

LEGEND:

- SITE BATTER - CUT
SITE BATTER - FILL
DRIVEWAY
EXISTING STORMWATER DRAIN
EXISTING FENCE
SEWER
PROPOSED FENCE

NOTE: GARAGE & EXTERNAL HINGED DOORS REQUIRED TO BE SEALED TO RESTRICT AIR INFILTRATION (NCC VOLUME 2 13.4.4)

FULL NCC 2022 COMPLIANCE
JOB HAS BEEN DRAWN UNDER THE FULL NCC 2022 REQUIREMENTS.
- AMENDMENT 2

BUILD OVER EASEMENT CONSENT REQUIRED
BOE CONSENT IS REQUIRED DUE TO BUILDING WITHIN 1200mm OF AN EASEMENT AND 500mm MAX. FILL OVER EASEMENT

SITE PERMEABILITY

BUILD AREA & D/WAY:	242.02m ²	32.71%
PERMEABLE AREA :	497.98m ²	67.29%
GARDEN AREA :	455.67m ²	61.57%
TOTAL :	740m ²	100.00%

P CLASS SITES

CUT BATTERS: ALL TO BE @ 1:1
FILL BATTERS: ≤ 600mm @ 1:1
> 600mm @ 1:2
NO CUT/FILL TO BE WITHIN 100MM OF NEIGHBOURING LOTS SIDE BOUNDARY

48.61

DRIVEWAY GRADIENT
1 : 20.15

48.885

C/OVER

GARAGE

5,540

SURVEY DATE	09/09/2025
CONTOUR INTERVALS	200 mm
LEVELS TO	RL 48.80m
SITE AREA	740 sqm
BUILDING AREA	211.03 sqm
SITE COVERAGE	28.52%
WIND SPEED	N2
SITE CLASSIFICATION	P

SITE NOTES

MELWAYS REFERENCE

SITE LOCATION MELWAYS REFERENCE: 451 E11

NOTE

IT IS THE RESPONSIBILITY OF THE OWNER TO CHECK FOR UNDERGROUND PIPES PRIOR TO ANY EARTHWORKS CONDUCTED AFTER HANDOVER. THE BUILDER WILL NOT BE LIABLE FOR DAMAGE TO EXISTING PIPES BY THE OWNER AFTER HANDOVER.

CONDENSATION MANAGEMENT

- PROVIDE A PLIABLE MEMBRANE TO EXTERNAL WALLS INSTALLED IN ACCORDANCE WITH AS 4200.1-2
- ALL EXHAUST FANS SHOWN ON THE PLANS TO ACHIEVE A MIN. 40L/S FLOW RATE IN ACCORDANCE WITH PART 10.8.2 (1) OF NCC.
- EXHAUST FANS TO BE DUCTED TO THE EXTERNAL WALL OR THROUGH THE ROOF SPACE DIRECTLY TO A ROOF VENT. NO FANS TO DISCHARGE DIRECTLY INTO THE ROOF SPACE IN ACCORDANCE WITH PART 10.8.2 (2) OF NCC.
- EXHAUST FANS TO BE FITTED WITH TIMER DELAY TO ALL WET AREA WITH NO NATURAL VENTILATION IN ACCORDANCE WITH PART 10.8.2 (4) OF NCC.

ACCESSIBILITY

- DWELLINGS TO COMPLY WITH AUSTRALIAN BUILDING CODES BOARD (ABCB), STANDARD FOR LIVEABLE HOUSING STANDARDS.
- THE THRESHOLD OF AN INTERNAL DOORWAY THAT IS SUBJECT TO CLAUSE 3.1 MUST COMPLY WITH CLAUSE 3.2.
- DOORWAYS TO SANITARY COMPARTMENTS WHERE THE DOOR IS WITHIN 1200mm OF THE TOILET PAN MUST BE FITTED WITH LIFT-OFF HINGES.
- OPENABLE WINDOWS TO BE PROVIDED IN ACCORDANCE WITH PART 11.3.7 OF NCC.

7 STAR ENERGY RATING:

DWELLING TO COMPLY W/ THE REQUIREMENTS OF 7 STAR ENERGY RATING.

FENCE NOTE

SIDE & REAR BOUNDARY FENCING TO BE EXTENDED / CONSTRUCTED TO A MINIMUM OF 1.8m HIGH AS PART OF THE DEMOLITION WORKS. PRIOR COMMENCEMENT OF HOUSE CONSTRUCTION.

SITE CUT REQUIRED

BALANCED CUT & FILL AT: 48.5. EARTHWORKS TO PROVIDE A SUITABLE SCAFFOLDING WORKING PLATFORM.

THREE PHASE UNDERGROUND POWER

PLANNING ZONE

THIS PROPERTY IS IN A PLANNING ZONE (NEIGHBOURHOOD RESIDENTIAL ZONE - SCHEDULE 8 (NRZ)).

PLANNING OVERLAY

THIS PROPERTY IS AFFECTED BY THE (DESIGN AND DEVELOPMENT OVERLAY - SCHEDULE 14 (DDO14)).

TOWN PLANNING REQUIRED:

- DESIGN AND DEVELOPMENT OVERLAY (DDO4)

REPORT AND CONSENT REQUIRED

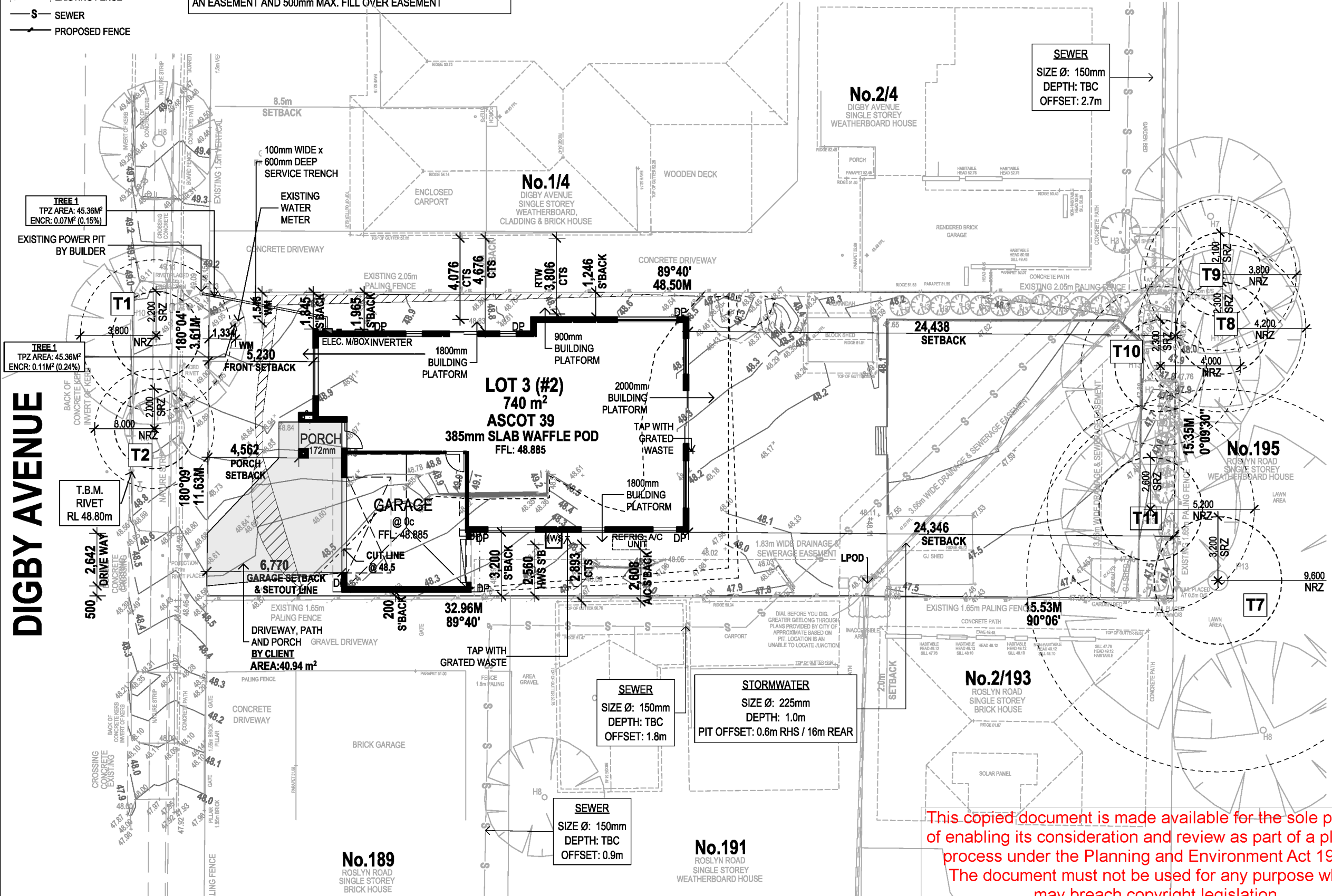
TO ADDRESS THE FOLLOWING REGULATION(S):
REG 80 - AVG. WALL HEIGHT ON BOUNDARY

FOR CONTRACT

DATE:

SIGNED:

DIGBY AVENUE

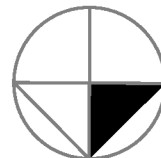


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01	CONTRACT DRAWINGS, SURVEY, PSI, VO1	LP	08/11/2025
02	CONTRACT CHECK	DO	17/11/25
03	PRE-CONTRACT VO1	AM	20/02/26
04	UPDATED DEMOLITION PLAN	AM	5/03/26
05	STORMWATER DETAILS	AM	04/05/26
06	TOWN PLANNING RFI	AM	10/06/26

ID	REVISION	BY	DATE

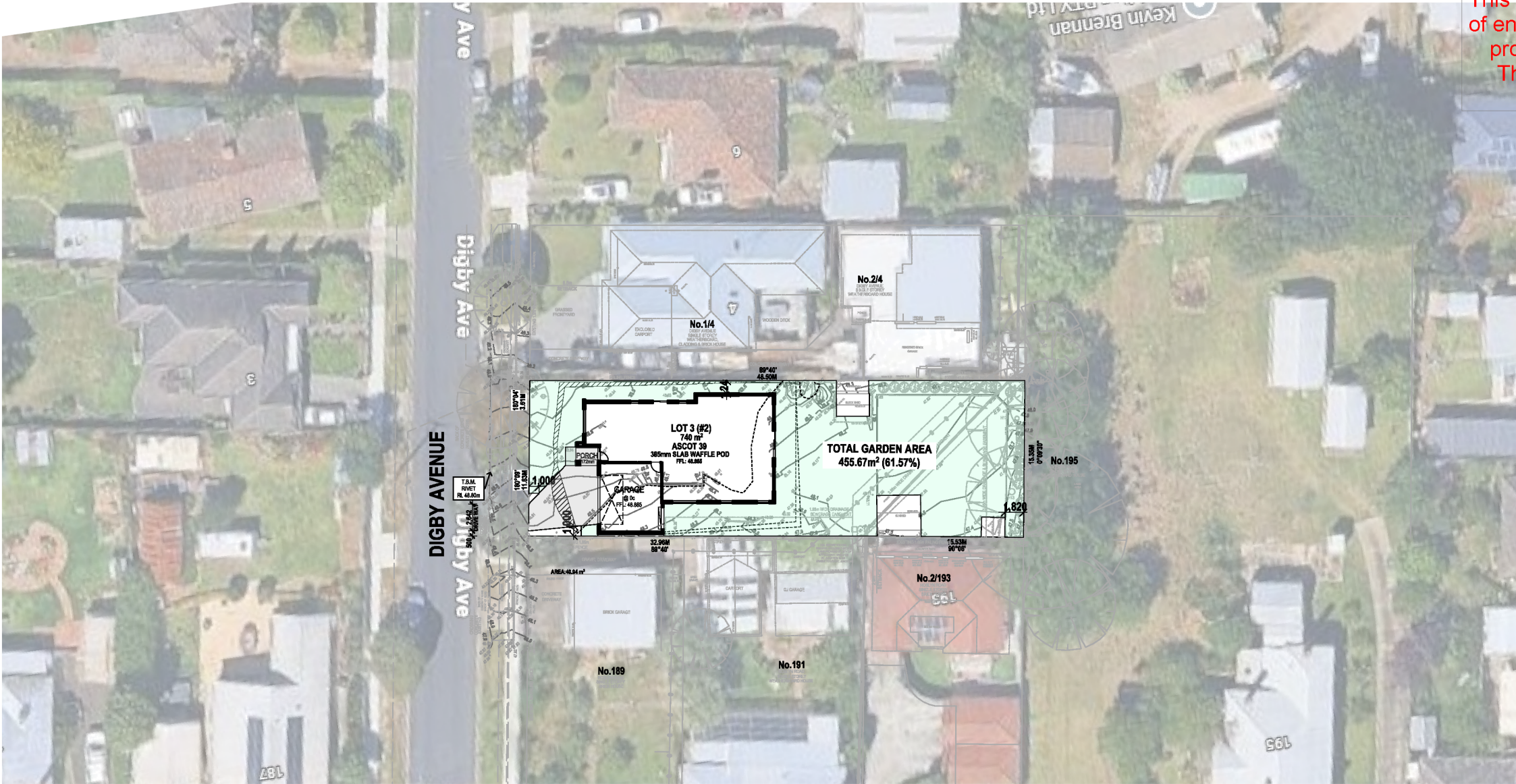
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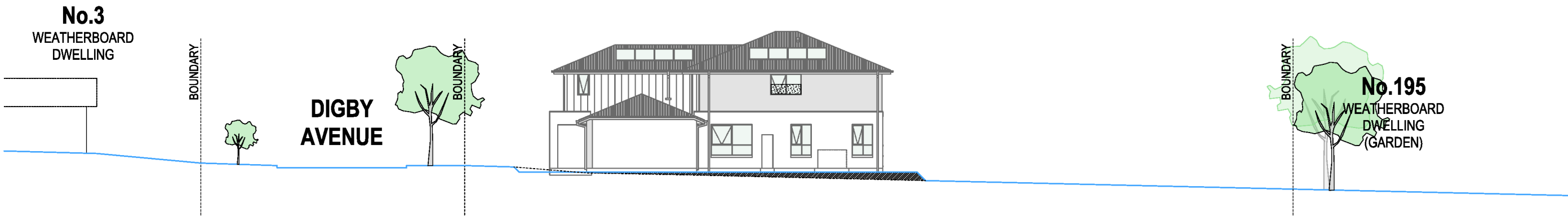
CLIENT: [REDACTED]
LOT 3 (#2) DIGBY AVENUE
BELMONT, VIC 3216

SITE PLAN		JOB No: 501431
HOUSE TYPE: ASCOT 39	MASTER DRAWING INFO:	SCALE: 1:200
FACADE: COMO	DRAWN BY: JS	REVISION: 01
	TYP HEIGHT: 25/24R	ISSUED: TBC
		DRAWING No: 1 OF 13

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SITE CONTEXT / GARDEN AREA PLAN
1:500



LONGITUDINAL SECTION
1:250

FOR CONTRACT

DATE:

SIGNED:

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06		TOWN PLANNING RFI		AM	10/06/26			501431							
								HOUSE TYPE:		MASTER DRAWING INFO:		SCALE:			
								ASCOT 39				1:500, 1:250			
								FACADE:		DRAWN BY:		DRAWING No:			
								COMO		JS		01			
										TYP HEIGHT:		ISSUED:			
								25/24R		TBC					
										2 OF 13					

DRAINAGE

- SITE DRAINAGE SHALL COMPLY WITH PART 3.3.2 OF NCC, AS3500, AND AS 2870.
- PROVIDE Ø100mm UPVC STORMWATER DRAINS WITH MIN. COVER & FALL. CONNECT TO POINT OF DISCHARGE. STORMWATER DRAINS HAVE BEEN SHOWN INDICATIVELY.
- CONNECT ANY GRATED STORMWATER DRAIN TO STORMWATER DRAINS VIA SILT PIT(S) AS NOTATED.
- TEMPORARY DOWNPIPES TO BE USED UNTIL CONNECTED TO SW DRAIN.
- ALL DOWNPIPES TO BE JOINED TO PVC STORMWATER DRAIN AT BASE OF WEEPHOLES TYPICAL.
- SURFACE DRAINAGE OF SITE TO BE CONTROLLED FROM START OF SITE PREPARATION & SHOULD BE COMPLETED BEFORE HANDOVER.
- TRENCH BASES TO SLOPE AWAY FROM BUILDING.
- TOP 300mm OF TRENCHES TO BE BACK-FILLED WITH COMPACTED CLAY WITHIN 1.5m FROM THE BUILDING.

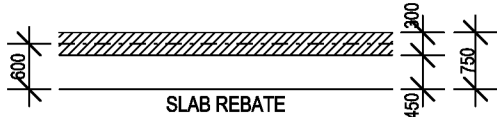
CAPPED RISERS

RISER

CAPPED RISERS TO BE 600mm ABOVE FINISHED LEVEL OF BUILDING PLATFORM AND CONNECTED TO LEGAL POINT OF DISCHARGE.

EXCLUSION ZONE

- STORMWATER PIPES TO BE INSTALLED 600mm FROM PERIMETER OF BUILDING AND CONNECTED TO LEGAL POINT OF DISCHARGE. A NO GO ZONE IS IN PLACE 150mm EITHER SIDE OF THE STORMWATER PIPES.
- REFER TO PROPERTY SERVICES DRAINAGE PLAN FOR SEWER MAINS AND BRANCH LOCATION.



PLUMBING REQUIREMENTS

- AS PER AS 2870.
- PENETRATION OF EDGE BEAMS OR FOOTINGS TO BE AVOIDED WHERE PRACTICABLE, BUT WHERE NECESSARY, SHALL BE DETAILED TO ALLOW FOR MOVEMENT.
- DRAINS EMERGING FROM UNDERNEATH THE BUILDING TO INCORPORATE FLEXIBLE JOINTS AND SHOULD ALLOW DIFFERENTIAL MOVEMENT IN ANY DIRECTION EQUAL TO THE ESTIMATED CHARACTERISTIC SURFACE MOVEMENTS (Ys VALUE)
- ON SITE WASTE WATER TREATMENT UNITS TO BE LOCATED TO MINIMISE SOIL MOISTURE INCREASE WITHIN THE FOUNDATION.
- DRAINAGE UNDER THE SLAB TO BE AVOIDED WHERE PRACTICABLE.
- COLD AND HOT WATER PIPES NOT TO BE INSTALLED UNDER THE SLAB, UNLESS PIPES ARE INSTALLED WITHIN A CONDUIT SO THAT IF THE PIPE LEAKS IT WILL BE NOTICED ABOVE OR OUTSIDE THE SLAB.

SITE PREPARATION REQUIREMENTS

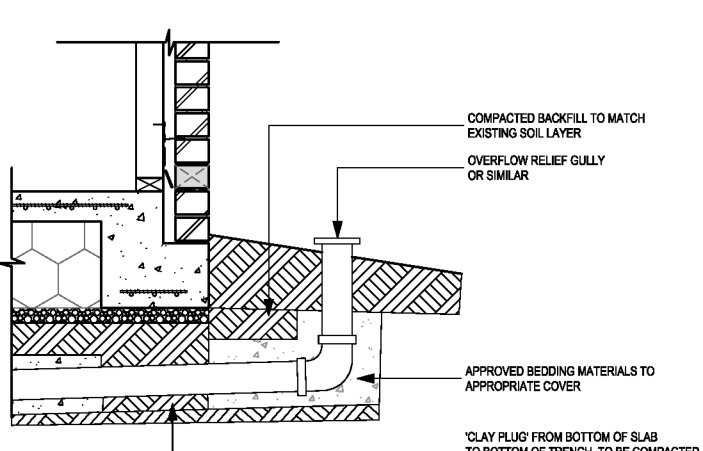
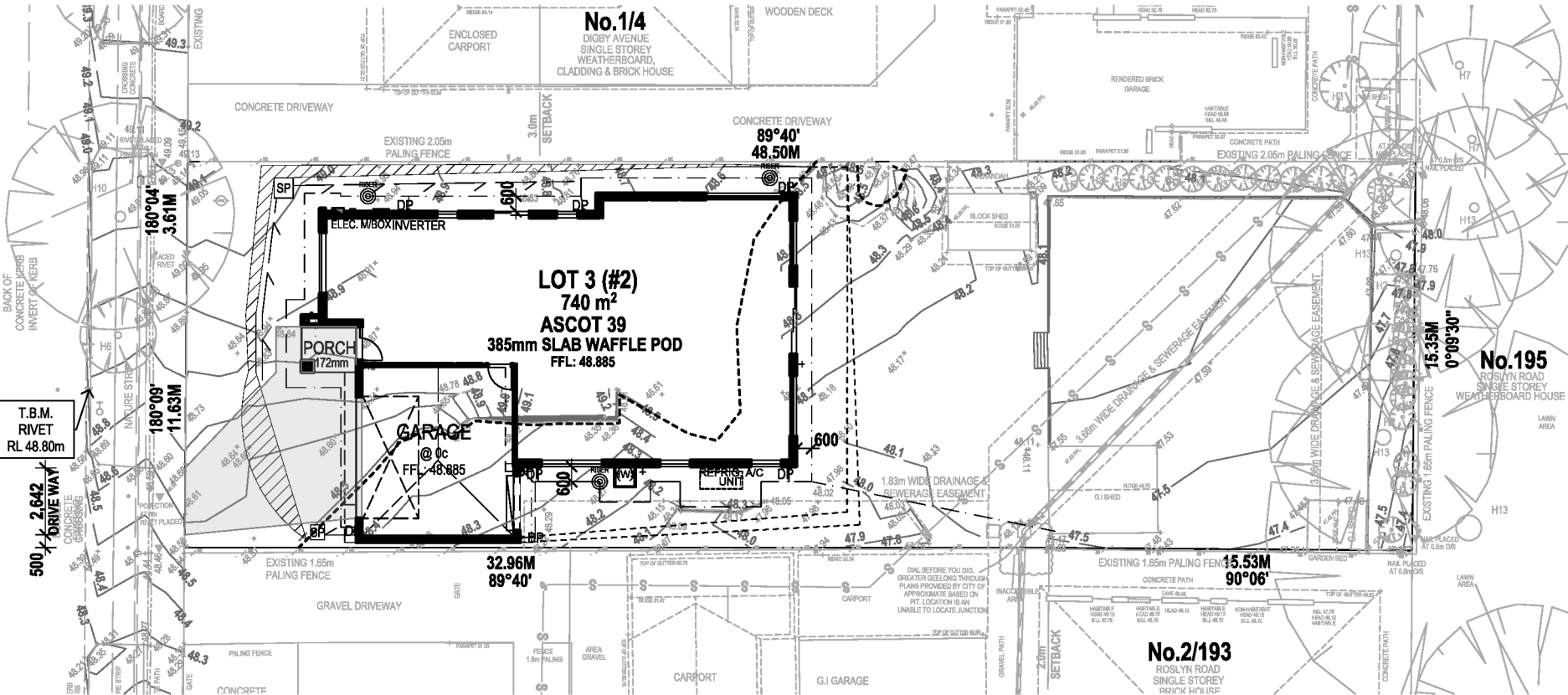
- UNLESS NOTED OTHERWISE, EXCAVATIONS TO BE BATTERED AT 45° MAX. FOR SAND/SILT/FILL SITES. ALL BATTERS TO BE KEPT WITHIN PROPERTY BOUNDARIES.
- ALL CUT & FILL BATTERS MUST BE STABILISED FOLLOWING CONSTRUCTION. THE GROUND LEVEL IMMEDIATELY ADJACENT TO THE BUILDING SHALL BE GRADED TO A UNIFORM FALL OF 50mm MIN. AWAY FROM THE BUILDING OVER THE FIRST METRE.

MIN. REQUIREMENTS EXPANSION JOINTS CAPACITY				
SITE CLASS	EXPANDER MOVEMENT RANGE		SWIVEL ROTATION RANGE	
'E'	150mm		15°	
'H1' & 'H2'	70mm		15°	
'M'	MIN. 25mm LAGGING THROUGH FOOTINGS		NOT APPLICABLE	
MIN. REQUIREMENTS EXPANSION JOINTS CAPACITY				
SITE CLASS	SEWER EXIT POINTS & ORG		RISER	
	SWIVEL	EXPANDER	SWIVEL	EXPANDER
'M'	1	0	0	MIN. 25mm
'H1'	1	1	1**	MIN. 50mm
'H2'	2	1	1**	
'E'	2	1	X*	MIN. 50mm

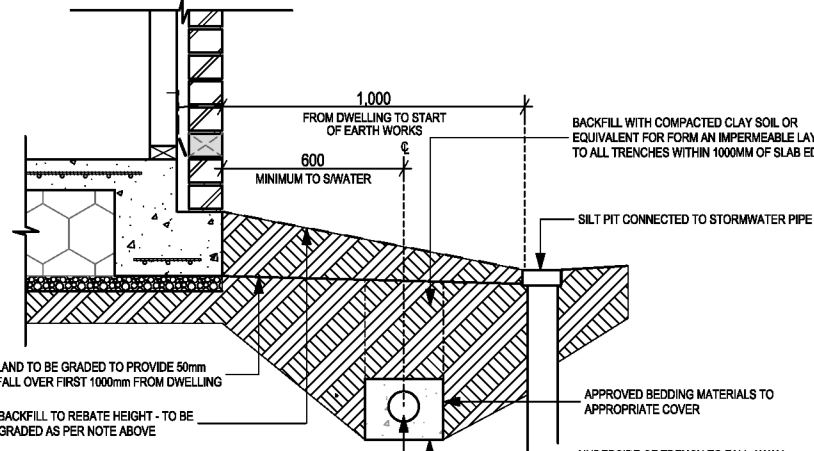
* - EXPANDER ON ALL RISERS
** - MAX DEPTH OF SEWER TO UNDERSIDE OF SLAB TO BE 500mm FOR CLASS M & 600mm FOR CLASS H OTHERWISE EXPANDER JOINT REQUIRED

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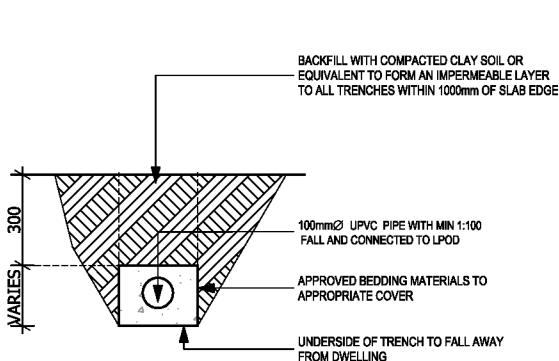
DIGBY AVENUE



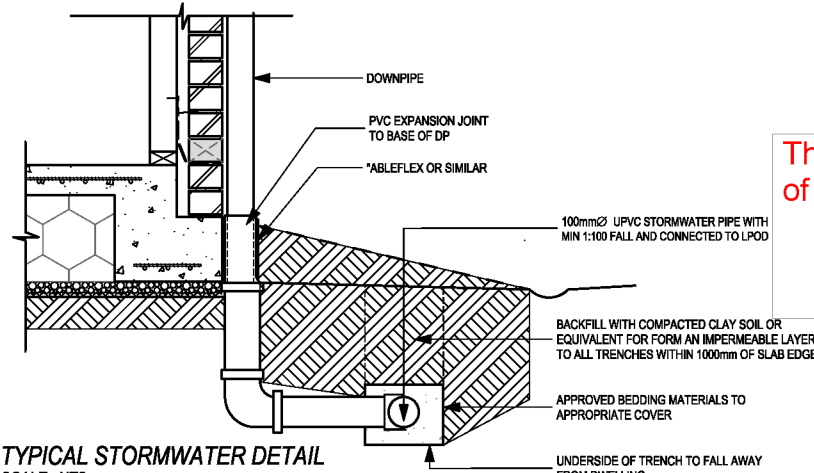
CLAY PLUG DETAIL
SCALE: NTS



TYPICAL DOWNPIPE TO
STORMWATER PIPE CONNECTION
SCALE: NTS



TYPICAL TRENCH DETAIL
SCALE: NTS



TYPICAL STORMWATER DETAIL
SCALE: NTS

LEGEND

- 1:20 MIN. FALL AWAY FROM FOOTINGS
- CUT TOE/SPOON DRAIN @ MIN. FALL
- AGI — AGRICULTURAL DRAIN
- STORMWATER DRAINAGE SYSTEM
- SP SILT PIT CONNECTED TO STORMWARER
- GRATED SILT PIT TO SWALE DRAIN
- SW LEGAL POINT OF DISCHARGE

SITE DRAINAGE - SWALE DRAINS

SOIL TO BE GRADED TOWARDS SWALE DRAIN AT MIN 1:20/50MM OVER FIRST 1000MM AWAY FROM DWELLING AS PER AS 2870-2011/ NCC 3.3 GRATED SILT PITS TO BE PROVIDED AT MAX. 6000MM CTS AND CONNECTED TO LEGAL POINT OF DISCHARGE. SILT PITS TO BE LOCATED MIN. 1000MM FROM DWELLING WHERE POSSIBLE. **SITE MANAGERS TO ENSURE SWALE DRAINS REMAIN FORMED & CLEAR OF DEBRIS FOR DURATION OF CONSTRUCTION**

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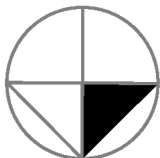
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CLIENT: [REDACTED]

LOT 3 (#2) DIGBY AVENUE
BELMONT, VIC 3216

DRAINAGE PLAN				JOB No:
HOUSE TYPE: ASCOT 39		MASTER DRAWING INFO:		501431
FACADE: COMO	DRAWN BY: JS	REVISION: 01		DRAWING No:
		TYP HEIGHT: 25/24R		3 OF 13

DEMOLITION
ALL ITEMS TO BE DEMOLISHED DENOTED:

DEMOLITION WORKS
SITE TO BE CLEARED AS PER PLAN AND LEVELLED TO THE SATISFACTION OF THE BUILDER. IT IS THE RESPONSIBILITY OF THE OWNER TO ARRANGE FOR RELOCATION OF ALL SERVICES AND OBTAIN ANY PERMITS

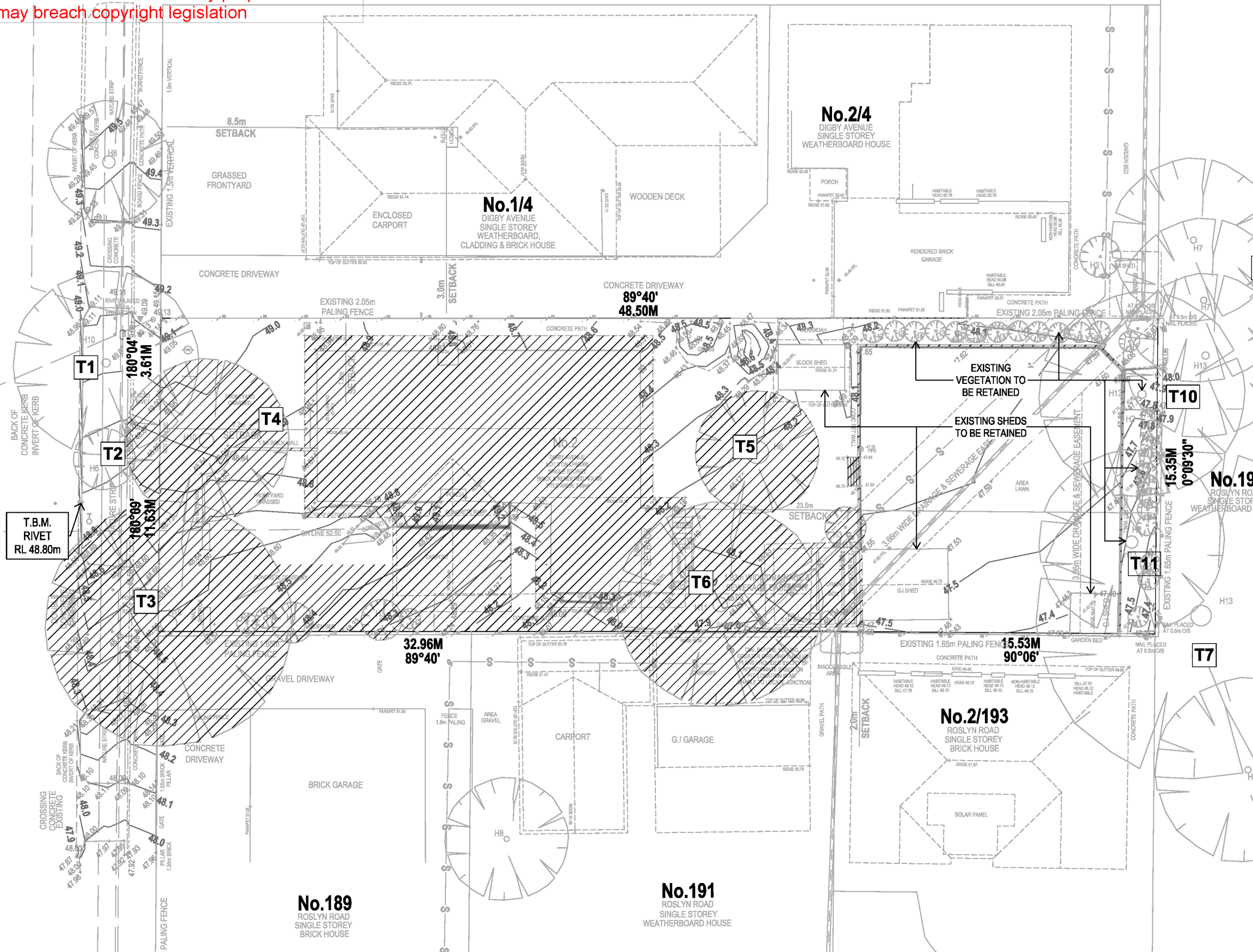
PRELIMINARY SITE LEVELS
SITE LEVELS SHOWN ARE INTENDED LEVELS AND MAY VARY DUE TO WORKS BEING UNDERTAKEN BY OWNER. SITE LEVELS WILL BE RE-ASSESSED PRIOR TO COMMENCEMENT OF CONSTRUCTION ON COMPLETION OF SITE CLEARING WORKS

TREE REMOVAL
IT IS THE RESPONSIBILITY OF THE OWNER TO REMOVE TREES AS INDICATED ON THE PLAN, LIAISE WITH COUNCIL AND OBTAIN ALL ASSOCIATED PERMITS / APPROVALS

SERVICES
EXISTING SERVICES TO BE ABOLISHED AND/OR CAPPED BY THE OWNER. IT IS THE RESPONSIBILITY OF THE OWNER TO IDENTIFY, REMOVE AND FILL ANY EXISTING UNDERGROUND SERVICES

REMOVAL OF SWIMMING POOLS
BASE OF EXISTING POOL IS TO BE BROKEN EXTENSIVELY AND IS TO BE PUNCTURED WITH 400x400mm HOLES AT 1000mm CENTRES MIN. AND REMOVED. BACKFILL RESULTING HOLES/TRENCHES WITH THE SAME OR SIMILAR SOIL AS THE SURROUNDING SOIL AND COMPACTED IN 150mm MAX. LAYERS. THE SOIL IS TO BE CLEAN AND FREE OF ANY LOOSE MATERIALS

DIGBY AVENUE



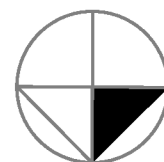
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CLIENT:
LOT 3 (#2) DIGBY AVENUE
BELMONT, VIC 3216

DEMOLITION PLAN				JOB No:
HOUSE TYPE: ASCOT 39		MASTER DRAWING INFO:		501431
FACADE: COMO	DRAWN BY: JS	REVISION: 01	SCALE: 1:100, 1:200	
	TYP HEIGHT: 25/24R	ISSUED: TBC	DRAWING No: 4 OF 13	

GENERAL NOTES

- INTERCONNECTED SMOKE DETECTORS AS PER 9.5 OF NCC AND AS 3686.
- PROVIDE REMOVABLE HINGES TO WC DOORS PER PART 10.4.2 OF NCC.
- TEMPORARY DOWNPIPES TO BE USED UNTIL CONNECTED TO SW DRAIN.
- GUTTERS & DRAINAGE TO COMPLY WITH AS 3500.
- STAIR TREADS TO COMPLY WITH THE SLIP RESISTANT; NCC TABLE 11.2.4 OF NCC.
- THESE DRAWINGS TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEER'S DRAWINGS & SPECIFICATIONS.
- ALL STRUCTURAL TIMBER FRAMING SIZES TO BE IN ACCORDANCE WITH AS 1684 NATIONAL TIMBER FRAMING CODE &/OR ENGINEER'S COMPUTATIONS.
- WATERPROOFING OF WET AREAS TO COMPLY WITH PART 10.2 OF NCC AND AS 3740.
- HINGED DOORS TO BE 135mm FROM CORNER IF SPACE PERMITS, OR 45mm MIN. FROM CORNER. CENTRE DOORS TO PASSAGE.
- ROBE DOORS TO BE EXTERNALLY CENTRED UNLESS OTHERWISE NOTED.
- WATERPROOFING TO ALL EXTERNAL WET AREAS TO BE IN ACCORDANCE WITH AS 4654.2 CLAUSE 2.8.2.
- TIMBER ROOF TRUSSES TO MANUFACTURER'S COMPUTATIONS & LAYOUTS.
- ROOF TRUSSES TO BE PLACED DIRECTLY ON TOP OF EXTERNAL WALL STUDS.
- INTERNAL RAMP SEAL FROM GARAGE TO INTERNAL ACCESS

ENERGY EFFICIENCY

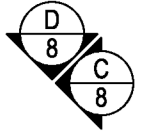
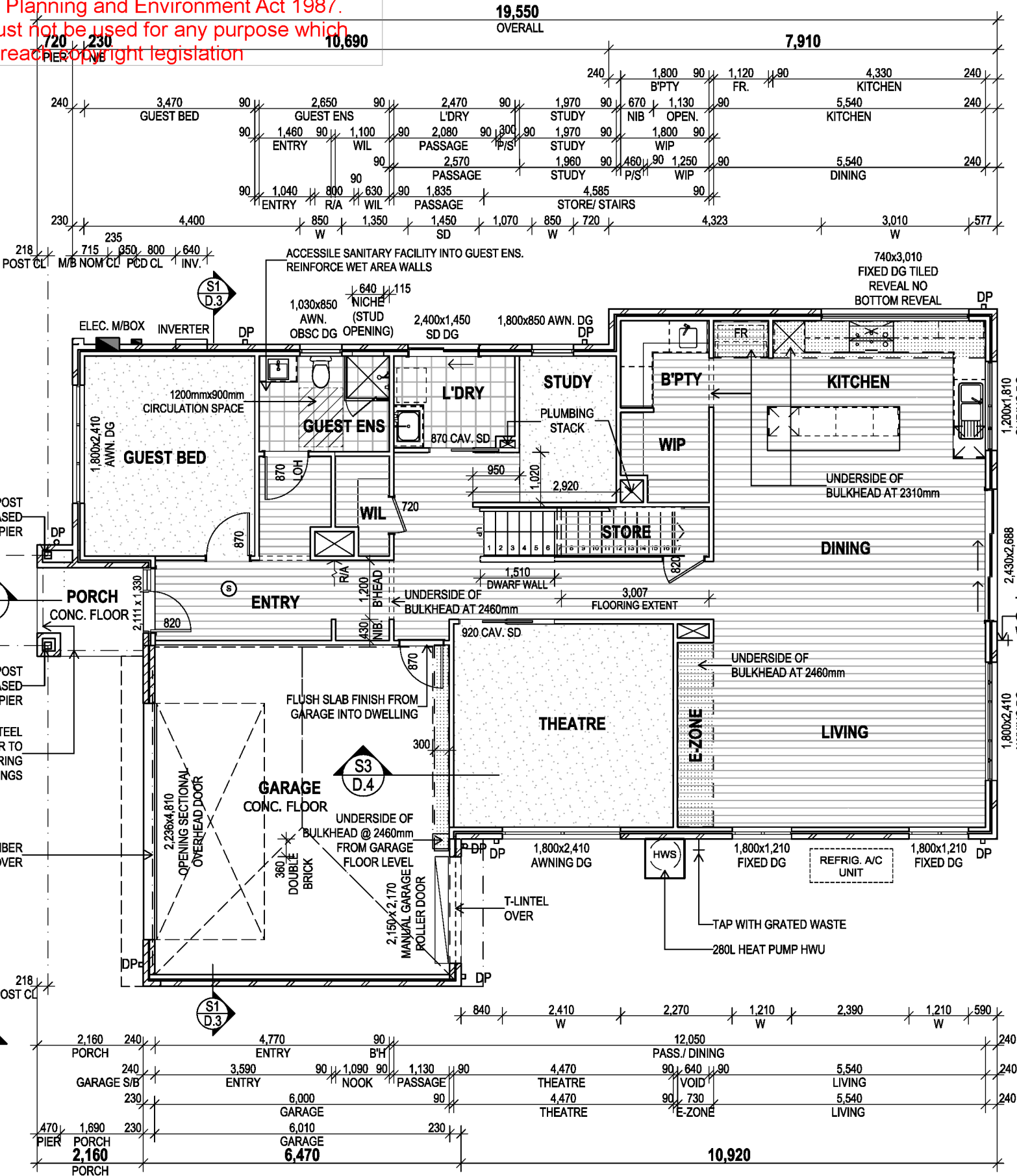
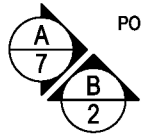
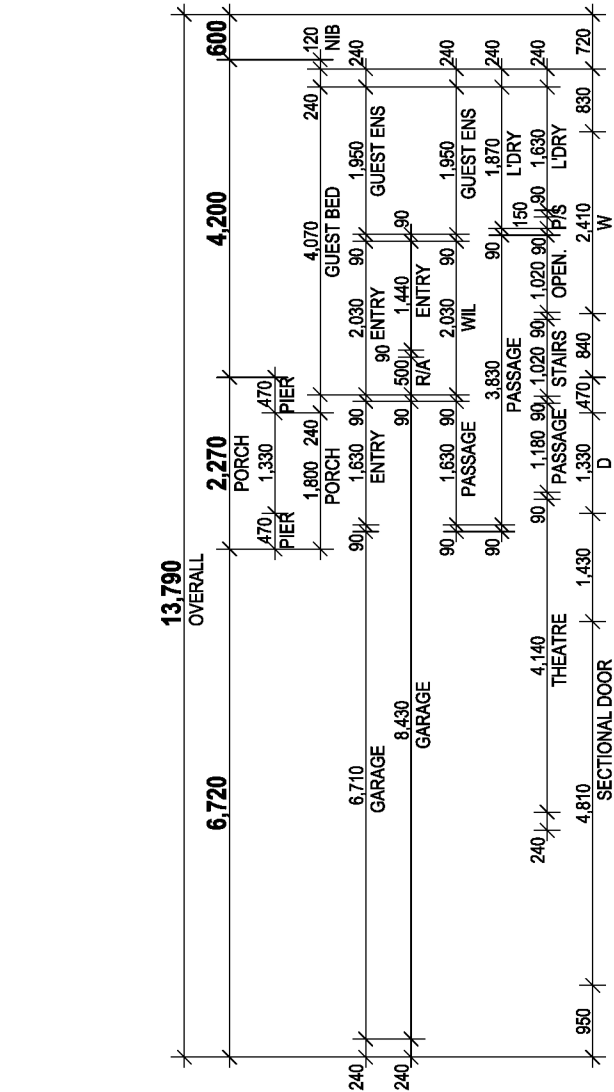
ALL WINDOWS ARE DOUBLE GLAZED + LOW-E + THERMALLY BROKEN, ALL SLIDING / STACKER DOORS ARE DOUBLE GLAZED + LOW-E, UNLESS OTHERWISE NOTED.

DIMENSIONS ARE TO STUDWALL &/OR EXTERNAL CLADDING

2040H INTERNAL DOORS THROUGHOUT GROUND FLOOR U.N.O

LAST SAVED: 4/05/2026

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LEGEND

- FLOOR TILES - BY BUILDER (REFER ADDENDA FOR SELECTION)
- TIMBER/LAMINATE - BY BUILDER (REFER ADDENDA FOR SELECTION)
- CARPET BY BUILDER (REFER ADDENDA FOR SELECTION)
- SMOKE DETECTOR (INTERCONNECTED AS PER NCC)
- LIFT OFF HINGES
- RETURN AIR LOCATION
- DOUBLE GLAZING
- NOGGINS INSTALLED TO STUD WALLS FOR FUTURE GRAB RAILS AS PER NCC

Area Calcs		
Zone Name	Area (m²)	Perimeter (m)
PORCH	4.23	8.86
GARAGE	44.94	27.02
FIRST FLOOR	156.33	57.20
GROUND FLOOR	161.86	59.48
TOTAL	367.36 m²	152.56 m

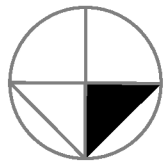
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CLIENT:

LOT 3 (#2) DIGBY AVENUE
BELMONT, VIC 3216

GROUND FLOOR PLAN

HOUSE TYPE:
ASCOT 39
FACADE:
COMO

MASTER DRAWING INFO:
DRAWN BY: JS
TYP HEIGHT: 25/24R
REVISION: 01
ISSUED: TBC

JOB No:
501431
SCALE:
1:100
DRAWING No:
5 OF 13

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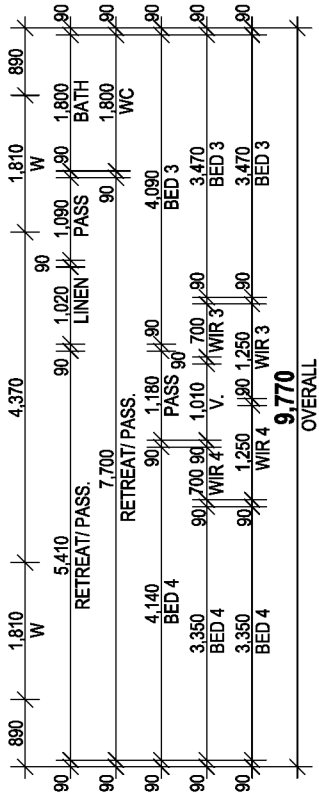
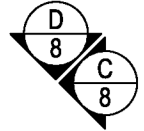
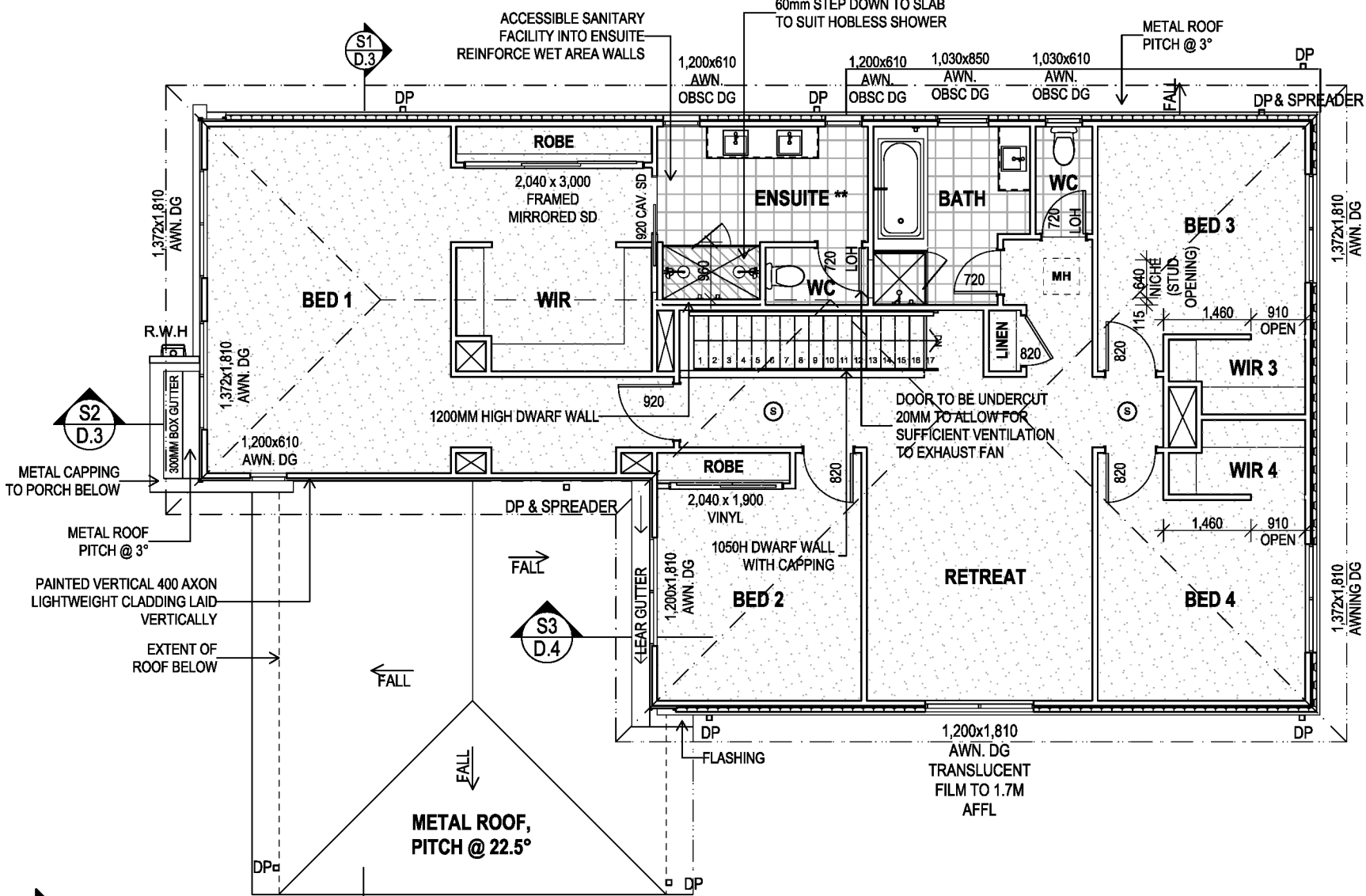
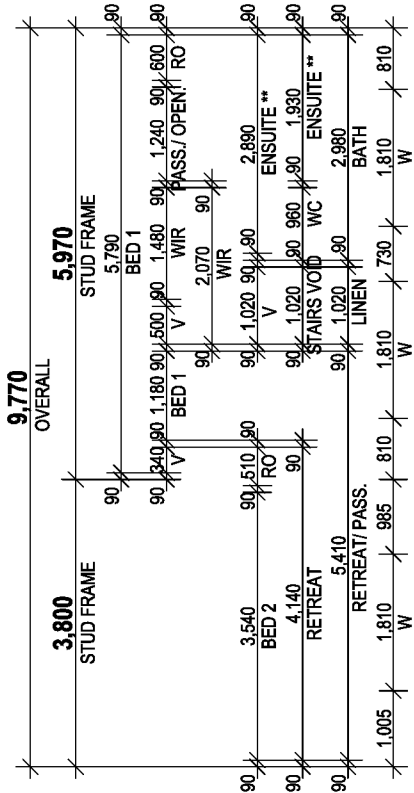
GENERAL NOTES

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- PROVIDE REMOVABLE HINGES TO WC DOORS PER PART 10.4.2 OF NCC.
- TEMPORARY DOWNPIPES TO BE USED UNTIL CONNECTED TO SW DRAIN.
- GUTTERS & DRAINAGE TO COMPLY WITH AS 3500.
- STAIR TREADS TO COMPLY WITH THE SLIP RESISTANT; NCC TABLE 11.2.4 OF NCC.
- THESE DRAWINGS TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEER'S DRAWINGS & SPECIFICATIONS.
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- HINGED DOORS TO BE 135mm FROM CORNER IF SPACE PERMITS, OR 45mm MIN. FROM CORNER. CENTRE DOORS TO PASSAGE.
- ROBE DOORS TO BE EXTERNALLY CENTRED UNLESS OTHERWISE NOTED.
- WATERPROOFING TO ALL EXTERNAL WET AREAS TO BE IN ACCORDANCE WITH AS 4654.2 CLAUSE 2.8.2.
- TIMBER ROOF TRUSSES TO MANUFACTURER'S COMPUTATIONS & LAYOUTS.
- ROOF TRUSSES TO BE PLACED DIRECTLY ON TOP OF EXTERNAL WALL STUDS.
- INTERNAL RAMP SEAL FROM GARAGE TO INTERNAL ACCESS

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LEGEND

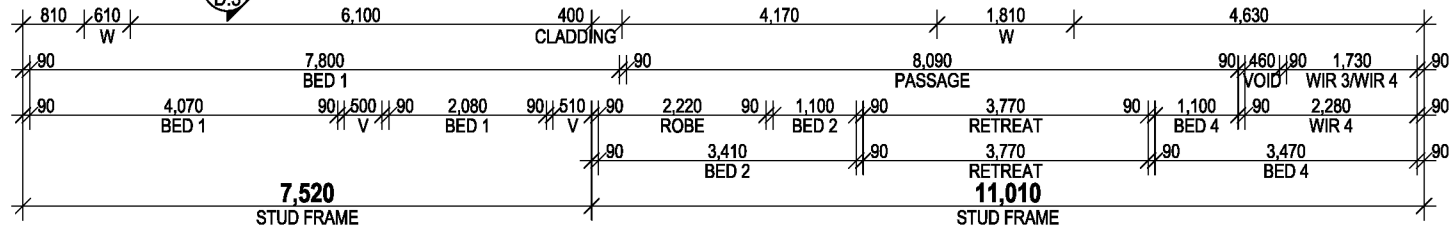
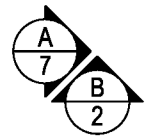
- FLOOR TILES - BY BUILDER (REFER ADDENDA FOR SELECTION)
- TIMBER/LAMINATE - BY BUILDER (REFER ADDENDA FOR SELECTION)
- CARPET BY BUILDER (REFER ADDENDA FOR SELECTION)
- SMOKE DETECTOR (INTERCONNECTED AS PER NCC)
- LIFT OFF HINGES
- RETURN AIR LOCATION
- DOUBLE GLAZING
- NOGGINS INSTALLED TO STUD WALLS FOR FUTURE GRAB RAILS AS PER NCC



ENERGY EFFICIENCY
ALL WINDOWS ARE DOUBLE GLAZED + LOW-E + THERMALLY BROKEN, ALL SLIDING / STACKER DOORS ARE DOUBLE GLAZED + LOW-E, UNLESS OTHERWISE NOTED.

DIMENSIONS ARE TO STUDWALL &/OR EXTERNAL CLADDING

2040H INTERNAL DOORS THROUGHOUT FIRST FLOOR U.N.O



Area Calcs		
Zone Name	Area (m²)	Perimeter (m)
PORCH	4.23	8.86
GARAGE	44.94	27.02
FIRST FLOOR	156.33	57.20
GROUND FLOOR	161.86	59.48
TOTAL	367.36 m²	152.56 m

FOR CONTRACT

DATE:
SIGNED:

ID	REVISION	BY	DATE	ID	REVISION	BY	DATE	GENERAL NOTES:	CLIENT:	FIRST FLOOR PLAN	JOB No:
01	CONTRACT DRAWINGS, SURVEY, PSI, VO1	LP	08/11/2025					- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE		HOUSE TYPE: ASCOT 39	501431
02	CONTRACT CHECK	DO	17/11/25					- WINDOW SIZES AND LOCATIONS ARE NOMINAL AND MAY VARY TO MANUFACTURERS FRAME SIZES		MASTER DRAWING INFO:	SCALE: 1:100
03	PRE-CONTRACT VO1	AM	20/02/26							DRAWN BY: JS	REVISION: 01
04	UPDATED DEMOLITION PLAN	AM	5/03/26							TYP HEIGHT: 25/24R	ISSUED: TBC
05	STORMWATER DETAILS	AM	04/05/26								
06	TOWN PLANNING RFI	AM	10/06/26								

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BELMONT, VIC 3216

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LAST SAVED: 4/05/2026

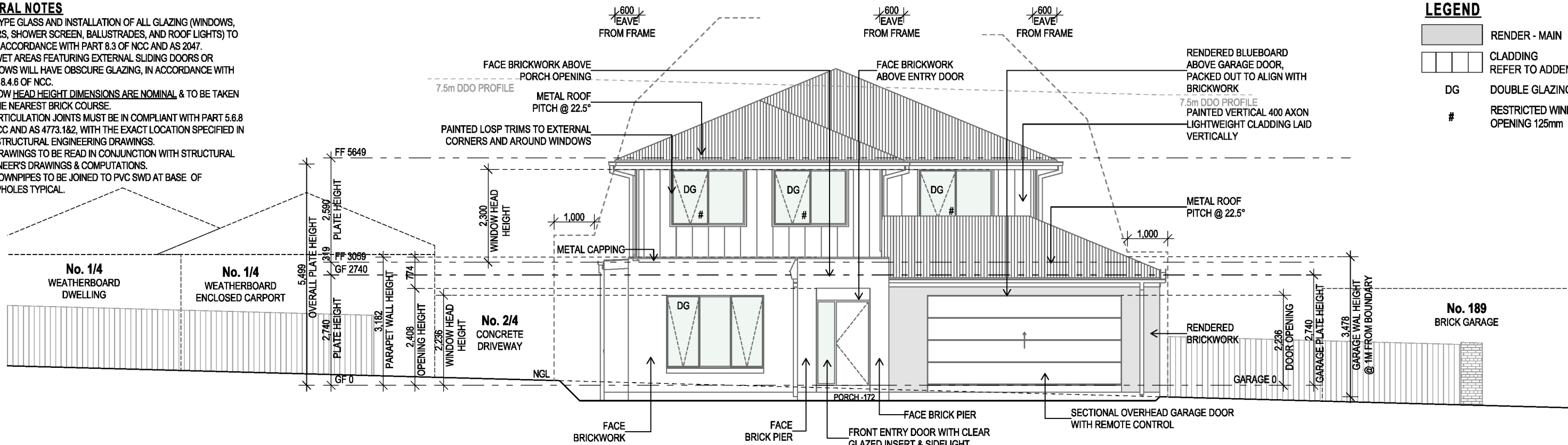
\\abn.group\bou2\boujobs\Drafting\501000\501400\501431\Arch\CAD Files\501431 - WARREN - CONTRACT.pln

GENERAL NOTES

- THE TYPE GLASS AND INSTALLATION OF ALL GLAZING (WINDOWS, DOORS, SHOWER SCREEN, BALUSTRADES, AND ROOF LIGHTS) TO BE IN ACCORDANCE WITH PART 8.3 OF NCC AND AS 2047.
- ALL WET AREAS FEATURING EXTERNAL SLIDING DOORS OR WINDOWS WILL HAVE OBSCURE GLAZING, IN ACCORDANCE WITH PART 8.4.6 OF NCC.
- WINDOW HEAD HEIGHT DIMENSIONS ARE NOMINAL & TO BE TAKEN TO THE NEAREST BRICK COURSE.
- ALL ARTICULATION JOINTS MUST BE IN COMPLIANT WITH PART 5.6.8 OF NCC AND AS 4773.1&2, WITH THE EXACT LOCATION SPECIFIED IN THE STRUCTURAL ENGINEERING DRAWINGS.
- ALL DRAWINGS TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEER'S DRAWINGS & COMPUTATIONS.
- ALL DOWNPIPES TO BE JOINED TO PVC SWD AT BASE OF WEEPHOLES TYPICAL.

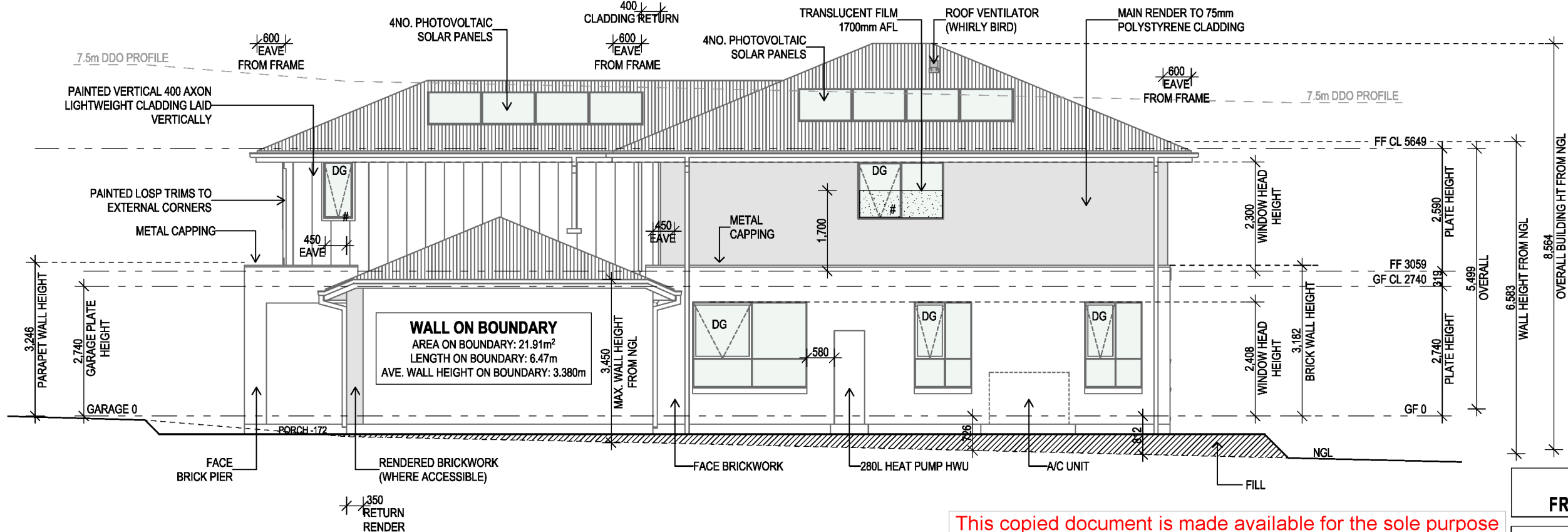
LEGEND

- RENDER - MAIN
- CLADDING
REFER TO ADDENDA
- DG DOUBLE GLAZING
- # RESTRICTED WINDOW
OPENING 125mm



(EAST) A - FRONT ELEVATION

1:100



(NORTH) B - SIDE ELEVATION

1:100

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DIMENSIONS ARE FROM RELEVANT LEVELS

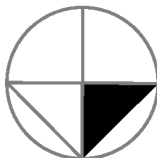
FOR CONTRACT

DATE: _____
SIGNED: _____

ID	REVISION	BY	DATE
01	CONTRACT DRAWINGS, SURVEY, PSI, VO1	LP	08/11/2025
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05	STORMWATER DETAILS	AM	04/05/26
06	TOWN PLANNING RFI	AM	10/06/26

ID	REVISION	BY	DATE

GENERAL NOTES:
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ELEVATION A & B

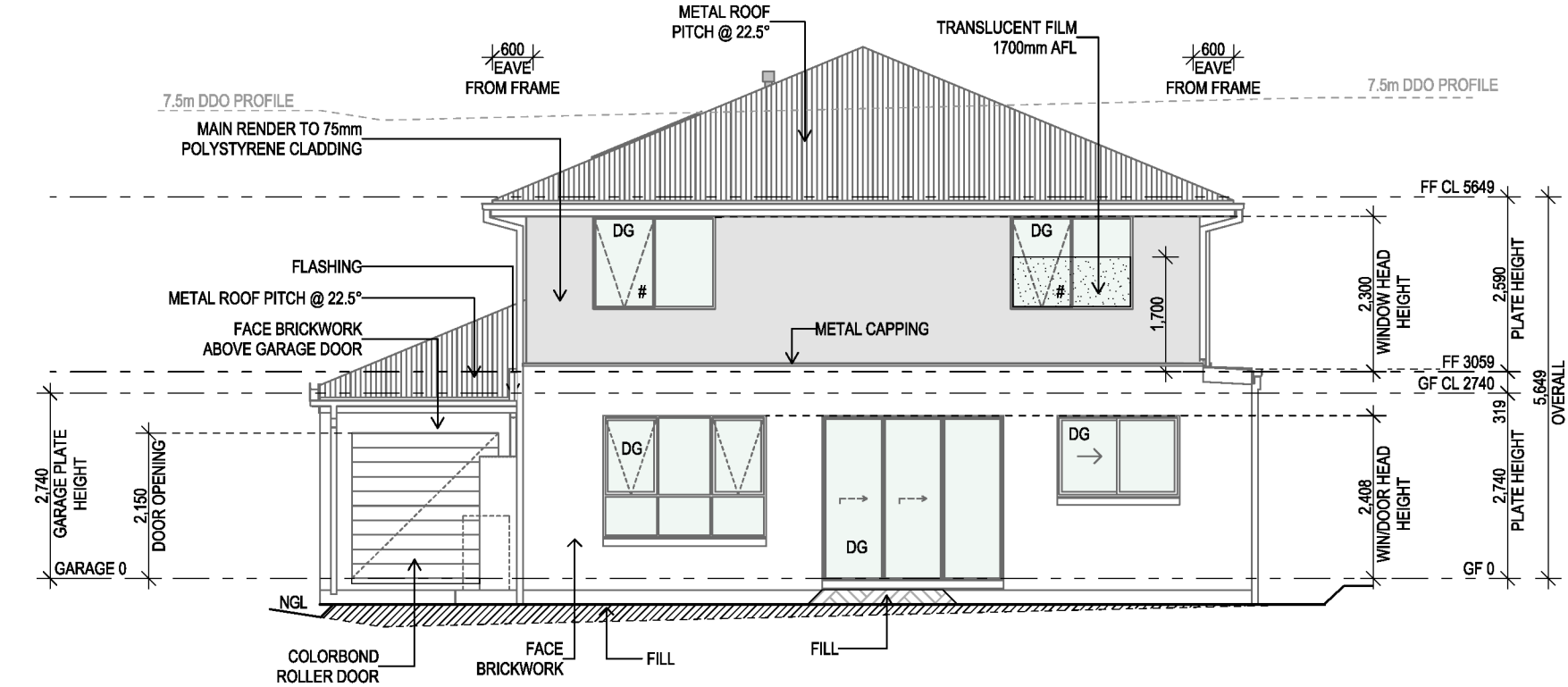
HOUSE TYPE:
ASCOT 39
FACADE:
COMO

MASTER DRAWING INFO:
DRAWN BY: JS
TYP HEIGHT: 25/24R
REVISION: 01
ISSUED: TBC

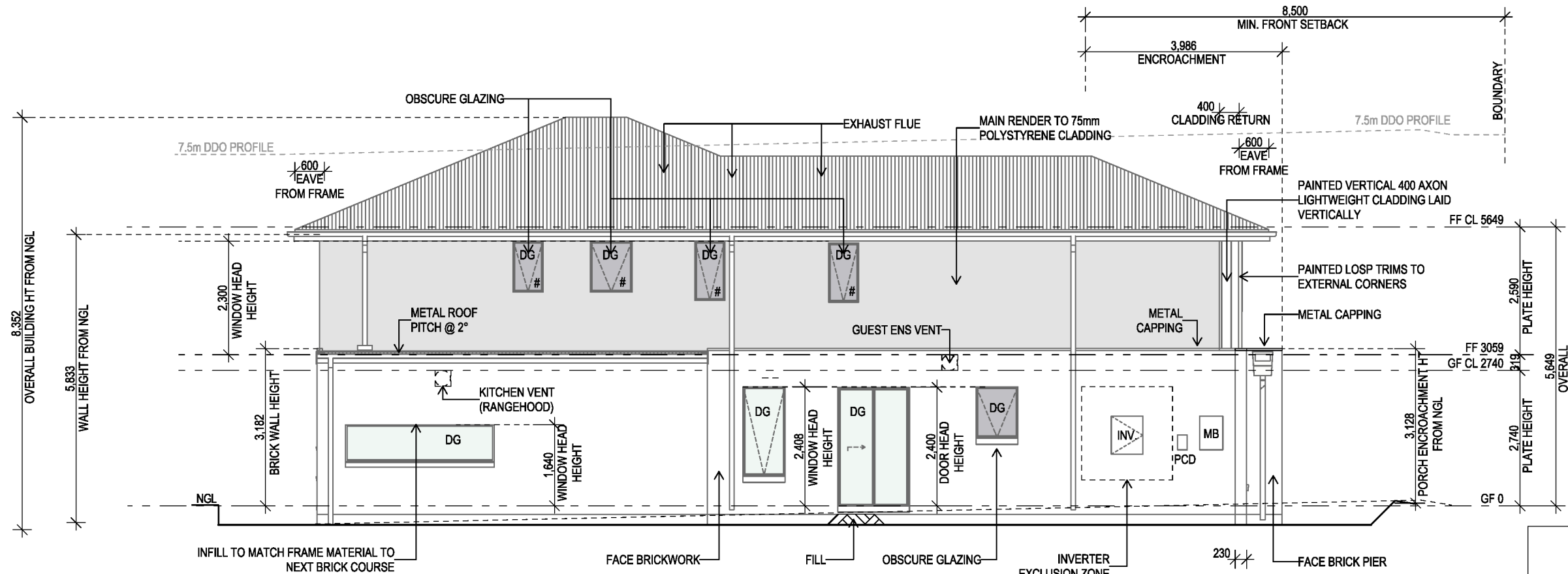
JOB No:
501431
SCALE:
1:100
DRAWING No:
7 OF 13

- GENERAL NOTES**
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- LEGEND**
- RENDER - MAIN
 - CLADDING REFER TO ADDENDA
 - DG DOUBLE GLAZING
 - # RESTRICTED WINDOW OPENING 125mm



(WEST) C - REAR ELEVATION 1:100



(SOUTH) D - SIDE ELEVATION 1:100

DIMENSIONS ARE FROM RELEVANT LEVELS

FOR CONTRACT

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05	STORMWATER DETAILS	AM	04/05/26							REVISION:	
06	TOWN PLANNING RFI	AM	10/06/26							TYP HEIGHT:	
										25/24R	
										ISSUED:	
										TBC	

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