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416-420 BELLARINE HIGHWAY, MOOLAP
MOTEL DEVELOPMENT



The Planning Professionals

project MOTEL DEVELOPMENT

drawing PA 01 COVER PAGE

address 416-420 BELLARINE HIGHWAY,
MOOLAP

date May 2026

project number 24110 PA

po box 8008 rippleside vic 3215
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abn 65 689 101 979

revision	date
RFI	24.02.26
RFI	08.05.26

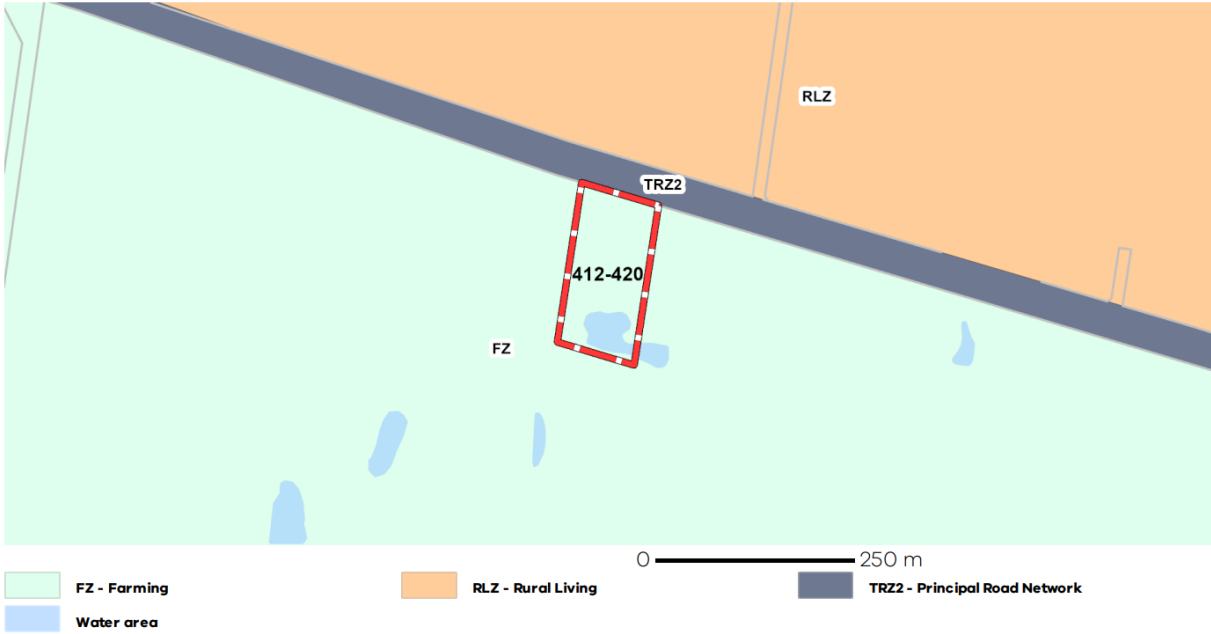
notes

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Planning Zones

FARMING ZONE (FZ)
SCHEDULE TO THE FARMING ZONE (FZ)



Designated Bushfire Prone Areas

This property is in a designated bushfire prone area. Special bushfire construction requirements apply to the part of the property mapped as a designated bushfire prone area (BPA). Planning provisions may apply.

Where part of the property is mapped as BPA, if no part of the building envelope or footprint falls within the BPA area, the BPA construction requirements do not apply.

Note: the relevant building surveyor determines the need for compliance with the bushfire construction requirements.



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drawing PA 02 LOCATION PLAN

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LOCATION PLAN
NTS @ A3 sheet



RFI 08.05.26
- EXISTING DRAINAGE EASEMENT WIDTH UPDATED
TO 9.144 m



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drawing PA 03 EXISTING SITE PLAN

address 416-420 BELLARINE HIGHWAY,
MOOLAP

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project number 24110 PA

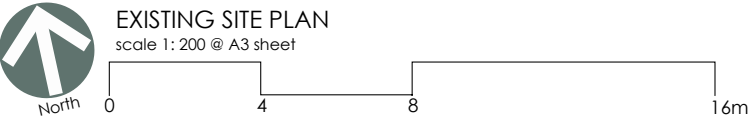
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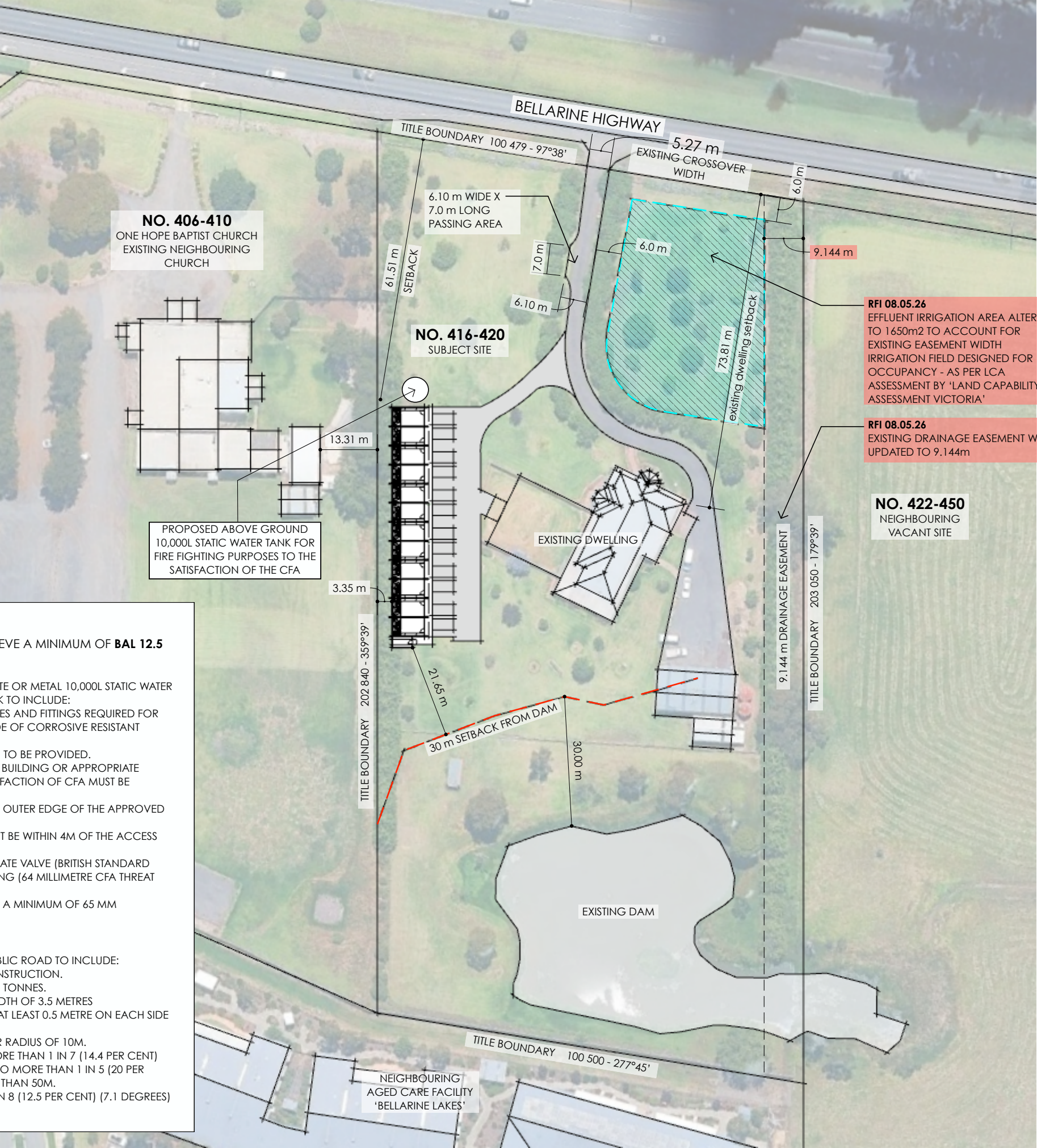
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EXISTING SITE PLAN
scale 1: 200 @ A3 sheet



BUSHFIRE REQUIREMENTS

DWELLING CONSTRUCTION TO ACHIEVE A MINIMUM OF **BAL 12.5**

WATER SUPPLY

- PROVIDE AN ABOVE GROUND CONCRETE OR METAL 10,000L STATIC WATER TANK FOR FIRE FIGHTING PURPOSES. TANK TO INCLUDE:
 - ALL FIXED ABOVE-GROUND WATER PIPES AND FITTINGS REQUIRED FOR FIREFIGHTING PURPOSES MUST BE MADE OF CORROSIVE RESISTANT METAL.
 - SEPARATE OUTLET FOR OCCUPANT USE TO BE PROVIDED.
 - TO BE READILY IDENTIFIABLE FROM THE BUILDING OR APPROPRIATE IDENTIFICATION SIGNAGE TO THE SATISFACTION OF CFA MUST BE PROVIDED.
 - BE LOCATED WITHIN 60 METRES OF THE OUTER EDGE OF THE APPROVED BUILDING.
 - THE OUTLET/S OF THE WATER TANK MUST BE WITHIN 4M OF THE ACCESS WAY AND BE UNOBSTRUCTED.
 - INCORPORATE A SEPARATE BALL OR GATE VALVE (BRITISH STANDARD PIPE (BSP 65 MILLIMETRE) AND COUPLING (64 MILLIMETRE CFA THREAT PER INCH MALE FITTING).
 - ANY PIPEWORK AND FITTINGS MUST BE A MINIMUM OF 65 MM (EXCLUDING THE CFA COUPLING).

ACCESS

- PROVIDE AN ACCESSWAY FROM THE PUBLIC ROAD TO INCLUDE:
 - ACCESS WAY TO BE ALL WEATHER CONSTRUCTION.
 - ACHIEVE A LOAD LIMIT OF AT LEAST 15 TONNES.
 - PROVIDE A MINIMUM TRAFFICABLE WIDTH OF 3.5 METRES
 - BE CLEAR OF ENCROACHMENTS FOR AT LEAST 0.5 METRE ON EACH SIDE AND AT LEAST 4 METRES VERTICALLY.
 - CURVES MUST HAVE A MINIMUM INNER RADIUS OF 10M.
 - THE AVERAGE GRADE MUST BE NO MORE THAN 1 IN 7 (14.4 PER CENT) (8.1 DEGREES) WITH A MAXIMUM OF NO MORE THAN 1 IN 5 (20 PER CENT) (11.3 DEGREES) FOR NO MORE THAN 50M.
 - DIPS MUST HAVE NO MORE THAN A 1 IN 8 (12.5 PER CENT) (7.1 DEGREES) ENTRY AND EXIT ANGLE.

AREAS

SITE	20 124m2 (4.97 acres)
EXISTING DWELLING -	- 563.00m2
EXISTING GARAGE & SHED	- 254.00 m2
PROPOSED - MOTEL UNITS	- 409.96 m2
(INDIV. UNIT - 34.01M2)	
- DECK/WALKWAY	- 96.34m2
- STORAGE	- 12.66 m2
TOTAL	- 1335.96 m2

SITE COVERAGE - 1335.96M2 - 6.63%

RFI 08.05.26
- EFFLUENT IRRIGATION AREA ALTERED TO 1917m2 TO ACCOUNT FOR EXISTING EASEMENT WIDTH

- EXISTING DRAINAGE EASEMENT WIDTH UPDATED TO 9.144 m

- ALL NEW CONSTRUCTION TO BE TO BAL 12.5 RATING



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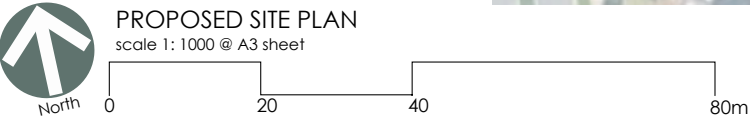
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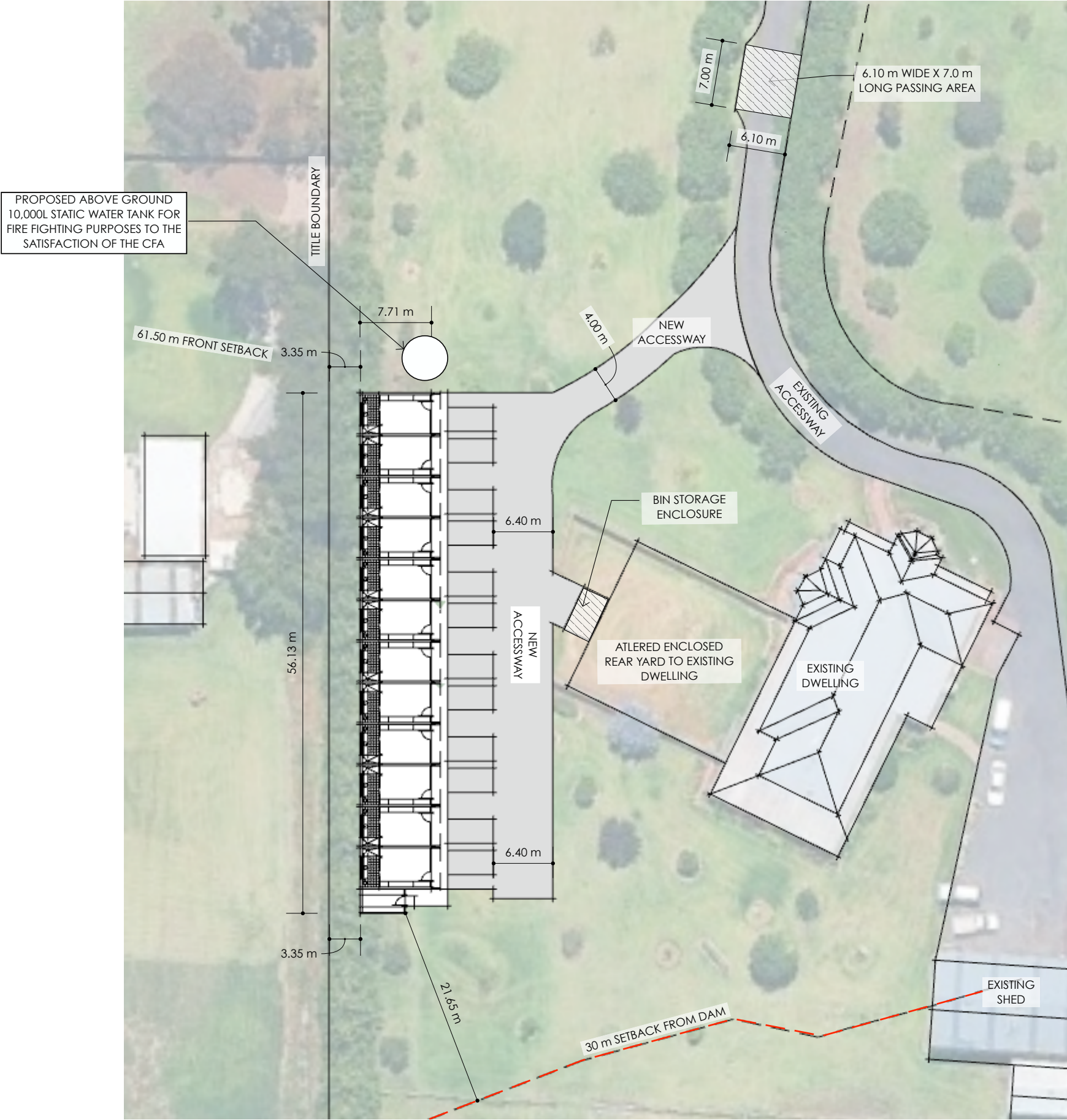
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PROPOSED SITE PLAN
scale 1: 1000 @ A3 sheet



AREAS

SITE	20 124m2 (4.97 acres)
EXISTING DWELLING -	- 563.00m2
EXISTING GARAGE & SHED	- 254.00 m2
PROPOSED - MOTEL UNITS	- 409.96 m2
(INDIV. UNIT - 34.01M2)	
- DECK/WALKWAY	- 96.34m2
- STORAGE	- 12.66 m2
TOTAL	- 1335.96 m2
SITE COVERAGE - 1335.96M2 - 6.63%	



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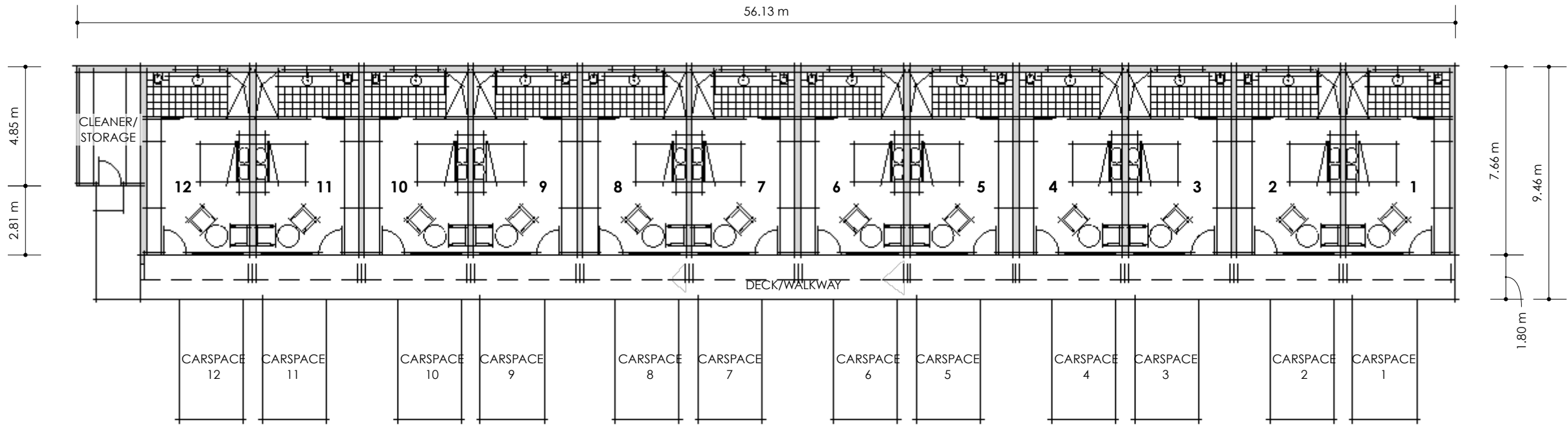
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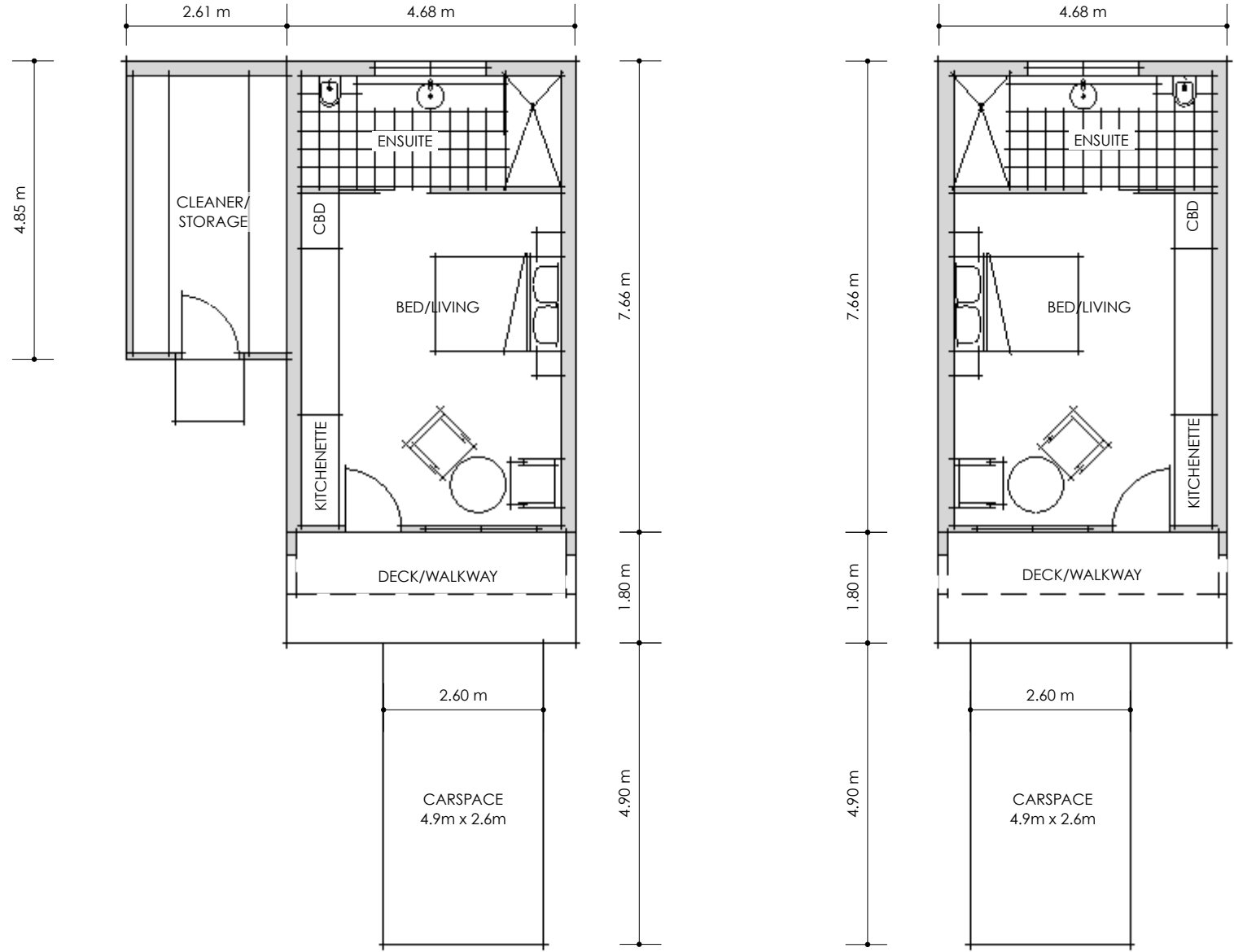
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AREAS

SITE	20 124 m2 (4.97 acres)
PROPOSED	- MOTEL UNITS - 409.96 m2 (INDIV. UNIT - 34.01M2) - DECK/WALKWAY - 96.34m2 - STORAGE - 12.66 m2
TOTAL	- 518.96 m2

OVERALL FLOOR PLAN



MOTEL UNIT/STORAGE FLOOR PLAN

TYPICAL MOTEL UNIT FLOOR PLAN

RFI 08.05.26
ALL NEW CONSTRUCTION TO BE TO BAL 12.5
RATING



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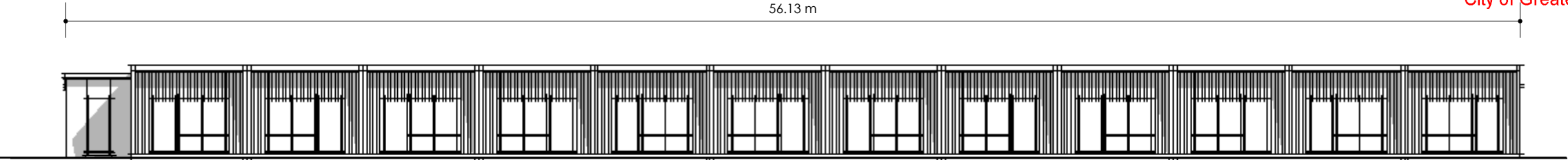
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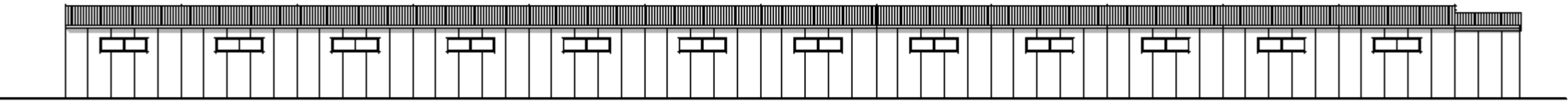
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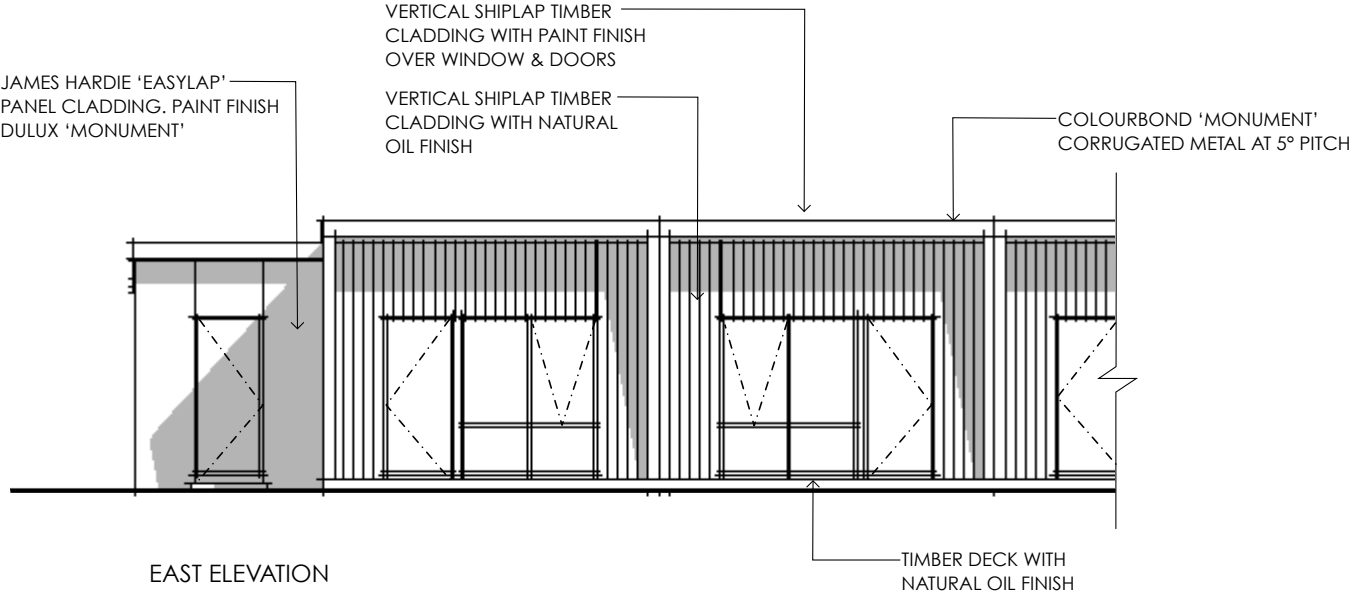
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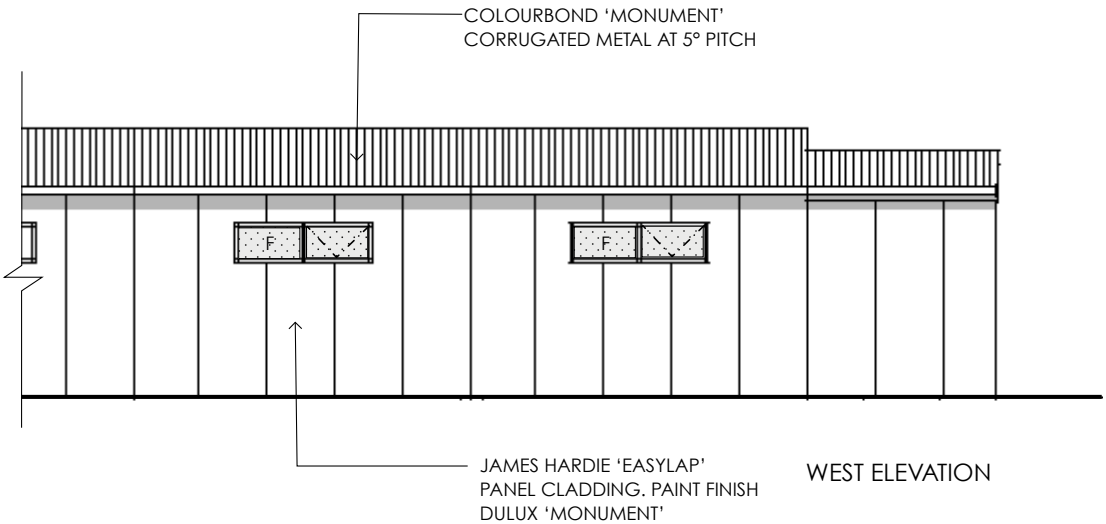
OVERALL EAST ELEVATION



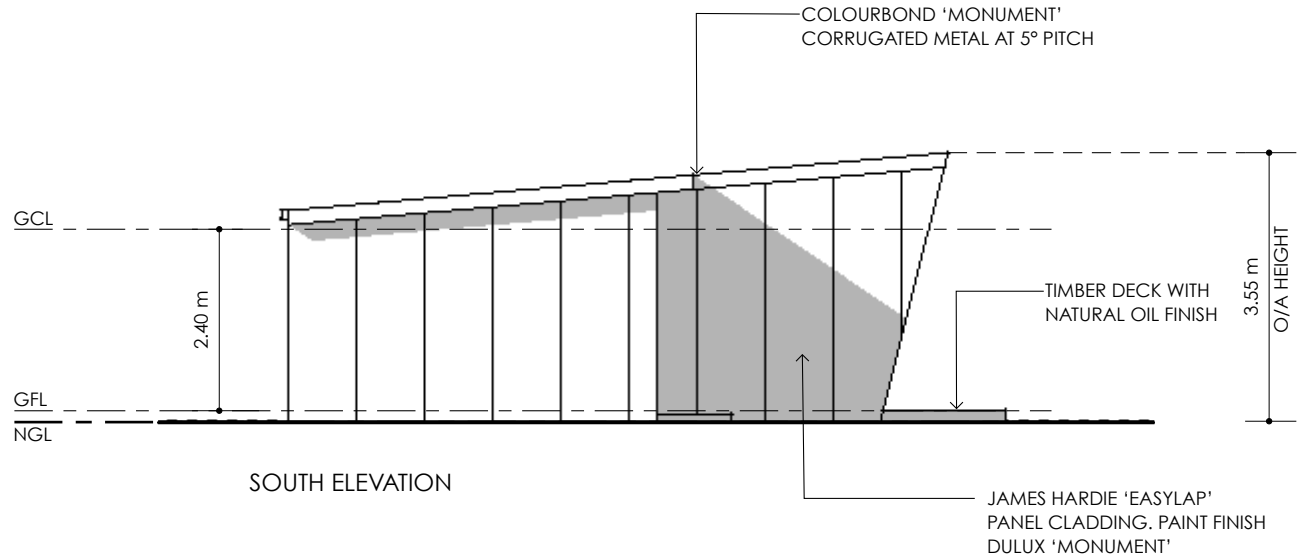
OVERALL WEST ELEVATION



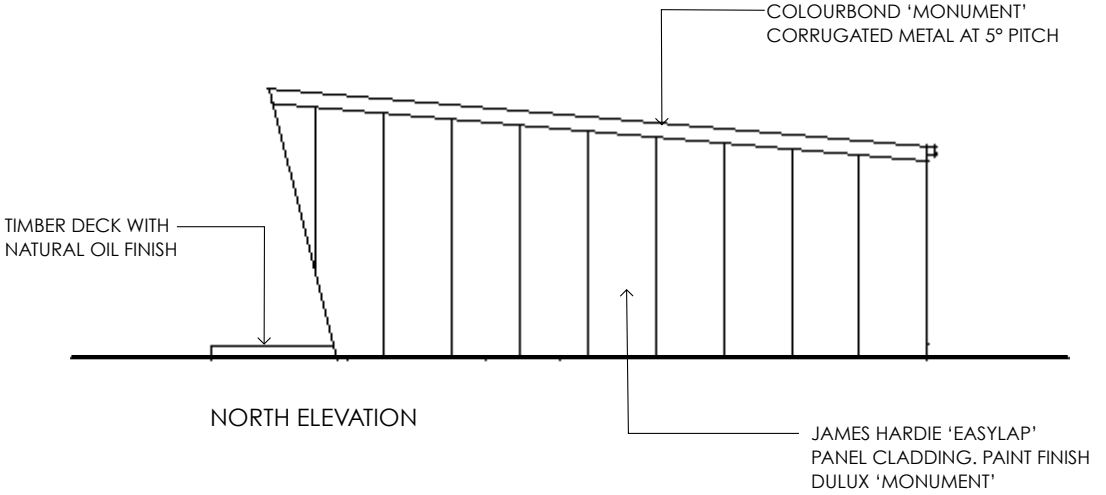
EAST ELEVATION



WEST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION

FINISHES SCHEDULE

	CORRUGATED COLORBOND STEEL ROOF - MONUMENT
	JAMES HARDIE 'EASYLAP' PANEL CLADDING, PAINT FINISH DULUX 'MONUMENT'
	VERTICAL SHIPLAP TIMBER CLADDING WITH NATURAL OIL FINISH
	VERTICAL SHIPLAP TIMBER CLADDING PAINT FINISH DULUX 'ENDLESS DUSK'
	VERTICAL SHIPLAP TIMBER CLADDING PAINT FINISH DULUX 'ASHVILLE'
	WINDOW TRIMS 'MONUMENT'
	OBSCURED GLAZING



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