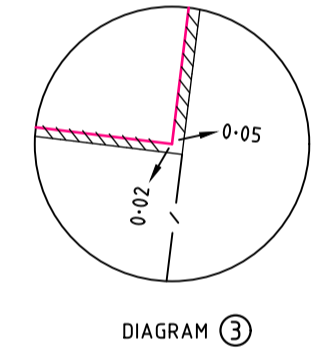
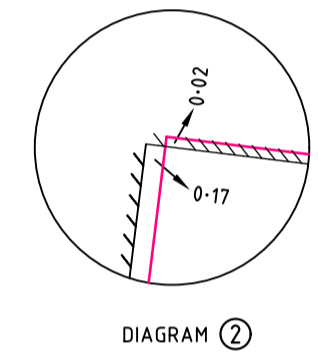
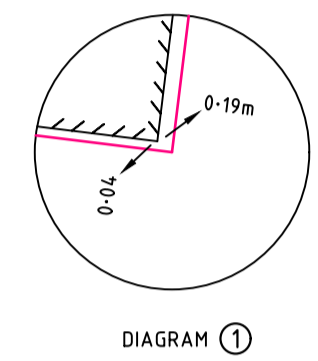




LEGEND

GM	Gas Meter	—	Ridge Level
W	Water Meter	—	Eave level
HD	House Drain	—	Underside of Gutter
GP+	Grated Pit	—	Parapet Level
⊙	Bollard	—	Tile boundary
⊙	Telestra Pit	—	Fence
⊙	Electricity Pit	—	Top of bank
⊙	Electricity Pole with light	—	Toe of bank
UE+	Unclassified Electricity	—	Retaining wall
⊙	Gate	—	Timber screen
⊙	Photo Location	—	Overhead Electricity
⊙	Temporary Benchmark	—	Overhead Communications
⊙	Tree	—	
⊙	Shrub	—	



TITLE PARTICULARS
 TITLE REF: Vol.11316 FcL746
 LAST PLAN REF: PS 646241Y (LOT 1)
 PARISH OF CONEWARRE
 PART OF CROWN ALLOTMENTS 6 & 7

CERTIFICATION BY SURVEYOR

THIS SURVEY RE-ESTABLISHES THE SUBJECT CERTIFICATE OF TITLE IN ACCORDANCE WITH TITLE DIMENSIONS AND DOES NOT ATTEMPT TO DETERMINE POSSESSORY RIGHTS OVER THE LAND BETWEEN THE TITLE BOUNDARIES AND FENCING. ANY QUERIES IN THIS REGARD SHOULD BE DIRECTED TO THE LICENSED SURVEYOR.

I, LACHLAN FINLAY MACRAE certify that this plan is in all respects accurate and correctly represents the occupation existing on 20/04/2023

Lachlan Macrae
 Date: 27/04/2023 Licensed Surveyor
 Surveying Act 2004

WARNING :
 REFER TO CERTIFICATE OF TITLE AND INSTRUMENT AJ182319V FOR SECTION 173 AGREEMENT REGISTERED ON TITLE. THIS AGREEMENT HAS NOT BEEN INVESTIGATED AS PART OF THIS SURVEY.

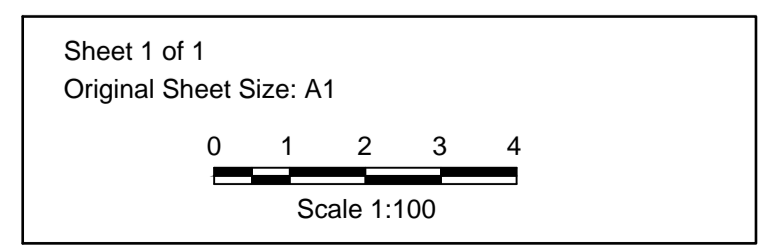
NOTATIONS:
BUILDINGS ON ADJOINING PROPERTIES:
 HATCHED AND CONTINUOUS BUILDING LINES ARE THE RESULT OF SURVEY. OBSERVATIONS HAVE BEEN TAKEN REMOTE FROM THOSE PROPERTIES AND ARE CONSIDERED ACCURATE TO +/- 0.1m.
 DASHED BUILDING LINES HAVE BEEN PLOTTED FROM AERIAL PHOTOGRAPHY OR ESTIMATION AND ARE APPROXIMATE ONLY.
 IN GENERAL, ONLY WINDOWS DIRECTLY FACING THE SUBJECT SITE AND WITHIN 9m OF THE SUBJECT SITE HAVE BEEN SHOWN.
 ACCESS TO THE RELEVANT PROPERTIES WILL NEED TO BE ARRANGED TO PROVIDE ACCURATE DETAIL.
 TREES HAVE BEEN SHOWN TRUE TO SCALE.
 ONLY SIGNIFICANT TREES HAVE BEEN SHOWN.
 LEVELS ARE TO AHD VIDE CONEWARRE PM144, R.L.4.293, SMES DATE, 19/04/2023.
 THE CONTOUR INTERVAL IS 0.2m.
 ONLY VISIBLE SERVICES HAVE BEEN LOCATED.



CLIENT: MELISSA O'SHEA
 PROJECT: 1/42 GOLF LINKS ROAD, BARWON HEADS
 RE-ESTABLISHMENT & FEATURE SURVEY

Job No: 23034
 Version A
 Date of Survey: 20/04/2023
 Date Drawn: 26/04/2023
 CAD Reference: 23034/CAD/23034 RFL.dwg

Surveyor: LM/RdV/MW
 Drawn: MW



AMENDMENTS			
VER	BY	DESCRIPTION	DATE
A	LM	ORIGINAL PLAN	27/04/23

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