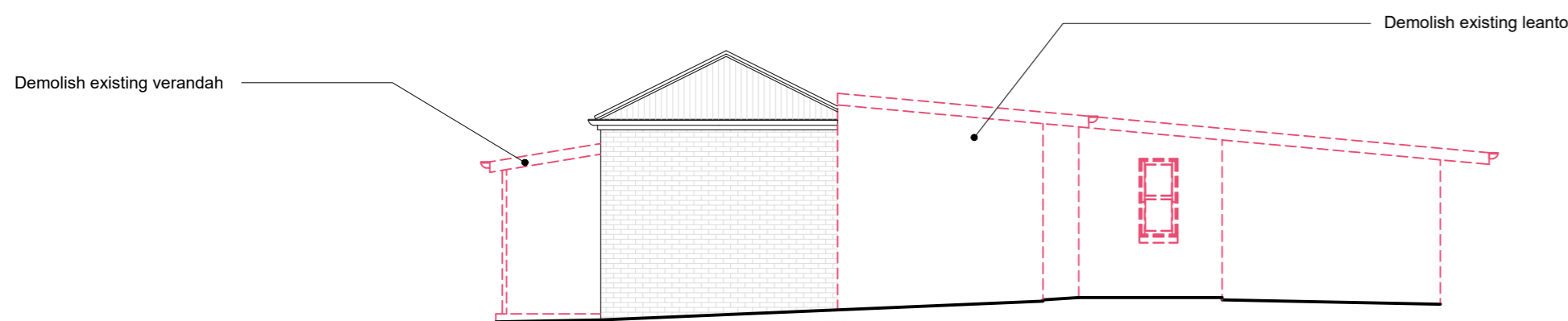
EXISTING SOUTH ELEVATION
scale 1:100



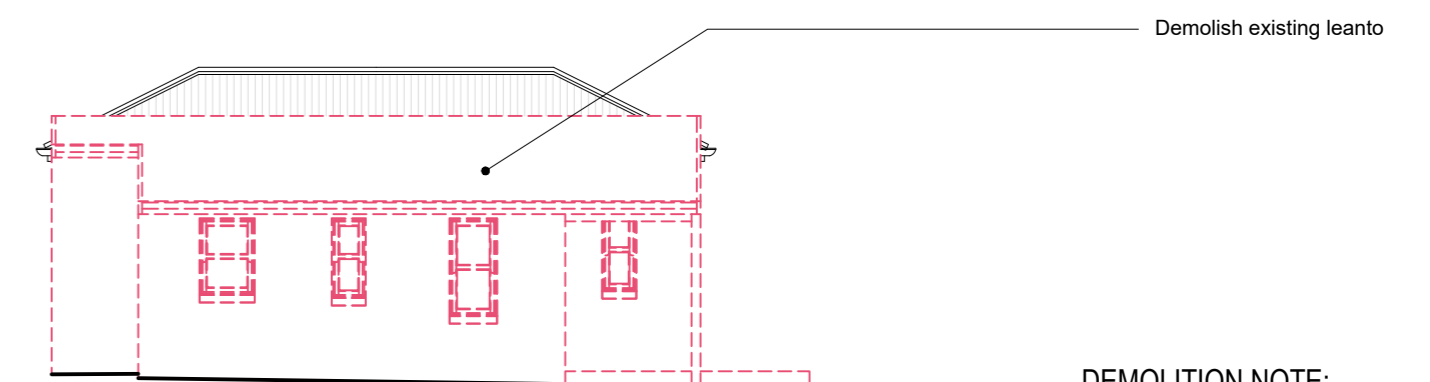
DEMOLITION NORTH ELEVATION
scale 1:100



DEMOLITION EAST ELEVATION
scale 1:100



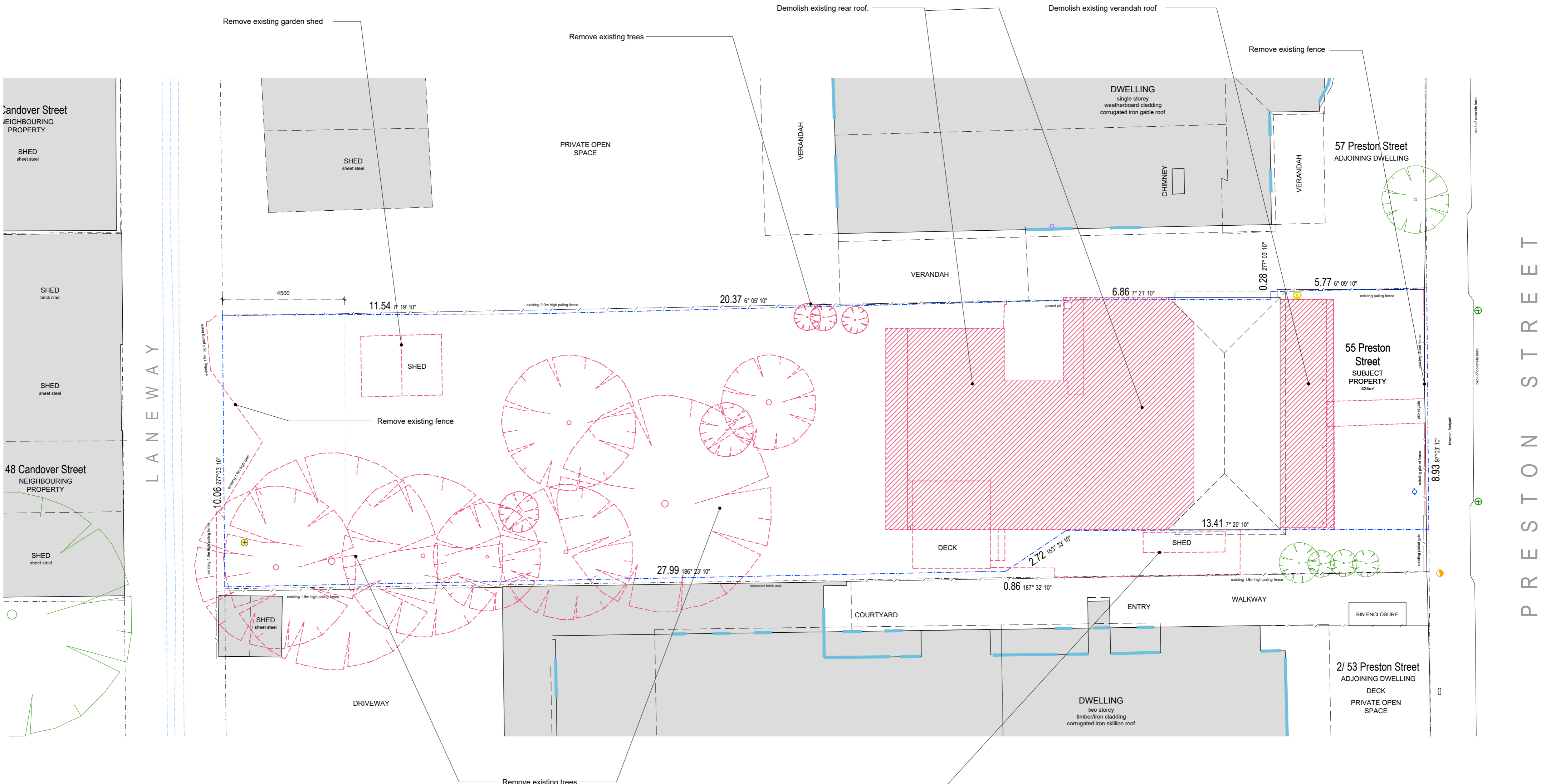
DEMOLITION WEST ELEVATION
scale 1:100



DEMOLITION SOUTH ELEVATION
scale 1:100

DEMOLITION NOTE:
Retained fabric to be safeguarded
during demolition and construction
(structurally propped and not
damaged).

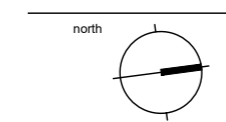
DEMOLITION NOTE:
Retained fabric to be safeguarded during demolition and construction (structurally propped and not damaged).



DEMOLITION ROOF PLAN
scale 1:100

LEGEND

	Denotes existing wall to remain		Denotes tree/shrub to be removed
	Denotes existing wall to demolished/removed		Denotes fence/driveway/pathway to be demolished
	Denotes roof area to be demolished		
	Denotes floor area to remain		

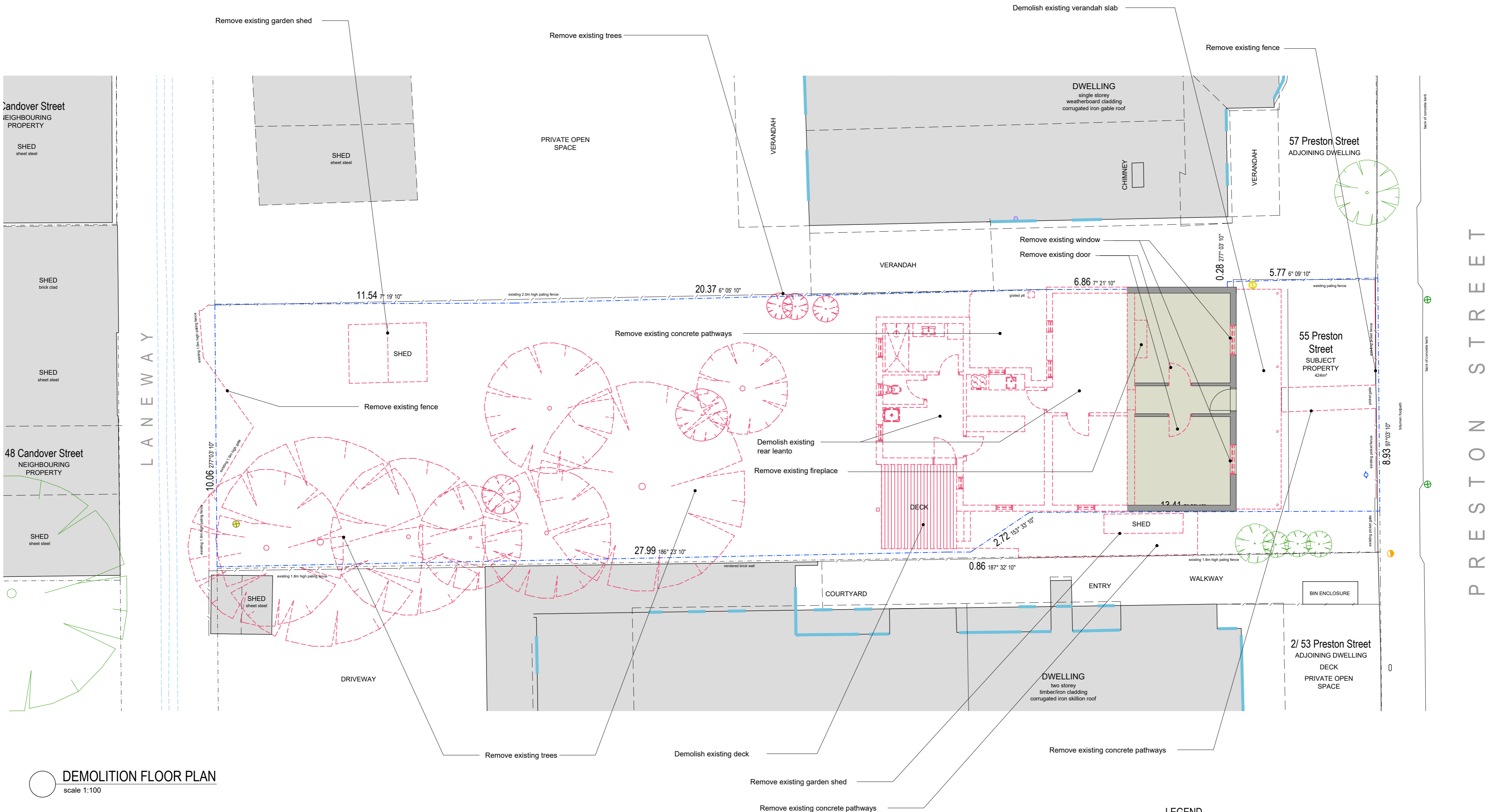


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reason for issue
TOWN PLANNING DRAWINGS

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sheet

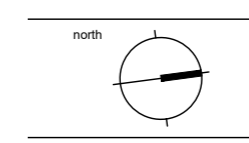
DEMOLITION NOTE:
Retained fabric to be safeguarded during demolition and construction (structurally propped and not damaged).



DEMOLITION FLOOR PLAN
scale 1:100

LEGEND

	Denotes existing wall to remain		Denotes tree/shrub to be removed
	Denotes existing wall to demolished/removed		Denotes fence/driveway/pathway to be demolished
	Denotes roof area to be demolished		
	Denotes floor area to remain		



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TOWN PLANNING DRAWINGS

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46 Candover Street
NEIGHBOURING
PROPERTY

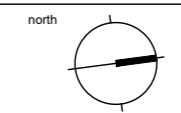
LANEWAY

PRESTON STREET

PROPOSED SITE / ROOF PLAN
scale 1:100

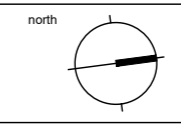
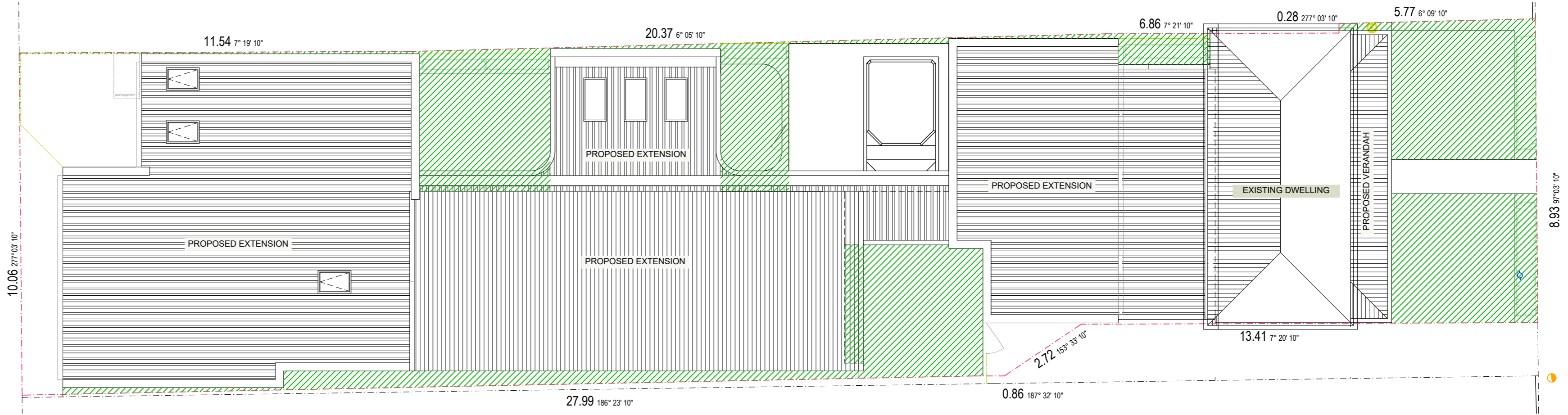
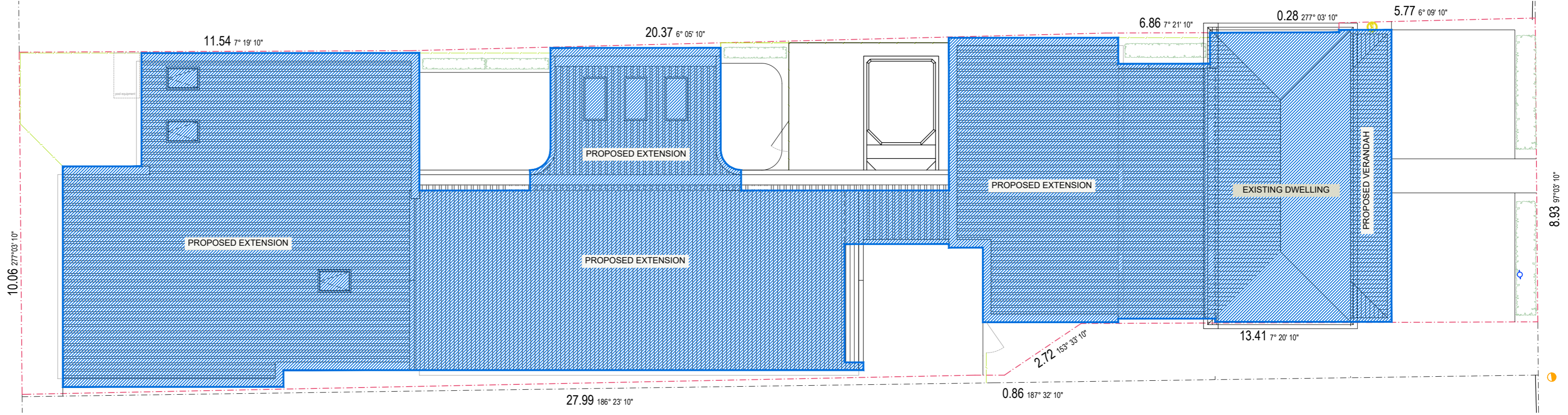
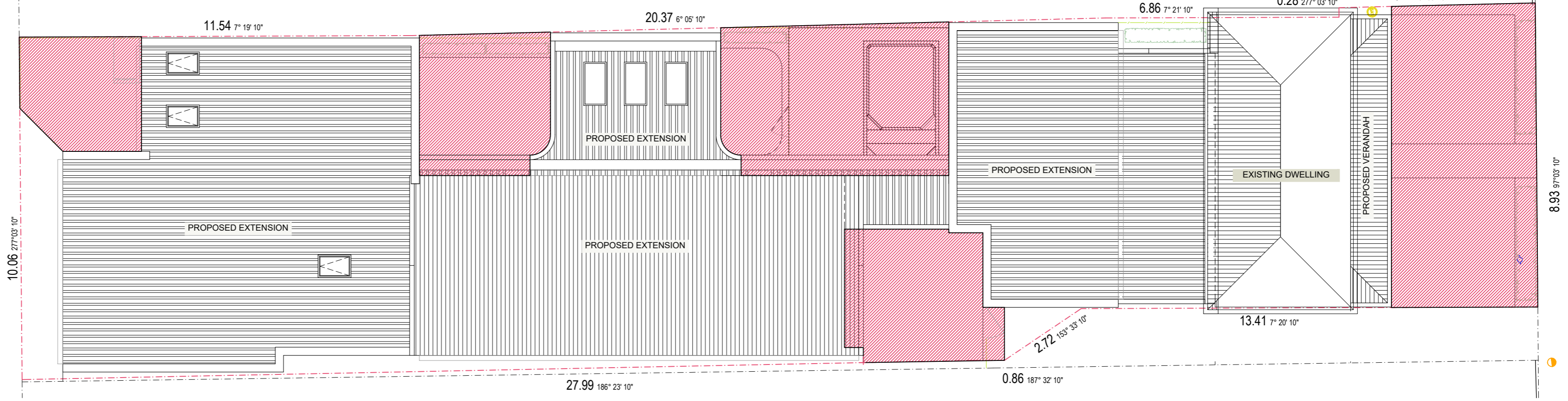
AREAS		
Existing Dwelling	33.4m ²	3.5sq
Proposed Extension	246.4m ²	26.5sq
Proposed Verandah	10.2m ²	1.0sq
TOTAL	260.0m²	27.9sq
Site	423.8m ²	

LEGEND	
	Existing Dwelling
	Adjoining Dwelling / Out-buildings
	Site Area (contained within re-established title boundaries)
	Excess Land (potential adverse possession rights)



LEGEND: Areas

- Proposed Garden Area - 110.3m² (26%)
Required - 105.9m² (25%)
- Proposed Site Coverage - 290.7m² (68%)
Required - 254.2m² (60%)
- Proposed Permeability - 85.9m² (20%)
Required - 85.9m² (20%)
- Site Area - 423.9m²





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SHED
sheet steel

48 Candover Street
NEIGHBOURING
PROPERTY

SHED
sheet steel

46 Candover Street
NEIGHBOURING
PROPERTY

57 Preston Street
ADJOINING DWELLING

2/ 53 Preston Street
ADJOINING DWELLING
DECK
PRIVATE OPEN
SPACE

1/ 53 Preston Street
NEIGHBOURING
DWELLING
DECK
PRIVATE OPEN
SPACE

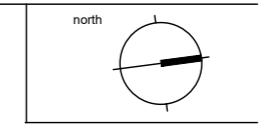
AREAS

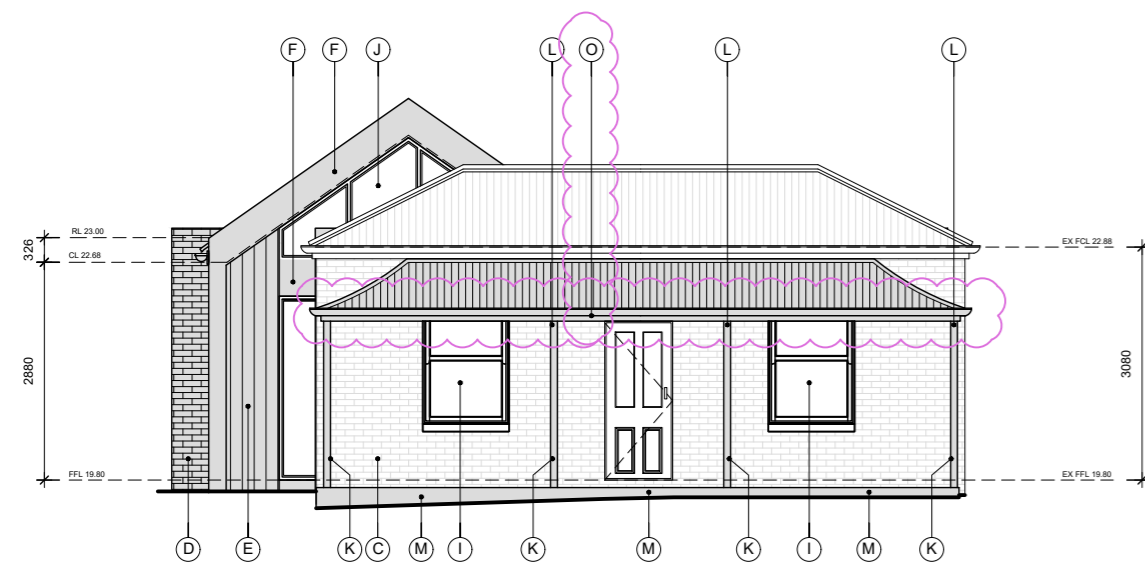
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TOTAL	260.0m²	27.9sq
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LEGEND

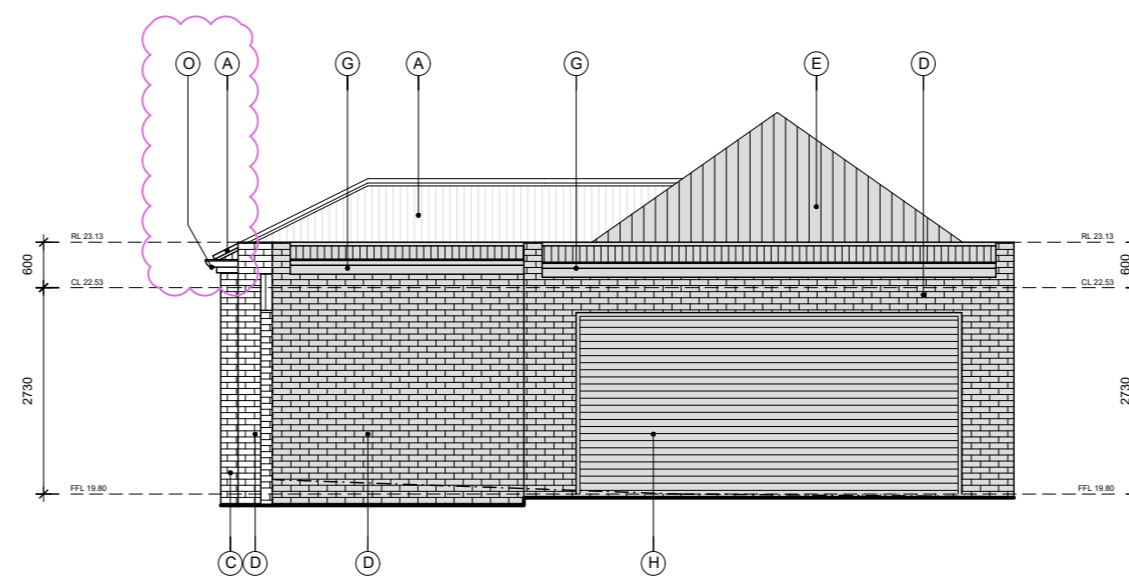
	Existing Dwelling		Site Area (contained within re-established title boundaries)
	Adjoining Dwelling / Out-buildings		Excess Land (potential adverse possession rights)

PROPOSED GROUND FLOOR PLAN
scale 1:100



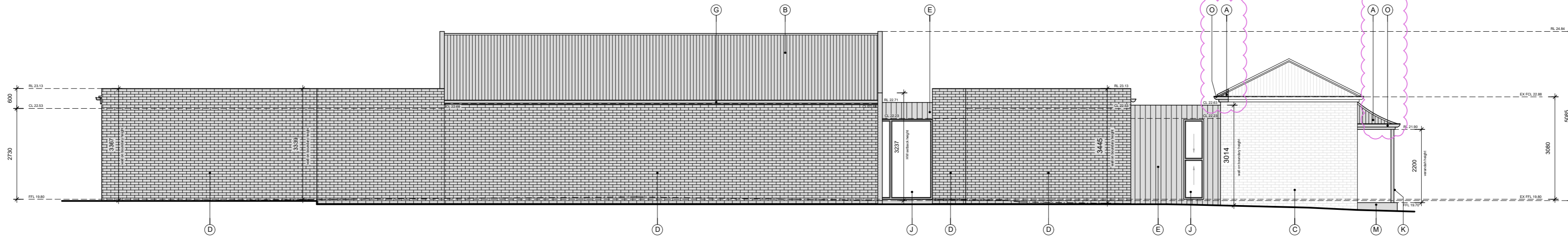


PROPOSED NORTH ELEVATION
scale 1:100

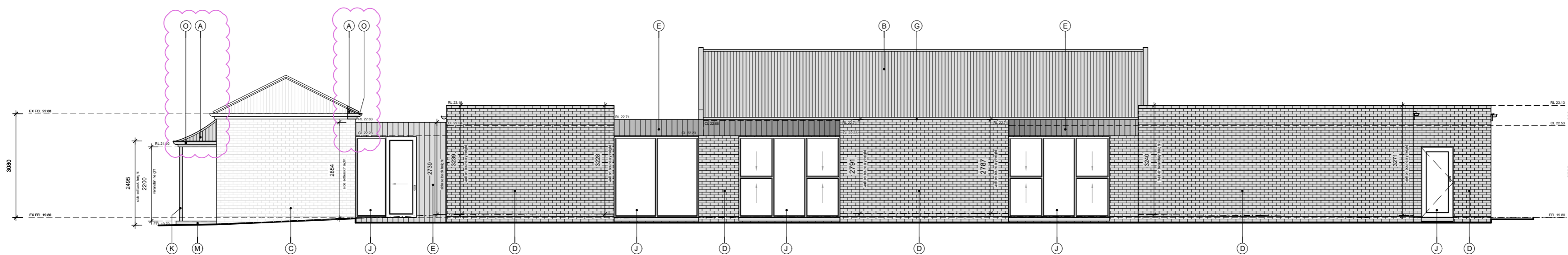


PROPOSED SOUTH ELEVATION
scale 1:100

MATERIALS & FINISHES SCHEDULE				
DESCRIPTION	CODE	MATERIAL	FINISH	COLOR
Roof	A	Corrugated Iron	Galvanised	Grey
Roof	B	Colorbond Corrugated Iron	Powdercoated Matt	Surfmist
Wall	C	Brickwork	Painted	Surfmist
Wall	D	Abbi Face Brickwork	Smooth	Ivory
Wall	E	James Hardie Sycon Axon 133mm FC Sheeting with Batten to form cavity	Painted Matte Smooth	Surfmist
Wall	F	James Hardie Sycon Matrix FC Sheeting with Batten to form cavity	Painted Matte	Surfmist
Gutter / Downpipe	G	Colorbond Metal	Powdercoated Matt	Surfmist
Garage Door	H	Colorbond Metal Roller Door	Classic	Surfmist
Window	I	Timber Framed	Painted	Surfmist
Window/Door	J	Aluminum Framed	Powdercoated	Surfmist
Verandah Post	K	Timber Post with Timber Skirts	Painted	Surfmist
Verandah Post	L	deleted		
Verandah Floor	M	Tessellated Tile and Border over Concrete Base	Unglazed	White / Black / Grey
Fence	N	Flat Timber Picket	Painted	Surfmist
Gutter / Downpipe	O	Metal	Galvanised	Grey
Fascia	O	Timber	Painted	Surfmist

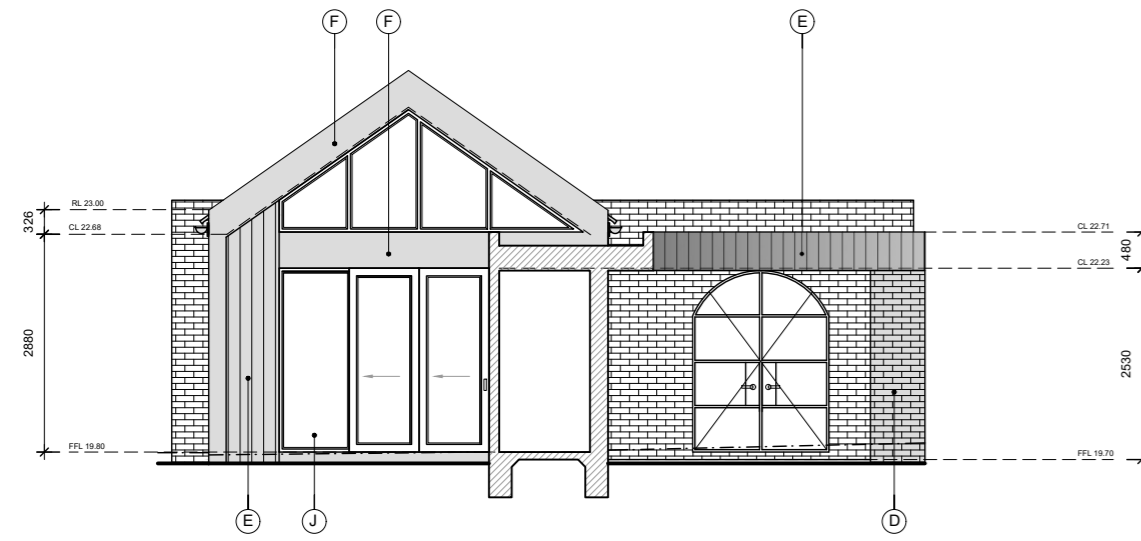


PROPOSED EAST ELEVATION
scale 1:100

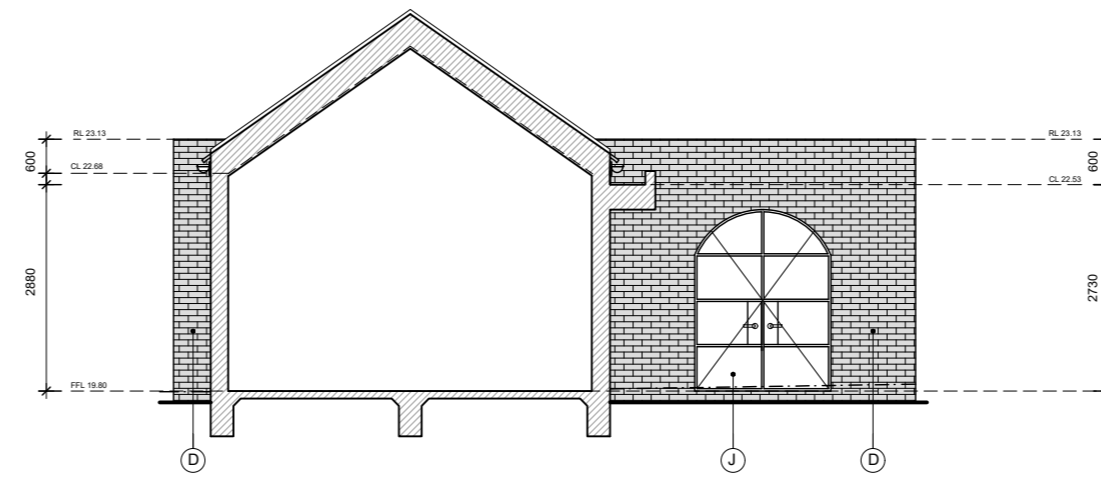


EXISTING WEST ELEVATION
scale 1:100

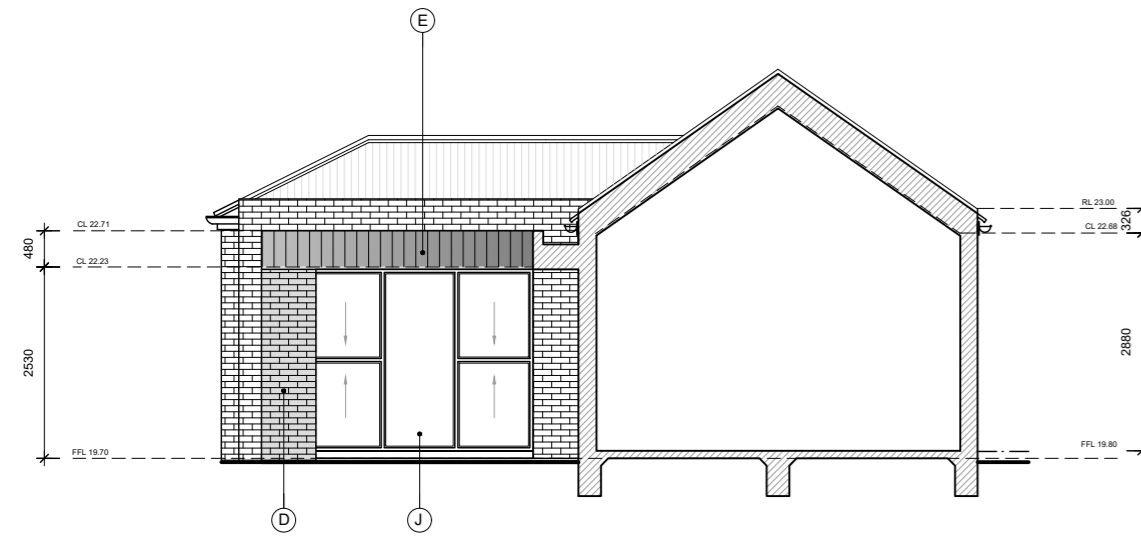
RECTIFICATION NOTE:
Mortar repairs should match the existing original mortar in strength (composition/mix), texture and colour.



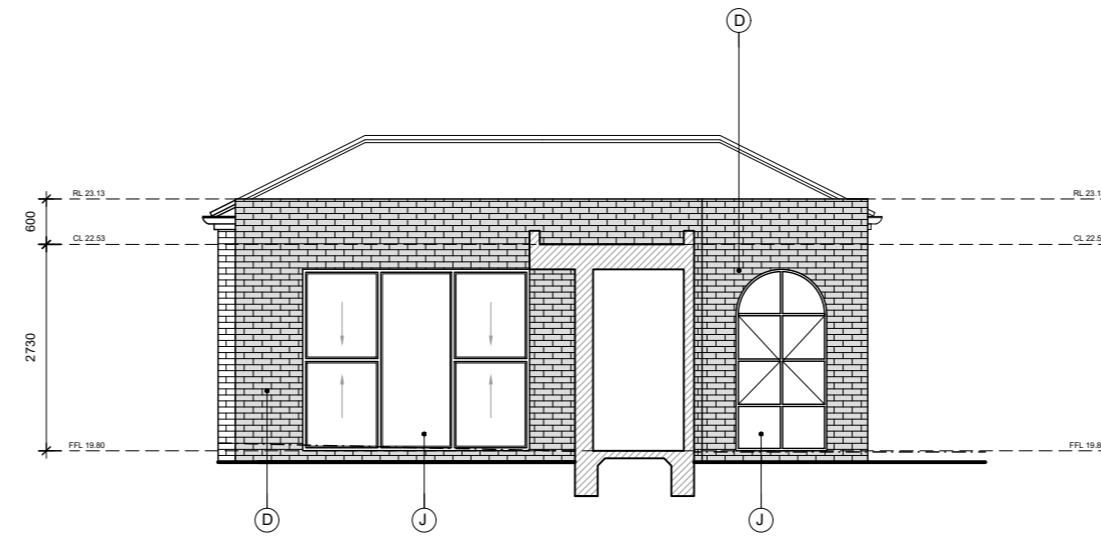
PROPOSED INTERNAL NORTH ELEVATION A
scale 1:100



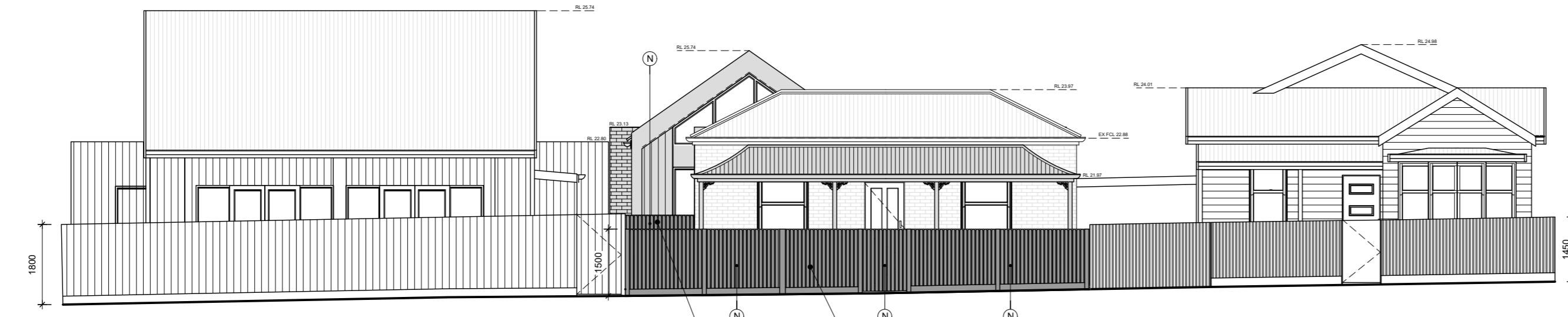
PROPOSED INTERNAL NORTH ELEVATION B
scale 1:100



PROPOSED INTERNAL SOUTH ELEVATION C
scale 1:100



PROPOSED INTERNAL SOUTH ELEVATION D
scale 1:100

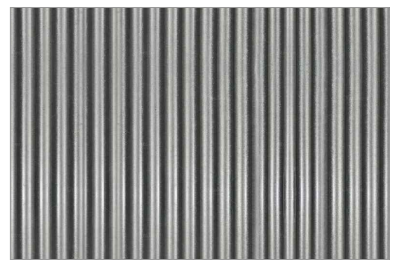


PROPOSED STREETScape
scale 1:100

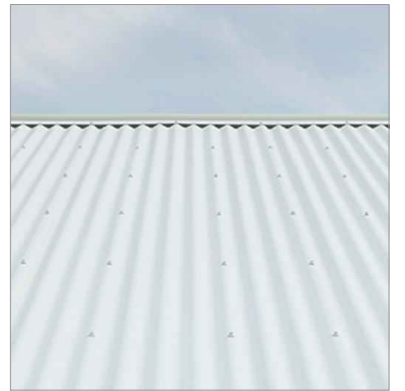
proposed 1.5m high round top timber picket fence to street frontage.
proposed 1.5m high timber picket fence to rear.

FENCE NOTE:
Proposed front picket fence to have at least 25% openings within the lower 450 mm of the fence height.

MATERIALS & FINISHES SCHEDULE				
DESCRIPTION	CODE	MATERIAL	FINISH	COLOR
Roof	A	Corrugated Iron	Galvanised	Grey
Roof	B	Colorbond Corrugated Iron	Powdercoated Matt	Surfmist
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Wall	D	Abbi Face Brickwork	Smooth	Ivory
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Fence	N	Flat Timber Picket	Painted	Surfmist
Gutter / Downpipe	O	Metal	Galvanised	Grey
Fascia	O	Timber	Painted	Surfmist



A. Corrugated Iron - Galvanised



B. Corrugated Iron - Surfmist



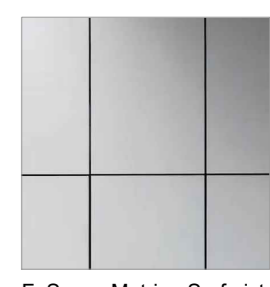
C. Existing Face Brickwork



D. Face Brickwork

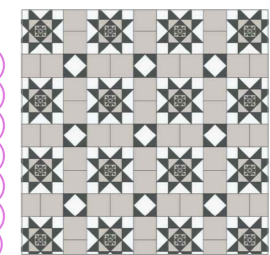


E. Scyon Axon - Surfmist

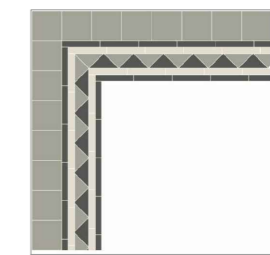


F. Scyon Matrix - Surfmist

RECTIFICATION NOTE:
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M. Verandah Tile



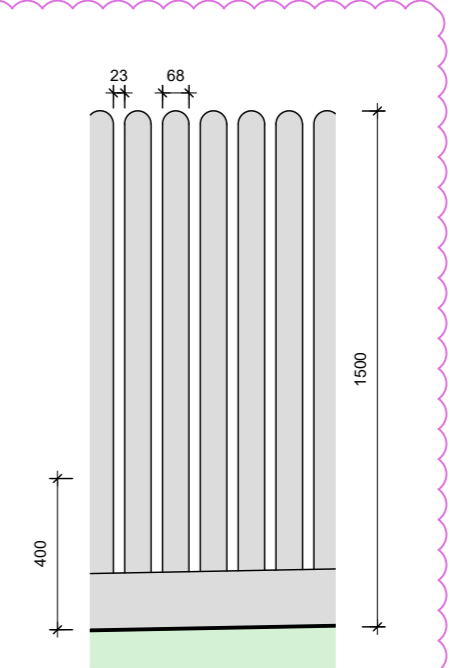
M. Verandah Tile (Border)



2/53 Preston Street - Adjoining Dwelling



57 Preston Street - Adjoining Dwelling



55 Preston Street - Subject Dwelling

