

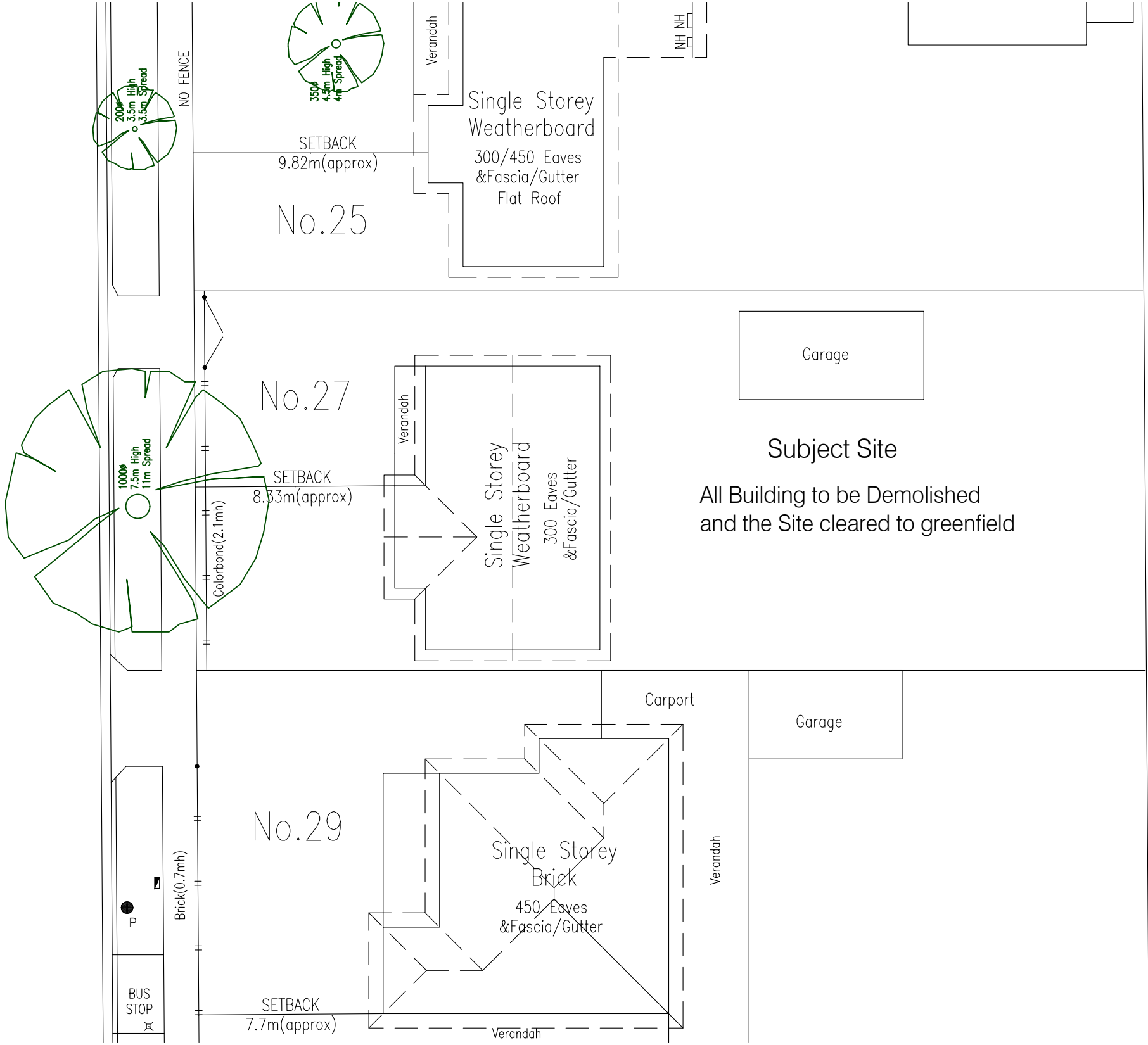
NOTES.

Contractors shall verify all dimensions including Site and Floor Levels prior to commencing any work, any discrepancy shall be reported to the client immediately

These drawings shall be read in conjunction with general specifications

LEGEND

- ◊ - GAS METER
- ⬆ - WATER METER
- - WATER HYDRANT
- - WATER VALVE
- ▼ - TBM
- ▣ - SURVEY PEG
- ▲ - PERMANENT SURVEY MARK
- ◻ - SEWER VENT / I.S.
- ⊙ - SEWER MANHOLE
- * - S/W PROPERTY INLET
- - STORM WATER PIT
- ▤ - STORM WATER GRATE
- ▤ - TELECOMMUNICATIONS PIT
- ⊗ - TREE
- ⊙ - ELECT. PIT
- - ELEC. POLE
- ⦿ - STREET LAMP
- ⌘ - STREET SIGN



Existing Site Plan

Scale 1:200

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town planning issue

rev.	date	description

north:

project:
Proposed Duplex Development
at 27 Wilsons Road, Newcomb

309 design studio
Registered Building Practitioner DP-AD1318
Phone: 03 5223 3135
Fax: 03 5221 0038
Mobile: 0417 327 241

drawn by:	V.j.	checked
date:	Dec. 2025	date:
project no.	2025123_TP	
sheet	01a	of 12

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Suggested Planting Schedule				
Botanical & Common Name	No.	Pot Size	Mature Size	Quantity
Acacia melanoxylon - Blackwood	1	75 lt	5-10m x 4-8m Ø	4
Betula pendula Alba - Silver Birch	2	45 lt	8m x 4m Ø	4
Po Poo Lobillardierri - Tussock Grass		tube	0.5m x 0.5m Ø	25
Diandra nivea - Honey Pot		15 cm	3m x 2m Ø	8
Correa Alba - White Correa		15 cm	1.5m x 1.5m Ø	15
Dianella Brevicauris - Coat Flax Lily		tube	0.6m x 0.6m Ø	25

FINAL LANDSCAPING PLAN WILL BE PROVIDED AS A CONDITION OF THE PERMIT FOR THE ENDORSED PLANS

Note:
Existing Front Fence to be Removed
No new Fencing to the Front is proposed.

Unit 1
Ground Floor - 153.92 Sq.M
Garage - 28.60 Sq.M
Pergola - 21.79 Sq.M
Porch - 2.12 Sq.M
Open Space - 128.74 Sq.M
Secluded P.O.S - 54.64 Sq.M

Unit 2
Ground Floor - 153.92 Sq.M
Garage - 28.60 Sq.M
Pergola - 21.79 Sq.M
Porch - 2.12 Sq.M
Open Space - 128.74 Sq.M
Secluded P.O.S - 54.64 Sq.M

TOTAL BUILDING AREA - 365.04 sq. M
SITE AREA - 628.00 sq. M
SITE COVER - 58.12%

Total Hard Cover Area
Buildings and Concrete Cover - 503.92 sq. M
Site Area - 628.00 sq. M
Total Hard Cover Area - 80.00%

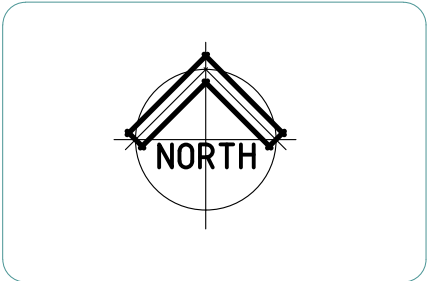
Legend
HAB - habitable room window

Site and Floor Plan
Scale 1:150

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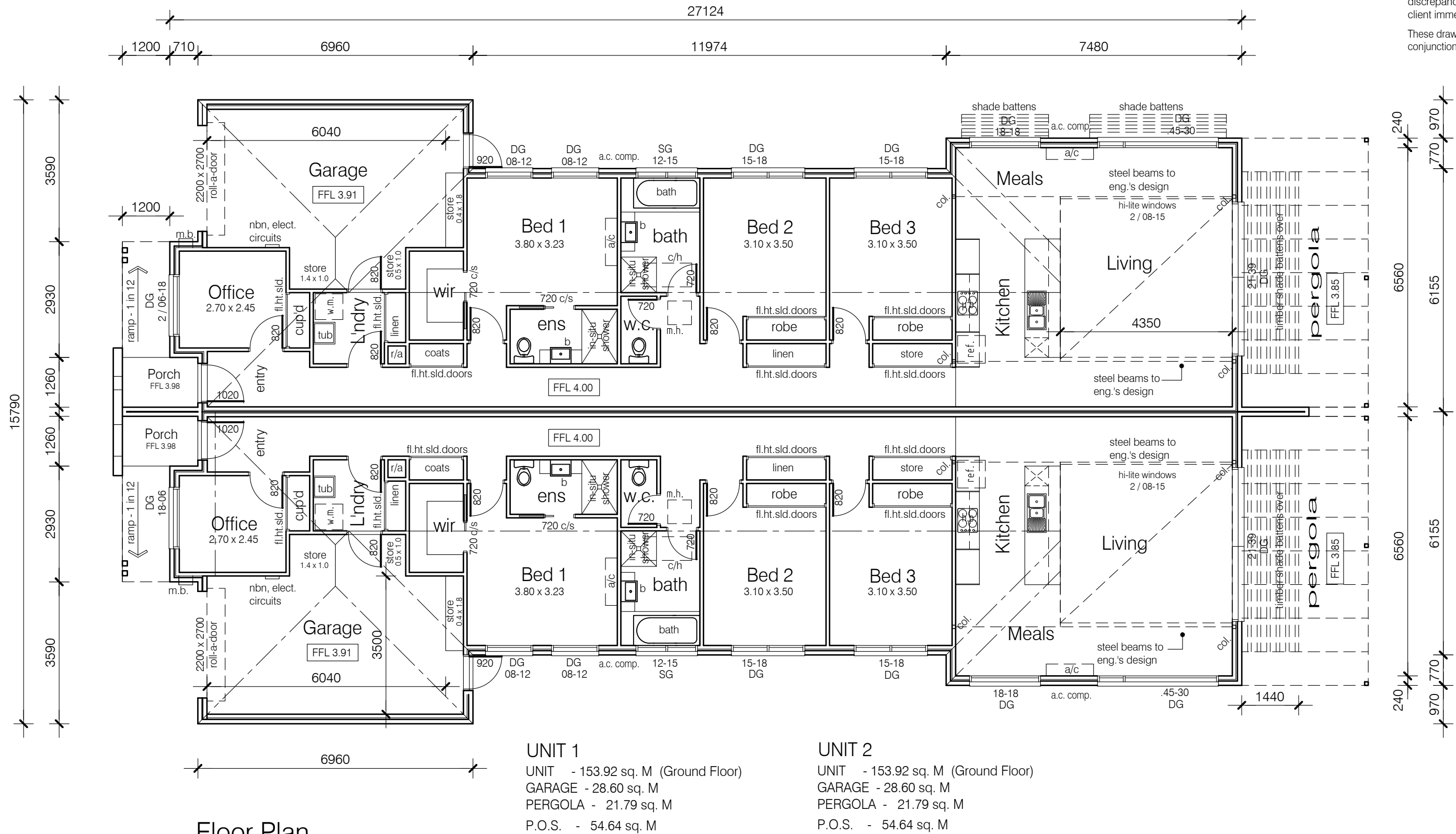
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sheet	02a	of 12

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Floor Plan
Scale 1:100

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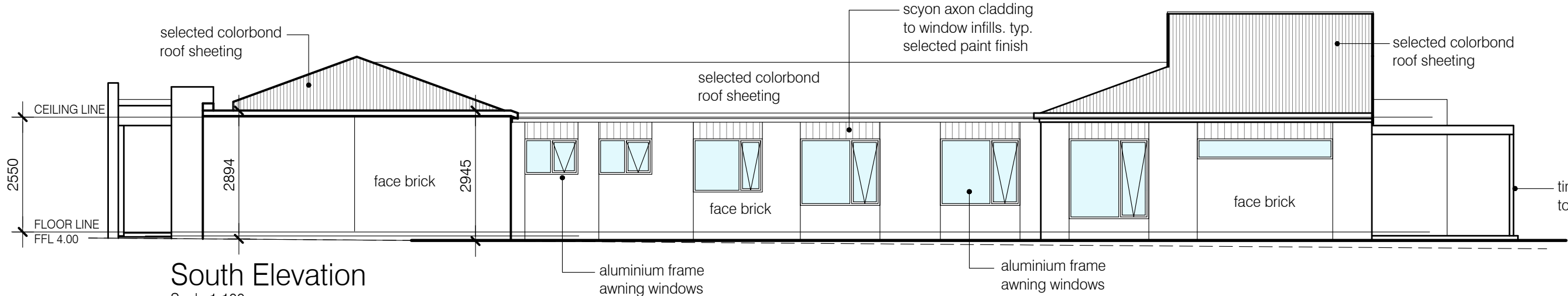
drawn by: v.j. checked

date: Dec. 2025 date:

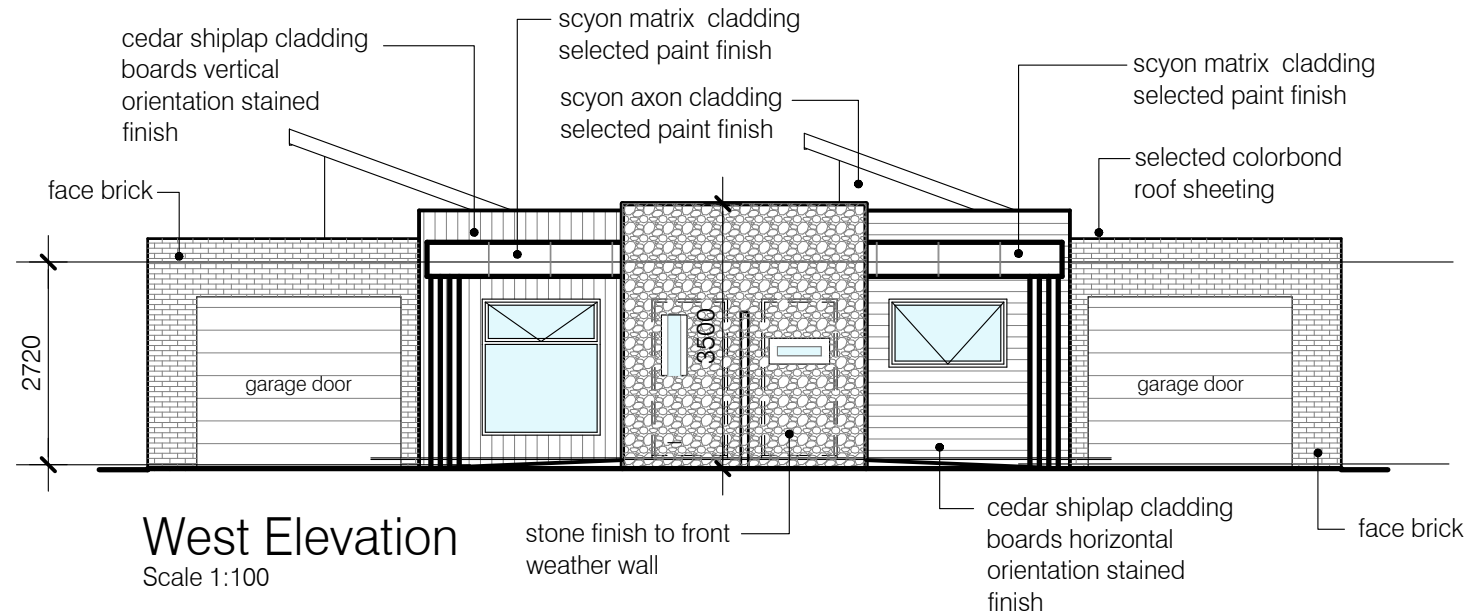
project no. 2025123_TP

sheet 03a of 12

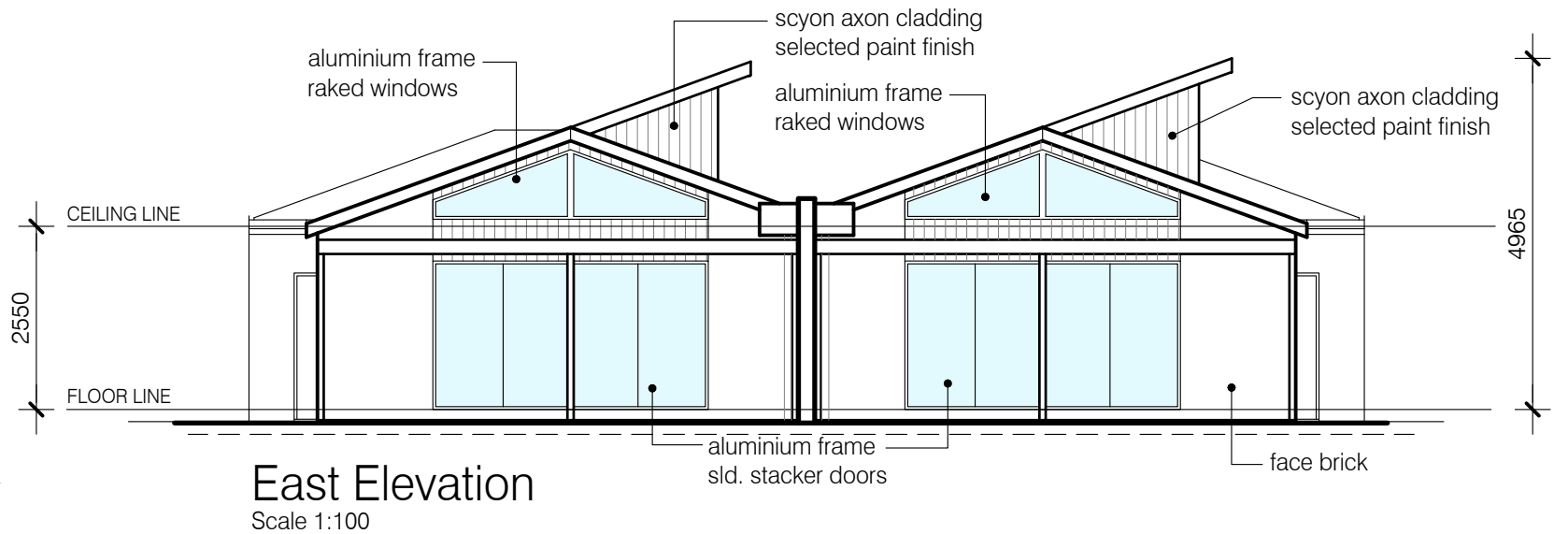
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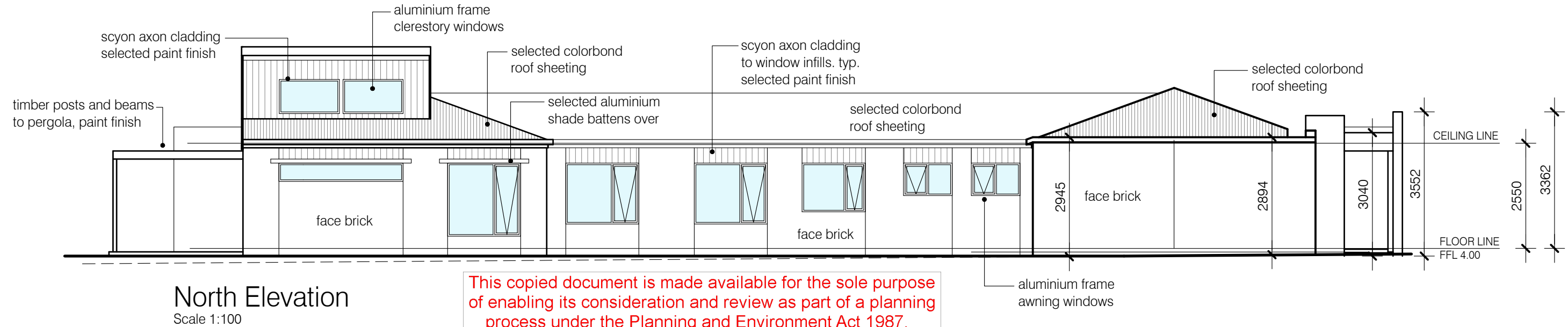
South Elevation
Scale 1:100



West Elevation
Scale 1:100



East Elevation
Scale 1:100



North Elevation
Scale 1:100

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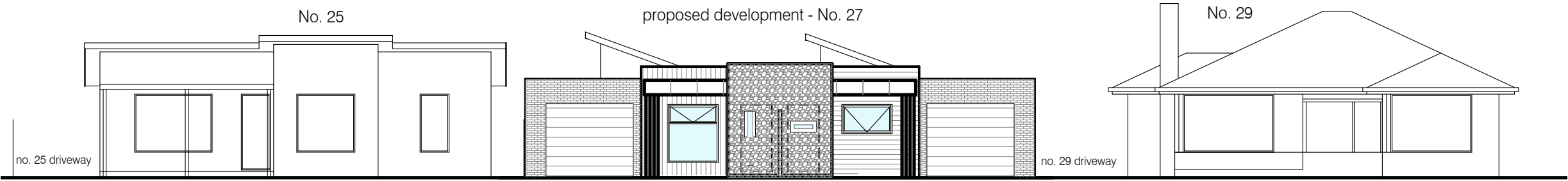
town planning issue

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sheet 04a	of 12

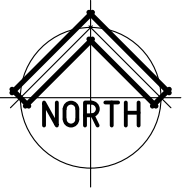
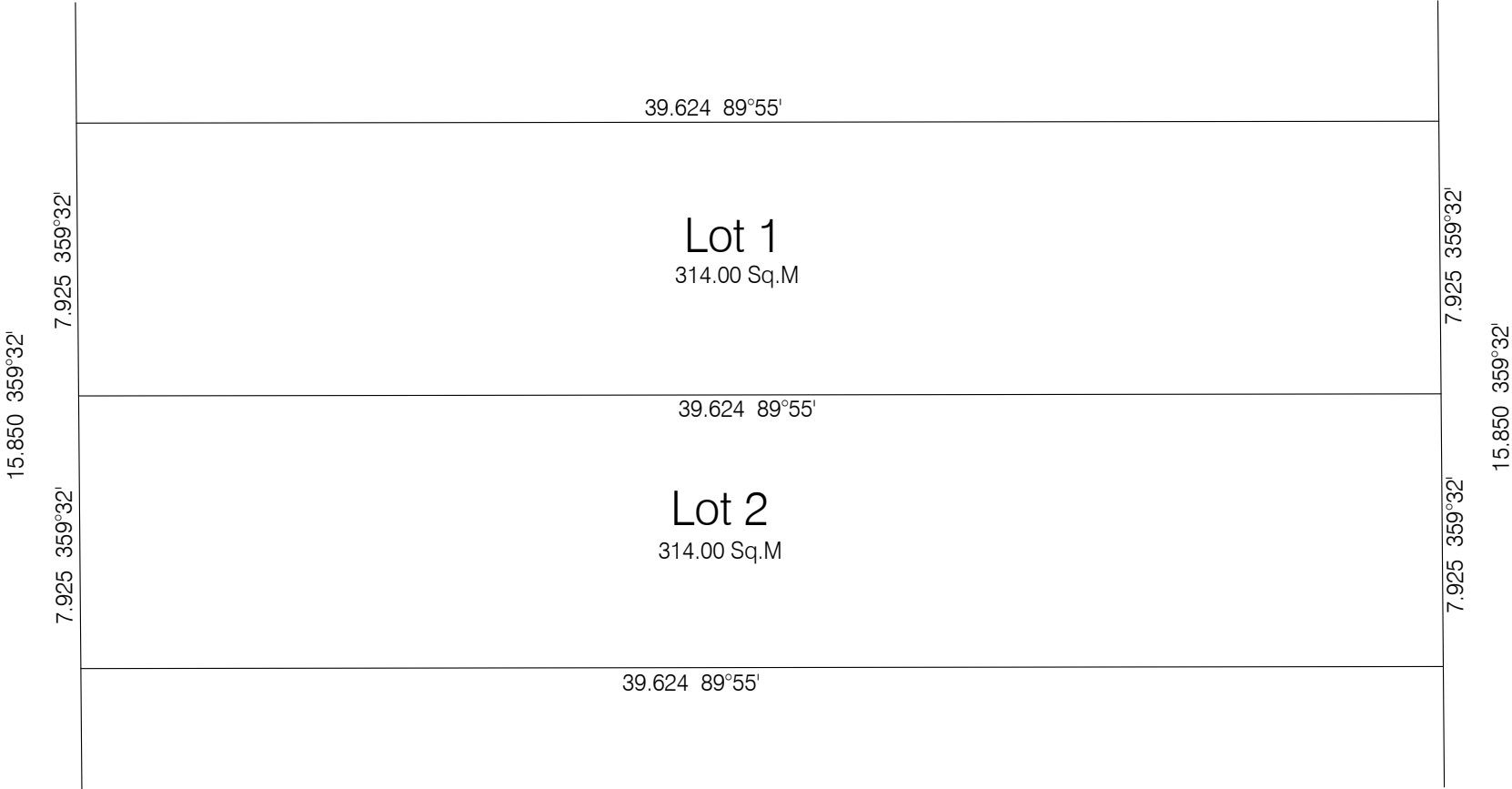


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Wilsons Road Street Scape - West Elevation
Scale 1:150

Wilsons Road



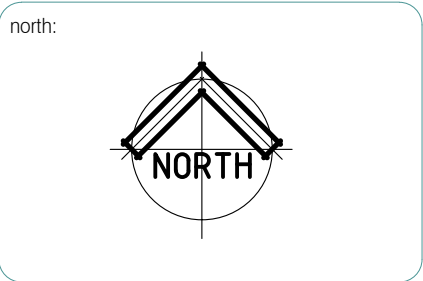
Preliminary Subdivision Plan
Scale 1:200

Total Site Area - 628.00Sq.M
Lot One - 314.00 sq. M
Lot Two - 314.00 sq. M

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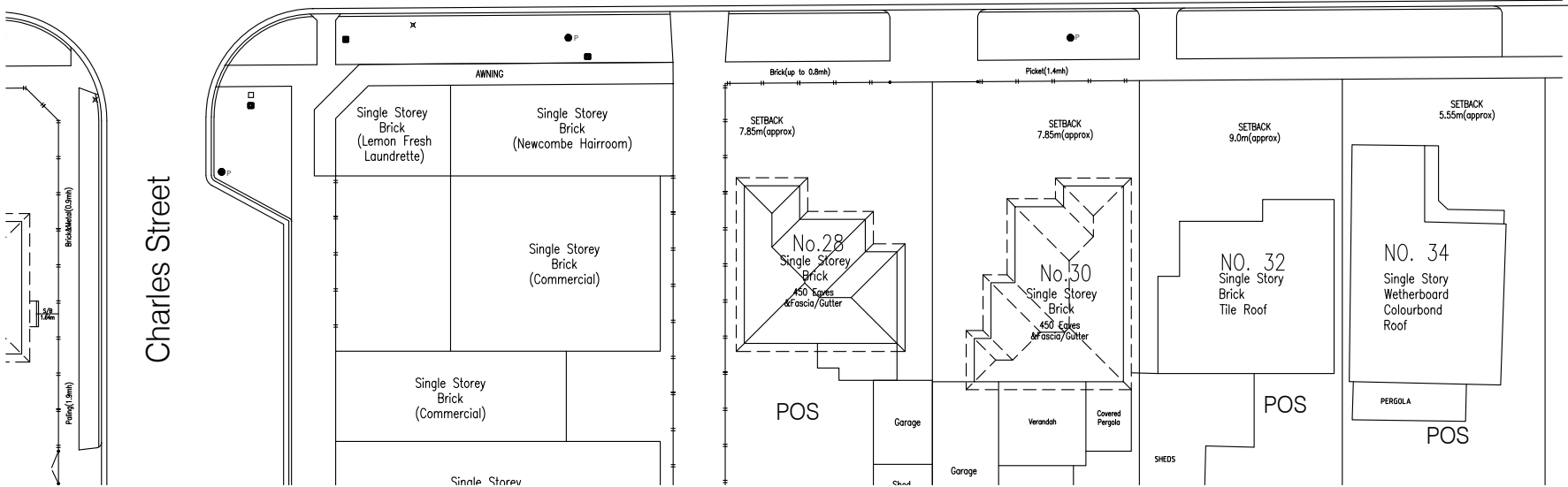
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Wilsons Road

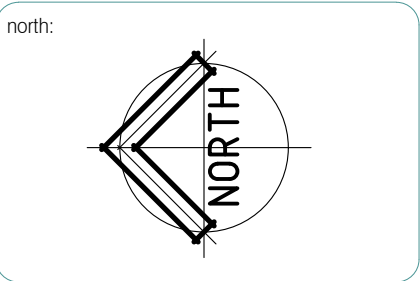
Wilsons Road



Site Context
Scale 1:500

town planning issue

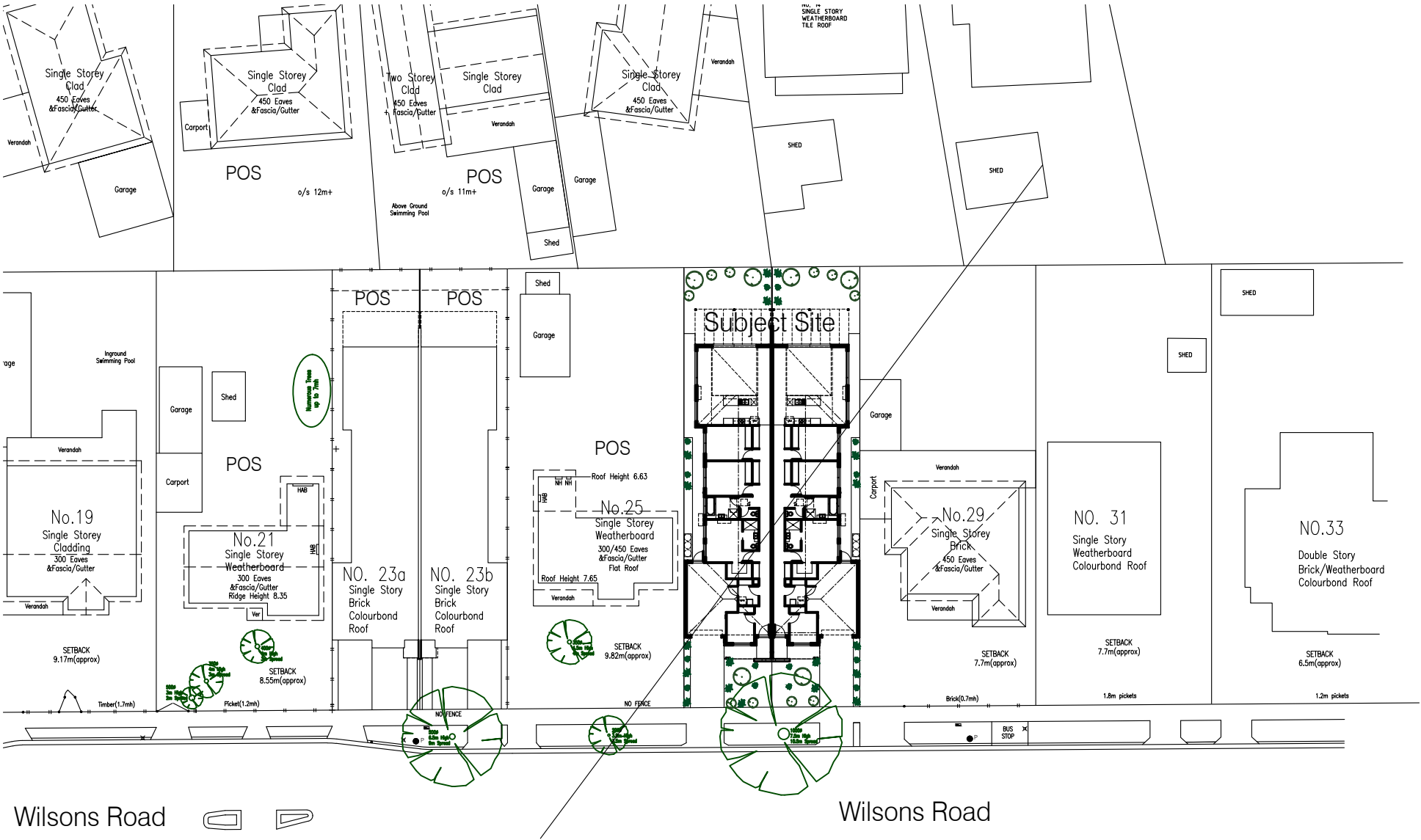
rev.	date	description



project:
Proposed Duplex Development
at 27 Wilsons Road, Newcomb



drawn by:	V.j.	checked
date:	Dec. 2025	date:
project no.	2025123_TP	
sheet	06a	of 12



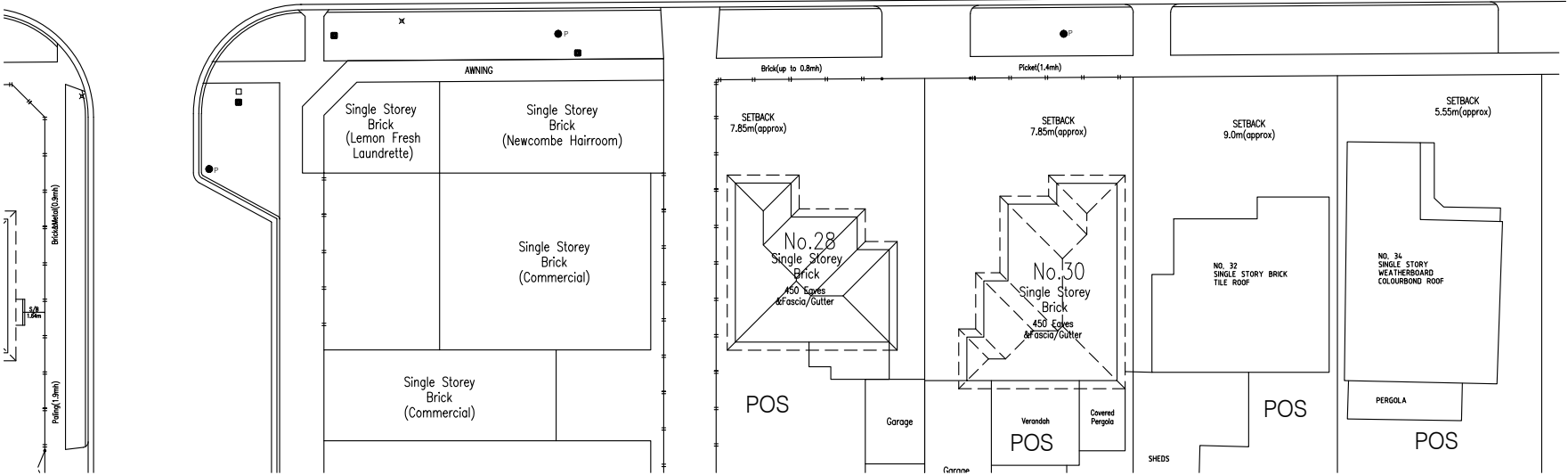
- LEGEND
- ◇ - GAS METER
 - ⊕ - WATER METER
 - - WATER HYDRANT
 - - WATER VALVE
 - ▼ - TBM
 - ▨ - SURVEY PEG
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 - - TELECOMMUNICATIONS PIT

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- 1 Front Setbacks vary in the Street from 0.0 m to 9.8 m but generally around the 7.8 m mark
- 2 The Materials are a blend of traditional and contemporary features that will complement the existing Street Scape
- 3 2000 high Dividing Fences will be erected between Units
- 4 The design of the proposed development is Contemporary and as such it will compliment the emerging character of the area
- 5 The Units have East and North facing courtyards of sufficient size to allow reasonable outdoor enjoyment
- 6 The private open space is designed in such a way as to maintain total privacy from all adjoining neighbours
- 7 Setbacks from all boundaries are sufficient to allow privacy and landscaping to perimeter of Buildings
- 8 The location of adjoining buildings was considered in the design process and we have endeavoured to protect their privacy by minimising locations of windows on those sides
- 9 The size, shape and forms of the proposed development are modern contemporary and will fit in well with the existing Street Scape
- 10 There is no interference with the Solar access to any of the adjoining neighbours. The proposed development is sited with this in mind

The street scape on both sides of Wilsons is fairly simple, there are no significant styles. The proposed Development will blend in and will not be detrimental to the overall aesthetic appeal. The design is such that it will complement the street and will fit in well with the area as it transforms into a contemporary outer suburb as the older houses get renovated. The street scape is a typical non-descript outer suburban. There are no special or significant characteristics.

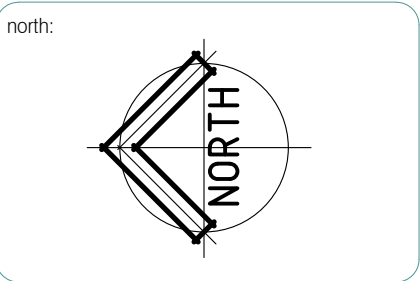
The drainage will be to Wilsons Road. There are no common areas. Each Dwelling is a separate entity.



Site Context
Scale 1:500

town planning issue

rev.	date	description	amendments



project:

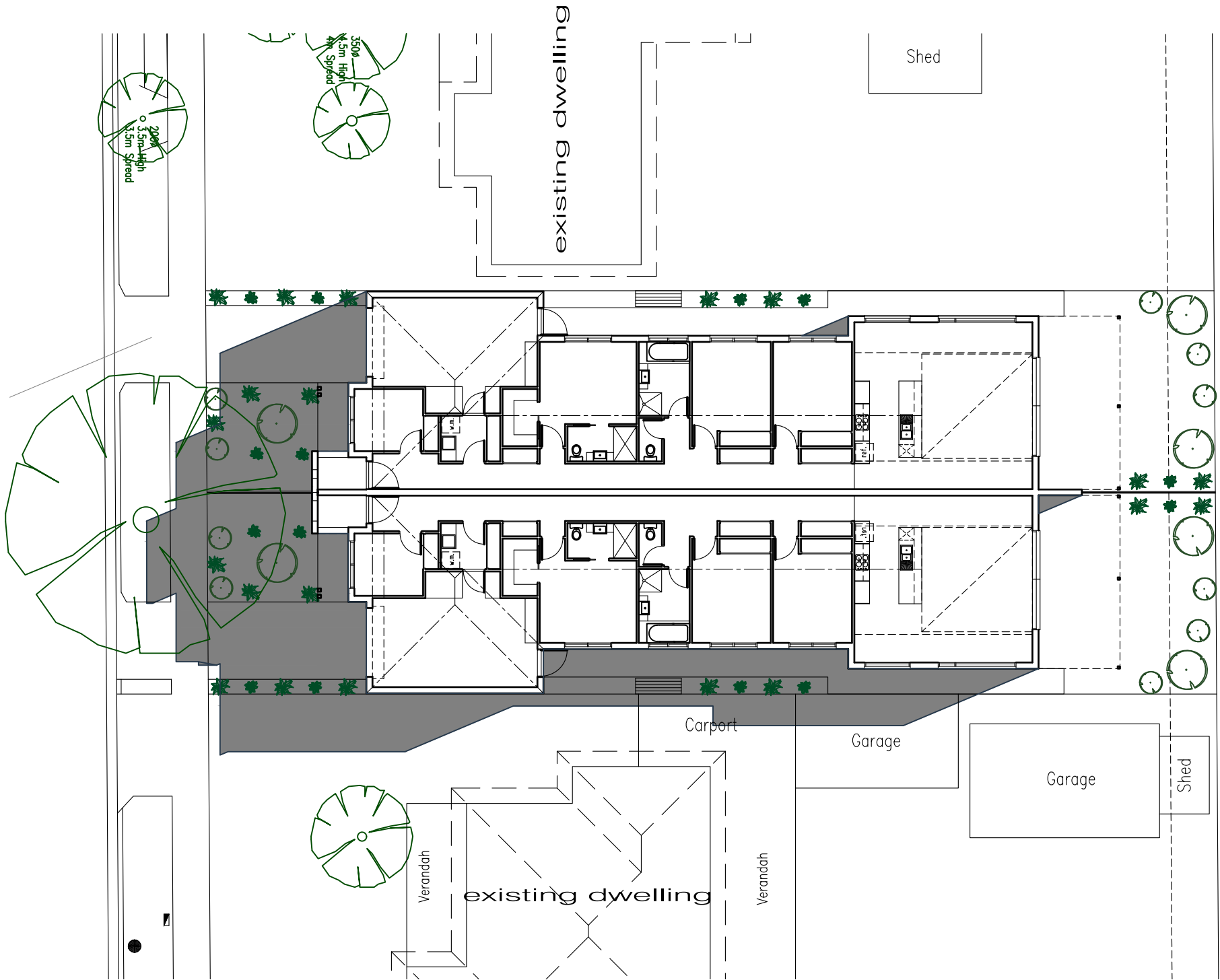
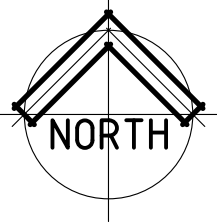
Proposed Duplex Development
at 27 Wilsons Road, Newcomb

309 design studio
Registered Building Practitioner DP-AD1318
Phone: 03 5223 3135
Fax: 03 5221 0038
Mobile: 0417 327 241

drawn by:	v.j.	checked
date:	Dec. 2025	date:
project no.	2025123_TP	
sheet	07a	of 12

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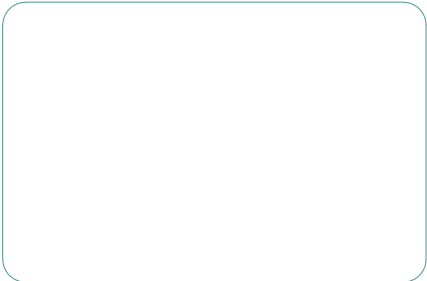


Shadow Diagrams 0900
Scale 1:200

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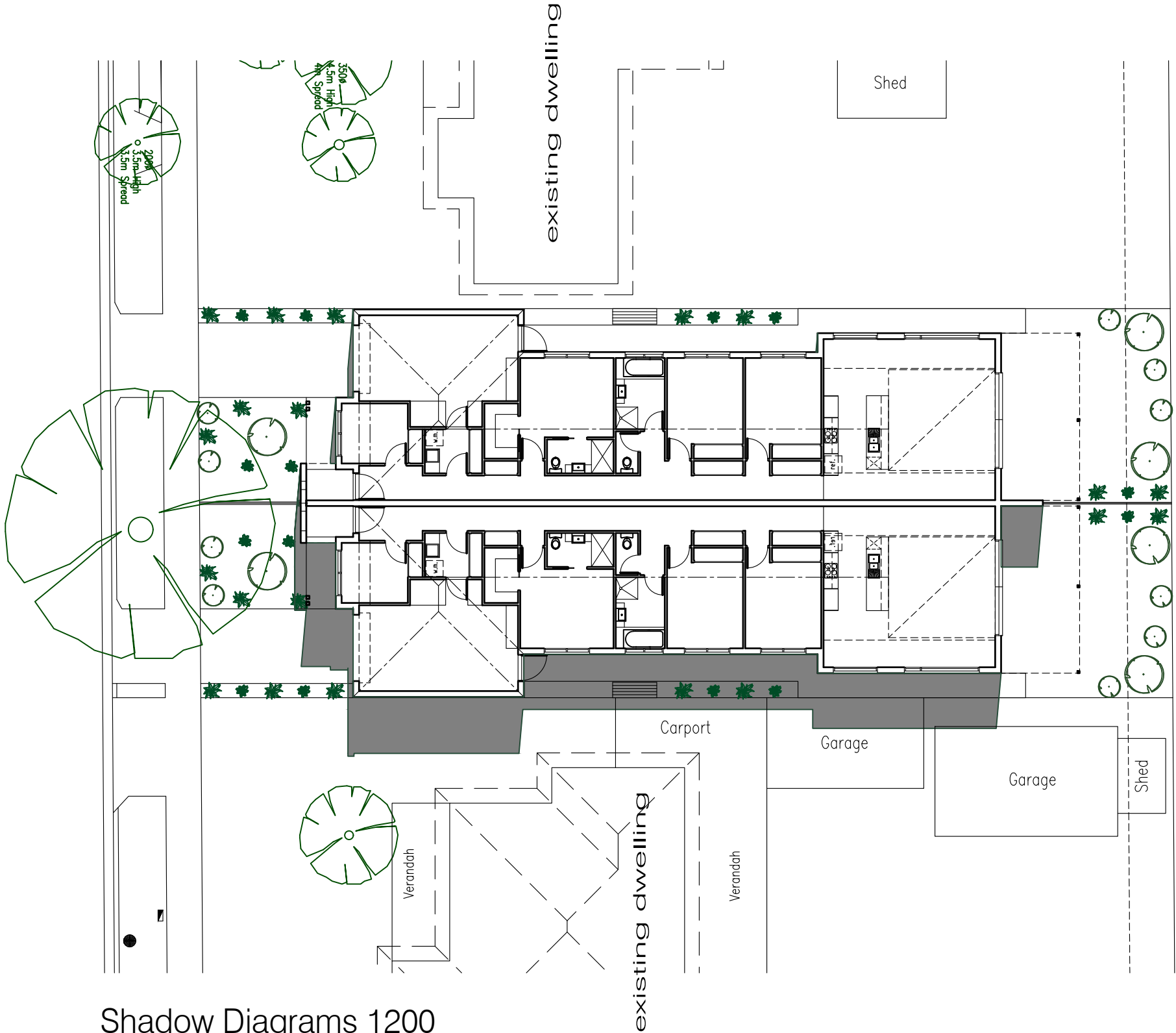
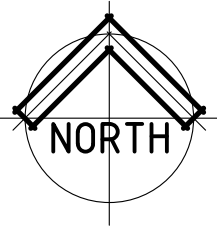


project:
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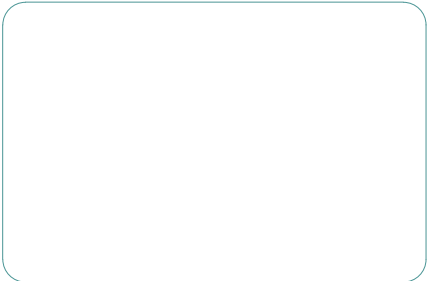


Shadow Diagrams 1200
Scale 1:200

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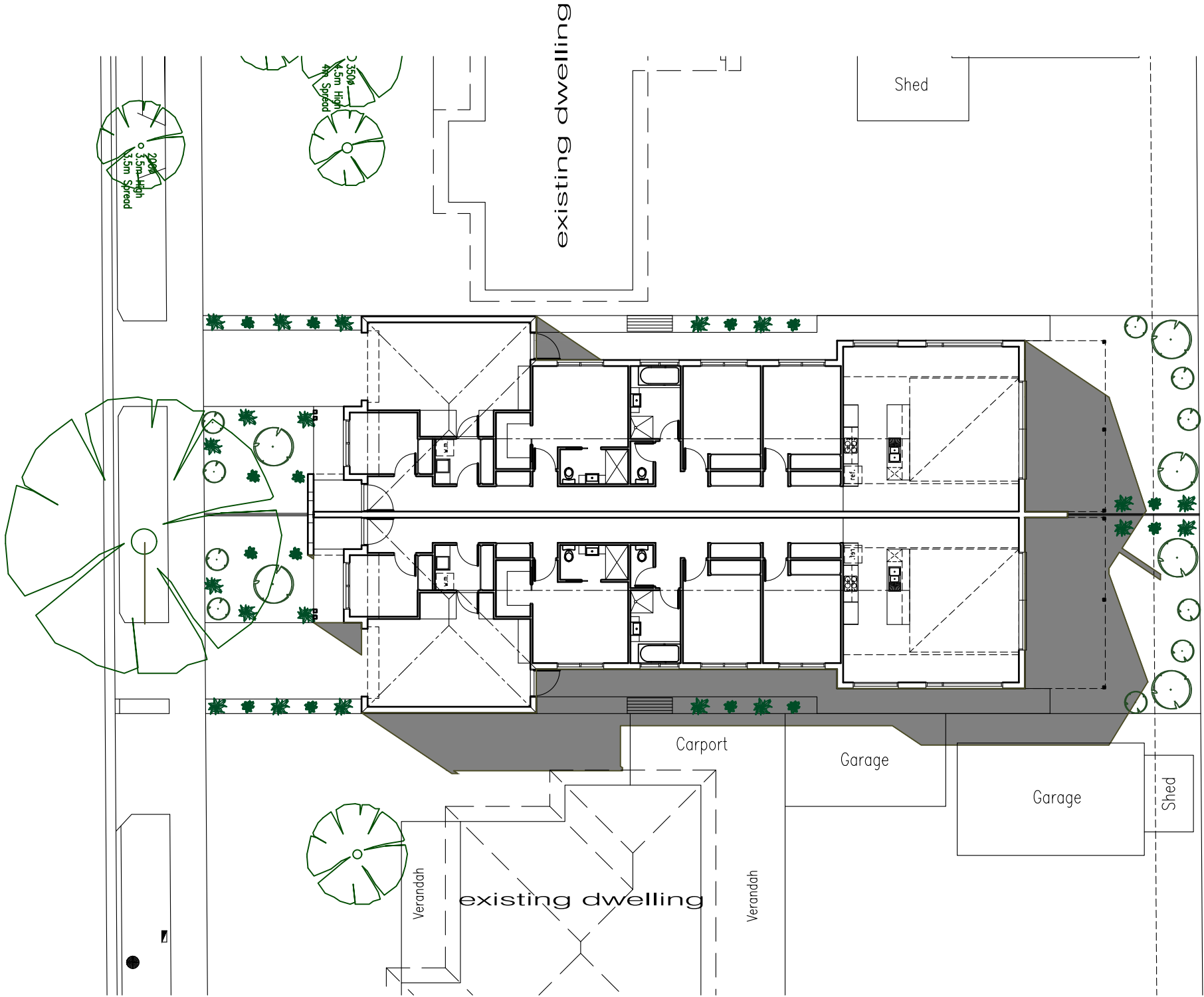
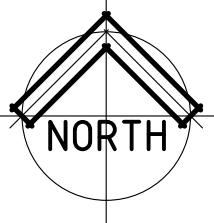


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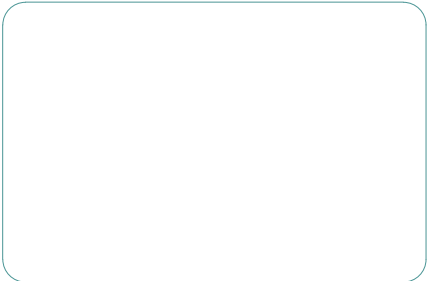


Shadow Diagrams 1500
Scale 1:200

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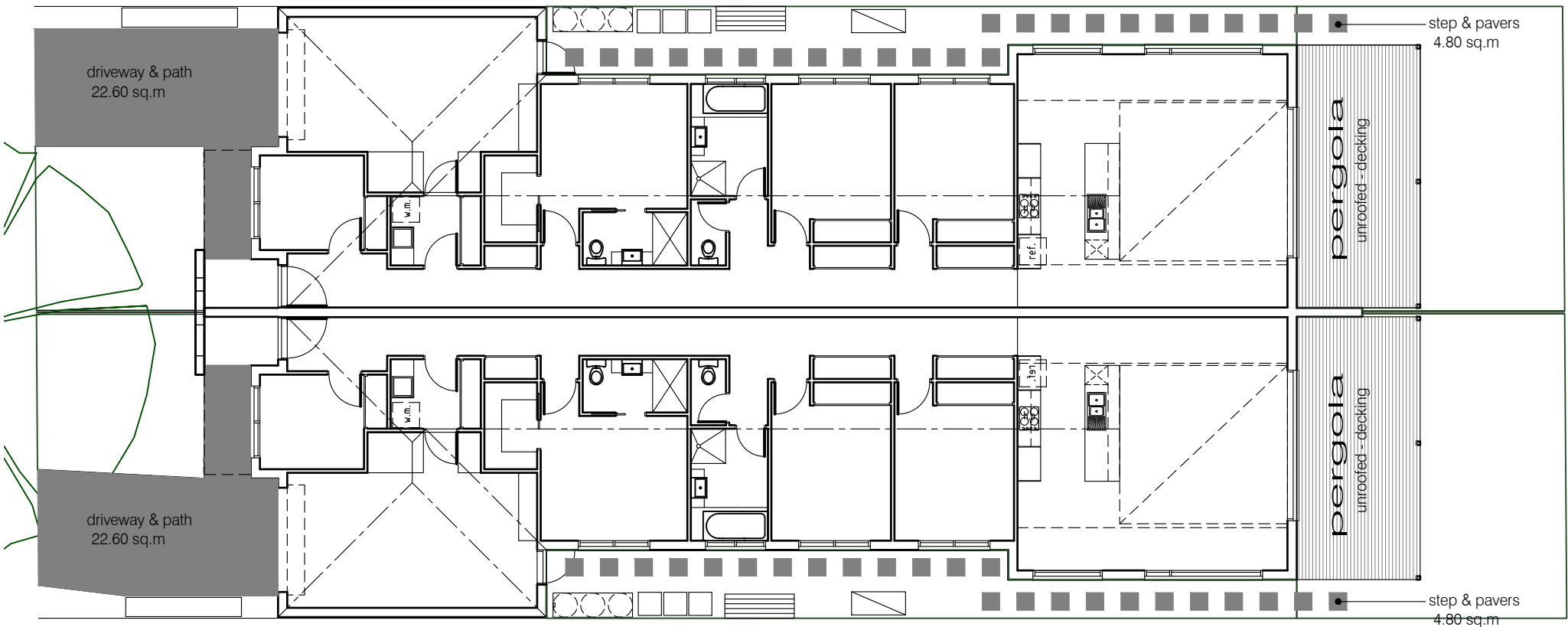


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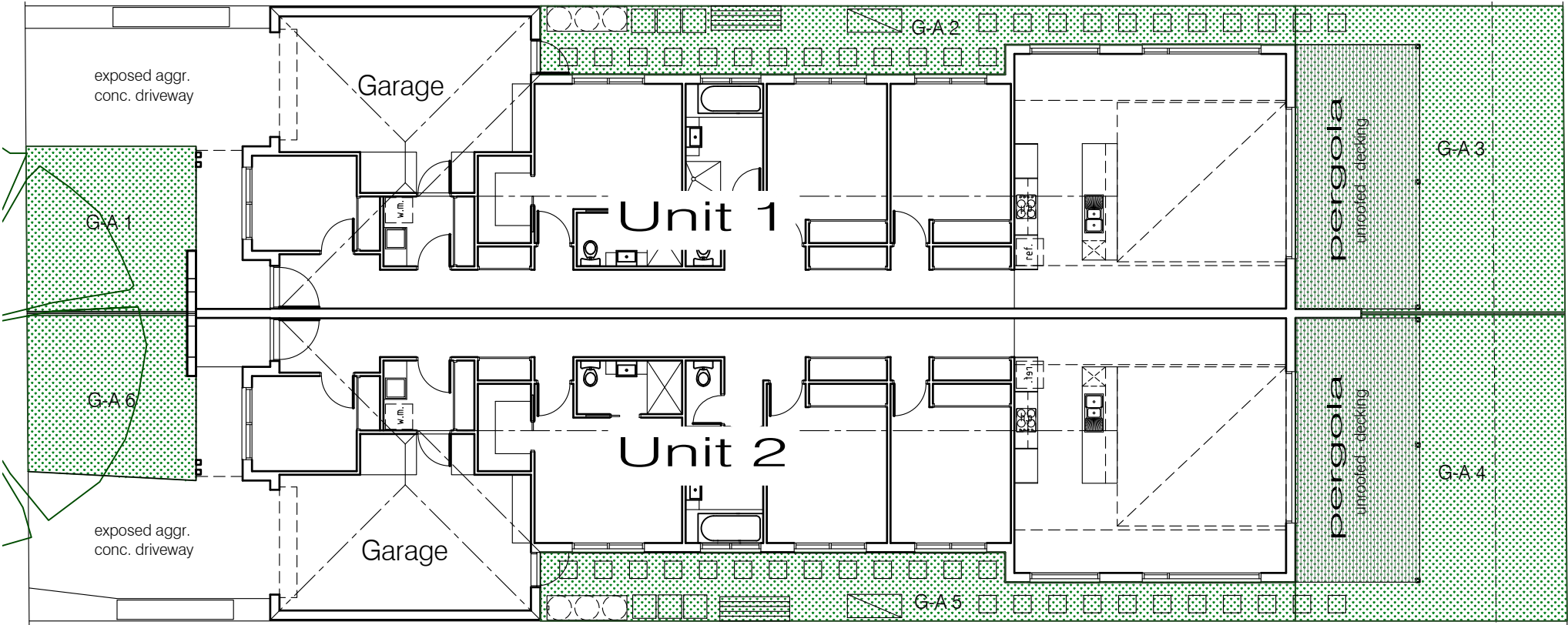
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Permeability Plan
Scale 1:150



Garden Area Plan
Scale 1:150



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Unit 1	
Ground Floor	- 153.92 Sq.M
Garage	- 28.60 Sq.M
Pergola	- 21.79 Sq.M
Porch	- 2.12 Sq.M
Open Space	- 128.74 Sq.M
Secluded P.O.S	- 54.64 Sq.M

Unit 2	
Ground Floor	- 153.92 Sq.M
Garage	- 28.60 Sq.M
Pergola	- 21.79 Sq.M
Porch	- 2.12 Sq.M
Open Space	- 128.74 Sq.M
Secluded P.O.S	- 54.64 Sq.M

TOTAL BUILDING AREA	- 365.04 sq. M
SITE AREA	- 628.00 sq. M
SITE COVER	- 58.12%

Site Permeability	
Hard Surface Area Paving	- 54.80 sq. M
Hard Surface Area Buildings	- 365.04 sq.M
Total	- 419.84 sq.M
Site Area Total	- 628.00 sq.M

Hard Surface Area Cover	- 66.85% of SITE
-------------------------	------------------

Garden Area Breakdown
Site Area - 628 sq.M - 30% Garden
Area Req'd under Rescode = 188.4 sq.M

G-A 1	18.22 sq.M
G-A 2	28.66 sq.M
G-A 3	54.46 sq.M
G-A 4	54.88 sq.M
G-A 5	28.66 sq.M
G-A 6	17.60 sq.M
TOTAL	202.48 sq.M
Therefore - Complies	

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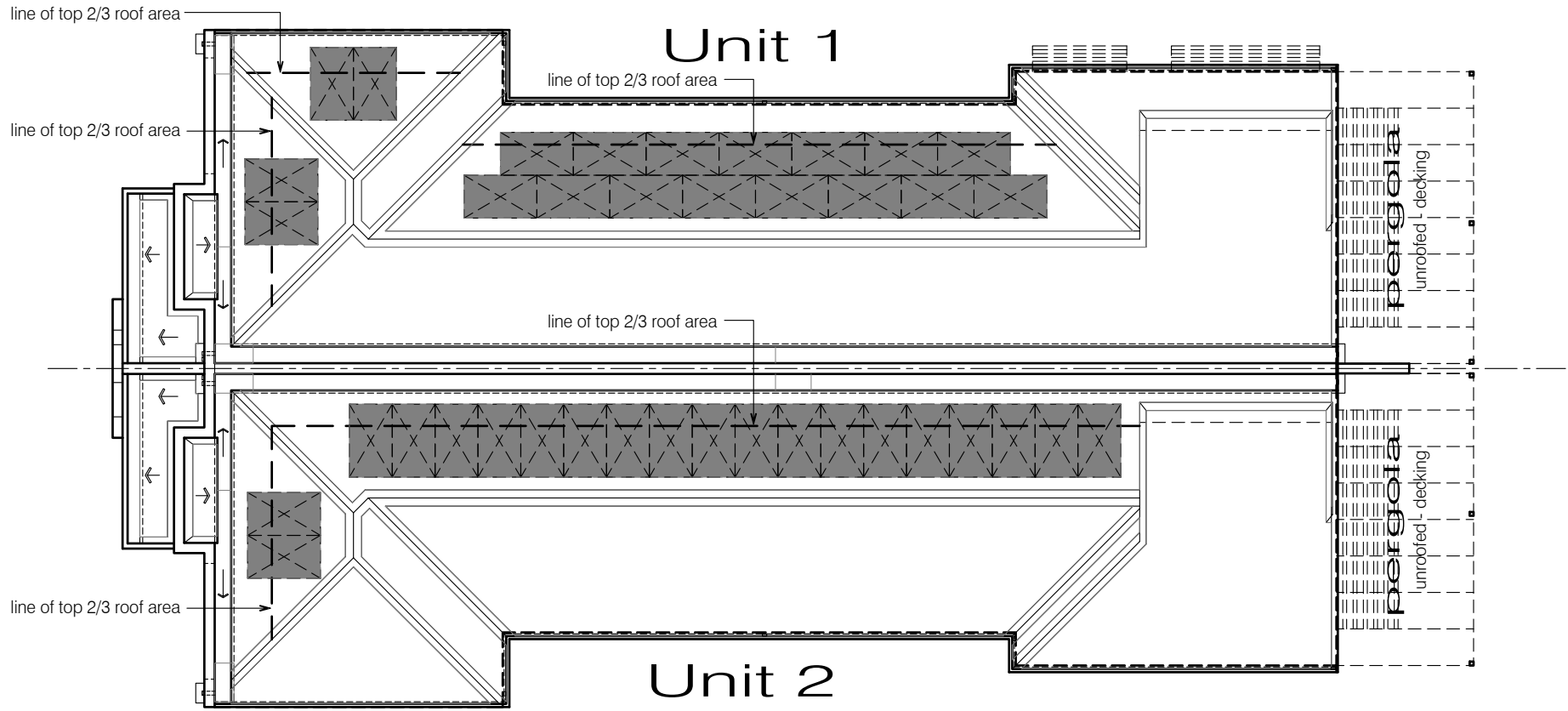
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Unit 1 - Solar Panel Capability

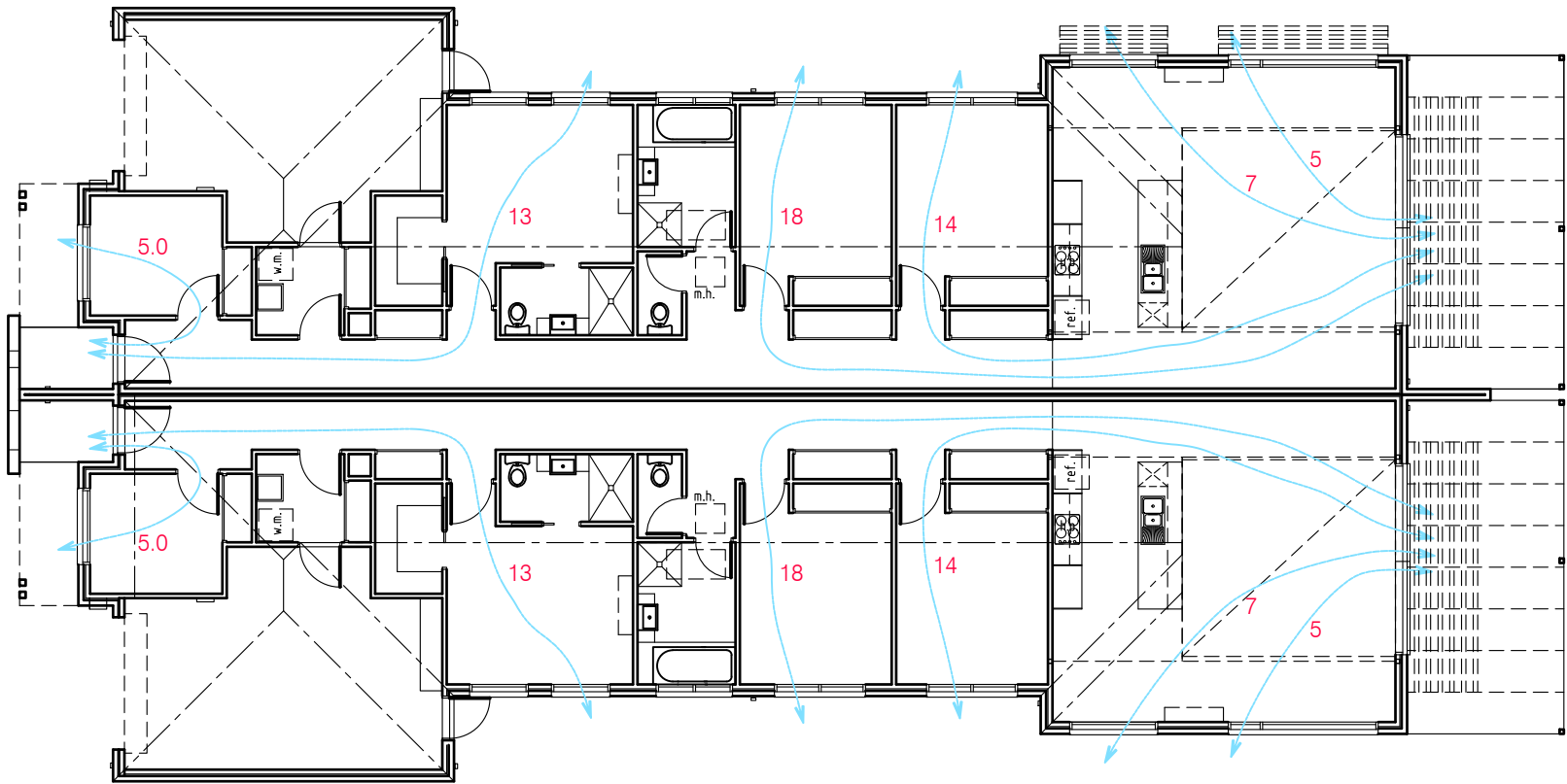
Panel Size - 1.7 x 1.0
19 Panels - 32.3 sq. m.

Unit 2 - Solar panel Capability

Panel Size - 1.7 x 1.0
20 Panels - 34.0 sq. m.



Solar Panel Layout Plan
Scale 1:150



Breeze Paths
Scale 1:150

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