

GENERAL NOTES

**COMPLIANCE WITH THE NCC:**  
ALL BUILDING WORK MUST COMPLY WITH THE REQUIREMENTS OF THE NATIONAL CONSTRUCTION CODE (NCC) 2022, INCLUDING THE BUILDING CODE OF AUSTRALIA (BCA) AND RELEVANT AUSTRALIAN STANDARDS.

**ZONING AND LAND USE:**  
THE PROPOSED DEVELOPMENT COMPLIES WITH THE LOCAL ZONING REGULATIONS AND LAND USE PLANNING PROVISIONS AS PER THE APPLICABLE PLANNING SCHEME.

**SITE COVERAGE AND SETBACKS:**  
THE DEVELOPMENT ADHERES TO THE MAXIMUM SITE COVERAGE AND MINIMUM SETBACK REQUIREMENTS OUTLINED IN THE LOCAL PLANNING SCHEME AND NCC.

**ACCESS AND EGRESS:**  
SAFE AND CONVENIENT ACCESS TO THE SITE IS PROVIDED FOR PEDESTRIANS AND VEHICLES, IN COMPLIANCE WITH THE REQUIREMENTS OF THE NCC REGARDING ACCESS AND EGRESS.

**STORMWATER MANAGEMENT:**  
THE DESIGN INCORPORATES APPROPRIATE STORMWATER MANAGEMENT STRATEGIES TO MITIGATE FLOODING AND MANAGE RUNOFF, IN COMPLIANCE WITH THE NCC AND LOCAL COUNCIL REQUIREMENTS.

**ENVIRONMENTAL SUSTAINABILITY:**  
THE DEVELOPMENT PROMOTES ENVIRONMENTAL SUSTAINABILITY THROUGH THE USE OF ENERGYEFFICIENT BUILDING MATERIALS, SUSTAINABLE LANDSCAPING, AND WATER CONSERVATION MEASURES.

**FIRE SAFETY:**  
THE DESIGN COMPLIES WITH NCC FIRE SAFETY REQUIREMENTS, INCLUDING SEPARATION DISTANCES, FIRE-RESISTING CONSTRUCTION, AND ACCESS FOR FIREFIGHTING VEHICLES.

**BUSHFIRE PRONE AREAS:**  
IF LOCATED IN A BUSHFIRE-PRONE AREA, THE DESIGN ADHERES TO THE NCC'S REQUIREMENTS FOR BUILDING IN BUSHFIRE-PRONE REGIONS, INCLUDING APPROPRIATE CONSTRUCTION METHODS AND LANDSCAPING MEASURES.

**ACOUSTIC PRIVACY:**  
THE DEVELOPMENT CONSIDERS ACOUSTIC PRIVACY AND MITIGATES NOISE IMPACTS FROM NEARBY ROADS, RAILWAYS, AND OTHER NOISE SOURCES, IN ACCORDANCE WITH THE NCC.

**LANDSCAPE AND OPEN SPACE:**  
THE PROPOSAL INCLUDES ADEQUATE LANDSCAPING AND OPEN SPACE TO ENHANCE AMENITY, BIODIVERSITY, AND ECOLOGICAL SUSTAINABILITY IN LINE WITH NCC RECOMMENDATIONS.

**ACCESSIBILITY:**  
THE DESIGN PROVIDES FOR ACCESSIBILITY IN COMPLIANCE WITH THE NCC AND AUSTRALIAN STANDARDS, ENSURING THAT ALL PUBLIC AREAS ARE ACCESSIBLE TO PEOPLE WITH DISABILITIES.

**HERITAGE CONSIDERATIONS:**  
IF APPLICABLE, THE DEVELOPMENT RESPECTS AND PRESERVES ANY HERITAGE VALUES ASSOCIATED WITH THE SITE IN ACCORDANCE WITH LOCAL HERITAGE POLICIES AND THE NCC.



PROPOSED DEVELOPMENT AT  
11 Georgia Grove, Corio, VIC, 3214

TOWN PLANNING

INITIAL DRAWING SET 20.07.26

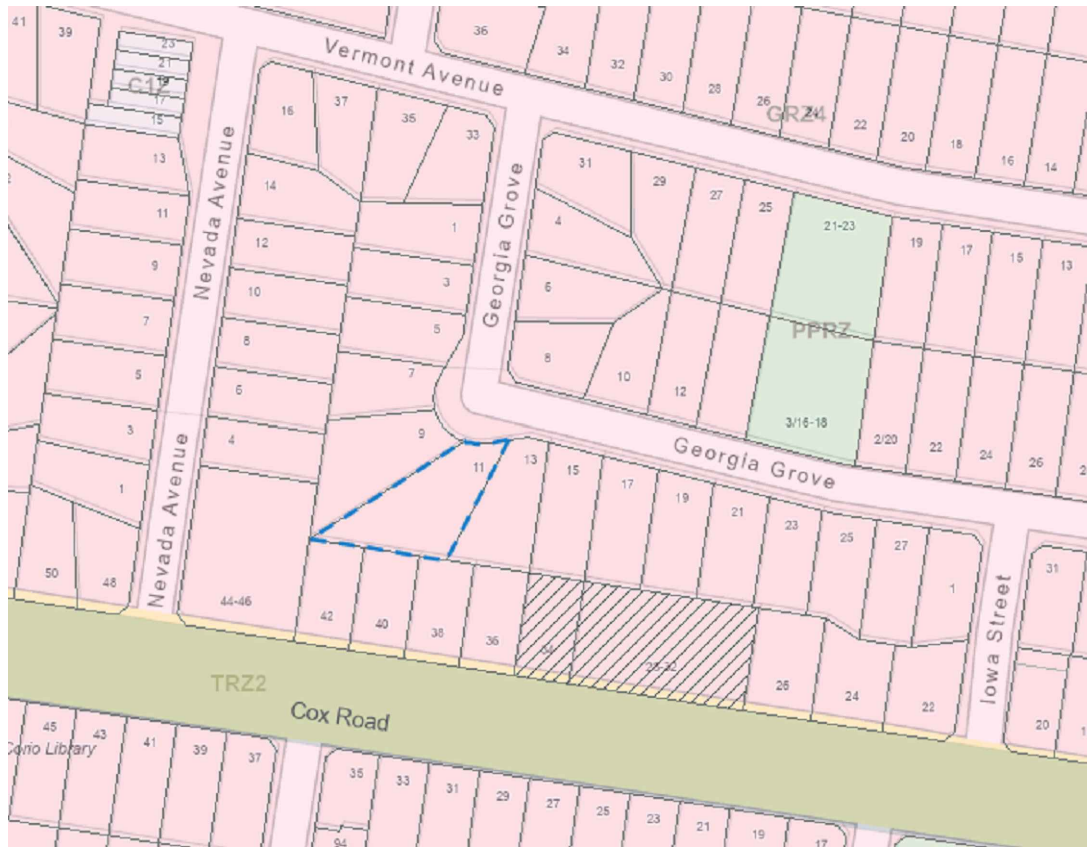
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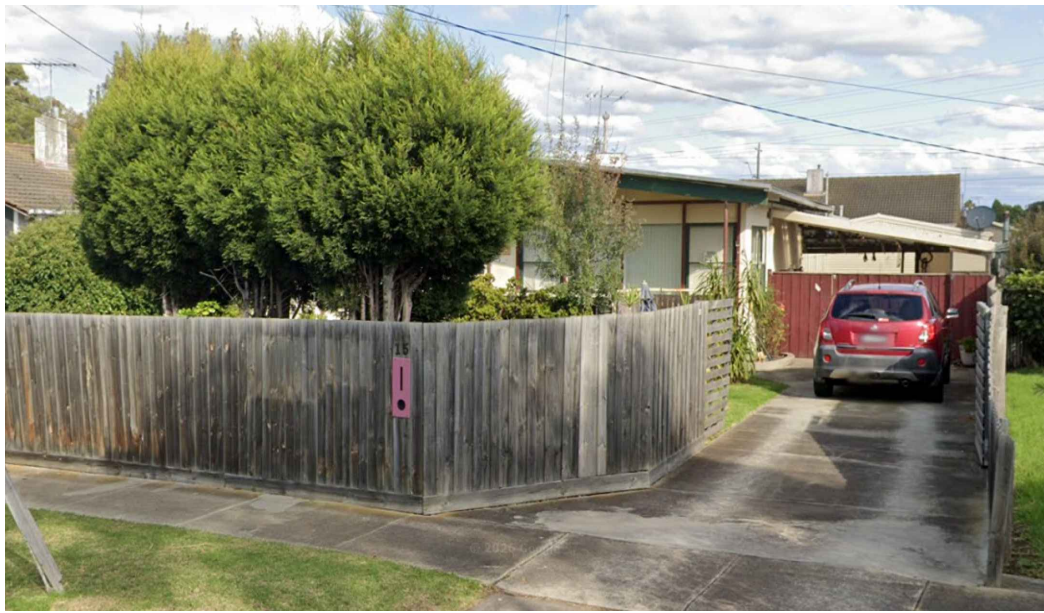
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EXISTING SITE CONDITION

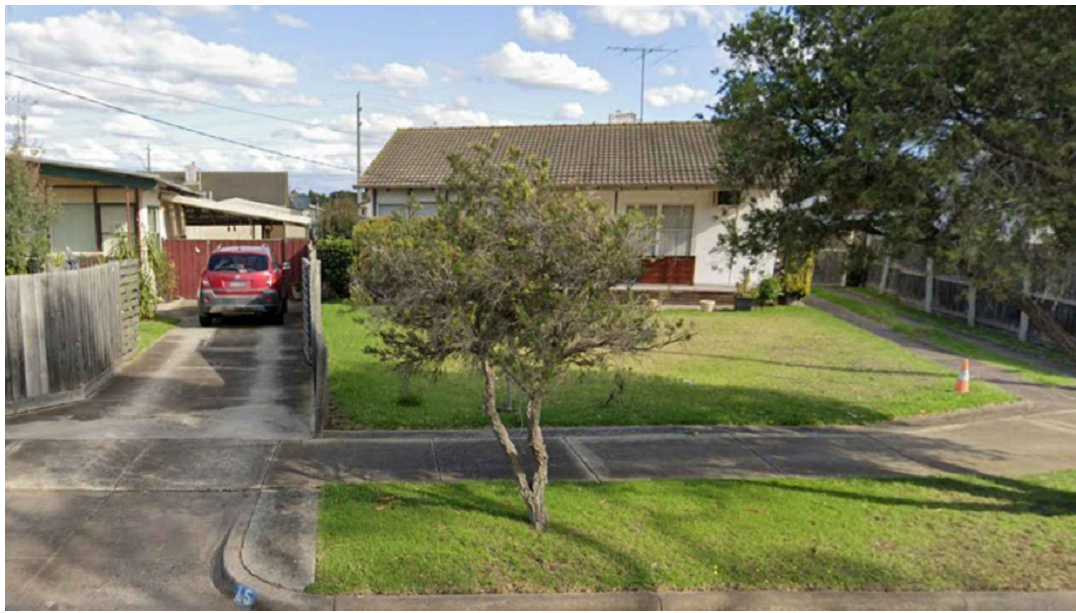


SITE LOCATION PLAN



No. 15 SINGLE STOREY  
Google Image 2023

CLADDING DWELLING



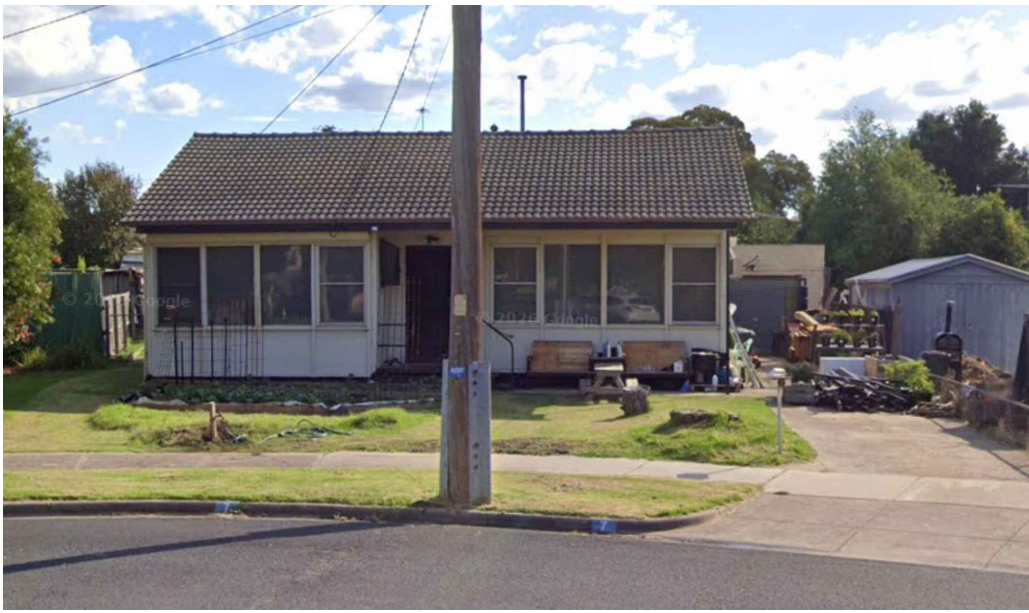
No. 13 SINGLE STOREY  
Google Image 2023

CLADDING DWELLING



No. 9 SINGLE STOREY UNITS  
Google Image 2023

BRICK DWELLING



No. 7 SINGLE STOREY  
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CLADDING DWELLING

PROJECT LAND DETAIL

PROPOSED DEVELOPMENT AT No.11 Georgia Grove, Corio, VIC, 3214

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BUILDERS TO CONFIRM DIMENSIONS ON SITE PRIOR TO COMMENCEMENT  
SITE & FLOOR LEVELS TO BE CONFIRMED ON SITE BY BUILDER PRIOR TO COMMENCEMENT OF ANY WORKS.

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| INITIAL TOWN PLANNING DRAWING SET | RM | 20.07.26 |
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|  | Sheet No.     | A2/A11   |           |
|  | Job No.       | 20257119 |           |
|  | Drawn:        | RM       | Check: MM |
|  | TOWN PLANNING |          |           |

Project: PROPOSED NEW DEVELOPMENT  
At: No. 11 Georgia Grove, Corio, VIC, 3214  
For: Lidija Kristo



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EXISTING SITE CONDITION PLAN  
SCALE 1:150 @A1

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|  | Sheet No.            |    | <b>A3/A11</b> |          |
|                                                                                       | Job No.              |    |               | 20257119 |
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PROPOSED DEVELOPMENT AT No.11 Georgia Grove, Corio, VIC, 3214

NOTES:  
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ALFRESCO/DECK  
ANY PROPOSED EXTERNAL LIVING AREAS SUCH AS ALFRESCO OR DECKING FOR EACH DWELLING IS NOT TO BE FULLY ENCLOSED AT ANY TIME. SIDE AND/OR REAR SECTION MUST BE LEFT OPEN TO PRIVATE OPEN SPACE.

City of Greater Geelong - Statutory Planning - Date Received 20/7/2026

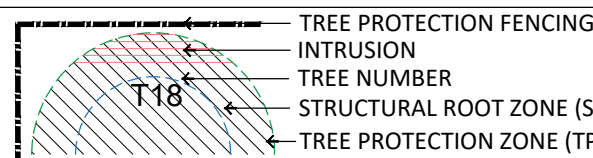
REFER TO SITE ANALYSIS DOCUMENTS FOR NEIGHBOURING DWELLING DETAILS  
LANDSCAPE PLAN TO BE PROVIDED BY CERTIFIED LANDSCAPE ARCHITECT TO SHOW PLANT SCHEDULE AND LAYOUTS  
ADJOINING WINDOW LEGEND  
HW ADJOINING HABITAT WINDOW  
DW ADJOINING DOOR/WINDOW COMBINATION  
W ADJOINING WINDOW  
HWM NON-HABITAT WINDOW



PROPOSED SITE LOCATION PLAN  
SCALE 1:150 @A1

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## PROPOSED DEVELOPMENT AT No.11 Georgia Grove, Corio, VIC, 3214



-TREE PROTECTION FENCE CONSTRUCTED OF STAR PICKETS AND CHAIN MESH TO BE ERECT PRIOR TO BUILDING WORKS

-TREE PROTECTION FENCE TO REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETED

-NO VEHICLE OR PEDESTRIAN ACCESS, TRENCHING OR SOIL EXCAVATION TO OCCUR WITHIN TREE PROTECTION ZONE

-NO STORAGE OR DUMPING OF TOOLS, WASTE OR EQUIPMENT IS TO OCCUR WITHIN TREE PROTECTION ZONE

-GROUND SURFACE OF TREE PROTECTION ZONE TO BE COVERED WITH 100MM DEEP LAYER OF MULCH PRIOR TO DEVELOPMENT AND TO BE REGULARLY WATERED

### IMPORTANT NOTE

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| REV | DESCRIPTION                       | ISSUED BY | DATE     |
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| 1   | INITIAL TOWN PLANNING DRAWING SET | RM        | 20.07.26 |
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|  | Job No.       | 20257119      |           |
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|  | TOWN PLANNING |               |           |

Project: PROPOSED NEW DEVELOPMENT

At: No. 11 Georgia Grove, Corio, VIC, 3214

For: Lidija Kristo



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**BUILDING CLASSIFICATION:**  
THE BUILDING IS CLASSIFIED IN ACCORDANCE WITH NCC VOLUME ONE, PART 4.3, DETERMINING THE APPLICABLE REQUIREMENTS FOR CONSTRUCTION AND PERFORMANCE.

**ROOM DIMENSIONS AND AREAS:**  
ALL HABITABLE ROOMS COMPLY WITH MINIMUM DIMENSIONS AND AREA REQUIREMENTS AS SPECIFIED IN NCC, ENSURING ADEQUATE LIVING SPACE AND AMENITY.

**NATURAL VENTILATION:**  
HABITABLE ROOMS ARE DESIGNED TO ALLOW FOR NATURAL VENTILATION IN ACCORDANCE WITH NCC REQUIREMENTS, WITH WINDOW OPENINGS PROVIDING CROSS-VENTILATION.

**DAYLIGHT ACCESS:**  
DESIGN INCLUDES PROVISIONS FOR NATURAL LIGHT, ENSURING THAT HABITABLE ROOMS RECEIVE ADEQUATE DAYLIGHT IN COMPLIANCE WITH NCC STANDARDS.

**ACCESSIBILITY:**  
THE FLOOR PLAN INCORPORATES ACCESSIBLE DESIGN FEATURES TO ENSURE COMPLIANCE WITH THE NCC AND AUSTRALIAN STANDARDS FOR ACCESS AND MOBILITY, PROVIDING EQUITABLE ACCESS FOR ALL USERS.

**EGRESS AND EVACUATION:**  
ADEQUATE PATHWAYS AND EXITS ARE PROVIDED FOR SAFE EGRESS IN THE EVENT OF AN EMERGENCY, CONFORMING TO NCC REQUIREMENTS FOR ESCAPE ROUTES AND DOORWAYS.

**FIRE SAFETY MEASURES:**  
FIRE SAFETY PROVISIONS ARE INCLUDED, SUCH AS FIRE-RATED WALLS, SEPARATION DISTANCES, AND ACCESS FOR EMERGENCY SERVICES, COMPLYING WITH NCC FIRE SAFETY REGULATIONS.

**ACOUSTIC PRIVACY:**  
DESIGN CONSIDERATIONS ARE INCLUDED TO MINIMIZE NOISE TRANSMISSION BETWEEN ROOMS AND FROM EXTERNAL SOURCES, ADHERING TO NCC ACOUSTIC PERFORMANCE REQUIREMENTS, AND NCC REQUIREMENTS.

**SERVICES AND UTILITIES:**  
THE FLOOR PLAN ACCOMMODATES NECESSARY SERVICES AND UTILITIES (E.G., PLUMBING, ELECTRICAL, HEATING) IN COMPLIANCE WITH NCC STANDARDS, ENSURING PROPER INSTALLATION AND ACCESS.

**SUSTAINABLE DESIGN:**  
INCORPORATION OF SUSTAINABLE BUILDING PRACTICES, SUCH AS ENERGY-EFFICIENT MATERIALS, WATER-SAVING FIXTURES, AND SUSTAINABLE LANDSCAPING FEATURES, IN ACCORDANCE WITH NCC SUSTAINABILITY PROVISIONS.

**SITE CONDITIONS:**  
ALL RELEVANT SITE CONDITIONS, INCLUDING SETBACKS, CONTOURS, AND SITE COVERAGE, ARE REFLECTED IN THE FLOOR PLAN TO ENSURE COMPLIANCE WITH LOCAL PLANNING REGULATIONS AND NCC REQUIREMENTS.

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OPEN SPACES WITH THE PROPERTY MUST BE CONSTRUCTED AT NATURAL SURFACE LEVELS AND NO FILL OR RETAINING WALLS MUST BE USED.

PROPOSED SITE AND FLOOR PLAN  
SCALE 1:100 @A1

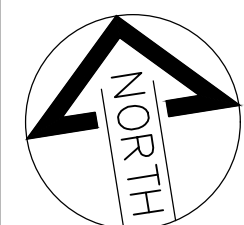
PROPOSED DEVELOPMENT AT No.11 Georgia Grove, Corio, VIC, 3214

City of Greater Geelong - Statutory Planning - Date Received 20/7/2026

| SITE & AREA ANALYSIS |            |         |  |
|----------------------|------------|---------|--|
| SITE AREA (approx.)  | 1022sq/m   |         |  |
| SITE COVERAGE        | 424.94sq/m | 41.58%  |  |
| PERMEABILITY         | 449.65sq/m | 44.00%  |  |
| GARDEN AREA          | 418.06sq/m | 40.91%  |  |
| CANOPY AREA          | 204.55sq/m | 20.01%  |  |
| DWELLING AREAS:      |            |         |  |
| EXISTING PROPERTY    |            |         |  |
| LIVING               | 101.88sq/m |         |  |
| PRIVATE OPEN SPACE   |            |         |  |
| ≥3m                  | 43.80sq/m  |         |  |
| TOTAL                | 51.93sq/m  |         |  |
| No. OF CARAPACES: 1  |            |         |  |
| PROPOSED UNIT 2      |            |         |  |
| GROUND FLOOR         | 186.43sq/m |         |  |
| PORCH                | 4.50sq/m   |         |  |
| GARAGE               | 40.03sq/m  |         |  |
| TOTAL AREA           | 230.96sq/m | 21.02SQ |  |
| PRIVATE OPEN SPACE   |            |         |  |
| ≥3m                  | 47.19sq/m  |         |  |
| TOTAL                | 81.50sq/m  |         |  |
| No. OF CARAPACES: 2  |            |         |  |
| PROPOSED VILLAS      |            |         |  |
| GROUND FLOOR         | 88.11sq/m  |         |  |
| PORCH                | 3.99sq/m   |         |  |
| TOTAL AREA           | 92.10sq/m  | 9.91SQ  |  |
| PRIVATE OPEN SPACE   |            |         |  |
| ≥3m                  | 41.35sq/m  |         |  |
| TOTAL                | 73.44sq/m  |         |  |
| No. OF CARAPACES: -  |            |         |  |

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NORTH

Sheet No: **A6/A11**

Job No: 20257119

Drawn: RM    Check: MM

TOWN PLANNING

Project: PROPOSED NEW DEVELOPMENT

At: No. 11 Georgia Grove, Corio, VIC, 3214

For: Lidija Kristo



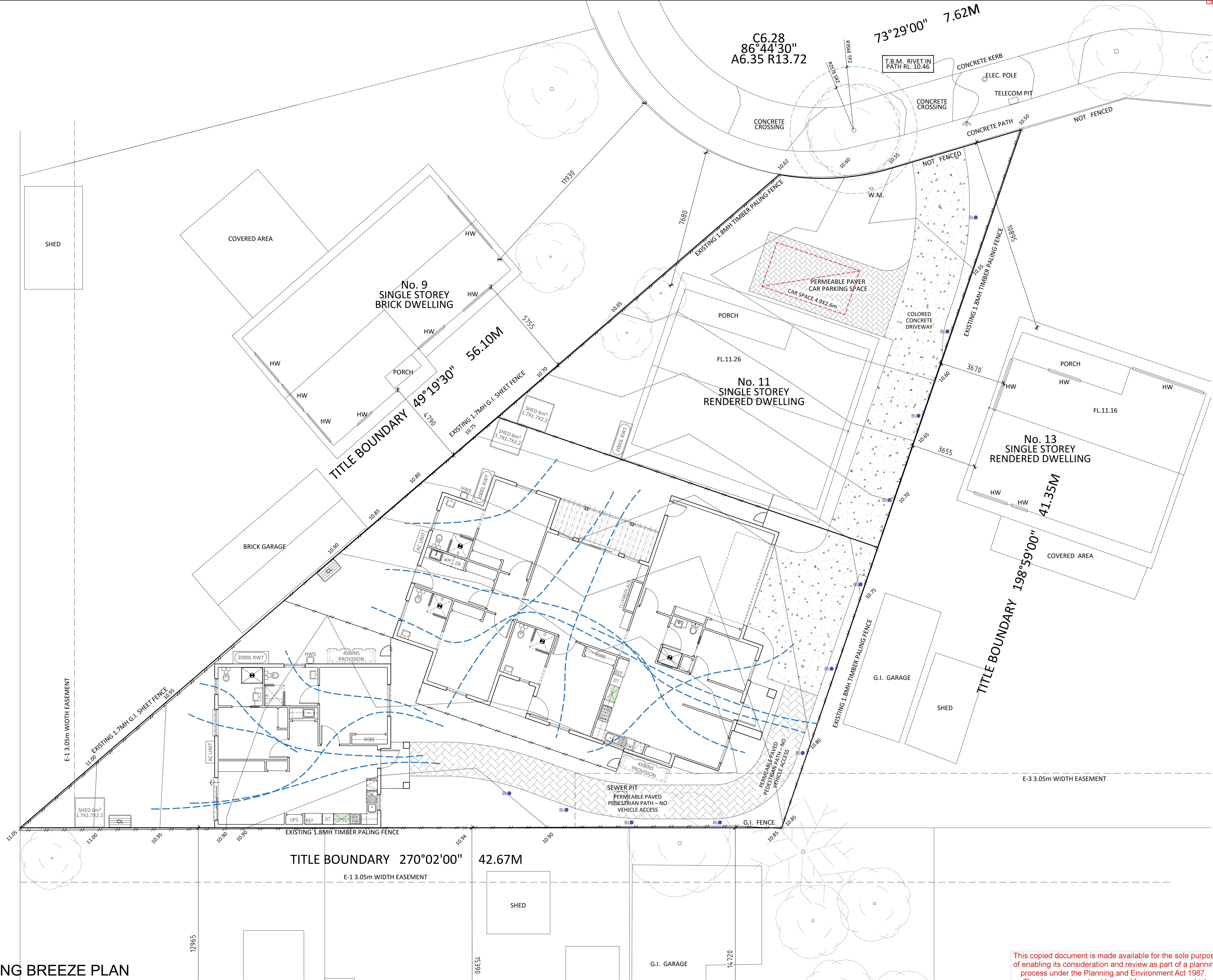
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THE SITE IS LOCATED IN MELBOURNE, WHICH EXPERIENCES PREVAILING SOUTHERLY AND SOUTH-WESTERLY BREEZES, PARTICULARLY DURING THE WARMER MONTHS. THE PROPOSED DWELLING LAYOUT ALLOWS THESE BREEZES TO BE CAPTURED AND TO MOVE THROUGH THE SITE, SUPPORTING NATURAL VENTILATION AND IMPROVED INDOOR COMFORT.



BUILDING BREEZE PLAN  
SCALE 1:100 @A1

## PROPOSED DEVELOPMENT AT No.11 Georgia Grove, Corio, VIC, 3214

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ARDEN AREAS SHOULD BE DESIGNED TO MANAGE  
ORMWATER EFFECTIVELY, ENSURING THAT  
JNOFF DOES NOT ADVERSELY AFFECT  
IGHBORING PROPERTIES.  
NDSCAPING MUST CONSIDER SOIL PERMEABILITY  
ND PLANT SELECTION TO MINIMIZE WATER USAGE  
ND PROMOTE SUSTAINABILITY.

**OPEN SPACE REQUIREMENTS:**  
THE DESIGN OF RESIDENTIAL DEVELOPMENTS SHOULD INCLUDE ADEQUATE OPEN SPACE, WHICH MAY INCORPORATE GARDEN AREAS TO PROVIDE AMENITY FOR OCCUPANTS AND CONTRIBUTE TO DIVERSITY.  
LANDSCAPING SHOULD BE INTEGRATED WITH THE BUILDING DESIGN TO ENHANCE THE AESTHETIC APPEAL AND ENVIRONMENTAL PERFORMANCE.

**PLANT SELECTION:**  
USE OF NATIVE AND DROUGHT-TOLERANT PLANTS IS ENCOURAGED TO REDUCE MAINTENANCE AND WATER CONSUMPTION.  
CONSIDERATION FOR PLANT PLACEMENT SHOULD ACCOUNT FOR SUNLIGHT, SHADE, AND PROXIMITY TO BUILDINGS.

**ACCESSIBILITY:**  
GARDEN AREAS SHOULD BE ACCESSIBLE AND  
DESIGNED TO ACCOMMODATE ALL USERS,  
INCLUDING THOSE WITH DISABILITIES. PATHWAYS  
AND SEATING AREAS SHOULD BE INCORPORATED TO  
ENHANCE USABILITY.

**ENVIRONMENTAL SUSTAINABILITY:**  
ENCOURAGE THE USE OF PERMEABLE SURFACES IN  
GARDEN AREAS TO FACILITATE GROUNDWATER  
RECHARGE AND REDUCE URBAN HEAT.  
INCORPORATE FEATURES SUCH AS RAIN GARDENS  
OR BIOSWALES TO IMPROVE STORMWATER  
MANAGEMENT.

**DEFINITION:**  
AN UNCOVERED OUTDOOR AREA OF A DWELLING OR RESIDENTIAL BUILDING NORMALLY ASSOCIATED WITH A GARDEN. IT INCLUDES OPEN ENTERTAINING AREAS, DECKS, LAWNS, GARDEN BEDS, SWIMMING POOLS, TENNIS COURTS AND THE LIKE. IT DOES NOT INCLUDE A DRIVEWAY, ANY AREA SET ASIDE FOR CAR PARKING, ANY BUILDING OR ROOFED AREA AND ANY AREA THAT HAS A DIMENSION OF LESS THAN 1 METER.

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|  | Sheet No.        |           |
|                                                                                       | A8/A11           |           |
|                                                                                       | Job No. 20257119 |           |
|                                                                                       | Drawn: RM        | Check: MM |
| TOWN PLANNING                                                                         |                  |           |

Project: PROPOSED NEW DEVELOPMENT

Address: No. 11 Georgia Grove,  
Corio, VIC, 3214

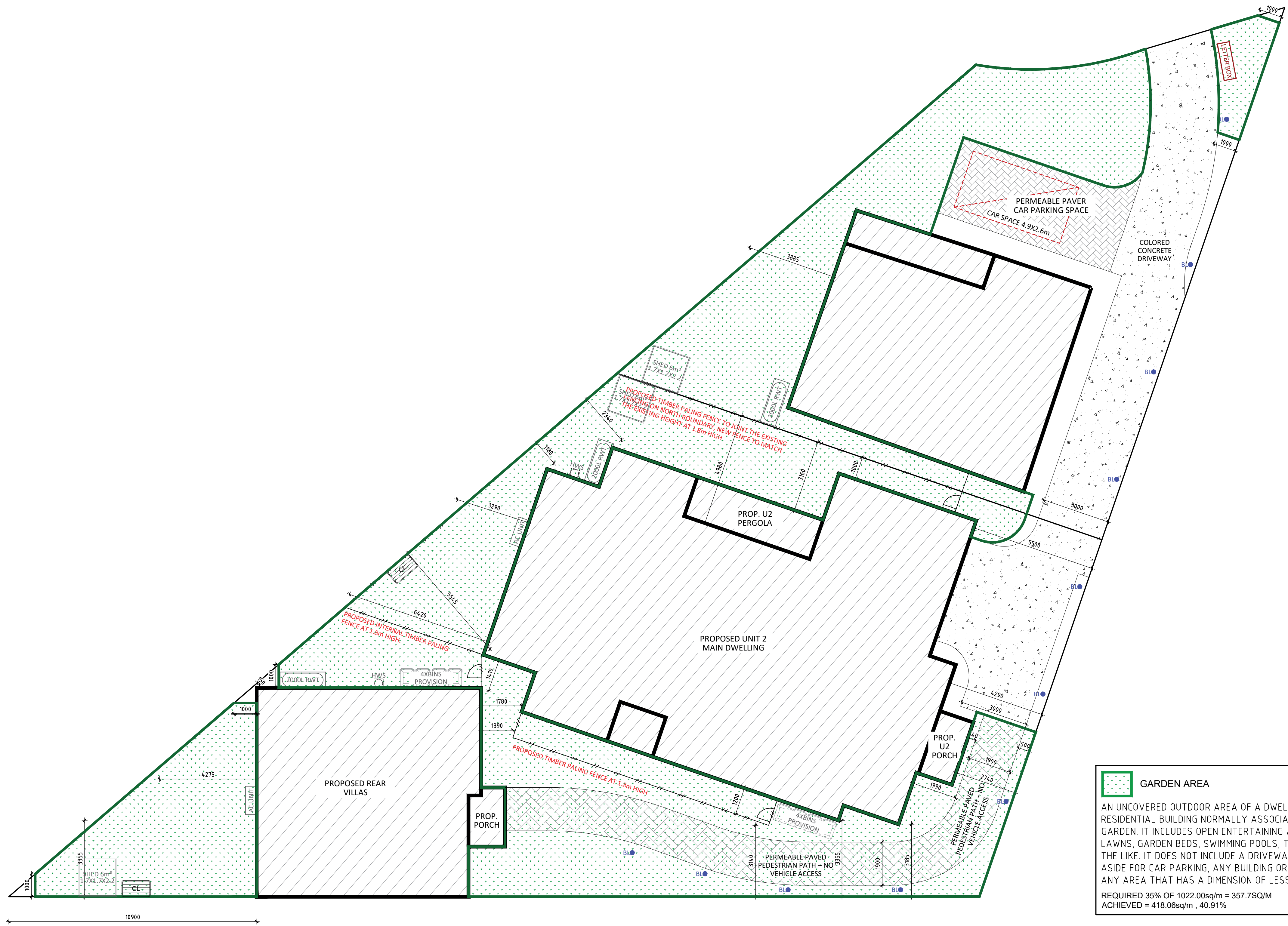
For: Lidija Kristo



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 GARDEN AREA

AN UNCOVERED OUTDOOR AREA OF A DWELLING OR RESIDENTIAL BUILDING NORMALLY ASSOCIATED WITH A GARDEN. IT INCLUDES OPEN ENTERTAINING AREAS, DECKS, LAWNS, GARDEN BEDS, SWIMMING POOLS, TENNIS COURTS AND THE LIKE. IT DOES NOT INCLUDE A DRIVEWAY, ANY AREA SET ASIDE FOR CAR PARKING, ANY BUILDING OR ROOFED AREA AND ANY AREA THAT HAS A DIMENSION OF LESS THAN 1 METRE.

REQUIRED 35% OF 1022.00sq/m = 357.7SQ/M  
ACHIEVED = 418.06sq/m , 40.91%

# GARDEN AREA PLAN

SCALE 1:100 @A1

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# PROPOSED DEVELOPMENT AT No.11 Georgia Grove, Corio, VIC, 3214



TREE CANOPY PLAN  
SCALE 1:100 @A1

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**TREE CANOPY COVER – CLAUSE 55 STANDARD B2.7**  
SITE AREA: 1022 M<sup>2</sup>  
REQUIRED CANOPY COVER (≥20%): ≥ 204.40 M<sup>2</sup>

**PROVIDED:**

UNIT 1 FRONT YARD  
1 × TYPE A (DEEP SOIL AREA: min. 16SQM  
CANOPY 35.82SQM WITHIN SITE BOUNDARY)  
1 × TYPE A (DEEP SOIL AREA: min. 16SQM  
CANOPY 23.63SQM WITHIN SITE BOUNDARY)

UNIT 1 BACK YARD  
1 × TYPE A (DEEP SOIL AREA: min. 36SQM  
CANOPY 30.14SQM WITHIN SITE BOUNDARY)

UNIT 2 BACK YARD  
1 × TYPE A (DEEP SOIL AREA: min. 12SQM  
CANOPY 12.57SQM WITHIN SITE BOUNDARY)  
1 × TYPE A (DEEP SOIL AREA: min. 16SQM  
CANOPY 16.61SQM WITHIN SITE BOUNDARY)  
1 × TYPE A (DEEP SOIL AREA: min. 25SQM  
CANOPY 28.69SQM WITHIN SITE BOUNDARY)

VILLAS FRONT YARD  
1 × TYPE A (DEEP SOIL AREA: min. 12SQM  
CANOPY 18.86SQM WITHIN SITE BOUNDARY)

VILLAS BACK YARD  
1 × TYPE A (DEEP SOIL AREA: min. 36SQM  
CANOPY 38.23SQM WITHIN SITE BOUNDARY)

**TOTAL CANOPY COVER PROVIDED**  
= 204.55 M<sup>2</sup> (±20.21% OF SITE AREA 1022 M<sup>2</sup>),  
EXCEEDING THE REQUIRED MINIMUM OF 20%  
(204.40 M<sup>2</sup>).

ALL DEEP SOIL AREAS ARE UNENCUMBERED (FREE OF SHEDS, PAVING, DRIVEWAYS OR FOOTINGS) AND MEET THE MINIMUM PLAN DIMENSIONS FOR TYPE A TREES.

CANOPY AREAS ARE CALCULATED AT MATURITY IN ACCORDANCE WITH TABLE B2.7.2, ENSURING COMPLIANCE WITH THE TREE CANOPY COVER OBJECTIVES OF CLAUSE 55.

**DEFINITION:**  
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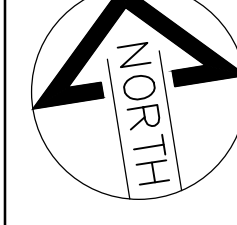
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**A9/A11**

Job No: 20257119

Drawn: RM Check: MM

**TOWN PLANNING**

Project: PROPOSED NEW DEVELOPMENT

At: No. 11 Georgia Grove,  
Corio, VIC, 3214

For: Lidija Kristo

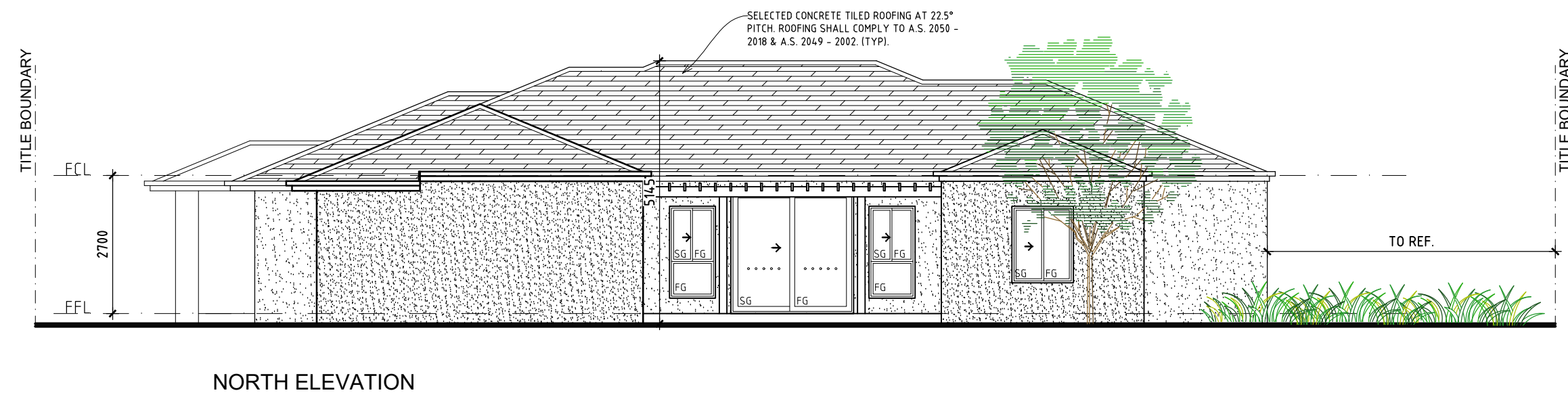
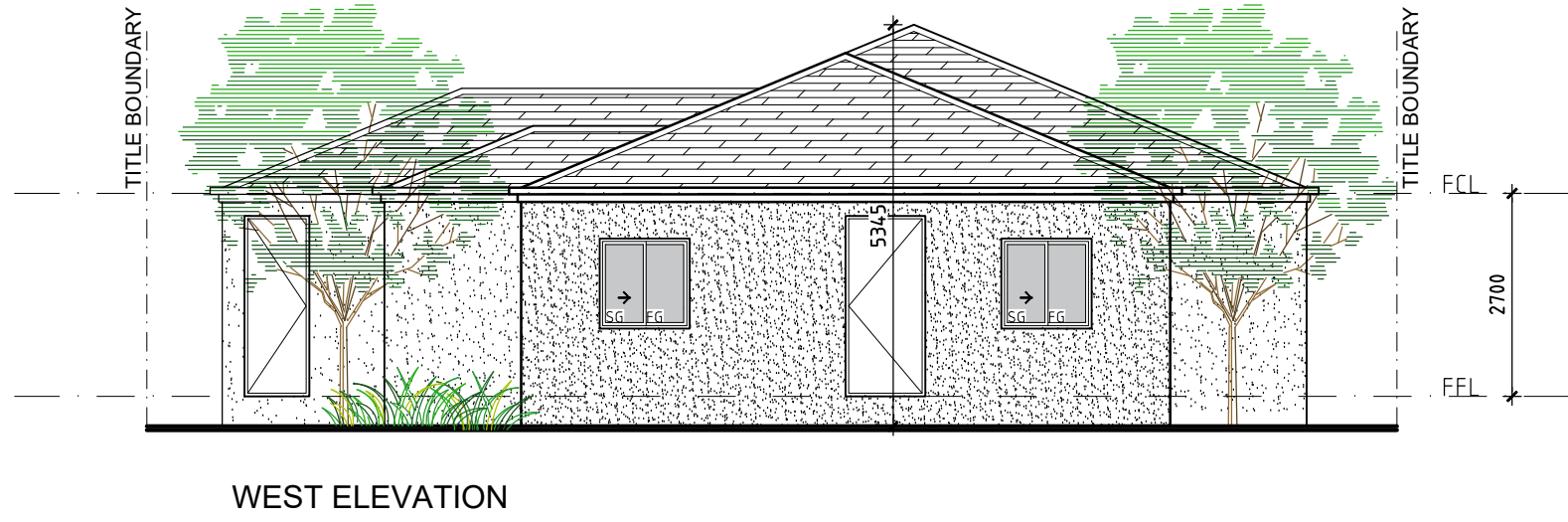
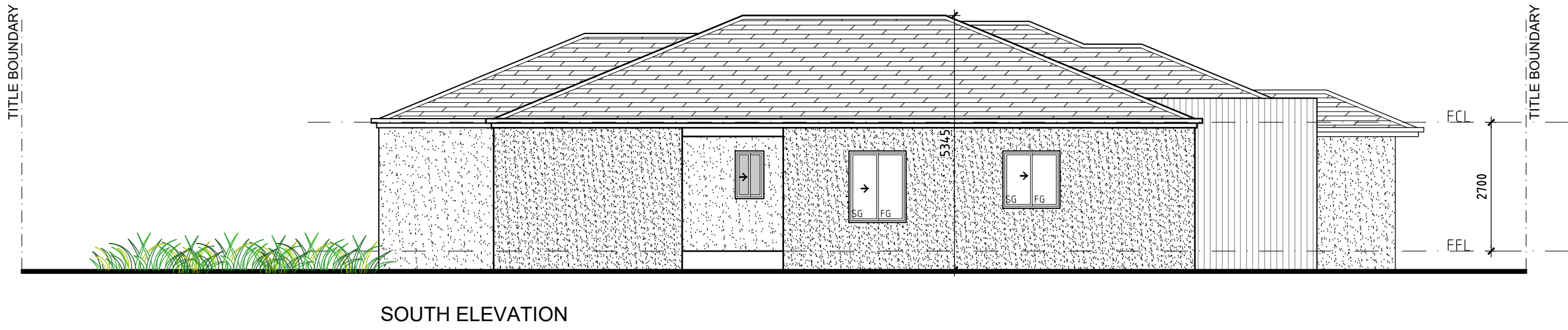
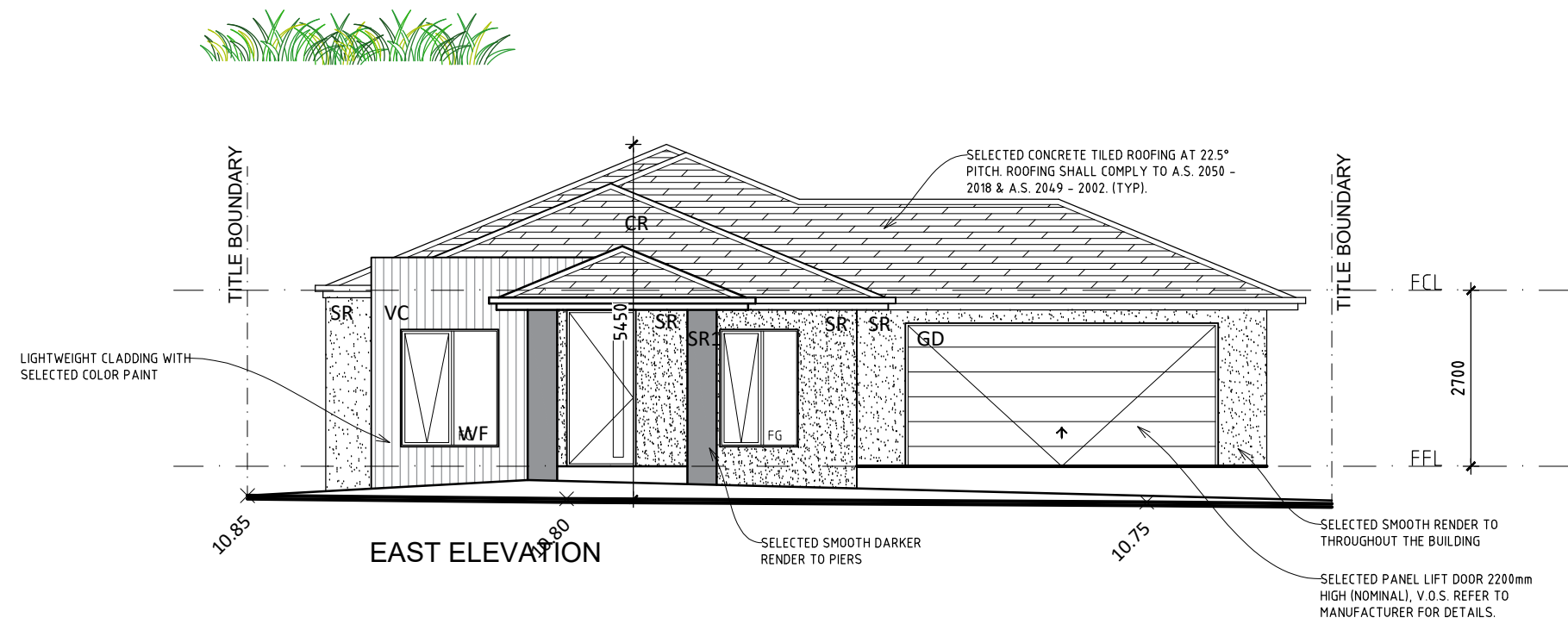


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# PROPOSED DEVELOPMENT AT No.11 Georgia Grove, Corio, VIC, 3214



### EXTERNAL COLOUR AND MATERIAL SCHEDULE

CONCRETE TILED - CR  
AT 22.5° FALL  
BRISTLE ROOFING - COOL SMOKE

MAIN BUILDING RENDER  
SMOOTH RENDER - SR  
PAINT COLOR: SURFMIST

PORCH PIER WALL  
SMOOTH RENDER - SR2  
PAINT COLOR: MONUMENT

ALUMINUM WINDOW FRAME - WF  
POWDERCOATED  
COLOR: MONUMENT

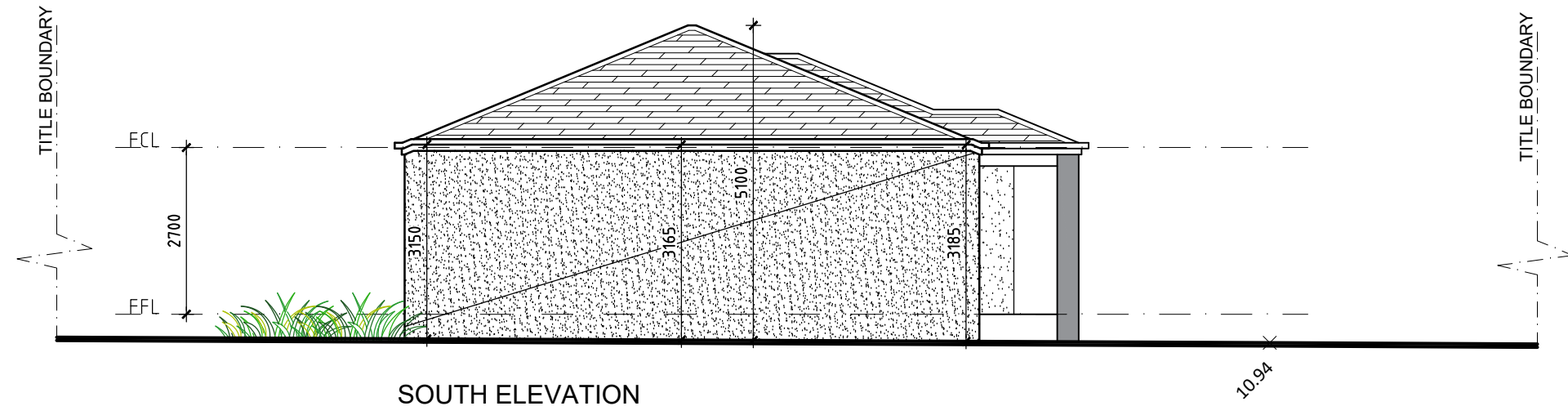
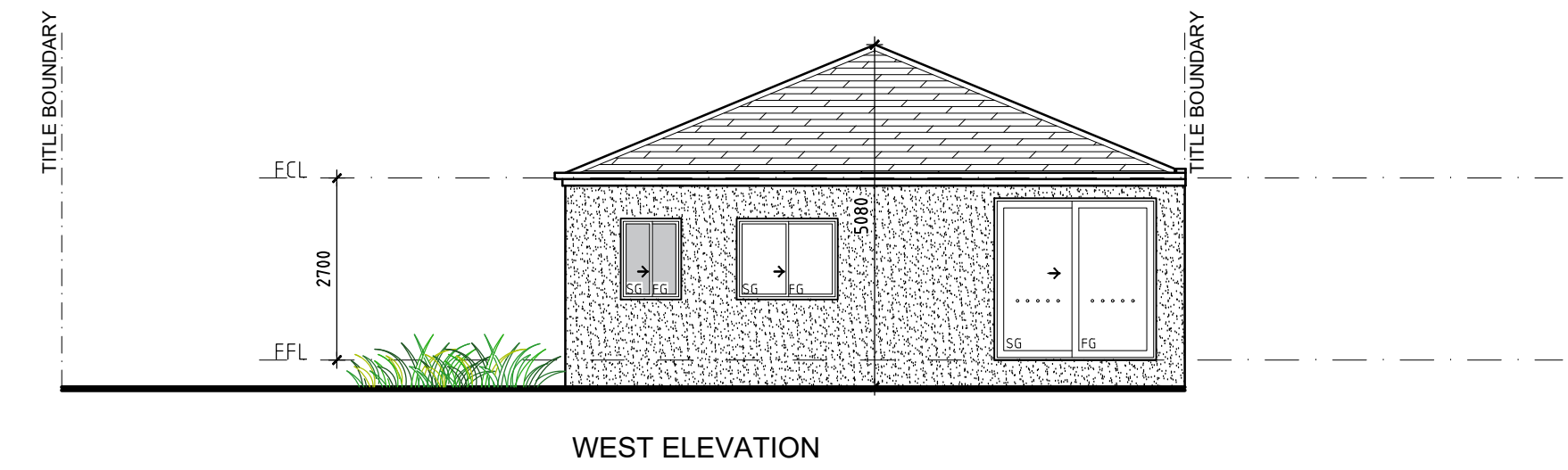
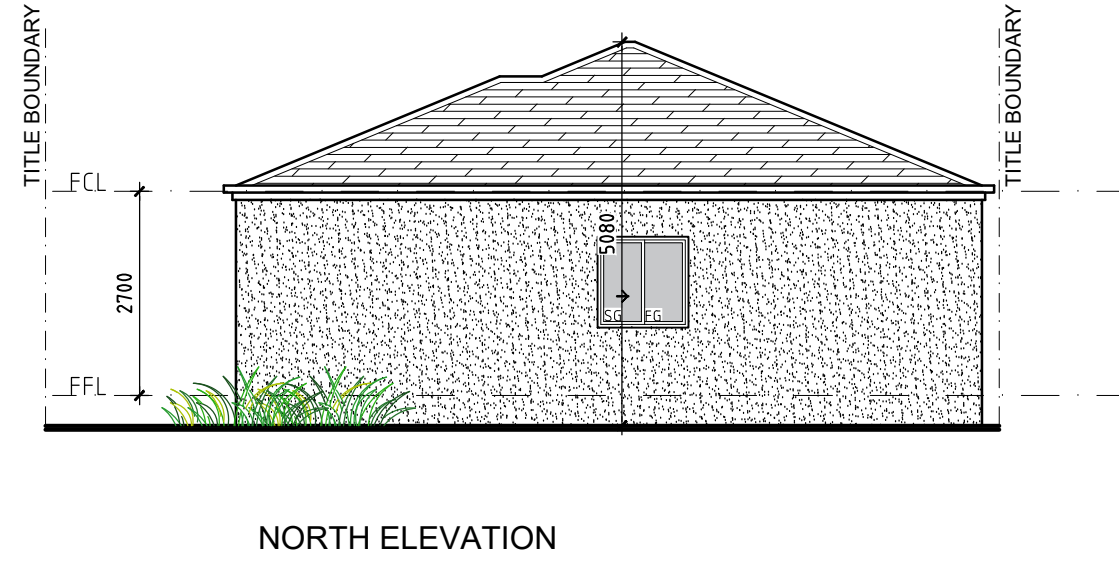
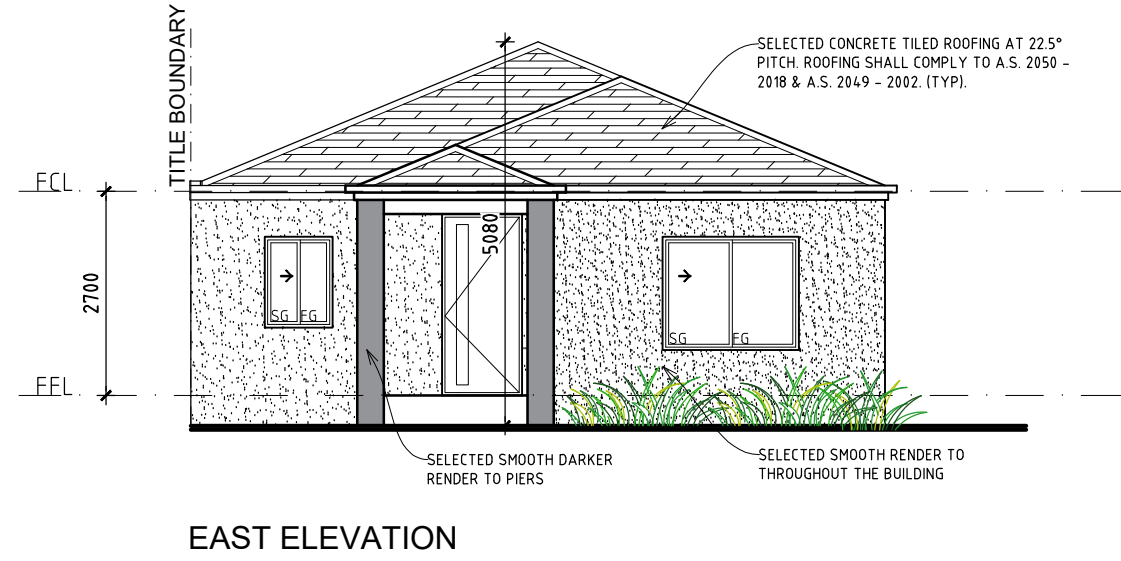
COLORBOND GARAGE DOOR - GD  
COLOR: SURFMIST

ROOF ELEMENT -  
GUTTER/FASCIA/DOWNSPIPE  
POWDERCOATED  
COLOR: MONUMENT

COLORLED CONCRETE - DRV  
COLOR: LIGHT GREY (SHALE GREY)

COLORBOND ENTRY DOOR - ED  
COLOR: MONUMENT

VERTICAL CLADDING - VC  
COLOR: MONUMENT



### ELEVATIONS

SCALE 1:100 @A1

## PROPOSED DEVELOPMENT AT No.11 Georgia Grove, Corio, VIC, 3214

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| A10/A11       | 20257119 | RM     | MM     |
| TOWN PLANNING |          |        |        |

Project: PROPOSED NEW DEVELOPMENT

At: No. 11 Georgia Grove,  
Corio, VIC, 3214

For: Lidija Kristo



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RAINGARDEN UNDERDRAIN OUTLET INVERT LEVEL TO BE SET ABOVE THE DOWNSTREAM STORMWATER CONNECTION INVERT TO MAINTAIN CONTINUOUS GRAVITY FALL TO THE COUNCIL LPOD. FINAL LEVELS TO BE CONFIRMED AS PART OF THE DETAILED DRAINAGE DESIGN.



CONCRETE  
DRIVEWAY



**164%**  
SCORE

|                 |                                             |
|-----------------|---------------------------------------------|
| Name            | No.11 Georgia Grove                         |
| Project ID      | 27DB8D02                                    |
| Street address  | 11 Georgia Grove, Corio VIC 3214, Australia |
| Municipality    | Greater Geelong                             |
| Site area       | 1022 m <sup>2</sup>                         |
| Planning Number |                                             |

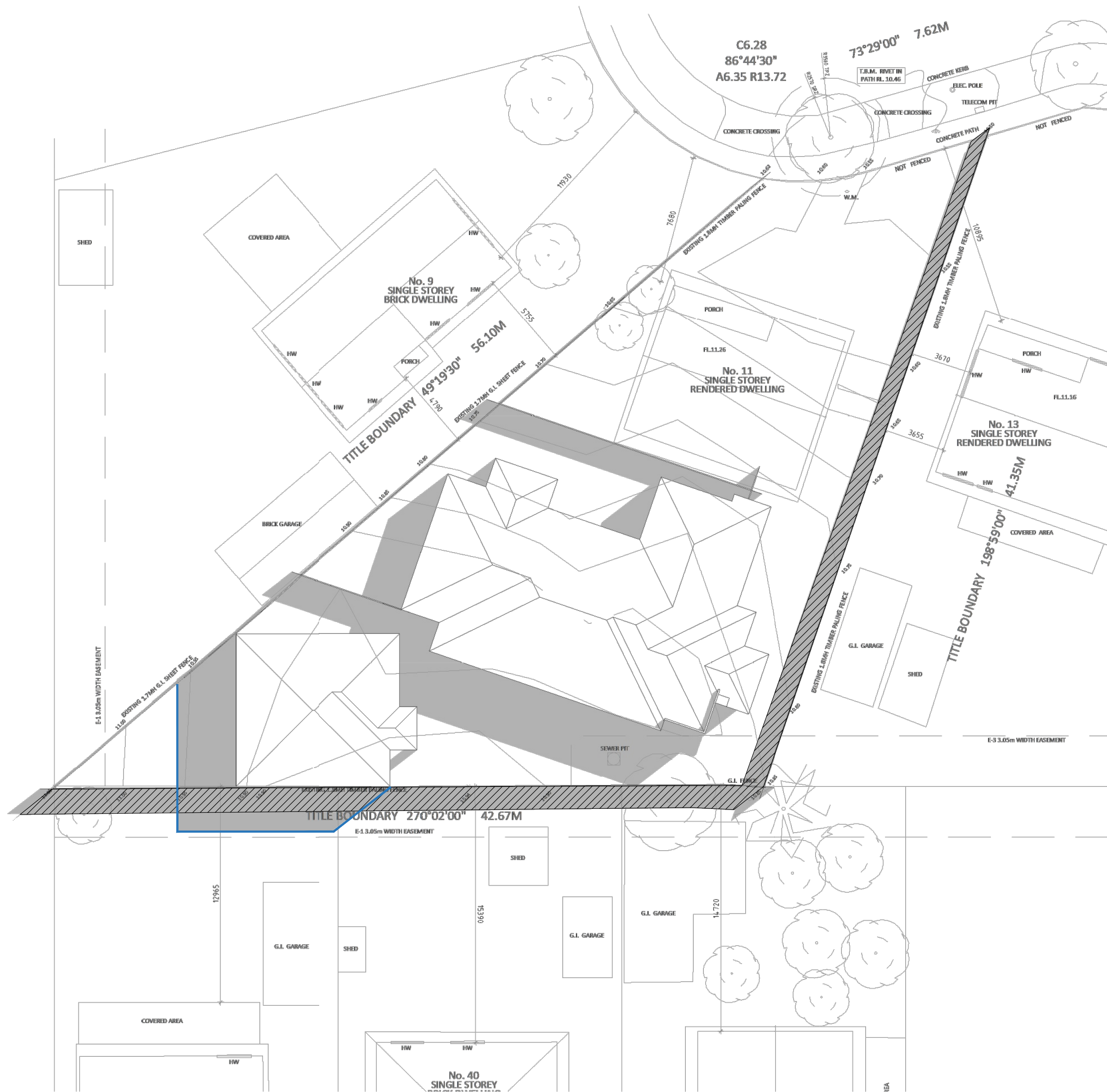
| Item                                                       | Result | Target |
|------------------------------------------------------------|--------|--------|
| Mean annual runoff volume harvested or evapotranspired (%) | 37%    | >32%   |
| Mean annual runoff volume infiltrated or filtered (%)      | 59%    | >3%    |
| Total suspended solids (%)                                 | 88%    | >80%   |
| Total phosphorus (%)                                       | 76%    | >45%   |
| Total nitrogen (%)                                         | 74%    | >45%   |
| Total gross pollutants (%)                                 | 86%    | >70%   |



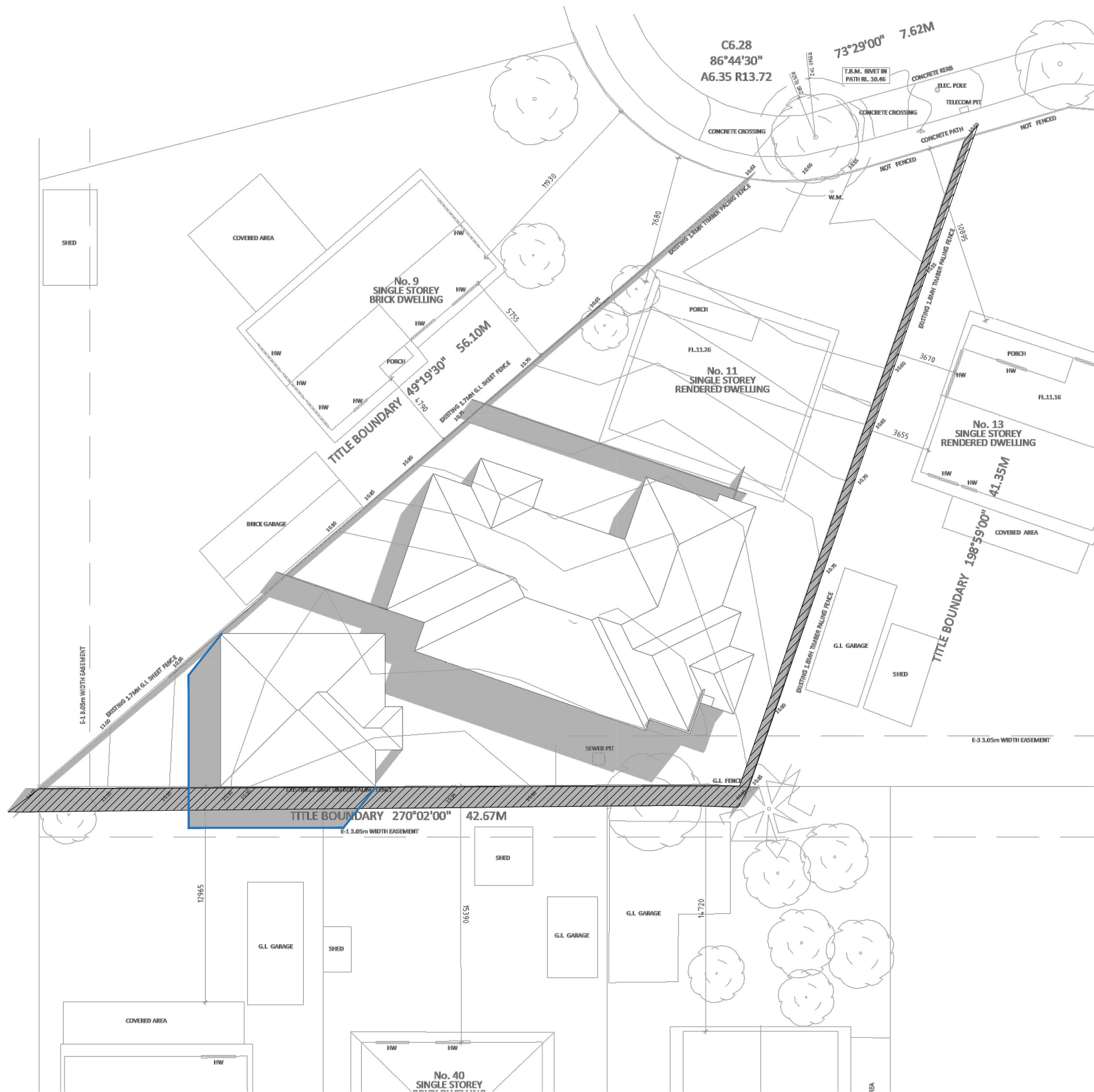
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PROPOSED DEVELOPMENT AT No.11 Georgia Grove, Corio, VIC, 3214



SHADOW DIAGRAM AT 9AM



SHADOW DIAGRAM AT 10AM

WUSD PLAN  
SCALE 1:200 @A1

PROPOSED DEVELOPMENT AT No.11 Georgia Grove, Corio, VIC, 3214

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Sheet No:  
**SD1/SD**

Job No:  
20257119

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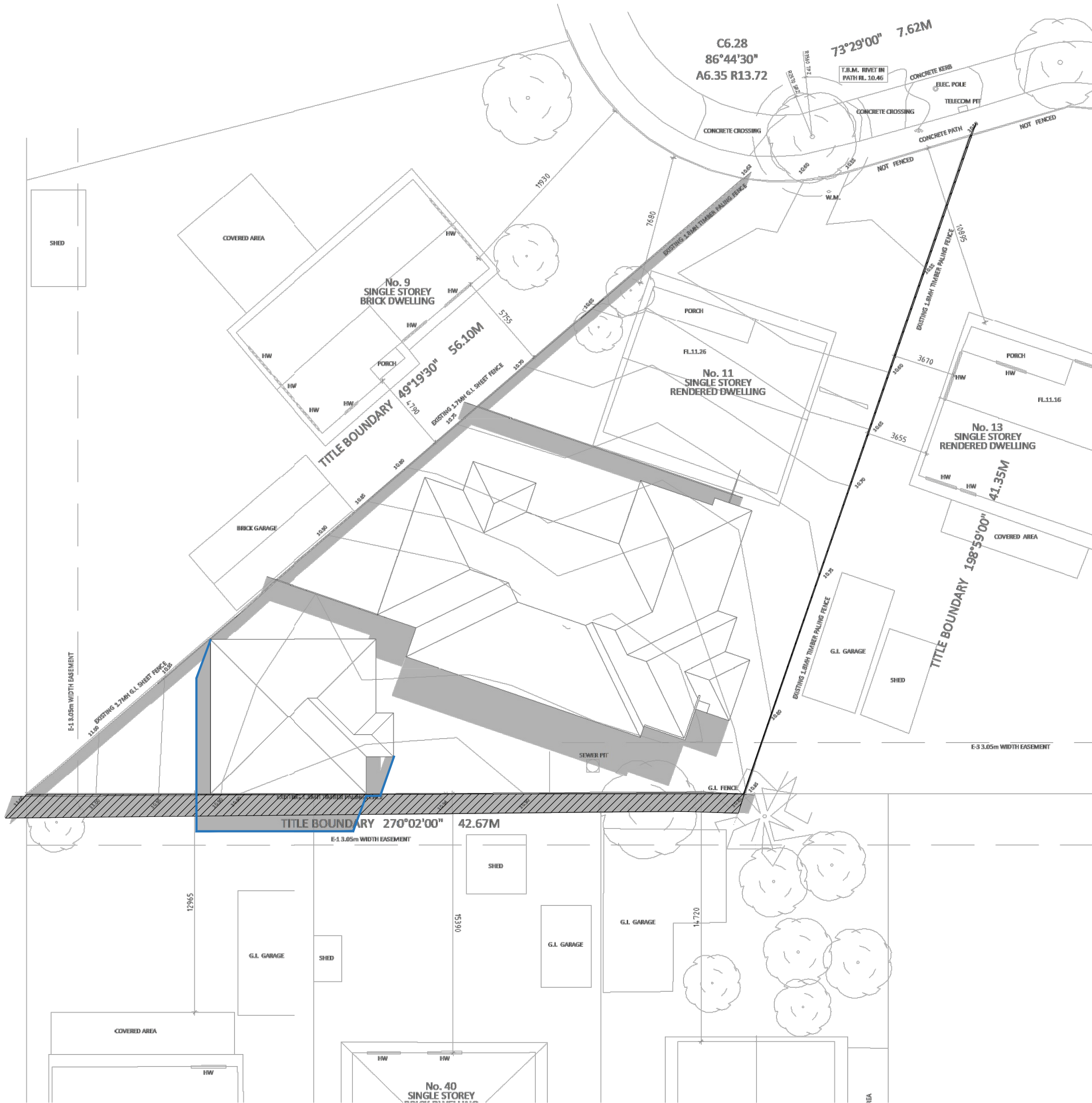
TOWN PLANNING

Project: PROPOSED NEW DEVELOPMENT  
At: No. 11 Georgia Grove, Corio, VIC, 3214  
For: Lidija Kristo

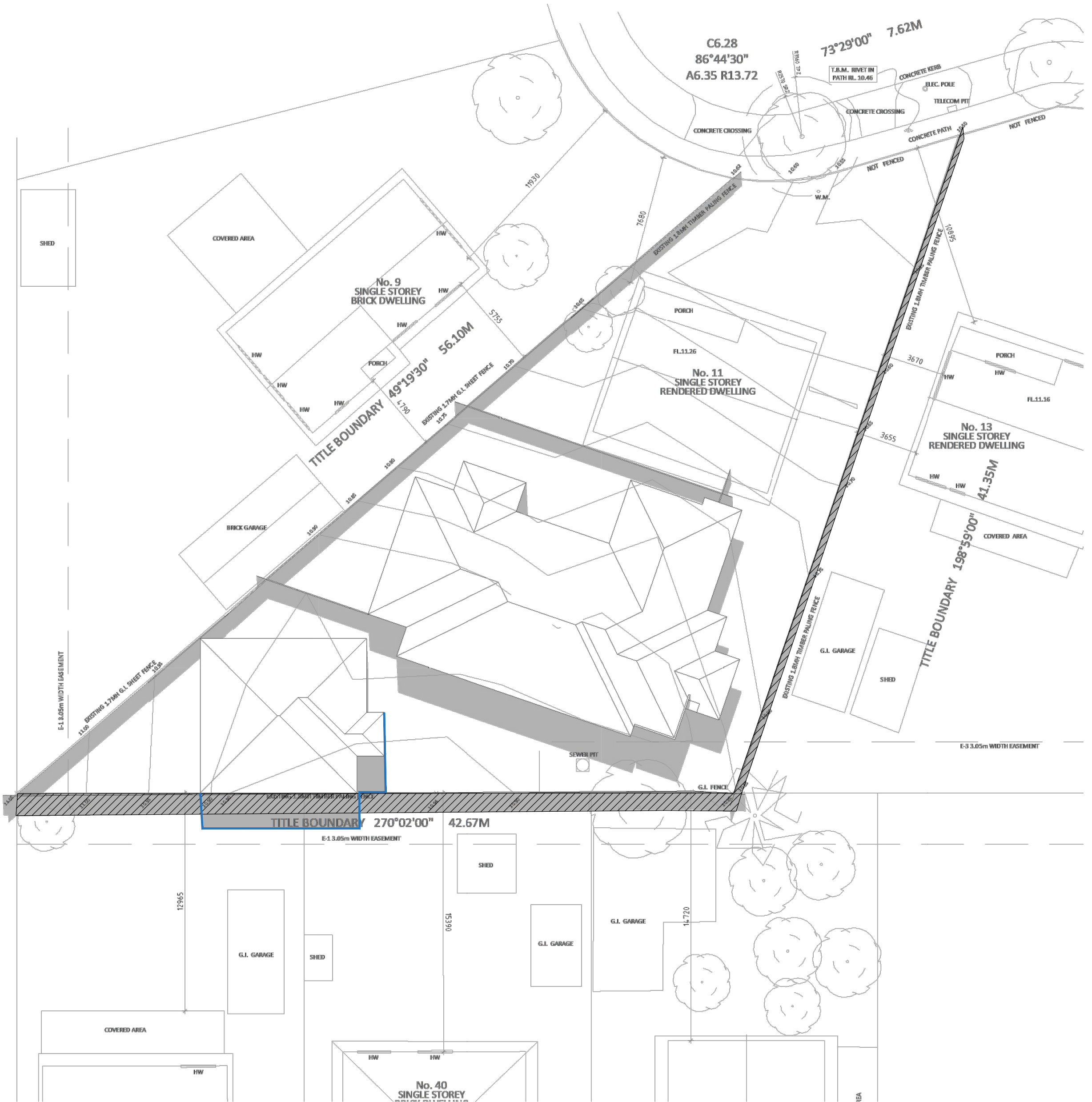
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SHADOW DIAGRAM AT 11AM



SHADOW DIAGRAM AT 12PM

SHADOW DIAGRAM  
SCALE 1:200 @A1

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Sheet No:  
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Job No:  
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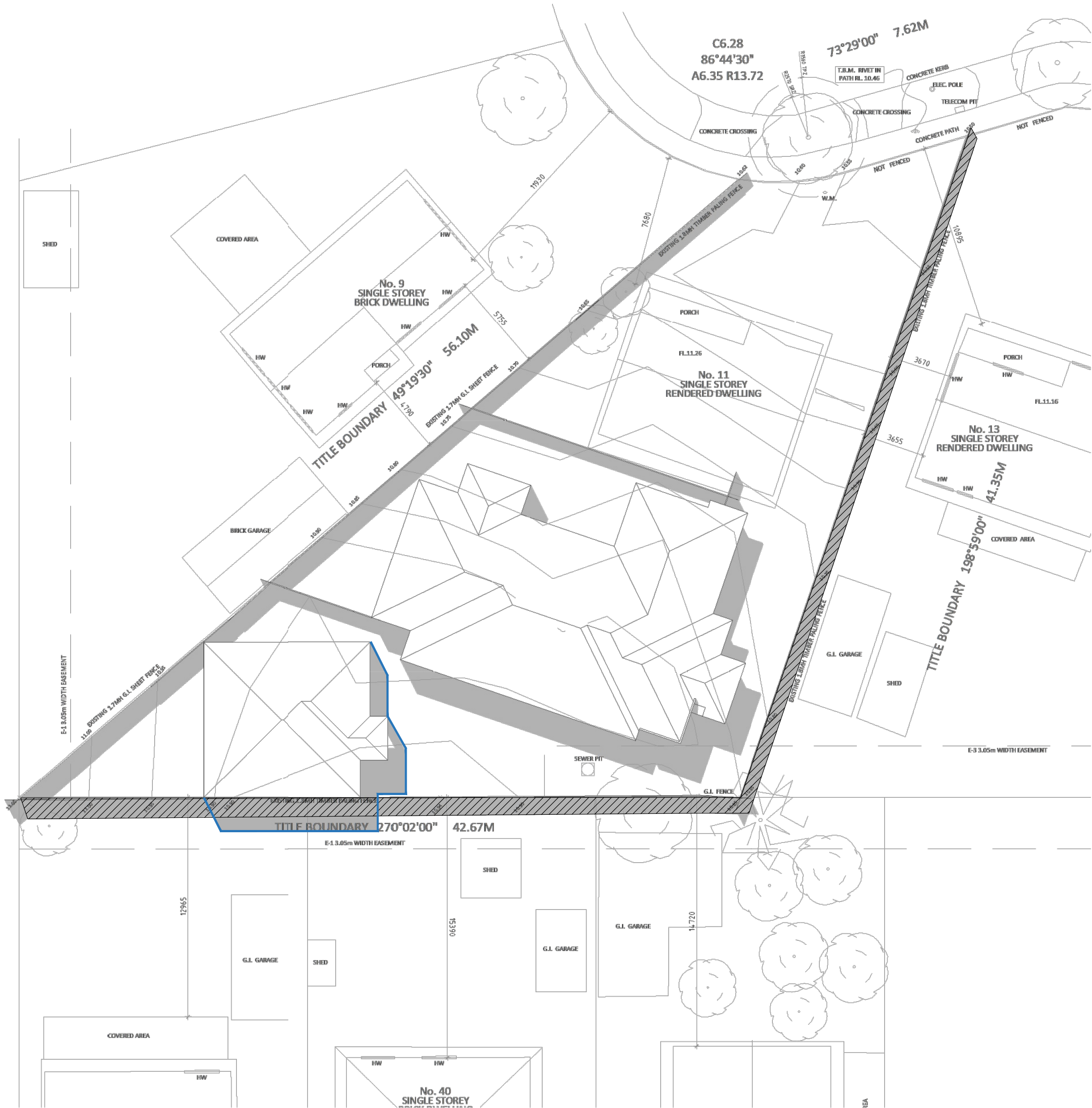
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Project: PROPOSED NEW DEVELOPMENT  
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Corio, VIC, 3214  
For: Lidija Kristo

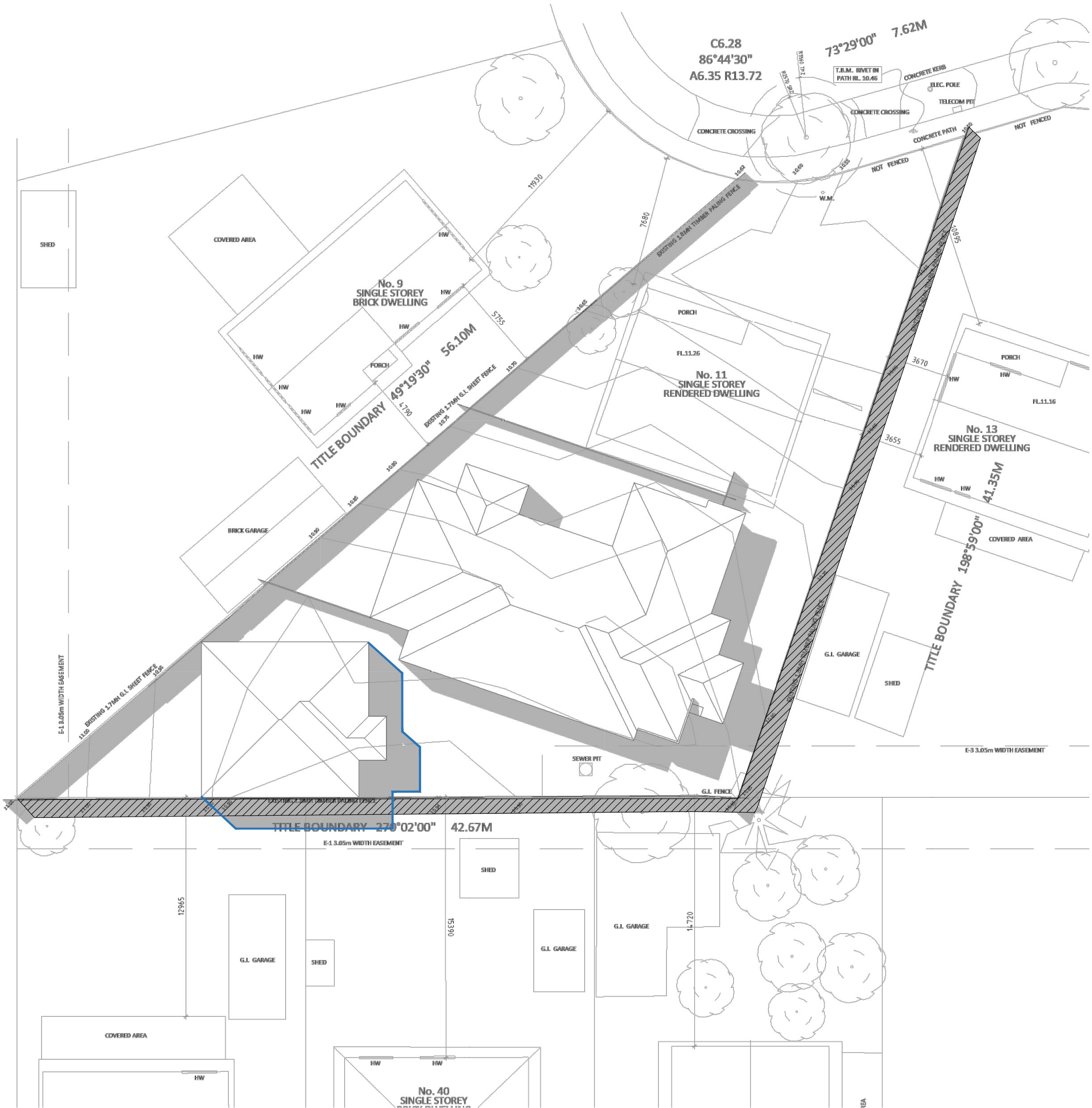
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# PROPOSED DEVELOPMENT AT No.11 Georgia Grove, Corio, VIC, 3214



SHADOW DIAGRAM AT 1PM



SHADOW DIAGRAM AT 2PM

WUSD PLAN  
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PROPOSED DEVELOPMENT AT No.11 Georgia Grove, Corio, VIC, 3214

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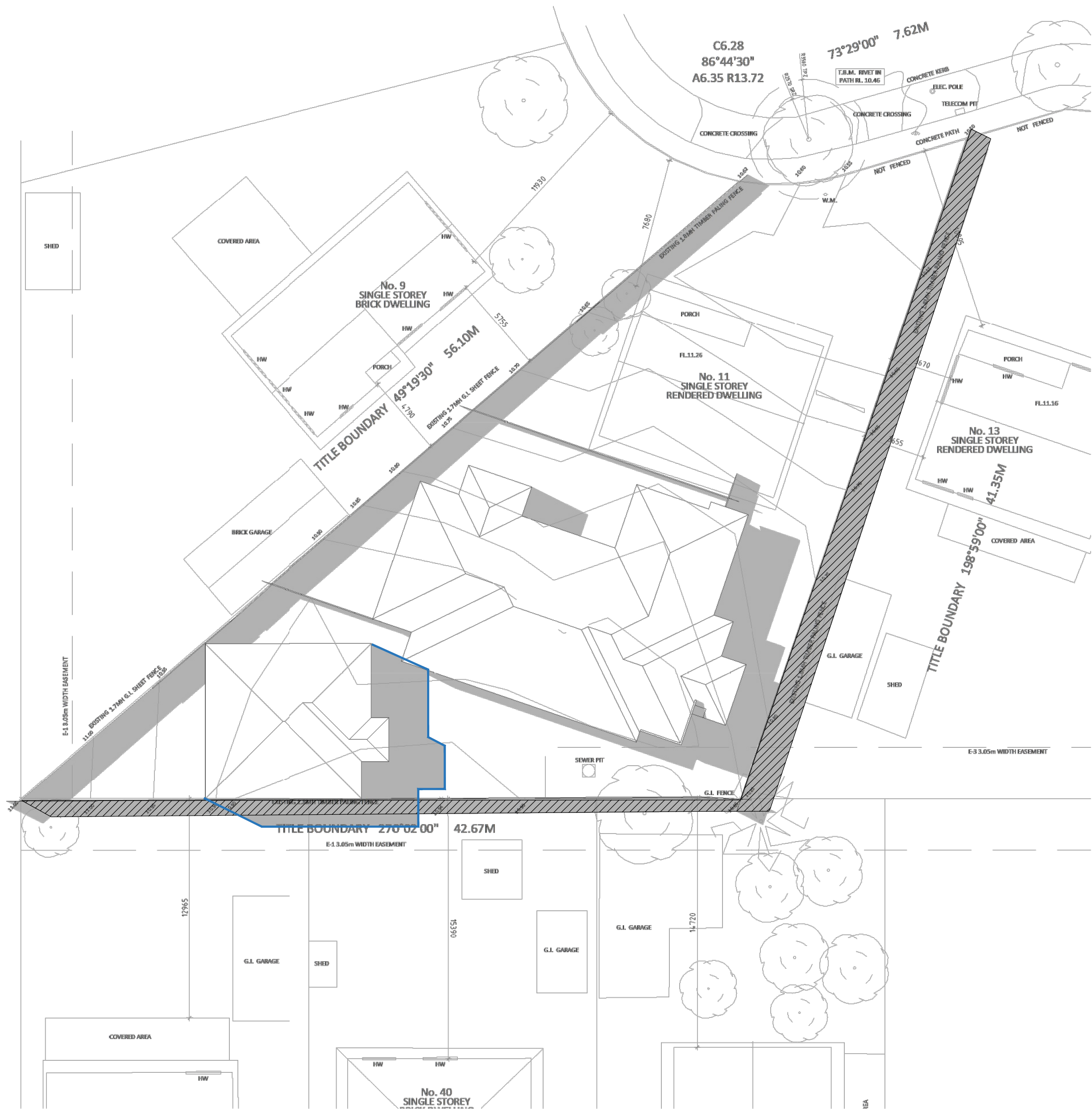
TOWN PLANNING

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SHADOW DIAGRAM AT 3PM

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Sheet No.

**SD4/SD**

Job No.

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TOWN PLANNING

Project: PROPOSED NEW DEVELOPMENT  
At: No. 11 Georgia Grove,  
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For: Lidija Kristo

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