

195 ROSLYN ROAD
BELMONT
RELOCATION OF BUILDING AND SUBDIVISION

HERITAGE IMPACT STATEMENT



Heritage Impact Statement for:

195 ROSLYN ROAD, BELMONT

This Heritage Impact Statement forms part of a permit application for:

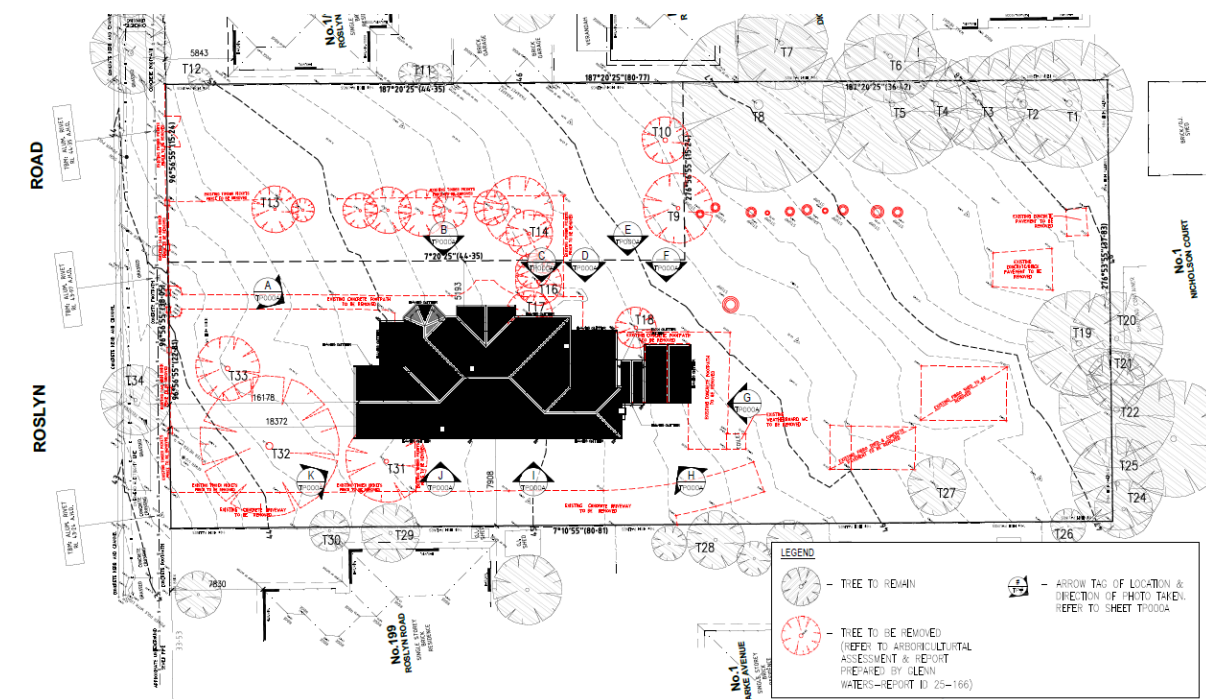
Realignment of site boundaries and relocation of the house on the site.

Greater Geelong Planning Scheme

The house is covered by its own heritage overlay (HO1881)

Address and location description:

The house is located at 195 Roslyn Road, Belmont. It is a stand-alone weatherboard clad Edwardian dwelling set back from the property boundary



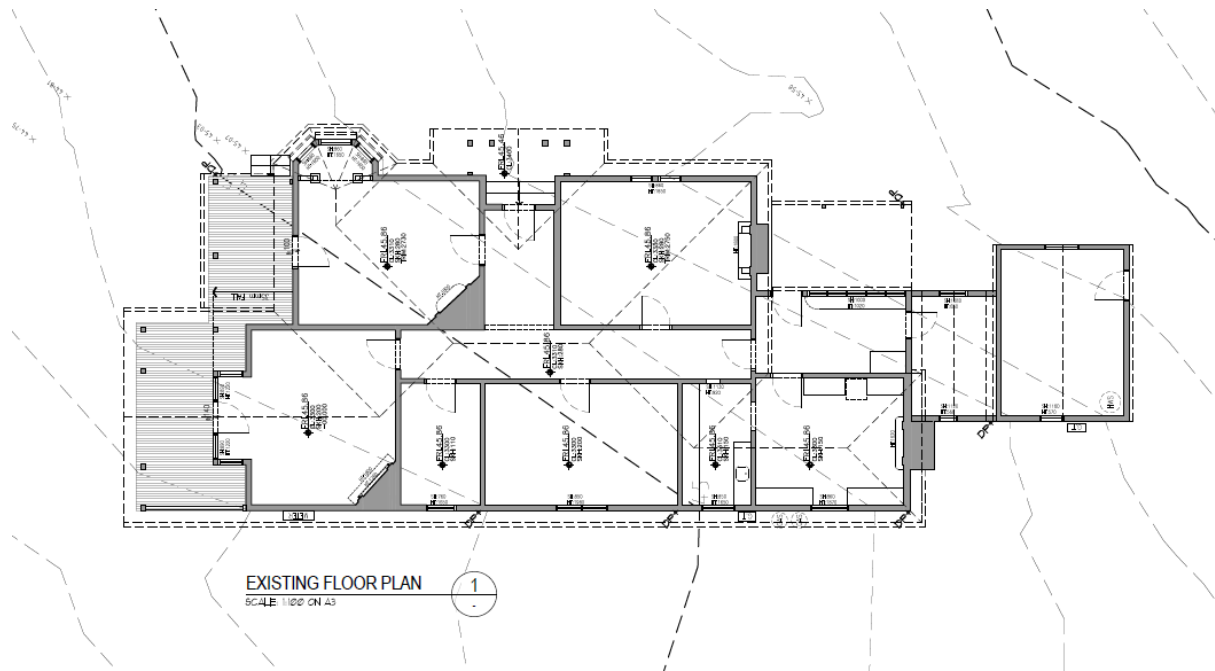


ILLUSTRATION 2, EXISTING FLOOR PLAN



ILLUSTRATION 3, NORTH EAST VIEW FROM ROSLYN ROAD.



ILLUSTRATION 4, FRONT PROJECTING VERANDAH



ILLUSTRATION 5., NORTH EAST CORNER OF HOUSE



ILLUSTRATION 6, EAST ELEVATION WITH ENTRY PORCH

Prepared by:

[REDACTED]
[REDACTED]
[REDACTED]
[REDACTED]
[REDACTED]

For:

[REDACTED]
[REDACTED]
[REDACTED]

HERITAGE IMPACT STATEMENT

Existing condition of the registered place

The existing building is unoccupied but in generally good condition. It appears to have lacked regular maintenance for some time and as a consequence there are corroded gutters and deteriorated paintwork as well as cracking and floor subsidence in the rear portions of the house

It sits well back from the front boundary and is elevated above street level. The house is located on a large allotment and has traditionally been surrounded by extensive gardens. These have not been maintained in more recent times and have been reduced to a number of single plantings.

1. THE PROPOSED WORKS

The works in the scheme involve:

- Realignment of site boundaries
- Demolition of rear sections of the house (see illustration 9)
- Demolition of chimneys
- Shifting the retained portions of the house to the allotment located on north-east corner of the broader site.
- Reconstruction of chimneys and refurbishment of the relocated portions of the house
- Construction of a new addition to the rear of the relocated and refurbished house.

2. HISTORY AND SIGNIFICANCE

Statement of Significance

C LISTED - LOCAL SIGNIFICANCE

The house at 195 Roslyn Road is aesthetically significant at a LOCAL level. It demonstrates many original design qualities of the Federation style. These qualities include the picturesque arrangement of roof forms: the central recessed hipped roof, projecting minor gables, skillion verandah and window bay; and the painted and lapped galvanised corrugated iron roof cladding. Other intact qualities include the horizontal weatherboard wall cladding, unpainted brick chimneys with rendered cappings, wide eaves, fixed and double hung timber framed windows, front timber door, verandahs supported by square timber columns with worked timber brackets and distinctive timber fretwork valances, worked timber gable brackets and the decorative gable infill (roughcast panelling, timber battening and small timber brackets).

The house at 195 Roslyn Road is historically significant at a LOCAL level. It is associated with the early housing development in Belmont in the early twentieth century, and with the Rowe family, long time owners and occupiers.

DESCRIPTION

The house at 195 Roslyn Road has large front and side setbacks, due to the substantial size of the allotment.

These setbacks are shown on the 1961 GWST Plan of Drainage. The front is bound by an inappropriate brick fence with tubular steel railing and is approximately 1500mm high. The single storey, asymmetrical, horizontal weatherboard, Federation styled house is characterised by a picturesque arrangement of roof forms, including a central recessed hipped roof, together with projecting minor gables, skillion verandah and window bay. These roof forms are clad in early, painted and lapped galvanised corrugated iron. Three early, unpainted brick chimneys with rendered cappings adorn the roofline. Wide overhangs are a feature of the eaves. The early timber framed windows are fixed and double hung, and the front timber door appears to be early.

A feature of the design is the front verandah that spans across the whole of the street facade, under the projecting gable and skillion. It is supported by early square timber columns, worked timber brackets and distinctive timber fretwork valances. These features are continued at the side to the east, where other porches and verandahs are located. Another feature of the design is the bay window that projects towards the east.

Apart from the verandah elements, early decorative features of the design include the worked timber gable brackets and the gable infill (roughcast panelling, timber battening and small timber brackets). (*Victorian Heritage Database*)

1. THE PROPOSAL

Realignment of title boundaries as shown in Illustration 7 below

Relocation of the existing dwelling to the north east allotment as indicated in Illustrations 7 & 8 below and construction of a new two storey addition to the relocated house as shown in illustration 8

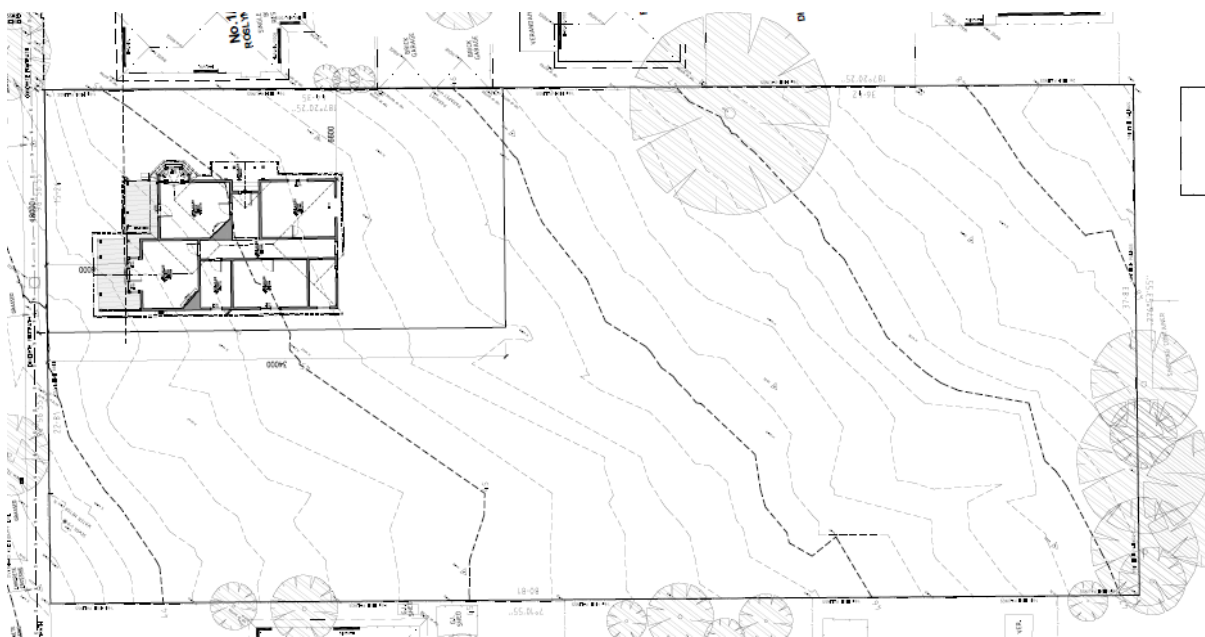


ILLUSTRATION 7, PROPOSED SITE PLAN

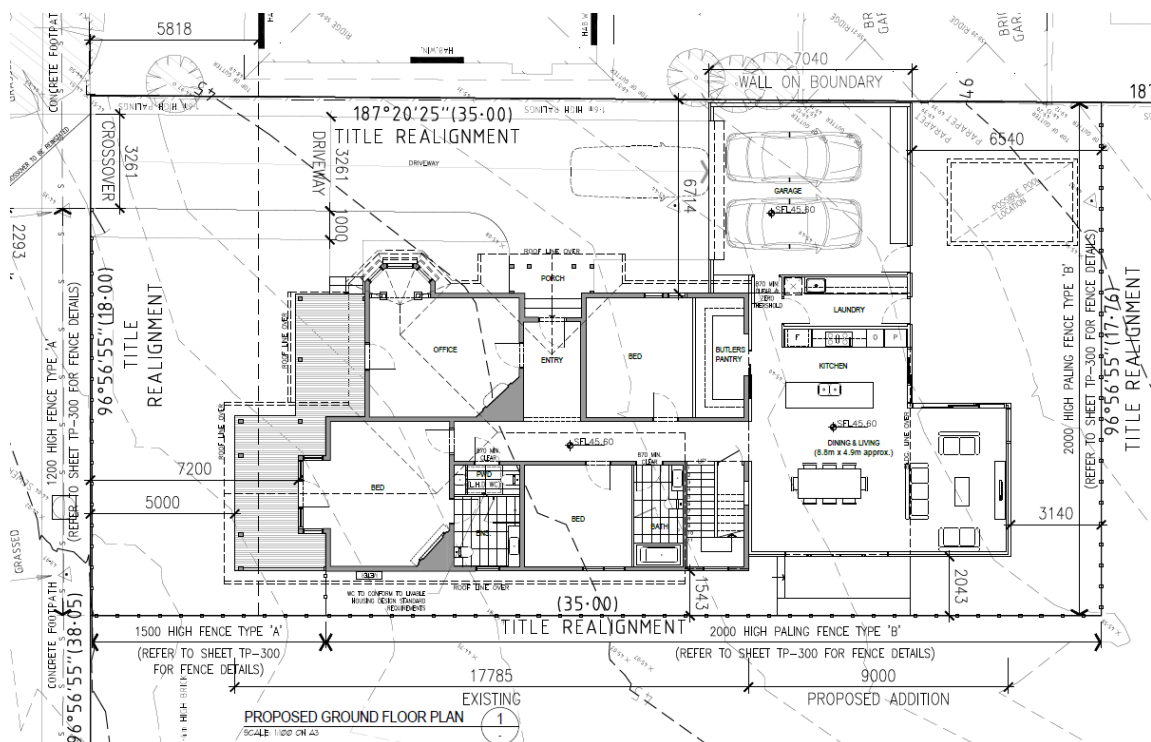


ILLUSTRATION 8: REDEVELOPED DWELLING ON NEW SITE.

2. HERITAGE IMPACT

1. What physical and/or visual impacts will result from the proposed works?

The physical and visual impacts of this proposal are largely restricted to:

- Demolition of rear sections of the original house as depicted at illustrations 9 & 10 below. They are all at the rear of the site and are essentially the original service rooms (kitchen, bathroom, etc) and are in a deteriorated condition. Their demolition will have no detrimental impact on the significance of the house.
- The shifting of the house on the site to a position on the north east allotment. This will change its presentation to Roslyn Road. It will be set back from the front boundary by 5M with a garden frontage to Roslyn Road

The physical risks to the structure posed by the move are significant but the process as described by *House relocation methodology relating to the period dwelling at 197 Roslyn Rd Belmont to 195 Roslyn Rd Belmont* as prepared by PK House Relocations (Appendix 1) sets out to minimise damage and reinstate elements (including chimneys)

- The construction of a two storey addition at the rear of the retained and relocated portions of the existing dwelling. The addition follows the demolition of rear sections and the relocation of the original house.. The addition is set back 17.7M from the front of the house (being the projecting verandah) and whilst it will be partly visible from oblique views from Roslyn Road will appear as a new and sympathetic building at the rear of the site.
2. If there are detrimental impacts on the cultural heritage significance of the place or object, provide reasons why the proposal should be permitted

There are no substantial detrimental impacts on the cultural heritage significance of the place. Whilst the moving of the house may seem to be detrimental it will not have an impact on the significance of the place as described in the Geelong City citation. The presentation of the house as an excellent example of the Federation style will not change and it will become more visible in the streetscape. It should be noted that the existing siting of the house is not described as an element of significance.

The proposal is to reinstate the major portions of the house on the new site to the point that it will be returned to a state that emulates its original condition.

3. Has the proposal address Local Planning Scheme policies

The Greater Geelong Planning Scheme (Local Planning Policies) Clause 15.03-1S and 15.03-1L provides guidance for the protection and management of heritage places in the City. The following extracts apply to this proposal.

15.03-1S Heritage conservation

Objective

To ensure the conservation of places of heritage significance.

Strategies

Identify, assess and document places of natural and cultural heritage significance as a basis for their inclusion in the planning scheme.

Provide for the protection of natural heritage sites and man-made resources.

Provide for the conservation and enhancement of those places that are of aesthetic, archaeological, architectural, cultural, scientific or social significance.

Encourage appropriate development that respects places with identified heritage values.

Retain those elements that contribute to the importance of the heritage place.

Encourage the conservation and restoration of contributory elements of a heritage place.

Ensure an appropriate setting and context for heritage places is maintained or enhanced.

Support adaptive reuse of heritage buildings where their use has become redundant.

Consider whether it is appropriate to require the restoration or reconstruction of a heritage building in a Heritage Overlay that has been unlawfully or unintentionally demolished in order to retain or interpret the cultural heritage significance of the building, streetscape or area.

Policy guidelines

Consider as relevant:

- The findings and recommendations of the Victorian Heritage Council.

Policy documents

- The Burra Charter: The Australia ICOMOS Charter for Places of Cultural Significance (Australia ICOMOS Incorporated, 2013).

15.03-1L Heritage conservation

Policy application

This policy applies to all land affected by a Heritage Overlay.

Strategies

Retain and conserve significant and contributory heritage places.

Discourage demolition of buildings or other elements that are significant or contributory to a heritage place unless it:

- Will contribute to the long-term conservation of the fabric of the part of the building being retained.
- Involves the removal of later unsympathetic modifications.
- Will enhance the heritage significance of the place.

Support use and development of a heritage place that enhances its significance and contributes to its longevity.**Design and site development, including external alterations of buildings, to make a positive contribution to the significance of the heritage place.**

Design development in heritage areas to provide a contemporary interpretation that relates to the location, bulk, form and materials of existing or neighbouring significant heritage places.

Encourage the retention or re-instatement of street works including street trees and bluestone kerbs, street construction form, asphalt footpaths, channels and crossovers.

Support the subdivision of land where:

- **The pattern of the proposed subdivision will not adversely affect the significance of the original subdivision.**
- The subdivision will conserve or enhance the significance of the heritage place.

Encourage replanting of a similar type of tree where the removal of a significant street tree is unavoidable.

Design development to be consistent with the City of Greater Geelong Heritage and Design Guidelines (Helen Lardner Conservation and Design, 1997).

Policy guidelines

Consider as relevant:

- Supporting the demolition of sites that are not contributory or significant to a heritage place where planning permission for a replacement development has been granted and a bona-fide contract for the new work confirmed.
- The following measures (except in the Rocky Point, Girton Crescent, Drysdale and McLeod's Waterholes Heritage Areas) where the retention of the existing bluestone kerb and channel is not possible:
 - Where a street is predominantly bluestone (70 per cent), re-instatement of original street detailing should occur.
 - Where a street is fragmented between bluestone and concrete, this should form the basis of the kerb and channel in the street.
 - Where a street is predominantly concrete, this should form the basis of the kerb and channel in the street.
 - In laneways with bluestone detail, the bluestone detail should be retained and pavements should be reconstructed with either a chip seal and gravel or asphalt surface.
 - Where a concrete tray is used with bluestone kerb, the concrete should be treated with a colour mix to give a faded grey colour.

Policy document

Consider as relevant:

- City of Greater Geelong Heritage and Design Guidelines (Helen Lardner Conservation and Design, 1997)

4. City of Greater Geelong Heritage and Design Guidelines (Helen Lardner Conservation and Design, 1997)

These guidelines deal with:

- Infill development in heritage areas and precincts.
- Architectural styles.
- Additions for heritage buildings.
- Designing new fences.

The latter two sections (Additions for heritage buildings and Designing new fences) are pertinent to this proposal.

5. The Burra Charter

The Burra Charter is called up as a policy document in the Greater Geelong Planning Scheme.

The following articles in the Burra Charter are pertinent to this proposal;

Article 9.

Location 9.1

The physical location of a place is part of its cultural significance. A building, work or other element of a place should remain in its historical location.

Relocation is generally unacceptable unless this is the sole practical means of ensuring its survival.

9.2

Some buildings, works or other elements of places were designed to be readily removable or already have a history of relocation. Provided such buildings, works or other elements do not have significant links with their present location, removal may be appropriate.

9.3

If any building, work or other element is moved, it should be moved to an appropriate location and given an appropriate use. Such action should not be to the detriment of any place of cultural significance..

Article 20.

Reconstruction 20.1

Reconstruction is appropriate only where a place is incomplete through damage or alteration, and only where there is sufficient evidence to reproduce an earlier state of the fabric. In some cases, reconstruction may also be appropriate as part of a use or practice that retains the cultural significance of the place.

20.2

Reconstruction should be identifiable on close inspection or through additional interpretation.

6. ANALYSIS

In considering the impact of the proposal reference needs to be made to key policies and guidelines:

From 15.03-1S

Encourage appropriate development that respects places with identified heritage values.

Retain those elements that contribute to the importance of the heritage place.

Encourage the conservation and restoration of contributory elements of a heritage place.

Ensure an appropriate setting and context for heritage places is maintained or enhanced.

Support adaptive reuse of heritage buildings where their use has become redundant.

This proposal addresses all of these strategies.

From 15.03-1L

Retain and conserve significant and contributory heritage places.

Support use and development of a heritage place that enhances its significance and contributes to its longevity.

Design and site development, including external alterations of buildings, to make a positive contribution to the significance of the heritage place.

Support the subdivision of land where:

- *The pattern of the proposed subdivision will not adversely affect the significance of the original subdivision.*

This proposal addresses all of these strategies.

From City of Greater Geelong Heritage and Design Guidelines

The key issues identified in these guidelines are the relationship of additions to an important property to the retained portions of that property and the design of new fences.

Many additions are placed at the rear of the existing building. This often allows for a larger scale addition if the setback means that the existing building screens the impact.

Major additions of a size comparable to, or greater than, the existing building should be treated as a separate visual entity. They may be joined by a link. The examples illustrated in Figure 2 demonstrates the visual separation of the addition from the heritage building.

Note that the roof form and massing of the addition is a central design factor with the existing heritage building. The detailing and materials offer opportunities for expressing contemporary design in the addition.(p27)

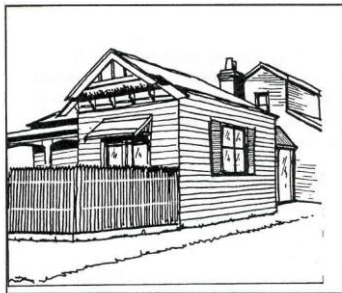


Figure 2

Adapt fences to the individual property.

Create an individual design for a period style fence by customising a standard style using design features from the existing building. It should be stylistically accurate in heights, proportioning and materials but individual details can be incorporated to make the fence special.

Verandah fretwork, balustrade patterns or decorative eaves brackets can be good sources of cut-out decorations for timber fences as illustrated in figure 1.(p31)

6.1 Realignment of site boundaries

Illustration 1 shows the current title boundaries with a subdivided allotment on the north eastern corner of the site. The boundaries of this allotment are to be realigned to accommodate the relocated dwelling.

This realignment has no impact on the heritage significance of the place. The significance is attributed to the house alone and whilst the existing site appears to be one large allotment it is in fact two and presumably the north eastern allotment could be developed at any stage.

6.2 Demolition

Illustration 9 shows the extent of demolition of the existing dwelling to precede the relocation of the retained portions of the dwelling.

The portions of the house to be demolished are largely the rear service areas of the house and insignificant outbuildings (see illustrations 9 & 10 below) and they are set well back from the main front of the house. Their removal will not impact on the architectural significance of the place as identified in the Statement of Significance. The picturesque arrangement of roof forms: the central recessed hipped roof, projecting minor gables, skillion verandah and window bay; and the painted and lapped galvanised corrugated iron roof cladding will all be retained. Other intact qualities as described will also be retained.

However, all of the remaining chimneys are to be demolished with the two main chimneys to be reconstructed to their existing design and form on the relocated house. This aspect of the proposal needs to be handled with care and adequate documentation (photographs and drawings) to ensure that the reconstructed chimneys are an identical reproduction of the original.

The relocation methodology statement covers this work in some detail:

3. CHIMNEY REMOVAL AND RECONSTRUCTION

Dismantle & Rebuild

- i) Number each brick*
- ii) Salvage original bricks*
- iii) Removal of bricks individually*
- iv) Brace walls and install new walls in place of brickwork*
- v) Once under roof line replace roof trusses/rafters*
- vi) Remove chimney footing*
- vii) Pour new footing at designated location*
- viii) Install concealed steel reinforcement internally*

The demolition works will also involve outbuildings which by and large appear to be later additions to the site. They are not acknowledged in the Statement of Significance and cannot be considered to be of any importance.

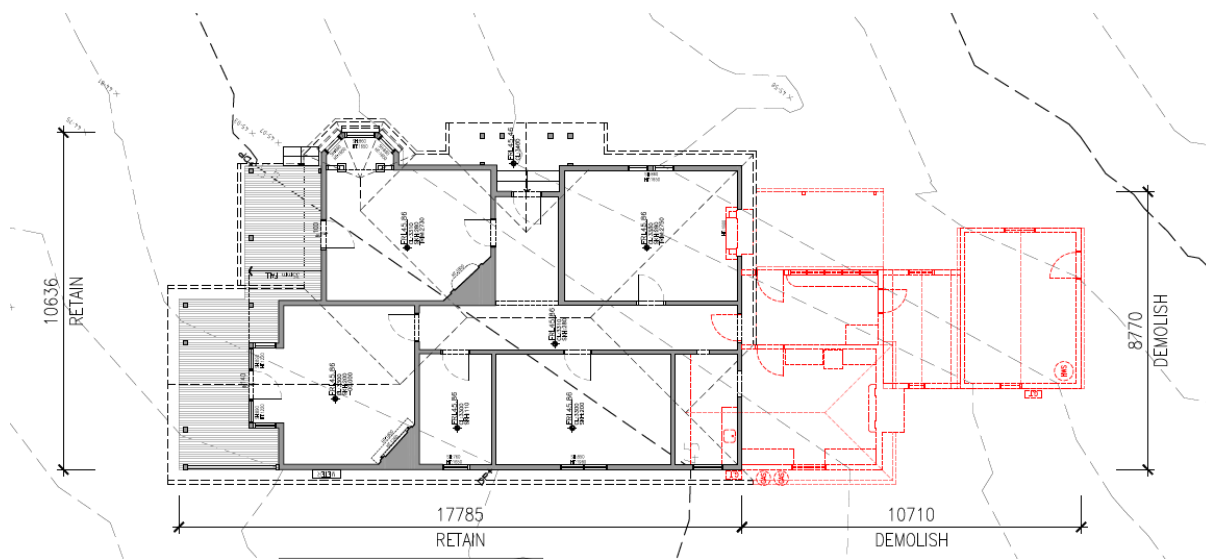


ILLUSTRATION 9, DEMOLITION PLAN



ILLUSTRATION 10, REAR SECTIONS OF HOUSE TO BE DEMOLISHED

6.3 Relocation

The process of relocation is outlined in the *House relocation methodology relating to the period dwelling at 197 Roslyn Rd Belmont to 195 Roslyn Rd Belmont*, as prepared by PK House Relocations.

This methodology appears sound but the heritage impact of the relocation lies in its new siting on the north eastern allotment. The most significant change will be its new siting closer to the street boundary (5M to the projecting verandah). This in itself will improve its visibility and align it with its neighbour to the east and generally bring it in line with other properties nearby.

It will continue to present as a prominent and substantial Federation style dwelling with all of the key features noted in the Statement of Significance retained and enhanced.

The Burra Charter generally discourages the moving of significant buildings. However, Article 9.3 states:

If any building, work or other element is moved, it should be moved to an appropriate location and given an appropriate use. Such action should not be to the detriment of any place of cultural significance..

In this case the building is to remain on its original broader allotment and will retain its association with Roslyn Road and its current site.

Also, the move to the new site and the refurbishment will ensure that the building is occupiable and will improve its longevity.

The landscape plan included as part of the application package also shows the planting of two substantial trees in the frontage along with other landscaping to enhance the presentation of the dwelling to the street. As indicated above the house would have always been presented behind a garden. On its current site the garden has been reduced to a few surviving plants. The new landscape plan reinstates that important garden presentation and will enhance the significance of the place.

Despite the new site it must be concluded that the heritage significance of the place will not be detrimentally impacted.

6.4 Building additions

The post relocation additions to the house include a new two storey section at the rear, a new garage and a new front fence. These works will create a dwelling that is up to date and readily usable.

The addition at the rear is designed as a rectangular box-like form, clad in Colorbond cladding.

The addition at the rear meets the sightline recommendations of the City of Greater Geelong Heritage and Design Guidelines and will not be visible above the roof of the relocated dwelling from the street. However, given the open nature of the site it will be visible from oblique views.

In order to minimise the impact of these additions it is recommended that the cladding be a light colour, similar to the proposed painting of the house.

The proposed garage is set well back on the south eastern side of the house and will appear as a simple addition to the site which doesn't impact the presentation of the house to the street.

The proposed new fence is a reproduction Edwardian design which is suitable for the period of the house.



ILLUSTRATION 11: EXAMPLE OF PROPOSED FENCE DESIGN

6.5 Refurbishment works

Once relocated the retained portions of the house will undergo extensive refurbishment works. This will include the reinstatement of the two chimneys, reinstatement of plaster decoration in the main rooms and external repainting in a sympathetic colour scheme (see illustration 12 below).



ILLUSTRATION 12: ARTISTS IMPRESSION OF REFURBISHED HOUSE

All of these works will assist in the interpretation of the heritage significance of the place.

7. CONCLUSION

This proposal to demolish sections of this significant dwelling, relocate the retained portions to the north eastern allotment (with realignment of boundaries), construct additions to the relocated house and refurbish the relocated portions of the dwelling are dramatic interventions to this site and the dwelling. However, all these actions have been well thought out and designed to minimise impact on the heritage significance of the house.

- The realignment of title boundaries will have no impact on the significance of the place.
- The demolition works are to rear sections of the dwelling which make little contribution to the stated elements of significance. The loss of two chimneys is unfortunate, but they are barely, if at all visible from the street. The to be demolished sections are invisible from the street.
- The relocation of the retained portions of the dwelling is the most dramatic change to the building. It will involve demolition of two chimneys (to be reinstated), the removal of internal plaster features (for reinstatement) and the lifting and moving of the house. This will all be undertaken by an experienced house relocation firm and completed in accordance with the methodology attached to the application.

The greatest change will be the different siting of the retained and relocated building. However, the main features of the house will be retained and refurbished and the dwelling will continue to have a significant presence in Roslyn Road. Despite this change the significant elements of the dwelling are retained and enhanced and the building continues to have a presence on its broader original site.

- The proposed additions to the house are relatively modest and fit with the recommendations of the heritage guidelines. They will not have a detrimental impact on the significance of the place. They will also allow the ongoing occupation and use of the house as a dwelling.
- The refurbishment works to the retained portions of the dwelling along with the creation of a new garden in the front setback are commendable and will enhance the presentation of this important building in Roslyn Road.

REFERENCES

City of Greater Geelong; Planning Scheme; (accessed April, 2026)

<https://planning-schemes.app.planning.vic.gov.au/Greater%20Geelong/ordinance/15.03-1S>

City of Greater Geelong Heritage and Design Guidelines (Helen Lardner Conservation and Design, 1997

<https://www.geelongcity.vic.gov.au/services/building-planning-and-development/heritage-design-guidelines-1997>

Heritage Victoria; Victorian Heritage Database

Australia ICOMOS; Burra Charter

Application drawings, TP000 – TP301

APPENDIX

House relocation methodology relating to the period dwelling at 197 Roslyn Rd Belmont to 195 Roslyn Rd Belmont.as prepared by [REDACTED]



House relocation methodology relating to the period dwelling at 197 Roslyn Rd Belmont to 195 Roslyn Rd Belmont.

1. DETAILED DOCUMENTATION PHASE

1.1 Obtain planning approval consent

- ☐ Existing condition drawings
- ☐ Architectural documentation of the extent of the building to be relocated
- ☐ Detailed photographic record (internal and external)
- ☐ Chimney detail documentation
- ☐ Brick bond pattern recording (if applicable)
- ☐

2. STRUCTURAL ENGINEERING ASSESSMENT

a. Dilapidation report of existing house before relocation. Specific attention upon:

- ☐ Brick chimney
- ☐ Bearer and joist subfloor

b. Structural engineer to supervise and/or design:

- ☐ Check stump design to geotechnical report design
- ☐ Lifting points
- ☐ Steel beam layout (if required)
- ☐ Chimney removal and reconstruction
- ☐ Frame and cross/ply brace locations

3. CHIMNEY REMOVAL AND RECONSTRUCTION

Dismantle & Rebuild

- i) Number each brick**
- ii) Salvage original bricks**
- iii) Removal of bricks individually**
- iv) Brace walls and install new walls in place of brickwork**
- v) Once under roof line replace roof trusses/rafters**
- vi) Remove chimney footing**
- vii) Pour new footing at designated location**
- viii) Install concealed steel reinforcement internally**

4. PREPARATION FOR LIFT

PK House Relocations

Page 2 of 4

4.1 Establish permit requirements

As the house is relocated on the same property:

- ☐ **No VicRoads permits required (unless crossing footpath or road)**
- ☐ **No overhead wire clearance unless near boundary**

4.2 Services Disconnection

- ☐ **Electricity abolishment**
- ☐ **Gas abolishment**
- ☐ **Sewer cut and cap**
- ☐ **Stormwater disconnect**
- ☐ **NBN abolishment/removal (if applicable)**

4.3 Internal stabilisation

- ☐ **Remove plaster ceiling roses**
- ☐ **Remove fragile cornices**
- ☐ **Secure windows & doors**
- ☐ **Cross/ply brace internal walls**

4.4 External stabilisation

- ☐ **Brace the entrance patio posts back to the house**
- ☐ **Brace the veranda posts and support the veranda bearers**
- ☐ **Spouting and eave gutter detachment to existing service connections**

4.5 Install Steel Lifting Frame

- a) Excavate around perimeter**
- b) Cut access openings in subfloor**
- c) Insert heavy steel universal beams**
- d) Install cross beams**
- e) Bolt to structural members**
- f) Install hydraulic jacking system**

4.6 Setout new location stumps

- a) Land surveyor to set out building on the new location**
- b) Install new stumps in new positions**
- c) Allow for path of hydraulic truck to enter the site to reverse the house into position**
- d) Remaining stump support to be completed after the building is lowered onto the new stumps and support jacks**

5. HOUSE RELOCATION

PK House Relocations

Page 3 of 4

- 1. Install hydraulic house jacks under bearer**
- 2. Lift the house to 1m so that bearer supports can be placed under the bearers at designated positions as per the stump layout**
- 3. Place on hydraulic house jacks at designated points of load as per structural engineer design**
- 4. Hydraulically raise the house for the hydraulic truck to move under the house**
- 5. Secure the house to the steel lintels**
- 6. Reverse the hydraulic truck under**
- 7. Hydraulically lift the house off the jacks and onto the truck tray**
- 8. Slowly track across prepared path at 1 to 5m per hour**
- 9. Reverse the Place the house on the new predetermined and located position**
- 10. Install the bearer supports under the existing house bearers**
- 11. Position over new footing system**
- 12. Hydraulic jacks to designed locations**
- 13. Truck lowers the house onto hydraulic jacks**
- 14. Truck reverses out from underneath the building**
- 15. Complete installation of the rest of the stumps as per engineering checked design**
- 16. Hydraulically lower the house into the new position**
- 17. Remove steel beams**
- 18. Remove all bracing**

6. POST-MOVE RESTORATION

- ☐ **Rebuild chimneys on new footings**
- ☐ **External weatherboards repair**
- ☐ **Remove damaged plaster cracks and repair**
- ☐ **Cornice reinstatement**
- ☐ **Paint touch-ups**
- ☐ **Veranda and patio post extension and repair to original condition**
- ☐ **Repair or replace all damaged spouting, guttering or roofing**
- ☐ **Repoint brickwork**
- ☐ **Heritage brick cleaning (low pressure only)**

7. SERVICE RECONNECTION

- a) Insulate under subfloor to new energy rating standards**
- b) Reconnect subfloor framing**
- c) Patch internal cracks**
- d) Reconnect all services**

PK House Relocations

Page 4 of 4

- e) Stormwater works**