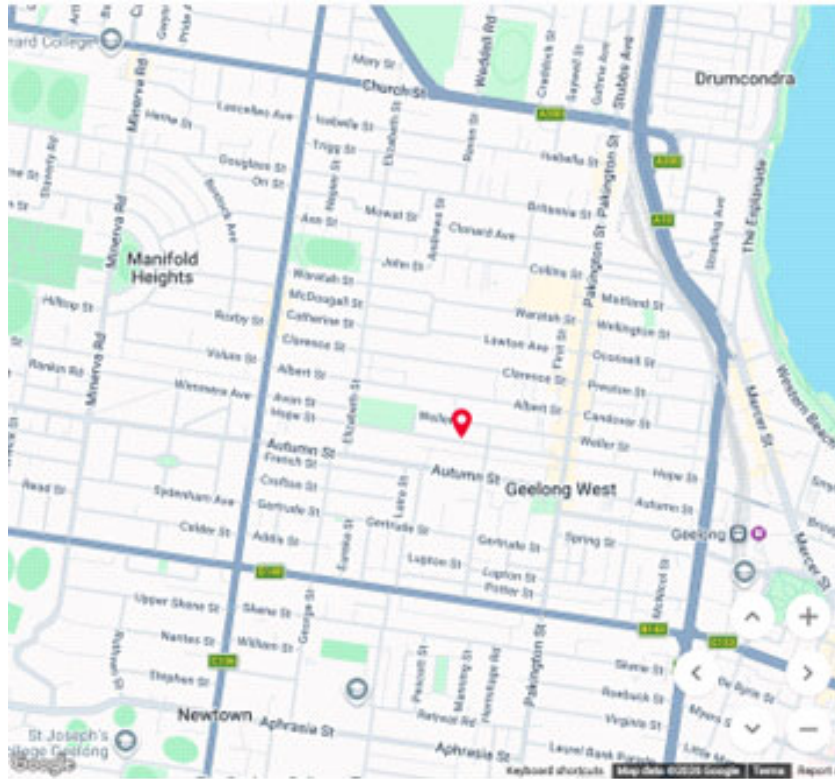




Aerial view of property location



Title - LOCALITY PLAN

Address - LOT 1 TP 5328A, NO.128 HOPE STREET, GEELONG WEST, VIC 3218

Client - Propec Pty Ltd

PROPEC PTY LTD

DESIGN

ABN 19 104 769 306

PO Box 428 Drummoyne NSW 1470

Ph 0411 027 170 email rkjamieson@propec.com.au

Drawn by Chris Jamieson

Page 1 of 12

Scale 1:100

Date April 2026

All dimensions are in millimeters (mm)

Version PP

TITLE PARTICULARS
 TITLE REF: VOL.10254 FOL.625
 LAST PLAN REF: TP 5328A (LOT 1)
 PARISH OF MOORPANYAL
 SECTION 8
 PART OF CROWN ALLOTMENT 14

CERTIFICATION BY SURVEYOR

THIS SURVEY RE-ESTABLISHES THE SUBJECT CERTIFICATE OF TITLE IN ACCORDANCE WITH TITLE DIMENSIONS AND DOES NOT ATTEMPT TO DETERMINE POSSESSORY RIGHTS OVER THE LAND BETWEEN THE TITLE BOUNDARIES AND FENCING. ANY QUERIES IN THIS REGARD SHOULD BE DIRECTED TO THE LICENSED SURVEYOR.

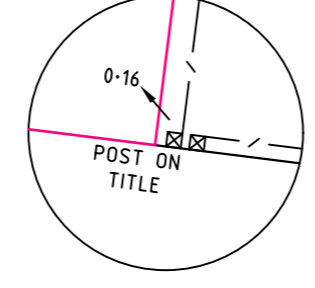
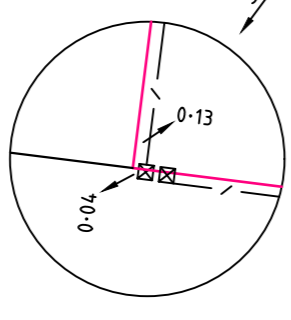
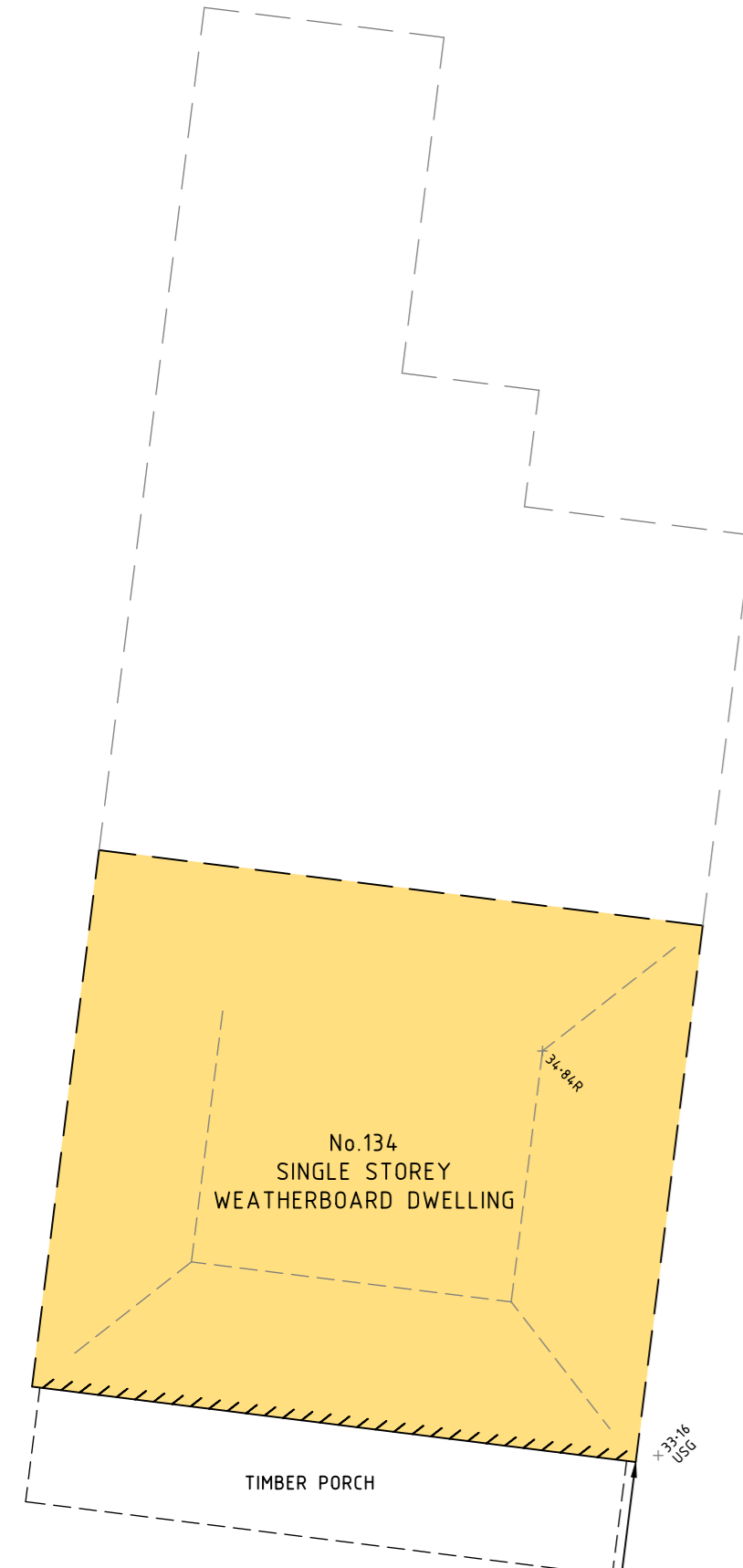
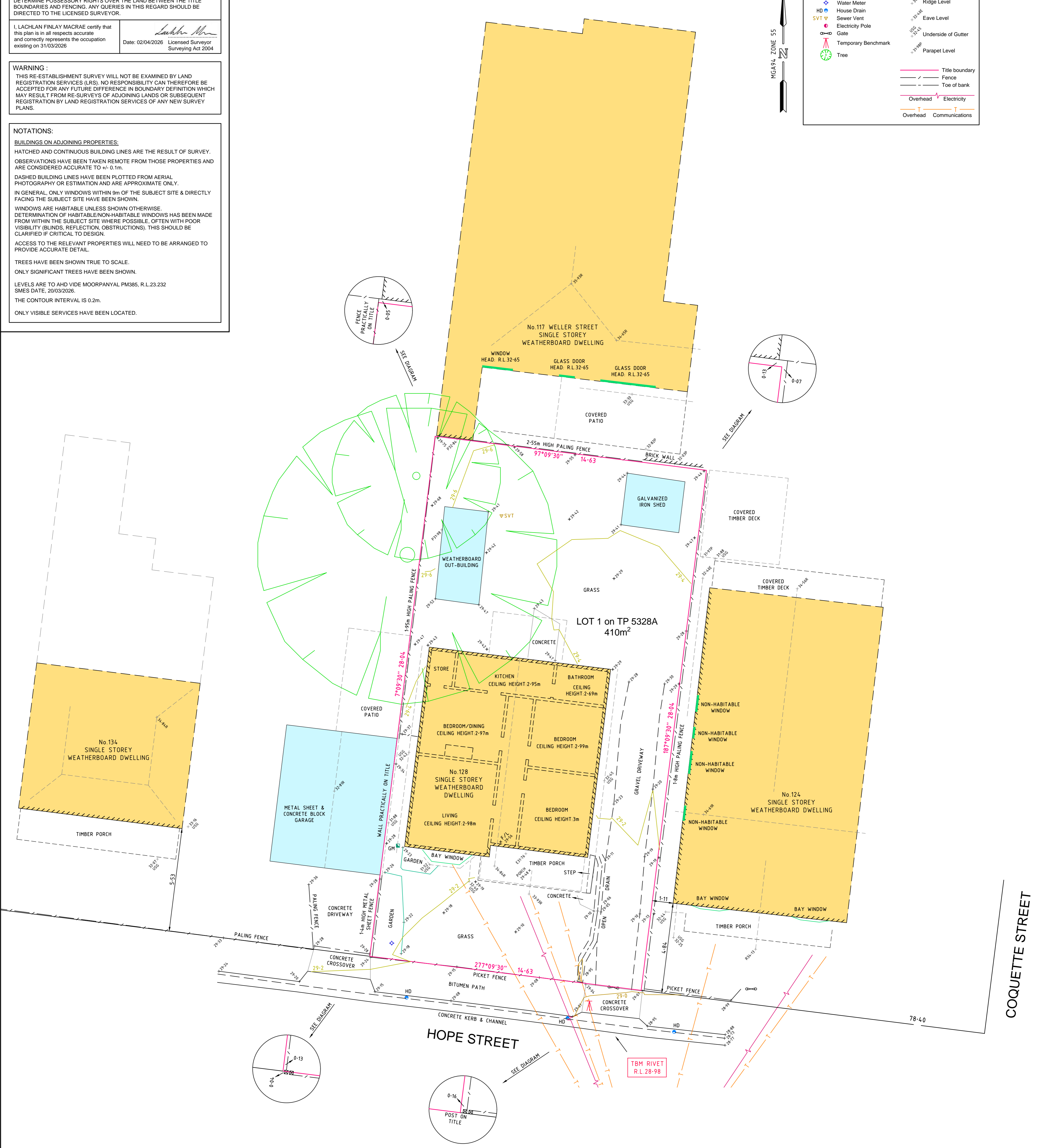
I, LACHLAN FINLAY MACRAE certify that this plan is in all respects accurate and correctly represents the occupation existing on 31/03/2026.
 Date: 02/04/2026
 Lachlan Macrae
 Licensed Surveyor
 Surveying Act 2004

WARNING :
 THIS RE-ESTABLISHMENT SURVEY WILL NOT BE EXAMINED BY LAND REGISTRATION SERVICES (LRS). NO RESPONSIBILITY CAN THEREFORE BE ACCEPTED FOR ANY FUTURE DIFFERENCE IN BOUNDARY DEFINITION WHICH MAY RESULT FROM RE-SURVEYS OF ADJOINING LANDS OR SUBSEQUENT REGISTRATION BY LAND REGISTRATION SERVICES OF ANY NEW SURVEY PLANS.

NOTATIONS:
BUILDINGS ON ADJOINING PROPERTIES:
 HATCHED AND CONTINUOUS BUILDING LINES ARE THE RESULT OF SURVEY. OBSERVATIONS HAVE BEEN TAKEN REMOTE FROM THOSE PROPERTIES AND ARE CONSIDERED ACCURATE TO +/- 0.1m.
 DASHED BUILDING LINES HAVE BEEN PLOTTED FROM AERIAL PHOTOGRAPHY OR ESTIMATION AND ARE APPROXIMATE ONLY.
 IN GENERAL, ONLY WINDOWS WITHIN 9m OF THE SUBJECT SITE & DIRECTLY FACING THE SUBJECT SITE HAVE BEEN SHOWN.
 WINDOWS ARE HABITABLE UNLESS SHOWN OTHERWISE.
 DETERMINATION OF HABITABLE/NON-HABITABLE WINDOWS HAS BEEN MADE FROM WITHIN THE SUBJECT SITE WHERE POSSIBLE, OFTEN WITH POOR VISIBILITY (BLINDS, REFLECTION, OBSTRUCTIONS). THIS SHOULD BE CLARIFIED IF CRITICAL TO DESIGN.
 ACCESS TO THE RELEVANT PROPERTIES WILL NEED TO BE ARRANGED TO PROVIDE ACCURATE DETAIL.
 TREES HAVE BEEN SHOWN TRUE TO SCALE.
 ONLY SIGNIFICANT TREES HAVE BEEN SHOWN.
 LEVELS ARE TO AHD VIDE MOORPANYAL PM385, R.L.23.232 SMES DATE, 20/03/2026.
 THE CONTOUR INTERVAL IS 0.2m.
 ONLY VISIBLE SERVICES HAVE BEEN LOCATED.

LEGEND

GM	Gas Meter	—	Ridge Level
WM	Water Meter	—	Eave Level
HD	House Drain	—	Underside of Gutter
SVT	Sewer Vent	—	Parapet Level
EP	Electricity Pole	—	Title boundary
G	Gate	—	Fence
TB	Temporary Benchmark	—	Toe of bank
T	Tree	—	Overhead Electricity
		—	Overhead Communications



AMENDMENTS			
VER	BY	DESCRIPTION	DATE
A	LM	ORIGINAL PLAN	02/04/26

Site Area - 410 m²
 Existing ground floor area - 113 m²
 Proposed additional ground floor area - 125.5 m²
 Proposed first floor area 47.72 m²
 Total floor area - 286.22 m²
 Additional floor area - 173.22
 Note ; area includes front porch, alfresco, and garage

Total building footprint - 238.5 m²
 Site coverage - 58.17% (allowable maximum 60%)
 Total gross floor area - 286.22 m²
 Plot ratio - 0.70
 Landscaped area - 111 m² or 27.07% of the site area (minimum allowable 25%)
 Impervious area - 260 m² or 63.41% of the site area (minimum allowable 20%)
 Garden area - 140 m² or 34.15% of the site area (minimum allowable 20%)
 Private open space - 111 m² or 27.07% of the site area (minimum allowable 20%)
 Secluded private open space - 34.24 m² (minimum allowable 25 m²)

NOTE:

■ Sections coloured blue denote the existing structure

All other sections denote the proposed structure

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Date April 2026

Page 3 of 12

Scale 1:100

All dimensions are in millimeters (mm)

Title - SITE PLAN

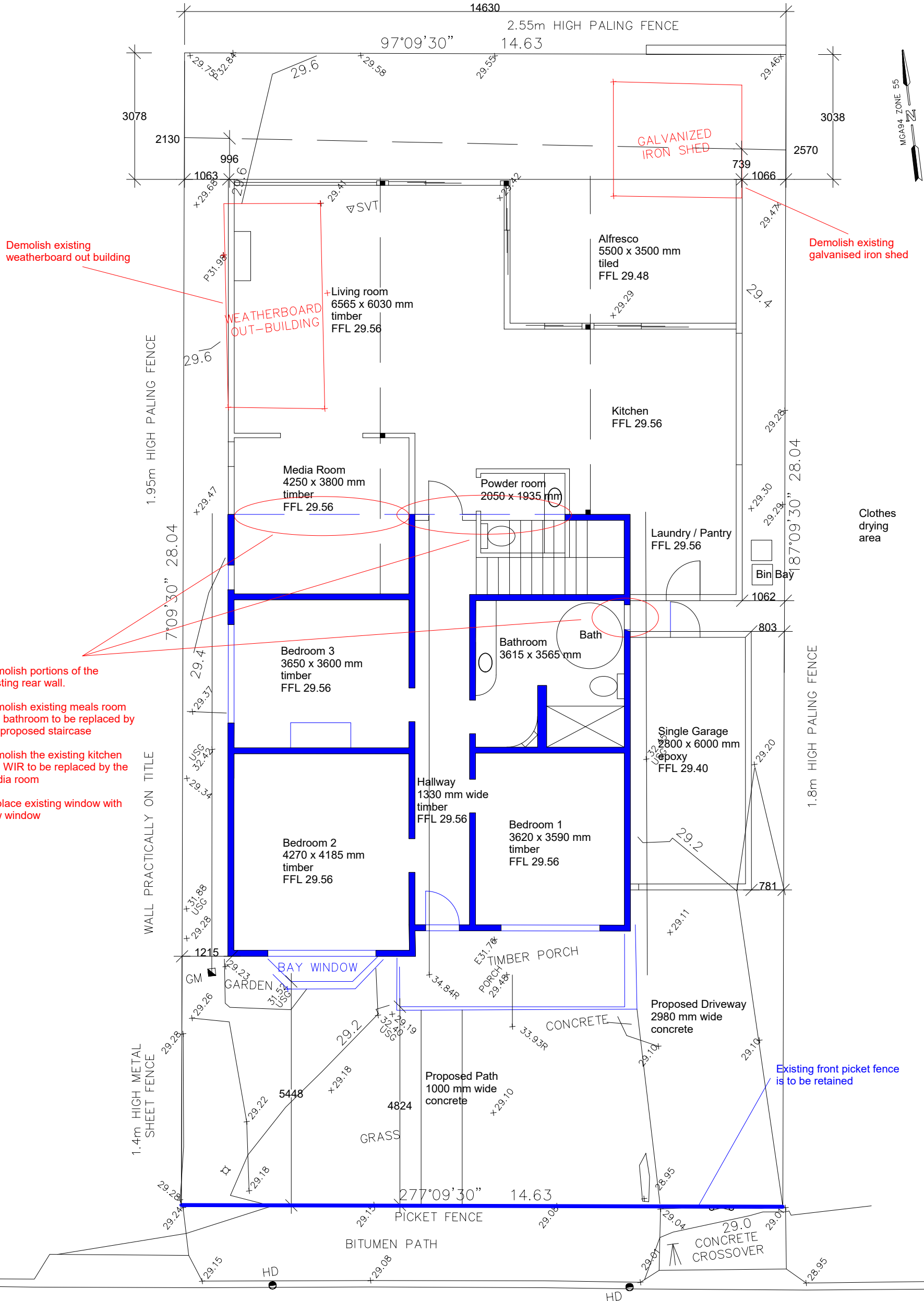
Address - LOT 1 TP 5328A, NO.128 HOPE STREET, GEELONG WEST, VIC 3218

Client - Propec Pty Ltd

PROPEC PTY LTD

DESIGN

ABN 19 104 769 306
 PO Box 428 Drummoyn NSW 1470
 Ph 0411 027 170 email rkjamieson@propec.com.au

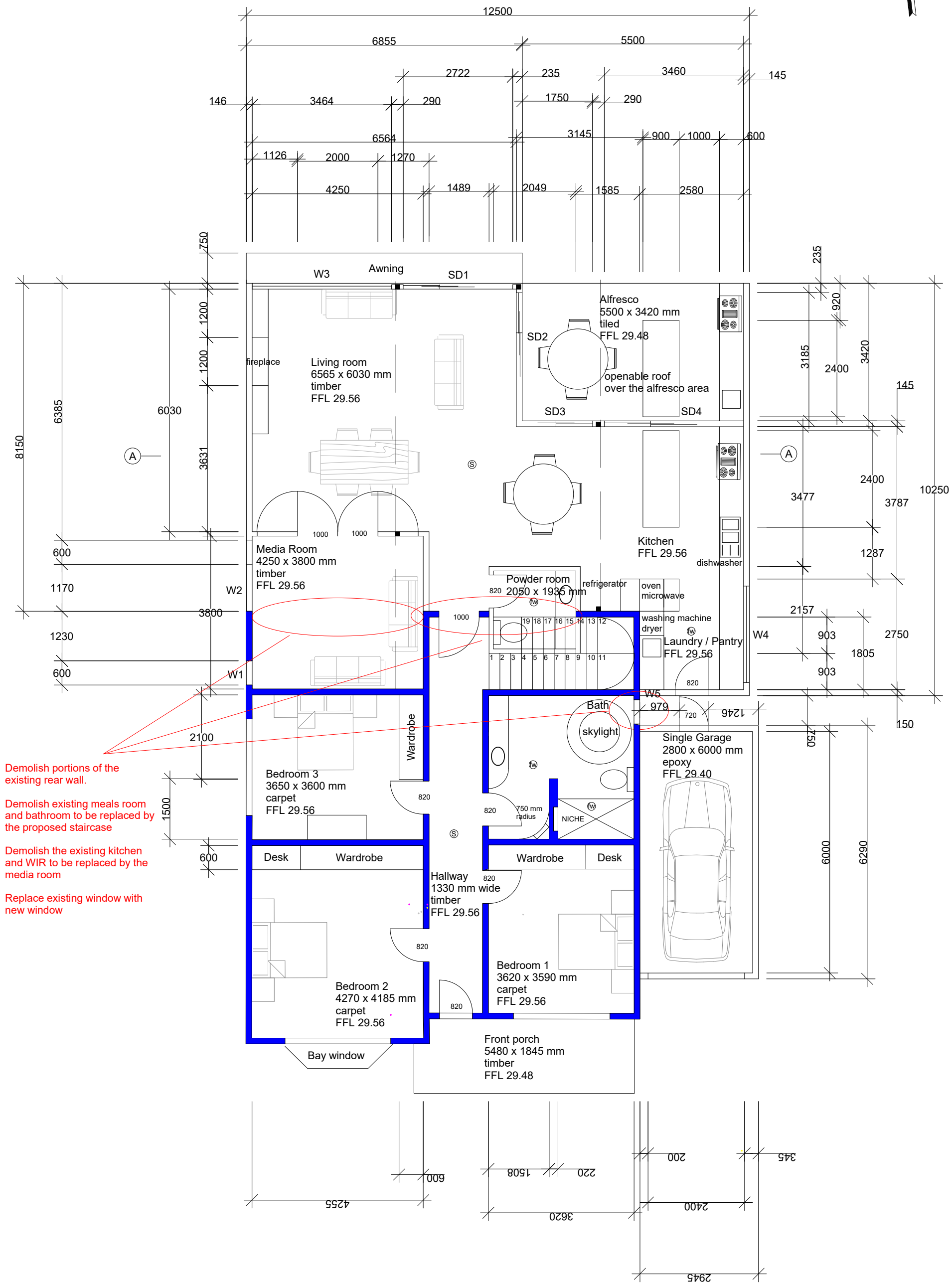


CONCRETE KERB & CHANNEL HOPE STREET

Ground floor area 238.5 m²
(including the alfresco, front porch and garage)

■ Sections coloured blue denote the existing structure

All other sections denote the proposed structure



Demolish portions of the existing rear wall.

Demolish existing meals room and bathroom to be replaced by the proposed staircase

Demolish the existing kitchen and WIR to be replaced by the media room

Replace existing window with new window

Drawn by Chris Jamieson

Date April 2026

Page 4 of 12

Scale 1:100

All dimensions are in millimeters (mm)

Title - GROUND FLOOR PLAN

Address - LOT 1 TP 5328A, NO.128 HOPE STREET, GEELONG WEST, VIC 3218

Client - Propec Pty Ltd

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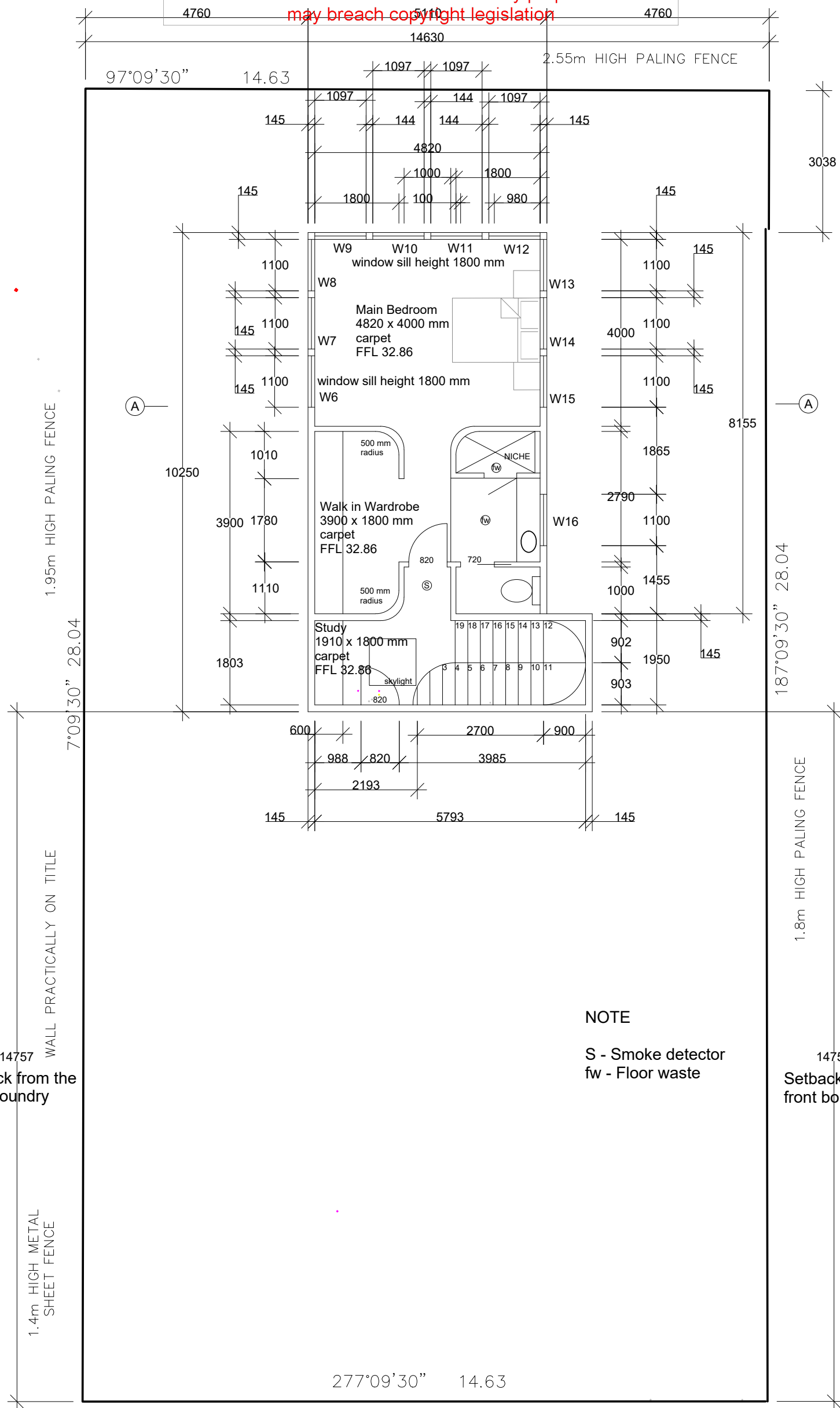
ABN 19 104 769 306
PO Box 428 Drummoyn NSW 1470
Ph 0411 027 170 email rkjamieson@propec.com.au

NOTE

S - Smoke detector
fw - Floor waste

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First floor area 47.72 m2



NOTE
 S - Smoke detector
 fw - Floor waste

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Date April 2026

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Scale 1:100

All dimensions are in millimeters (mm)

Title - FIRST FLOOR PLAN

Address - LOT 1 TP 5328A, NO.128 HOPE STREET, GEELONG WEST, VIC 3218

Client - Propec Pty Ltd

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 PO Box 428 Drumoyne NSW 1470
 Ph 0411 027 170 email r@propec.com.au

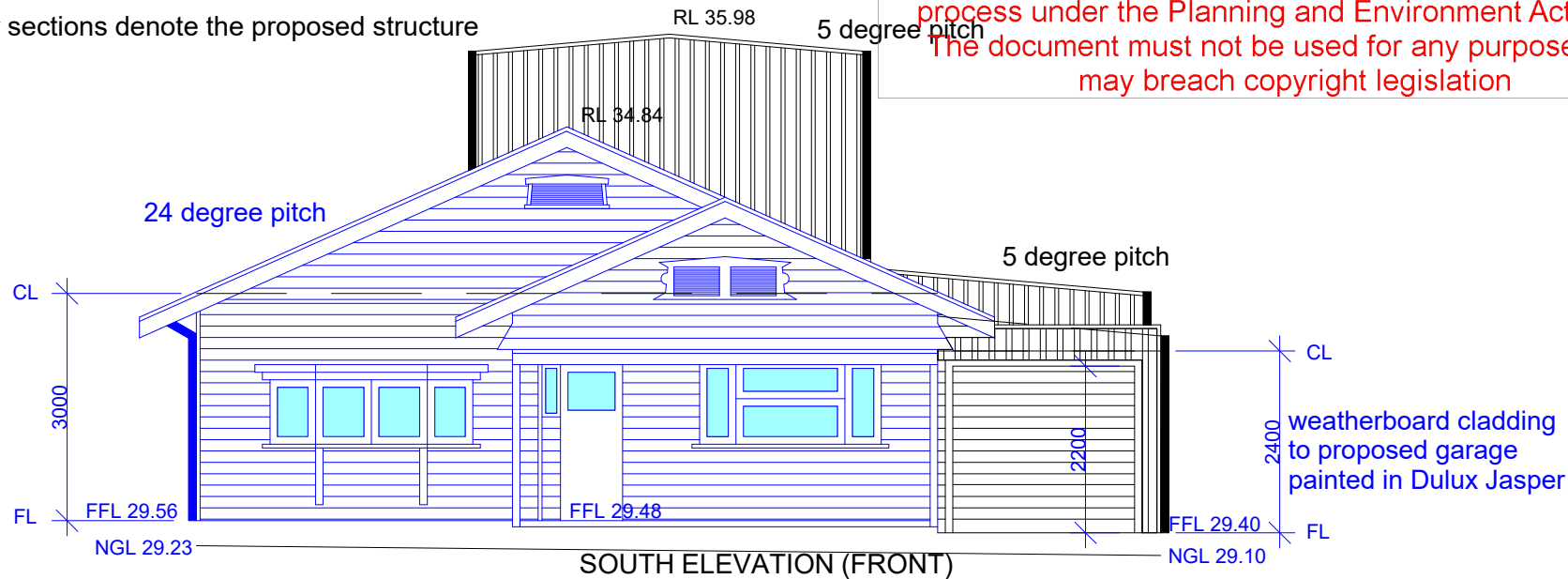
WINDOW SCHEDULE

Number	Width (mm)	Height(mm)	Area (m2)	Location	Operation	Glass	Orientation	U-Value	SHGC
1	600	1800	1.08	Media room	Awning	single toned	W		
2	600	1800	1.08	Media room	Awning	single toned	W		
3	3460	2700	9.34	Living Room	Fixed	single toned	N		
4	2400	3000	7.20	Laundry / Pantry	Sliding	single toned	E		
5	600	3000	1.80	Bathroom	Awning	single toned	E		
6	1100	600	0.66	Master bedroom	Awning	single toned	W		
7	1100	600	0.66	Master bedroom	Awning	single toned	W		
8	1100	600	0.66	Master bedroom	Awning	single toned	W		
9	1100	600	0.66	Master bedroom	Awning	single toned	N		
10	1100	600	0.66	Master bedroom	Awning	single toned	N		
11	1100	600	0.66	Master bedroom	Awning	single toned	N		
12	1100	600	0.66	Master bedroom	Awning	single toned	N		
13	1100	600	0.66	Master bedroom	Awning	single toned	E		
14	1100	600	0.66	Master bedroom	Awning	single toned	E		
15	1100	600	0.66	Master bedroom	Awning	single toned	E		
16	1100	600	0.66	Ensuite	Awning	single toned	E		
SD1	2720	2700	7.34	Living Room	Sliding	single toned	N		
SD2	3185	2700	8.60	Living Room	Sliding	single toned	E		
SD3	1750	2700	4.73	Kitchen	Sliding	single toned	N		
SD4	3460	2700	9.34	Kitchen	Sliding	single toned	N		

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All other sections denote the proposed structure



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Date April 2026

Version PP 1A

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Scale 1:100

All dimensions are in millimeters (mm)

Title - ELEVATIONS

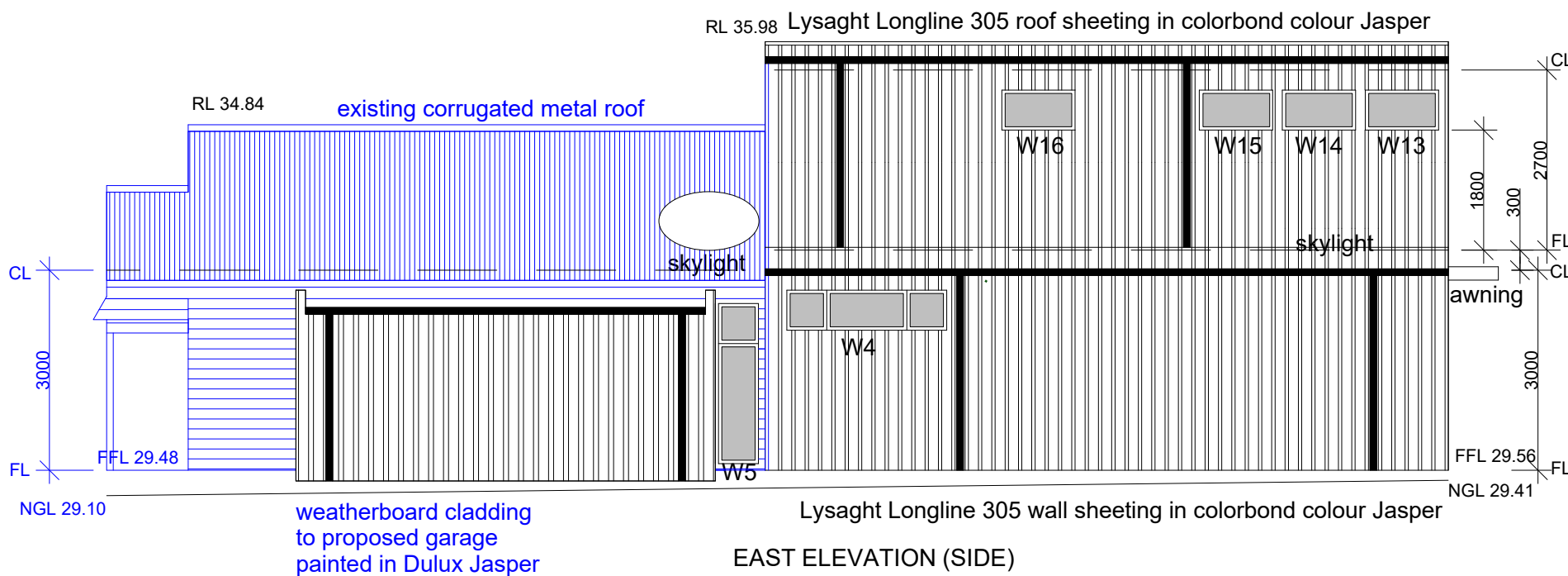
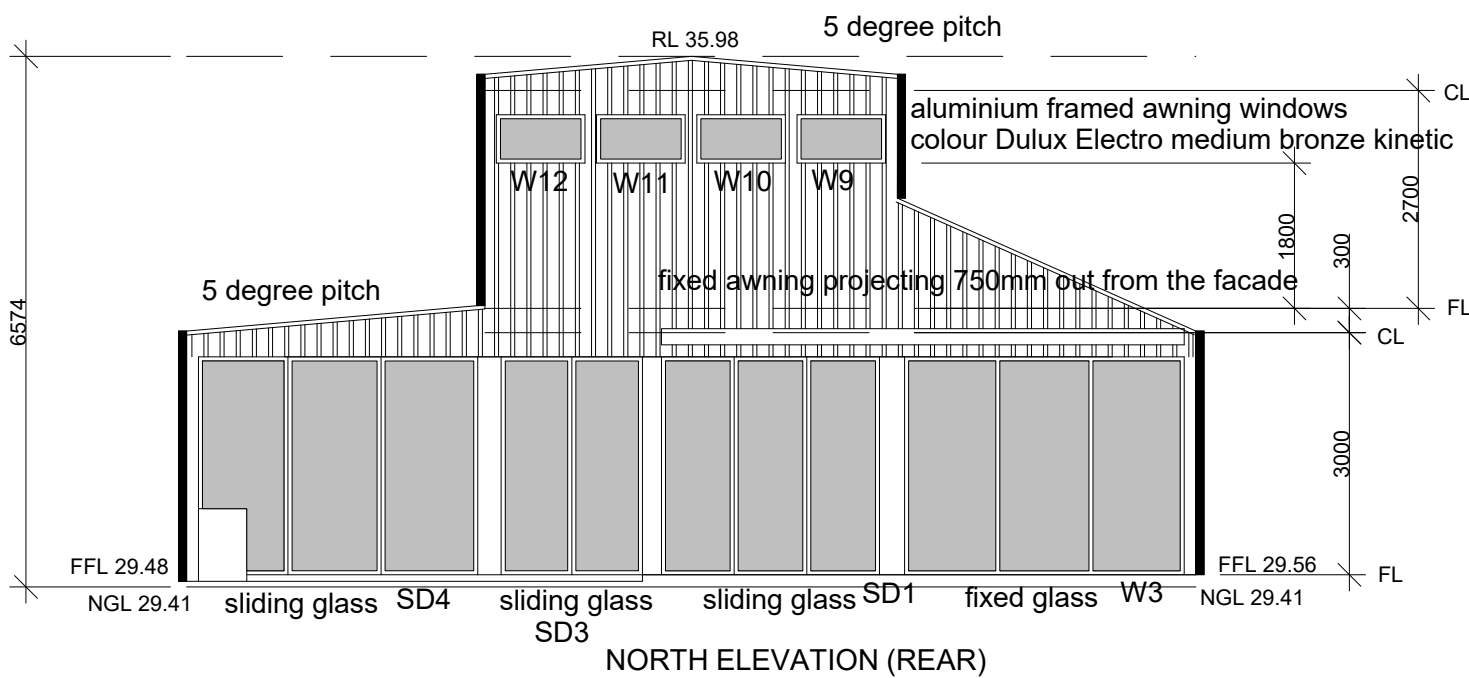
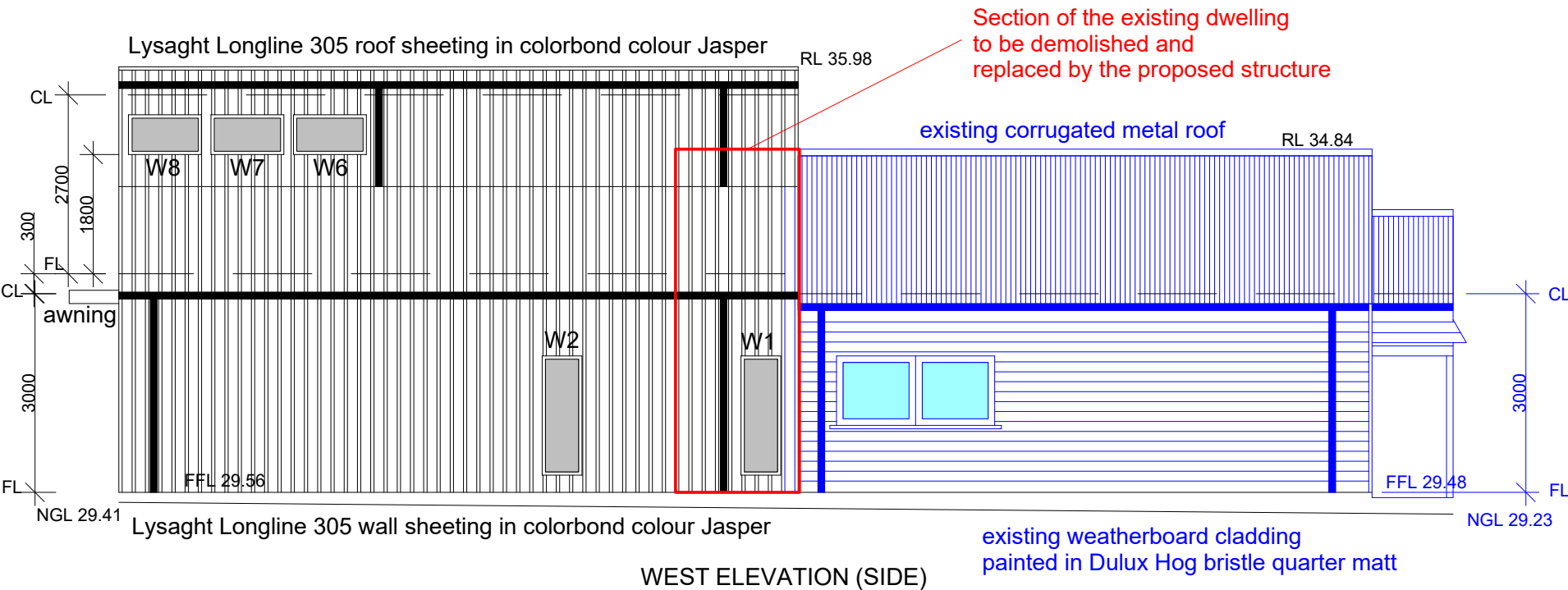
Address - LOT 1 TP 5328A, NO.128 HOPE STREET, GEELONG WEST, VIC 3218

Client - Propec Pty Ltd

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PO Box 428 Drummoyn NSW 1470
Ph 0411 027 170 email rkjamieson@propec.com.au



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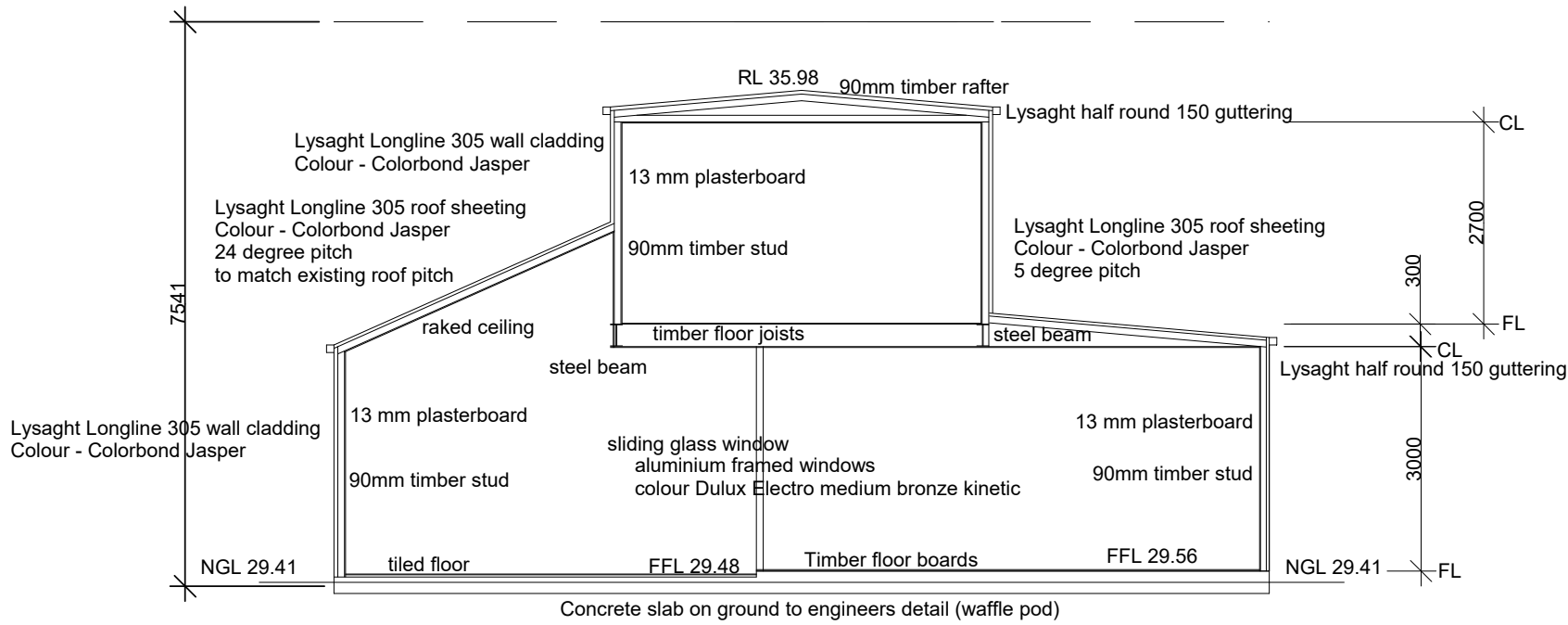
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Address - LOT 1 TP 5328A, NO.128 HOPE STREET, GEELONG WEST, VIC 3218

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Title - SECTION

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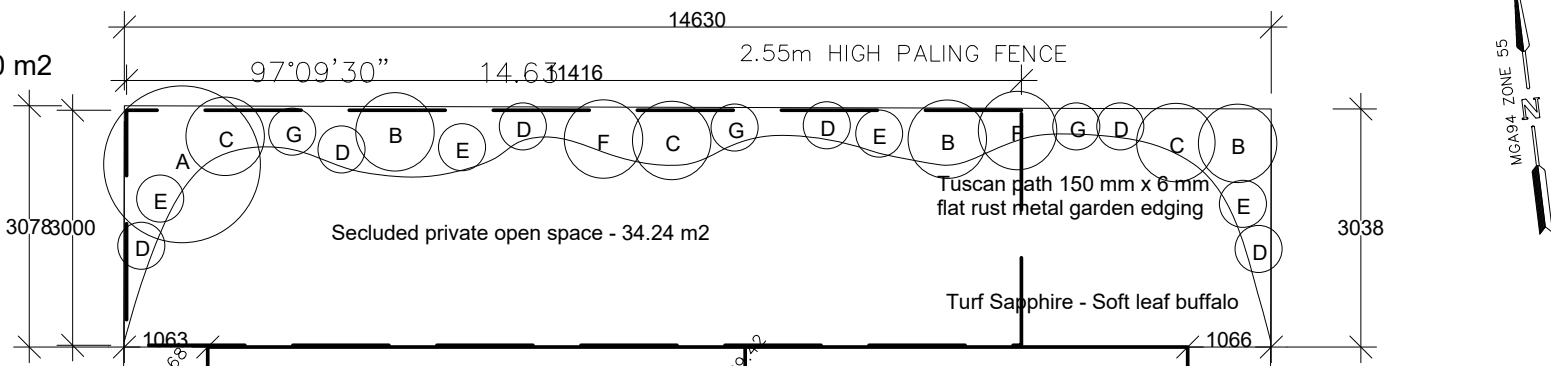


SECTION A - A

All dimensions are in millimeters (mm)

Client - Propec Pty Ltd

Site Area - 410 m2
Landscaped area - 140 m2



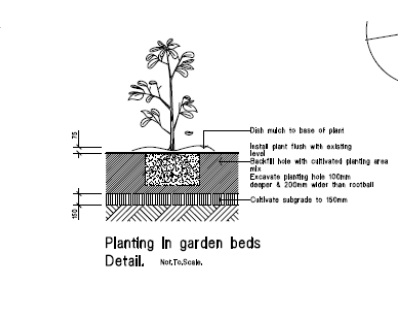
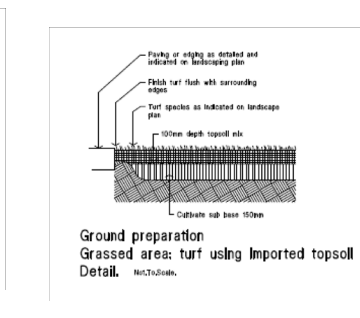
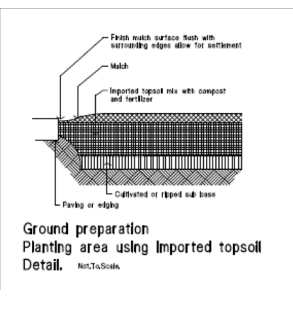
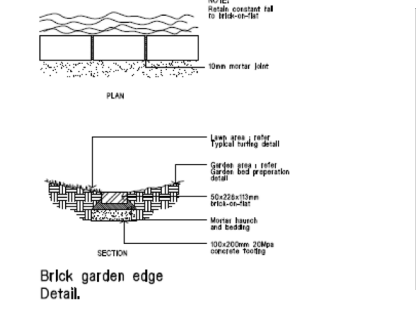
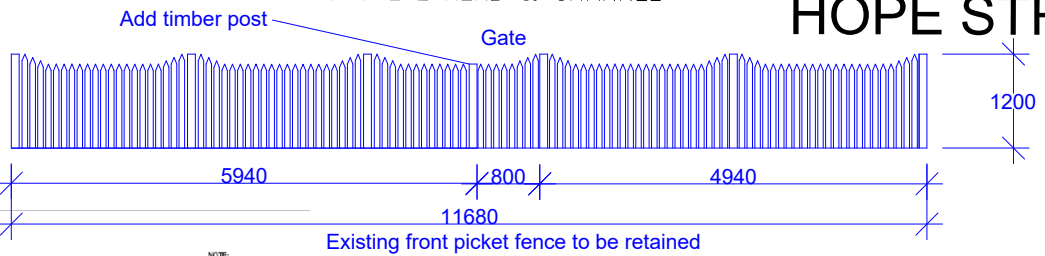
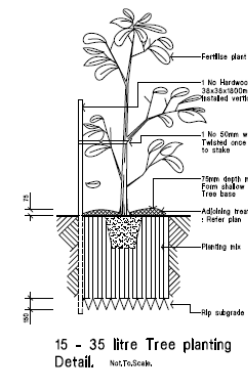
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Key	Botanical Name	Common Name	Size at maturity	Number	Percentage of all plants	Pot Size	Flower Colour	Time of Flowering	Picture	Picture
A	Acacia pycnantha	Golden Wattle	8m	3	4%	75L	Yellow	Winter / Spring		
B	Banksia marginata	Silver Banksia	1m	6	7%	24 inch	Yellow	Autumn / Winter		
C	Goodenia ovata	Hop goodenia	2m	9	11%	24 inch	Yellow	All year		
D	Chrysocephalum apiculatum	Common everlasting	40cm	18	22%	12 inch	Yellow	All year		
E	Correa alba	White correa	1.5m	15	18%	24 inch	White	Autumn / Winter		
F	Olearia axillaris	Coastal daisy-bush	1.5m	9	11%	24 inch	White / yellow	Summer / Autumn		
G	Leucophyta brownii	Cushion bush	0.5m	18	22%	12 inch	White / yellow	Summer		
H	Myoporum parvifolium	Creeping boobialla	NA	5	6%	13 inch	White / yellow	Summer		

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Page 9 of 12
Scale 1:100
All dimensions are in millimeters (mm)

Title - LANDSCAPE PLAN
Address - LOT 1 TP 5328A, NO.128 HOPE STREET, GEELONG WEST, VIC 3218
Client - Propec Pty Ltd

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PO Box 428 Drummoine NSW 1470
Ph 0411 027 170 email rkjamieson@propec.com.au

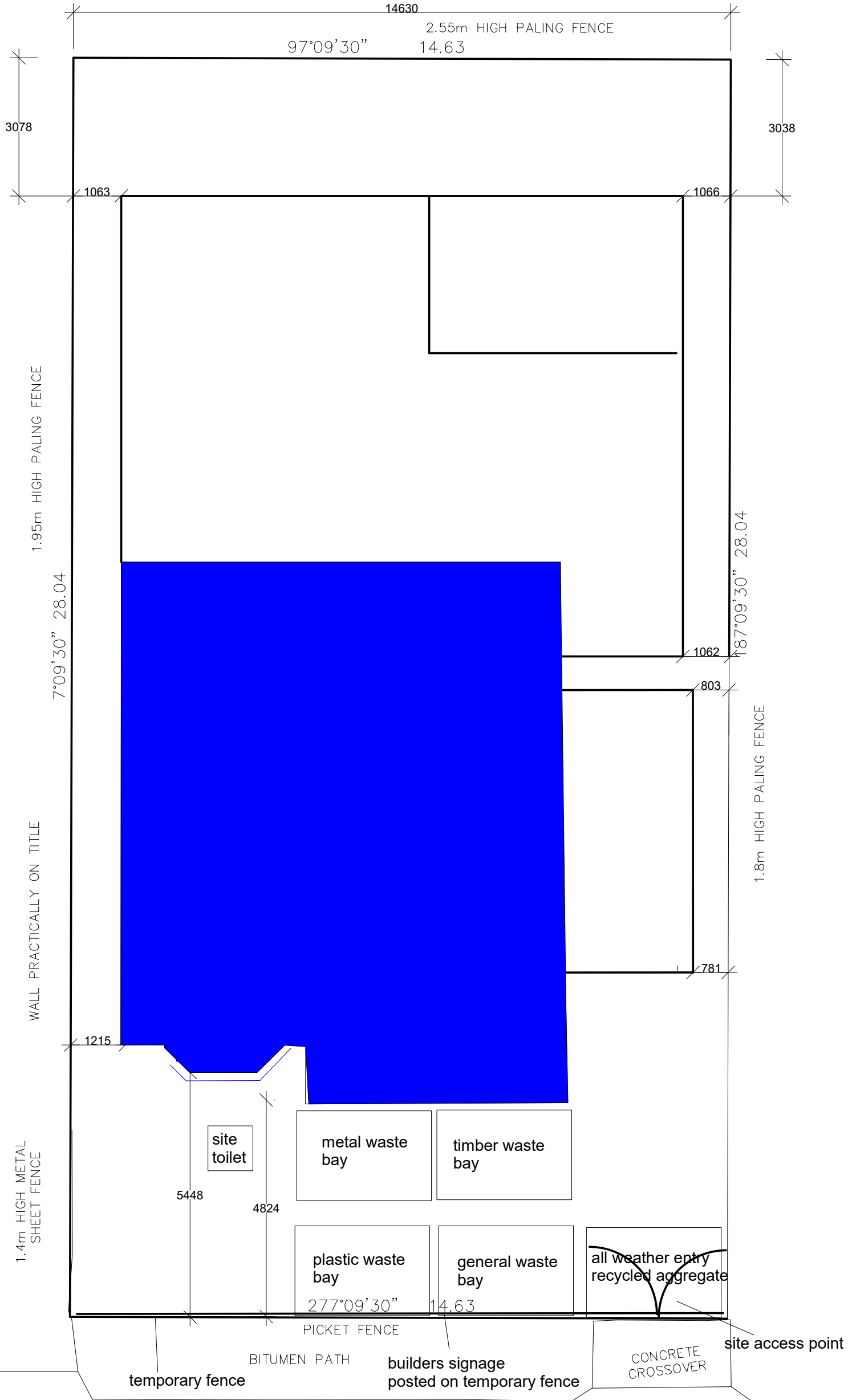




NOTE:

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All other sections denote the proposed structure



**PROPEC PTY LTD
DESIGN**

ABN 19 104 769 306
PO Box 428 Drummoyne NSW 1470
Ph 0411 027 170 email rkjamieson@propec.com.au

Title - SITE ESTABLISHMENT PLAN

Address - LOT 1 TP 5328A, NO.128 HOPE STREET, GEELONG WEST, VIC 3218

Client - Propec Pty Ltd

Drawn by Chris Jamieson

Scale 1:100
Page 11 of 12
Date April 2026

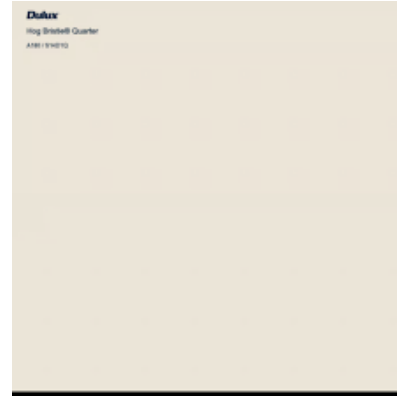
All dimensions are in millimeters (mm)
Version PP 1A



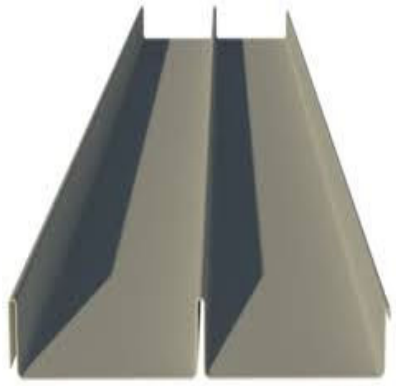
Existing weatherboard cladding to be painted in Dulux Hog bristle quarter matt



Existing corrugated metal roof



Existing barge board, timber posts, window frames and surrounds to be painted in Dulux Hog bristle quarter matt



Proposed roof lining Lysaght Longline 305 roof sheeting in colorbond colour Jasper



Proposed wall cladding Lysaght Longline 305 in colorbond colour Jasper



Proposed aluminium windows colour Dulux Electro medium bronze kinetic



Proposed driveway / paths recycled brick in herringbone pattern



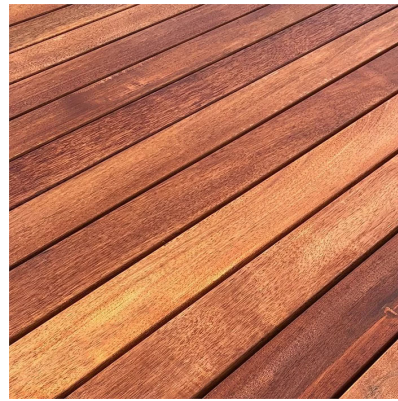
Lysaght Half round 150 gutter in colorbond colour Jasper



Alucabond awning in Alucolux C32



Front fence pickets and posts to be painted in Dulux Hog bristle quarter matt



Front porch to be finished in Cabots natural decking oil matt finish



Interior colour walls and all timber work Dulux Natural white satin finish



Internal timber floors american walnut

PROPEC PTY LTD

DESIGN

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PO Box 428 Drummoyne NSW 1470

Ph 0411 027 170 email rkjamieson@propec.com.au

Title - FINISHES PLAN

Address - LOT 1 TP 5328A, NO.128 HOPE STREET, GEELONG WEST, VIC 3218

Client - Propec Pty Ltd

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