



WRITTEN RESPONSE

IN SUPPORT OF PLANNING PERMIT APPLICATION

128 HOPE STREET, GEELONG WEST, VIC 3218

Lot 1, TP 5328A

**Partial Demolition of Existing Dwelling, Demolition of Outbuildings,
Renovation and Extension to Existing Dwelling in a Heritage Overlay**

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INTRODUCTION

The purpose of this Written Response Report is to support the Planning Permit application for the renovation and extension works to an existing single storey dwelling at 128 Hope Street, Geelong West.

The subject property is located within the Neighbourhood Residential Zone Schedule 3 (NRZ3), in the Milton Heritage Area (HO1960) under the Greater Geelong Planning Scheme.

With the growing need for improved housing amenity in the Greater Geelong government area, this proposal seeks to accommodate the needs of the occupant by way of improvements to the existing layout, better relationship to the external space, enhanced environmental conditions for light, ventilation and shade as well as modest accommodation enhancements including a small rear first floor addition. A modest garage set to the side of the existing dwelling offers the occupant better security for on-site vehicles.

Heritage elements are preserved, particularly with regards to the current form and materials used. Proposed additions, whilst sympathetic to the objective of the Heritage Overlay, do not seek to mimic, but to recede and allow the existing dwelling to take prominence on the site. Proposed new works are a modern architectural response and weave into the character of the site and the locality.

THE SITE AND EXISTING STRUCTURES

Site Address: 128 Hope Street, Geelong West

Site Area: 410 m²

Zone: Neighbourhood Residential Zone - Schedule 3 (NRZ3)

Heritage Overlay: Milton Heritage Precinct HO1960 requires a Planning Permit for works within the HO.

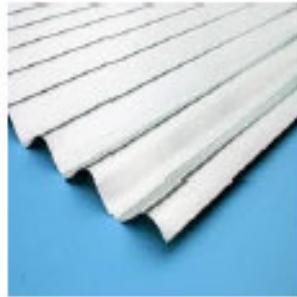
The site is a regularly shaped lot with a 14.63m frontage to Hope Street and north to the rear of the site. The existing structures include a detached single storey weatherboard dwelling, weatherboard outbuilding and shed. There is an existing vehicular crossing.

The existing dwelling contributes to the streetscape and has a double gable front elevation, front porch, timber windows and corrugated galvanised metal roof.

Original design elements include horizontal weatherboard cladding, corrugated metal roof, double gable front elevation, timber framed windows with front bay window, front timber porch, low height front timber picket fence.



Existing weatherboard cladding to be painted in Dulux Hog bristle quarter matt



Existing corrugated metal roof



Existing barge board, timber posts, window frames and surrounds to be painted in Dulux Hog bristle quarter matt

EXISTING MATERIALS TO BE RETAINED

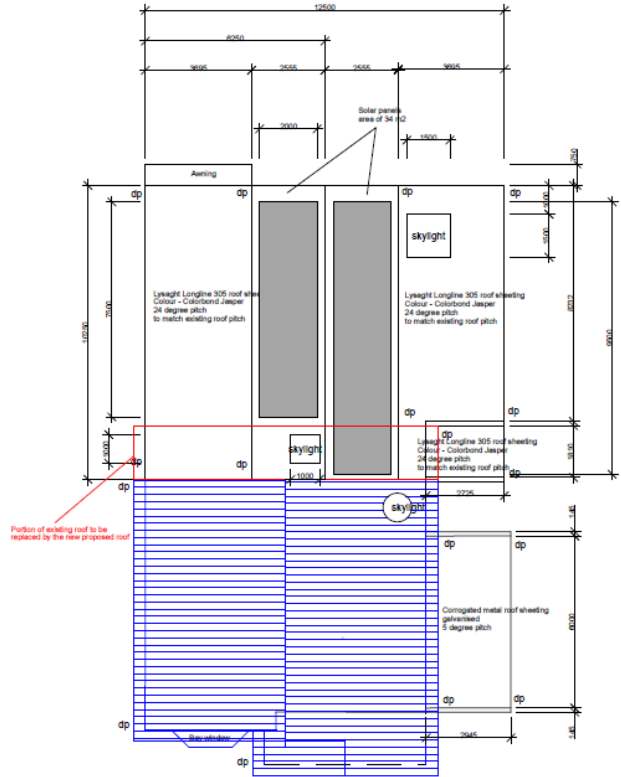
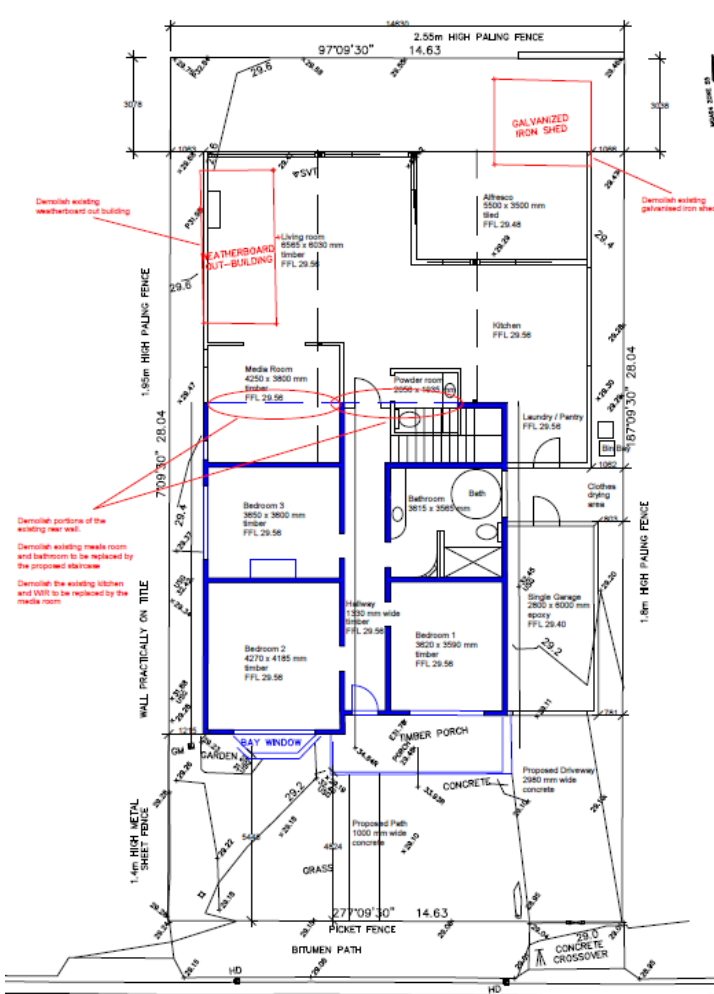
THE PROPOSAL

Demolition of a small portion of the rear of the existing dwelling. This section includes the current walk-in wardrobe, kitchen, meals area and bathroom. One window at the rear eastern elevation and one on the rear western elevation are to be removed. A section of the rear roof is to be removed.

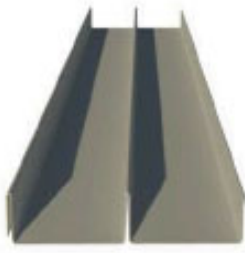
The existing rear alfresco lightweight structure is to be removed. The existing outbuildings including laundry facility and garden shed are to be demolished.

Proposed new works include:

- Construction of a new single garage to the right side of the existing dwelling. Horizontal weatherboard panels in keeping with existing dwelling. Roof pitch at 5° so as to recede from the main facade roof profile.
- Repair and repaint the front picket fencing. Aligning a new straight front path to the front door.
- Utilising the existing vehicular crossing, construction of new driveway using recycled bricks.
- Internal modification of the layout to retain the three bedrooms at the front of the dwelling with new bathroom, powder room, theatre, lounge/living area, kitchen, laundry. An alfresco area directly accessible from the living areas maximises the natural light. A first floor addition located to the rear of the site incorporates the main bedroom, ensuite, walk in robe and study nook. Cladding colours are specified so as to showcase the original dwelling.
- Extensive landscaping and green zones. Planting specified from native species to the Geelong region. There are currently no trees on the site.



EXISTING STRUCTURES SHOWING EXTENT OF DEMOLITION AND PROPOSED NEW WORKS



Proposed roof lining
Lysaght Longline 305 roof sheeting
In colorbond colour Jasper



Proposed wall cladding
Lysaght Longline 305
In colorbond colour Jasper



Proposed aluminium windows
colour Dulux Electro medium bronze kinetic



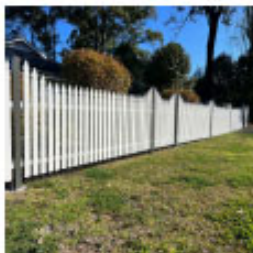
Proposed driveway / paths
recycled brick in herringbone pattern



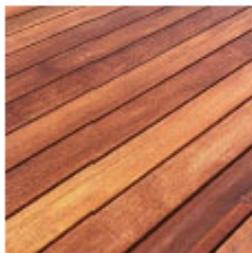
Lysaght Half round 150 gutter
in colorbond colour Jasper



Alucabond awning
in Alucolux C32



Front fence
pickets and posts to be painted in
Dulux Hog bristle quarter matt



Front porch
to be finished in
Cabots natural decking oil
matt finish



Interior colour
walls and all timber work
Dulux Natural white
satin finish

PROPOSED MATERIALS AND COLOURS



PLANNING CONTROLS

NEIGHBOURHOOD RESIDENTIAL ZONE - SCHEDULE 3 (NRZ3)

Purpose of NRZ (Clause 32.09) as extracted:

To implement the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.

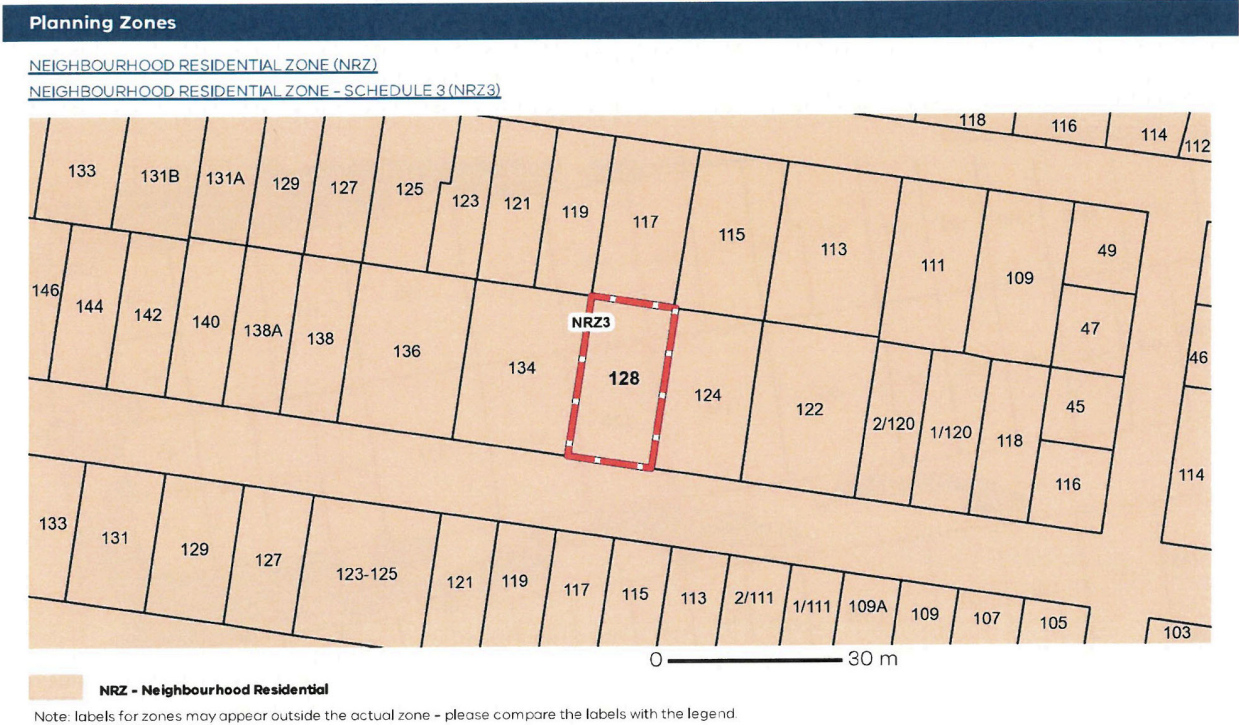
To recognise areas of predominantly single and double storey residential development.

To limit opportunities for increased residential development.

To manage and ensure that development respects the identified neighbourhood character, heritage, environmental or landscape characteristics.

To implement neighbourhood character policy and adopted neighbourhood character guidelines.

To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.



128 HOPE ST GEELONG WEST: NRZ3

NRZ AND SCHEDULE 3 PLANNING CLAUSES CHECK

CLAUSE REFERENCE	DESCRIPTION	REQUIREMENT	SUBJECT PROPERTY
32.09-2	Table of uses	Permit not required for dwelling house	Dwelling house
32.09-3	Subdivision	Permit required to subdivide land	No subdivision is proposed
32.09-4	Construction or extension of a dwelling, small second dwelling or residential building	Lot size 400-500sqm requires garden area 25% of the lot size. Permit required to meet conditions of Clause 54	Garden area is 27.07%. Separate analysis table provided in this report
32.09-5	Construction and extension of one dwelling on a lot	Permit required if lot size is less than 300sqm	Lot size is over 300sqm
32.09-6	Construction and extension of a small second dwelling on a lot	Permit required if lot is less than 300sqm	1 dwelling on the lot
32.09-7	Construction and extension of two or more dwellings on a lot, dwellings on common property and residential buildings	Permit required	1 dwelling on the lot
32.09-8	Requirements of Clause 54 and Clause 55	Application of Clause 54 or Clause 55	Clause 54 applies. S
32.09-10	Buildings and works associated with a Section 2 use	Permit required for buildings in Section 2 of 32.09-1	N/A
32.09-11	Maximum building height requirement for a dwelling or residential building	Maximum height of a building used for the purpose of a dwelling or residential building must not exceed the building height specified in a schedule to this zone. If no building height is specified, the height of a building must not exceed 8 metres.	Proposed first floor addition does not exceed 9m in height



NRZ AND SCHEDULE 3 PLANNING CLAUSES CHECK

		NRZ3 specifies 9m	
32.09-12	Application requirements	Planning response to Clause 54 or Clause 55, design documentation, impact of development on adjoining land if applicable	Provided in this report and accompanying plans supporting the Planning Permit application
32.09-13	Exemption from notice and review	Subdivision exemptions	N/A
32.09-14	Decision guidelines	Authority to consider State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies and Clause 54	Noted
32.09-15	Advertising signs	Pursuant to Clause 52.05	N/A

HERITAGE OVERLAY: MILTON HERITAGE AREA (HO:1960)

LOCAL PLANNING POLICIES - CLAUSE 22.58 and MILTON HERITAGE AREA HERITAGE DESIGN GUIDELINES, City of Greater Geelong, June 2022

Policy Framework (as extracted)

The Milton Heritage Precinct is significant for its Victorian, Late Victorian, Federation, interwar and postwar era residential (and to a lesser degree commercial and cultural) building development over a hundred year period from the 1850s until the 1950s. The precinct comprises a considerable part of Geelong West, between Pakington Street and Shannon Avenue, and Autumn and Waratah and Ann Streets. The allotments have a grid layout with the principal thoroughfares set on an east-west axis. The area is especially identified by its modestly scaled, single storey, detached, residential building stock of largely conventional Victorian, Late Victorian, Edwardian, Federation, interwar Bungalow, interwar Californian Bungalow and late interwar and postwar Old English styles. The earliest surviving dwellings are associated with some of the original land subdivisions of the early-mid 1850s. These subdivisions brought about residential building development in the area and included the Milton Estate of c.1855 (original Crown Allotment 13) and the Kilkenny Estate of 1854 (original Crown Allotment 5) in addition to other unnamed subdivisions at this time. Further subdivisions occurred in the late 19th and early 20th centuries (during the Late Victorian and Federation eras) and during the interwar period, bringing about the construction of a substantial number of dwellings between the 1880s and 1950s that survive today.



The significance of the area therefore largely lies in the diversity of conventional architectural styles rather than homogenous streetscapes, brought about by the multiple subdivisions and consequent evolution of building development in the area. Within the precinct are a small number of commercial buildings, dating from c.1858 with the building of Oddy's General Store at 71 Elizabeth Street, although the majority of these buildings represent suburban shops of the interwar (and to a lesser degree, Edwardian) era. From the 19th and early 20th centuries, the nearby Donaghy's Ropeworks and the Victorian Railways were employers of a notable number of local residents. Of the former, Donaghy's Ropeworks had a physical impact on the northern portion of the area, with at least 25 Late Victorian dwellings relocated from the Ballarat goldfields district to the northern side of Waratah Street by M. Donaghy and Sons in 1911. The area is therefore important for its history of house relocations in Waratah and other streets. During the interwar period, the ropeworks substation and canteen in Waratah Street were built and which now serve as surviving physical legacies of the ropeworks complex. The interwar period also brought about a desire for more healthy living which resulted in the establishment of two important public reserves in the area: Baker's Oval in 1929 and Sparrow Park in 1936. Also contributing to the significance of the area are the surviving bluestone kerbs and asphalt footpaths, and the bluestone spoon drains in the few rear lanes.

Objectives as Relevant to Proposal:

- To retain the surviving early streetscape qualities in the area, asphalt footpaths (in Avon, Albert, Autumn, Catherine, Elizabeth, Hope, John, Lisdale, McDougall, Weller and Yuille Streets), bluestone kerb and concrete channel (in Hope, Plymouth and Weller Streets) and the asphalt paving with central bluestone spoon drains in four lanes in the Heritage Overlay Area;
- To retain and enhance the significant diversity of conventionally-designed detached and semi-detached, Victorian, Late Victorian, Edwardian, Federation, interwar Californian Bungalow, interwar and late interwar Bungalow, and early postwar Old English styled dwellings, as identified in the Ashby Heritage Review Stage 2, Volume 2 (2009);
- To retain the similar front setbacks and narrower side setbacks (in the context of the setbacks to dwellings in each particular street and different portions of the streets);
- To retain the predominantly uniform scale throughout the Heritage Overlay Area, including single storey height and building separation;
- To encourage the accurate reconstruction of missing architectural details to existing buildings where historic photographic and/or physical evidence survives;
- To encourage additions to existing significant dwellings to be located at the rear;
- To encourage the contemporary and/or innovative interpretation of traditional building design within the Heritage Overlay Area, including detached buildings, hipped and/or gable roof forms (with a pitch between 25 and 35 degrees), front, side or return verandahs, narrow or wide eaves, and minimal detailing;
- To encourage the use of traditional construction materials including horizontal timber weatherboard wall cladding, timber framed windows and non-zincalume (non-highly reflective zincalume) corrugated sheet metal roofing;



- To encourage the use of appropriate fence types, designs and locations with a maximum height of 1300mm. The reconstruction of early fences is also encouraged where photographic evidence survives;
- To encourage the appropriate development, form and scale of garages and/or carports, with a location at the rear of the existing and/or infill buildings

CLAUSE 54 ASSESSMENT AND ANALYSIS

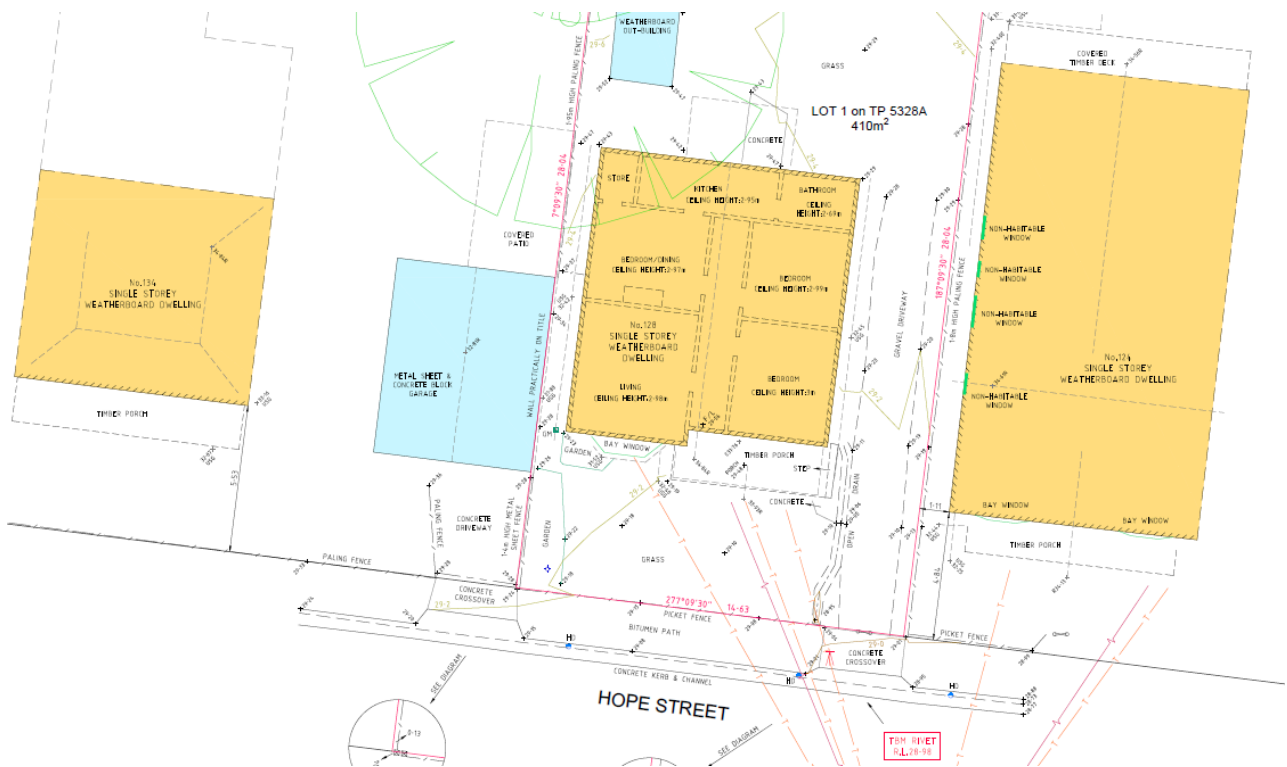
APPLICATION REQUIREMENTS 54.01

54.01-1 Site Description: Survey site plan is provided

54.01-2 Design Response: Landscape plan is provided

NEIGHBOURHOOD CHARACTER - CLAUSE 54.02

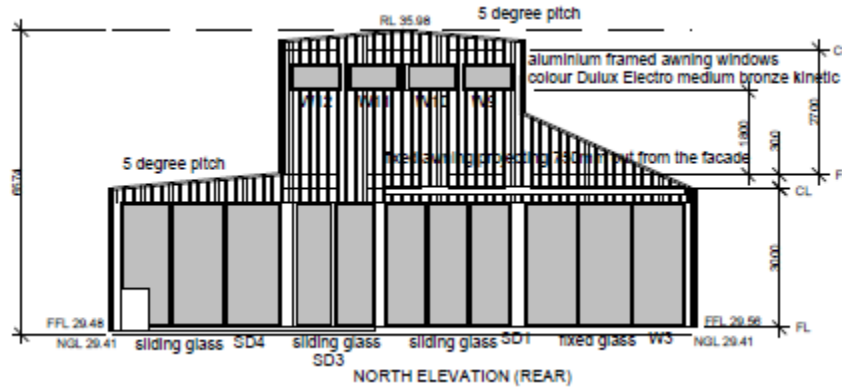
54.02-1 Street Setback: No change to the existing street setback. The existing dwelling setback is greater than neighbouring dwellings. The proposed garage is in line with the existing right side setback.



EXISTING STREET SETBACK

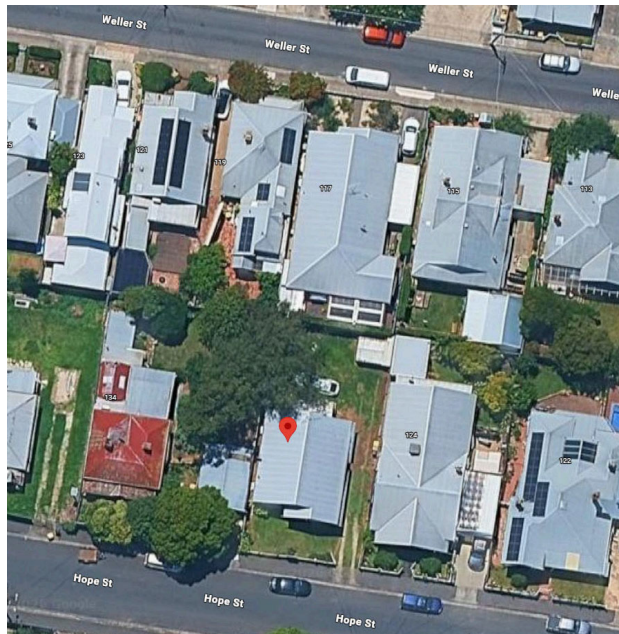


54.02-2 Building Height: The proposed additional works do not exceed the 9m height limit objective.



MAXIMUM HEIGHT IS ACHIEVED AT THE REAR

54.02-3 Side and Rear Setbacks: The proposed left side setback is 1215mm to 1063mm. The proposed left side setback is 781mm at the front corner of the garage to 803mm at the back corner of the garage. This is for a distance of 6.29m, then increasing to 1066mm at the rear. Consideration is sought as the side wall of the garage is directly opposite non-habitable spaces of the adjacent dwelling. The proposed rear setback is over 3m. The aerial view of the dwelling located at 117 Weller Street shows roofed structures within the 3m setback.



AERIAL VIEW OF 128 HOPE STREET AND SURROUNDING DWELLINGS

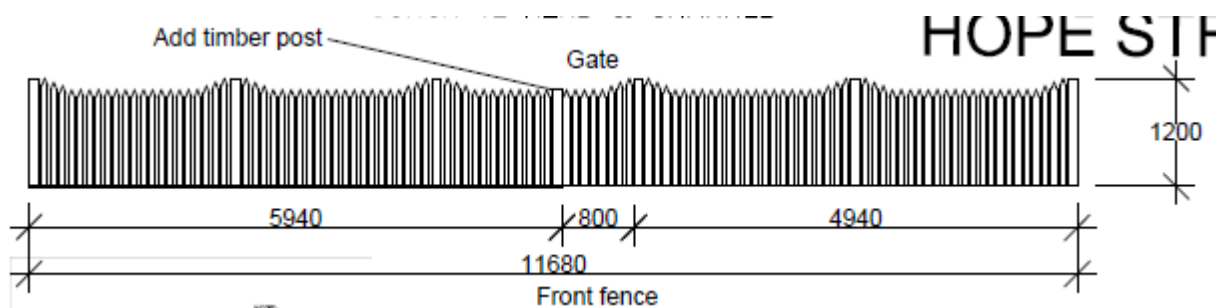


54.02-4 Walls on Boundaries: No new walls to be constructed within 200mm of a side or rear boundary.

54.02-5 Site Coverage: Site coverage allowed is 60%. Proposed site coverage is 58.17%. Complies.

54.02-6 Tree Canopy: There are currently no trees located on the subject property. Landscape Plan is provided and specifies three canopy trees to form part of the soft landscaping. Species Acacia pycnantha, Golden Wattle, which at maturity reaches 8m in height and has a canopy spread of up to 5m.

54.02-7 Front Fences: The existing front fence is to be retained. A pedestrian gate will be installed to allow a straight path to the front door. The existing gate to the driveway will be repaired and retained. Where necessary, the pickets will be repaired. Posts and pickets will then be painted in Dulux Hogs Bristle quarter strength. A fence elevation is included with the submitted plans.



54.02-8 Building Setback for Small Second Dwelling: N/A

LIVEABILITY - CLAUSE 54.03

54.03-1 Street Integration: No changes are proposed to the existing front street surveillance. The existing habitable spaces are to remain.

54.03-2 Private Open Space: Private open space is required to be accessible directly from a living area, dining area or kitchen being an area that is 20% of the area of the lot, but not less than 25 square metres. At least one part of the private open space to consist of a secluded space with a minimum area of 25 square metres and a minimum dimension of 3m. Clothes drying area is to be provided.

Private Open Space required 20% of lot, 82sqm. Private Open Space achieved over 105sqm. Complies.

Secluded Private Open Space required at least 25sqm with a minimum dimension of 3m. Complies.

54.03-3 Solar Access to Private Space: Solar access into the secluded private open space. Southern boundary of the secluded private open space to be setback from any wall on the north of the space at least $(2 + 0.9 \times \text{height of the wall})$ metres.



The site orientation is North to the rear and therefore allows maximum solar access to the Secluded Private Open Space. In addition, the alfresco area is open to the north side, further enhancing the amenity of this Private Open Space. Complies.

54.03-4 Daylight to New Windows: Allow adequate daylight to new habitable rooms.

The proposal provides windows that face an outdoor space clear to the sky. The study nook on the first floor has a 1m x 1m skylight clear to the sky.

54.03-5 Safety and Accessibility for Small Second Dwellings: N/A

EXTERNAL AMENITY - CLAUSE 54.04

54.04-1 Daylight to Existing Windows: No new walls are proposed opposite existing habitable room windows.

54.04-2 Existing North-Facing Windows: The proposal has no impact on existing north-facing habitable space windows on the existing or adjoining lots.

54.04-3 Overshadowing Secluded Open Space: Shadow diagram is provided. There is no significant impact on existing Secluded Private Open Space on neighbouring dwellings.

54.04-4 Overlooking: There is no impact of this proposal of overlooking into existing Secluded Private Open Space. Windows to the first floor are highlight windows only with sill heights of 1800mm from floor level.

SUSTAINABILITY - CLAUSE 54.05

54.05-1 Permeability: Pervious surfaces required at least 20% of the lot area, being 82sqm. The proposal allows 35.85% of the lot area, being 147sqm. Complies.

54.05-2 Overshadowing Domestic Solar Energy Systems: There are no existing domestic solar energy systems on the roofs of existing buildings.

54.05-3 Rooftop Solar Energy Area: Area required for future rooftop solar energy systems is 34sqm for a 4 bedroom dwelling, minimum dimension of 1.7 metres. Is to be oriented North, East or West, positioned on the top two-thirds of a pitched roof, is free of obstructions. A Roof Plan is submitted and the proposal allows for future rooftop solar energy system to the proposed new first floor roof. Complies.

54.05-4 Solar Protection to New North-Facing Windows: North facing windows to be shaded by eaves, fixed horizontal shading devices or fixed awnings with a minimum horizontal depth of 0.25 times the window height. The proposal allows for a fixed horizontal awning over SD1 and W3 located at the rear Living Room. The height of the glazing is 2.7 metres. The awning required is therefore 675mm. The awning provided is 750mm. Complies.

HERITAGE RESPONSE

BULK, FORM AND APPEARANCE

- Ground floor additions are proposed to the rear of the existing dwelling.
- The single storey garage is located to the right side of the existing dwelling, behind the main building line of the bay window on the left side of the front facade. It is visually recessive with a low 5 degree roof pitch.
- The first floor addition is pushed back to the rear of the site and positioned in the middle and back section of the building footprint. In perspective, it is not visually dominant from the street.
- Existing architectural elements are to be retained such as the bay window at the front, the front timber porch, horizontal weatherboard cladding to existing sections.
- The rear elevation of the existing dwelling has no windows and presents as a homogenous plane. The design response takes cues from this original construction in the form of the rear elevation, particularly as it meets the first floor ridge line. The use of vertical cladding is a contemporary interpretation and also serves to distinguish existing from new works.



- Side setbacks vary along the street. The adjacent dwelling to the left has a zero boundary setback with the garage wall directly on the boundary. The adjacent dwelling to the right side has a boundary setback of 1.11 metres.
- Carparking provisions of neighbouring dwellings vary from open carports to enclosed garages sited in line with the main face or slightly setback behind the building line. The garage of the adjacent left side dwelling is forward of the main dwelling and forward of the subject property.



CONCLUSION

The proposal has been assessed against the Planning Policies of the City of Greater Geelong Planning Scheme and the guidelines of the Heritage Overlay (HO1960) is considered to be a suitable response in keeping with the aims and objectives of the applicable standards and clauses.

The proposal retains the majority of the existing structure and the contributory elements are to be repaired and maintained to a suitable standard. Minimal demolition is proposed.

New works are to be located to the rear of the site.

The first floor addition is visually submissive in terms of materials and is of a limited footprint.

Extensive landscaping and planting of three large canopy trees improves the environment for occupants as well as encourage local fauna.

The amenity of the dwelling is significantly improved for the occupant whilst preserving the aims and objectives of the Heritage Overlay.

Overall, the proposal does not have any adverse impact on the adjacent dwelling and improves the streetscape appeal. The development works are a considered and contemporary response to the growing need for suitable housing in the Geelong region.

The issuing of the Planning Permit for 128 Hope Street, Geelong West should be supported and approval granted.