

title:	L101 LANDSCAPE GA GF		
status:	Planning Issue		
project #	260622	sheet 1 of 2	rev. A

GENERAL NOTES & SPECIFICATIONS

GENERAL
All works are to be carried out in accordance with the relevant Australian Standards, the National Construction Code (NCC), applicable Local Council and statutory authority requirements, Environmental Protection policies, and Workplace Health and Safety (WHS) legislation. These drawings and specifications must be read in conjunction with all architectural, structural, civil, and services documentation. In the event of any discrepancy, the Contractor must seek clarification from Moorilla Studio prior to proceeding. Figured dimensions are to be used in preference to scaled dimensions. Do not scale drawings. The Contractor is responsible for the complete execution of the works, including coordination with all trades, verification of site conditions, and delivery of a fit-for-purpose outcome in accordance with industry best practice. All workmanship is to be of a professional standard. The Contractor must obtain all necessary permits and approvals prior to commencement of works.

SITE CONDITIONS & SET-OUT

The Contractor is deemed to have inspected the site and satisfied themselves as to existing conditions prior to commencement. No claim for additional cost or time will be accepted due to failure to identify reasonably observable conditions, including access constraints, levels, services, subsurface conditions, or site limitations. A full site set-out is to be undertaken and all dimensions measured, including fencing, Tree Protection Zones, pool fencing, and safety barriers, must be installed as required. The site must be maintained in a safe, clean, and orderly condition at all times.

SUBSURFACE SERVICES

Subsurface services are not typically shown on drawings. The Contractor must verify all service locations and protect existing infrastructure prior to commencement. Contact Dial Before You Dig or relevant authorities for service information.

PROTECTION OF WORKS

All existing buildings, structures, services, and vegetation nominated for retention must be protected for the duration of works. Tree Protection Zones are to be established and maintained in accordance with relevant standards. Any damage caused during construction must be rectified at the Contractor's expense.

GRADES AND LEVELS

Finished Floor Levels (FFL), Reduced Levels (RL), and Top of Wall (TOW) heights are indicative only and must be verified on site. A minimum step-down of 150mm must be provided from habitable structures to permeable surfaces and 50mm to non-permeable surfaces unless otherwise stated. Zero-threshold conditions must comply with relevant performance requirements. All hard surfaces are to be graded to a minimum fall of 1:100 unless otherwise specified, and must direct water away from structures.

SITE DRAINAGE

External surfaces must be graded away from buildings in accordance with NCC requirements to prevent water ingress. All retaining walls and planter walls that retain moisture are to incorporate geotextile-wrapped aggregate drainage behind. Aggregate paths must include subsurface drainage at the lower edge.

All drainage is to be connected to the legal point of discharge (LPD). Subsurface drainage systems to lawn and garden areas must be installed as required, typically comprising 450mm wide trenches at approximately 3 metre centres.

Where stormwater infrastructure is located above site levels, pumps and sumps may be required. Drainage solutions shown on drawings are indicative only and must be verified on site. All works must comply with AS 2870 and Civil Engineer documentation.

ENVIRONMENTAL MANAGEMENT

The Contractor must implement appropriate environmental protection measures throughout construction. This includes sediment and erosion control, prevention of stormwater contamination, and lawful disposal of all waste materials. No works are to adversely affect neighbouring properties, surrounding landscapes, or public infrastructure.

SITE PREPARATION

All vegetation identified for removal must be treated with an approved eco-friendly herbicide at least one week prior to clearing, in accordance with manufacturer recommendations. The Contractor must remove all vegetation, structures, and debris not nominated for retention. Tree removal and poisoning regimes are to be carried out where required, with ongoing consultation with the client.

SOIL PREPARATION

Soils must be improved using conditioners compliant with AS 4454. Lawn areas are to be prepared to a minimum depth of 150mm and garden beds to a minimum depth of 300mm, or greater where required for tree planting. Gypsum must be applied to clay soils where necessary, along with soil wetting agents in accordance with manufacturer specifications. All lawn subgrades must be trimmed and level.

ROOT CONTROL BARRIERS

Root barriers must be installed in accordance with manufacturer specifications for any tree located within 3 metres of buildings. Installation adjacent to paving is optional. Root barriers must not be installed between retained trees and adjacent permeable surfaces.

PLANTING

Planting must not occur in dry soil. All plants are to be installed in properly prepared pits, with root-bound material loosened prior to placement. Root balls must be set flush with finished soil levels and planted on firm bases to prevent subsidence. Backfill must be free of building waste or foreign material. Plants must be thoroughly watered-in to remove air pockets. All trees are to be staked in accordance with project details. All planting must comply with AS 2303-2015. The Contractor is responsible for verifying plant quality and must reject any stock that is not of the specified species, size, or acceptable health. Plants must be stored appropriately on site. Substitutions are only permitted where equivalent or superior performance can be demonstrated and must be approved in writing by Moorilla Studio and relevant authorities prior to installation. All canopy trees must be installed by an AQF Level 3 qualified Arborist, Landscape Gardener, or Horticulturist. Small trees must be located a minimum of 1.0 metre from structures, paving, and boundaries.

HEDGES

Hedge planting must be undertaken within continuous trenches sized to suit the full extent of planting. Soil between plants must be loosened and replaced to encourage uniform root development and improve establishment.

MULCH

Mulch must be applied to all garden beds to a compacted depth of 70-80mm, with finished levels sitting 10-20mm below adjacent edging. All visible debris must be removed prior to application. Mulch must be a fine organic product compliant with AS 4454. Coloured mulches are not permitted.

HARDSCAPE WORKS (GENERAL)

All hardscape works must be constructed to accepted industry tolerances, ensuring consistent levels, alignment, and finish quality. Transitions between materials must be smooth and even. Conduits for lighting and irrigation must be provided where required.

CONCRETE AND EXPOSED AGGREGATE

Concrete works must be constructed on a properly prepared and compacted sub-base. Reinforcement must be installed, and control joints provided at maximum 3 metre intervals with isolation joints at adjoining structures. Finished levels must be a minimum of 75mm below damp-proof courses and graded away from buildings. Surface finish is to be as specified. Drainage must be integrated where required, and any subfloor ventilation obstructed during works must be reinstated.

GRAVEL AND CRUSHED ROCK PATHS

Gravel paths must be constructed over a compacted base, with material installed to specified depths and compacted. Surfaces must be free of oversized material and finished slightly below adjacent edging. Drainage must be provided where required.

IRRIGATION

Irrigation systems must be water efficient and comply with Council requirements. Systems must be appropriately zoned and designed to suit planting types, incorporating drip irrigation for garden beds and sprinkler systems for lawns. All planting must receive adequate water during establishment. The Contractor must program and commission the system and provide operating instructions and warranty information to the client.

COORDINATION

The Contractor must coordinate all works with relevant consultants, authorities, and trades. Any conflicts must be identified and resolved prior to construction.

MATERIALS AND SUBSTITUTIONS

All materials must be new and fit for purpose. Substitutions are only permitted where equivalent or superior performance can be demonstrated and must receive prior written approval.

TOLERANCES AND FINISHES

All works must be completed within acceptable industry tolerances. Levels, alignment, and junctions must be true and even, with a high standard of finish across all elements.

AS-BUILT DOCUMENTATION

Upon completion, the Contractor must provide as-built documentation where applicable, including irrigation systems, drainage layouts, and installed services, along with all warranties and manuals.

DEFECTS LIABILITY

A defects liability period of not less than 12 months applies from the date of practical completion. The Contractor is responsible for rectifying any defects in materials or workmanship during this period.

MAINTENANCE

All landscaping must be maintained to the satisfaction of the relevant authority for a minimum period of 18 months. Maintenance includes irrigation management, weed control, mulch replenishment, pruning, and replacement of failed plants. Rain gardens and permeable paving must be maintained to ensure functionality, including removal of debris, prevention of blockage, and periodic inspection in accordance with Melbourne Water guidelines.

TREE PROTECTION

Tree Protection Requirements (AS 4970:2025)
Prior to development commencing—including demolition, excavation, tree removal, delivery of building/construction materials, or installation of temporary buildings—all council trees and trees marked on the endorsed plans as retained and protected must be safeguarded in accordance with AS 4970:2025 Protection of Trees on Development Sites, to the satisfaction of the Responsible Authority. Tree protection must comply with the following:

- TREE PROTECTION FENCING (TPF)**
 - TPF must enclose the Tree Protection Zone (TPZ), calculated as a radius of 12 x Diameter at Standard Height (DSH), measured at 1.4 metres above ground level.
 - Fencing may align with roadways, footpaths, and boundary fences where they intersect the TPZ.
 - If works are shown within the TPZ on endorsed plans, fencing may be adjusted inward only to the minimum extent necessary to facilitate those works.
 - NRZ fencing must not be moved or encroached upon without guidance from a suitably qualified arborist.
 - Fencing must form a visual and physical barrier, be at least 1.5 metres high, and consist of mesh panels, chain mesh, or similar material, with a top line of high-visibility plastic tape around the perimeter.

SIGNAGE

- Fixed signs must be placed on all visible sides of the TPF setting.
 - Tree Protection Zone - No entry. No excavation or trenching. No storage of materials or waste.
 - Signage must remain in place and be complied with at all times.

IRRIGATION

- The area within the TPZ and TPF must be irrigated during summer months with 1 litre of clean water per 1 cm of trunk girth, measured at the soil/trunk interface, on a weekly basis.

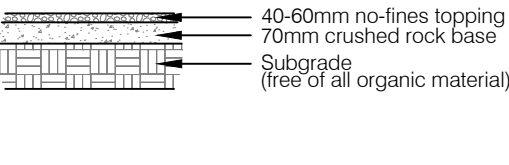
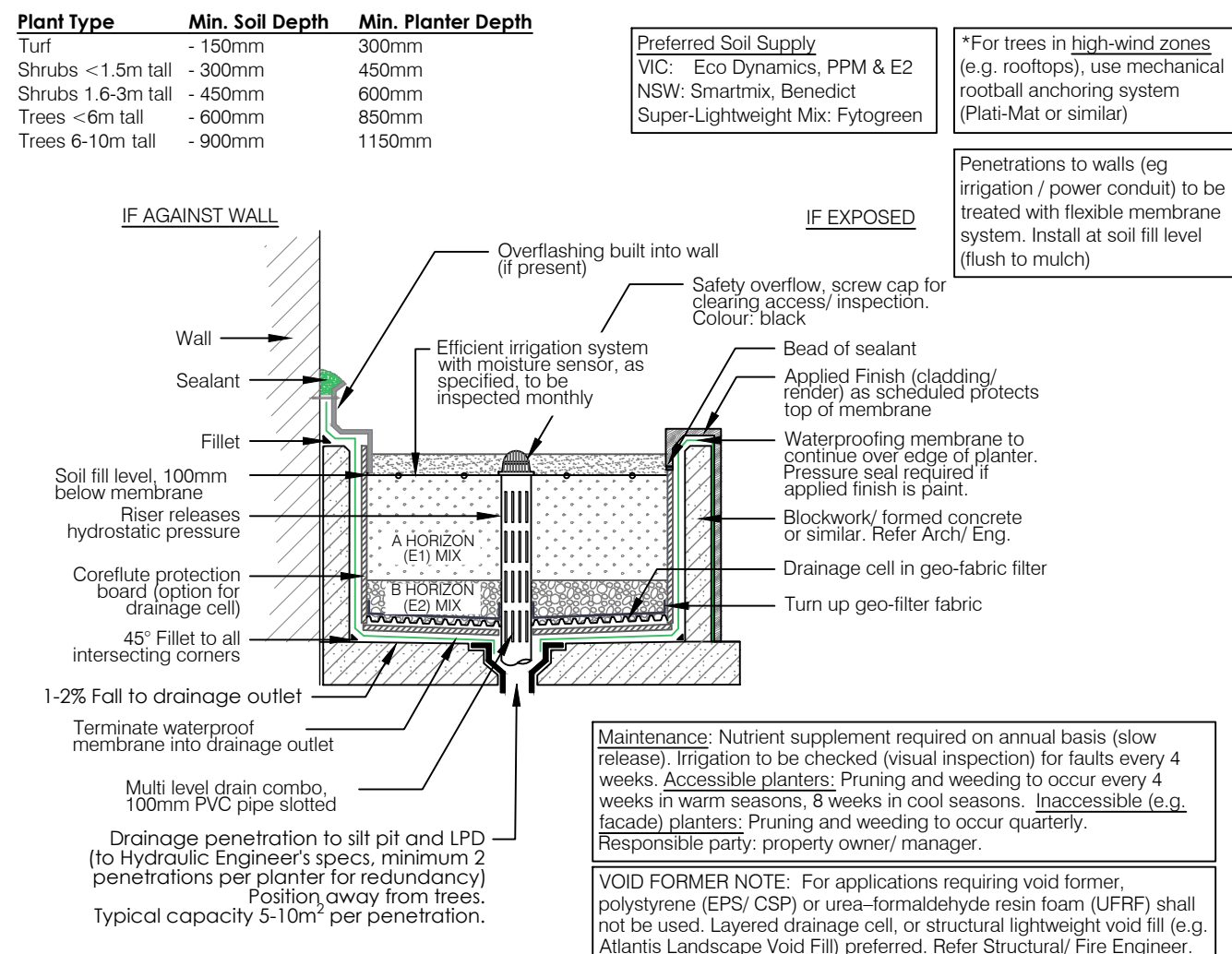
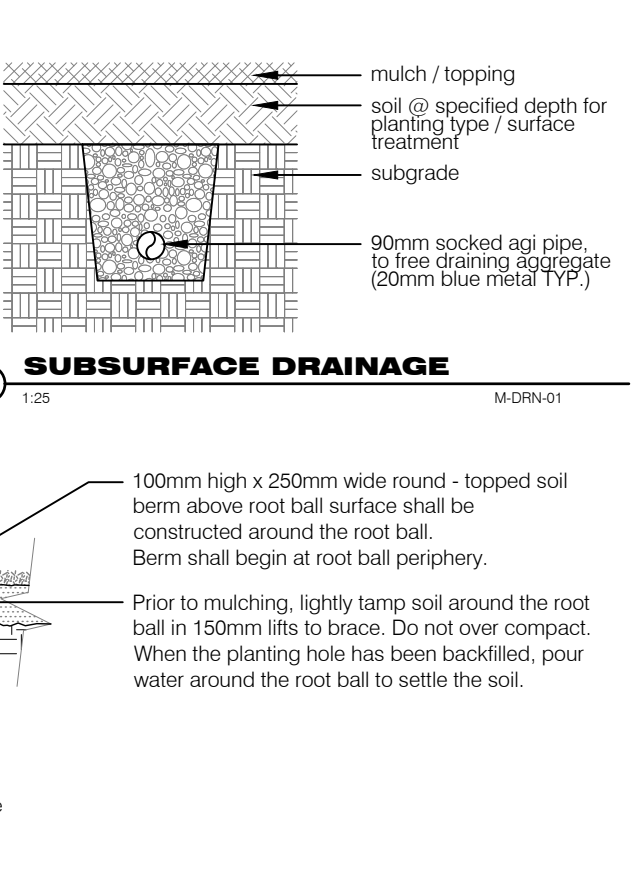
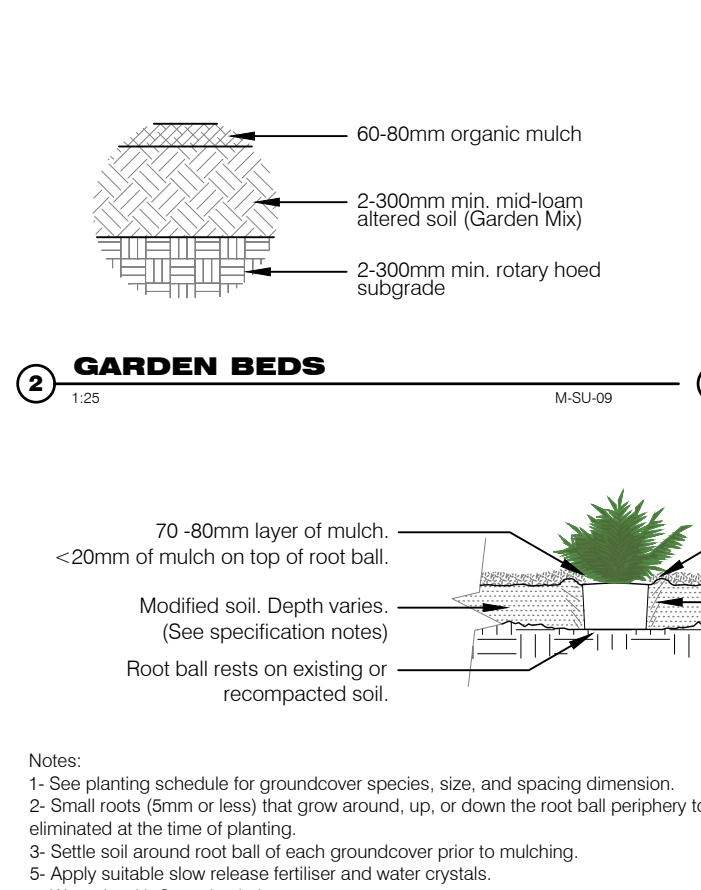
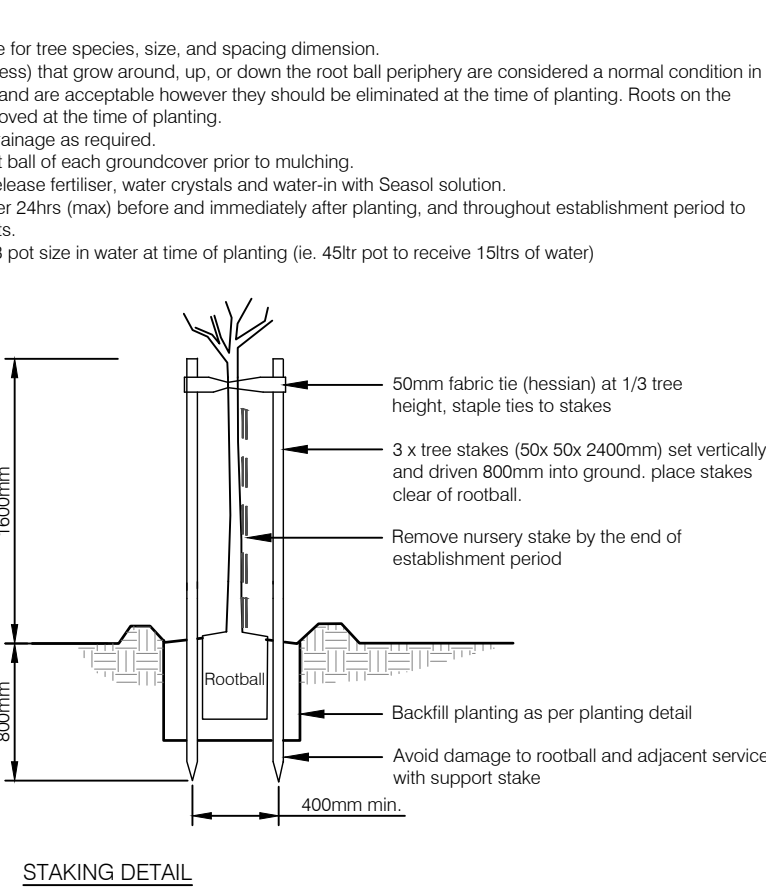
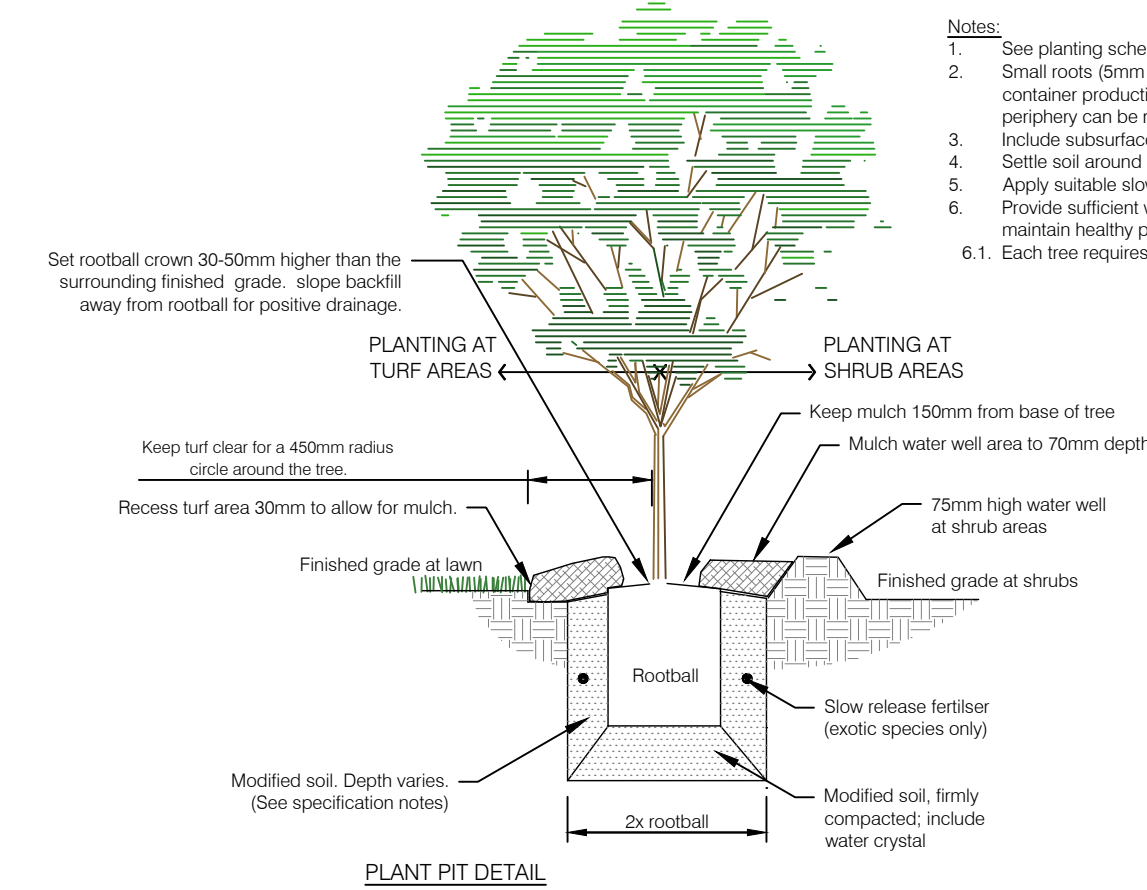
PROVISION OF SERVICES

- All services (including water, electricity, gas, and telecommunications) must be installed underground and outside the Notional Root Zone (NRZ) wherever practically possible.
- If services must be routed within the NRZ, this must be done in accordance with AS 4970:2025 using non-destructive techniques and tree-sensitive design, with arborist oversight.

COUNCIL TREES

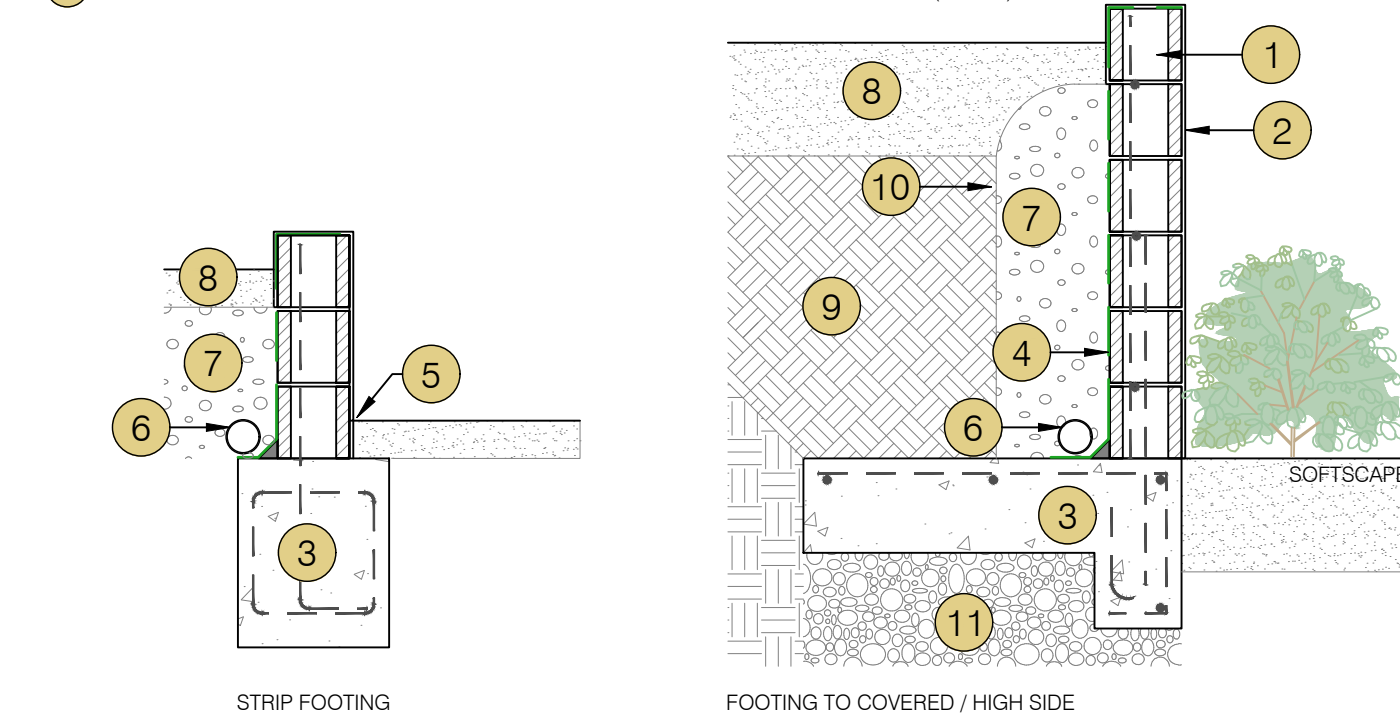
- Council trees must not be impacted in any way unless formal permission is obtained from the Parks Unit / Relevant Authority.

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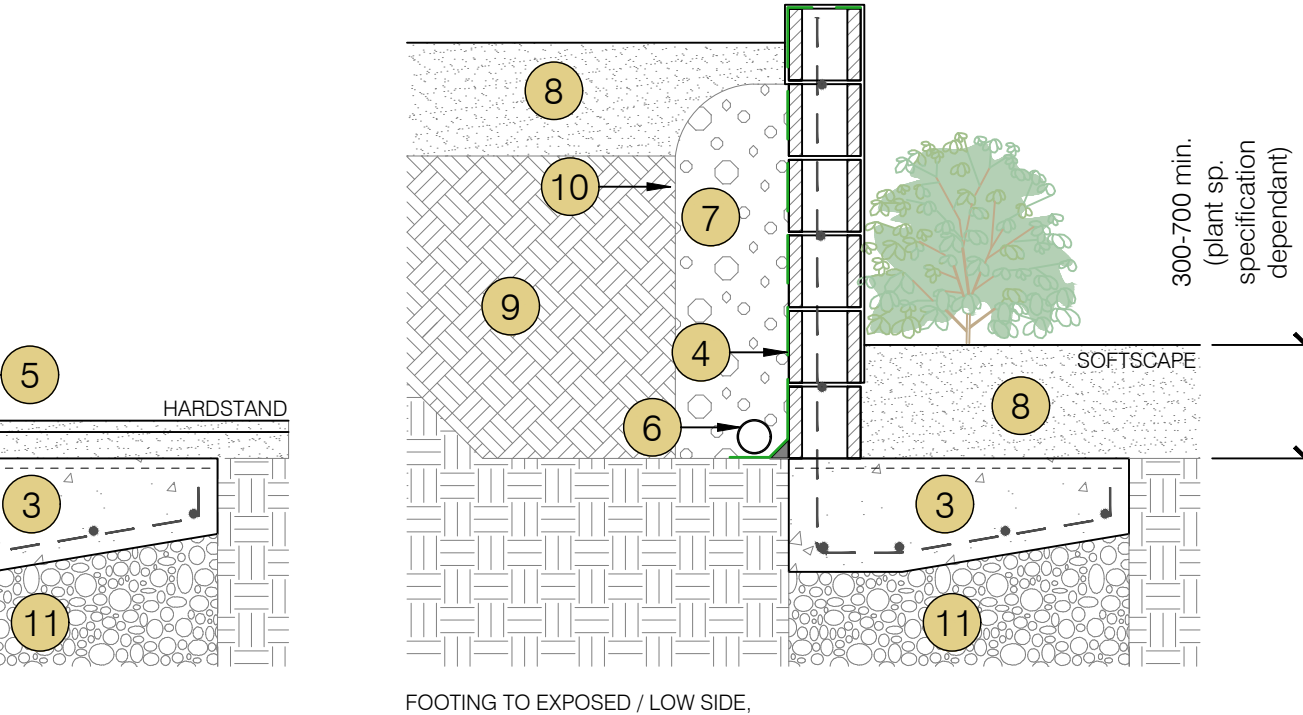
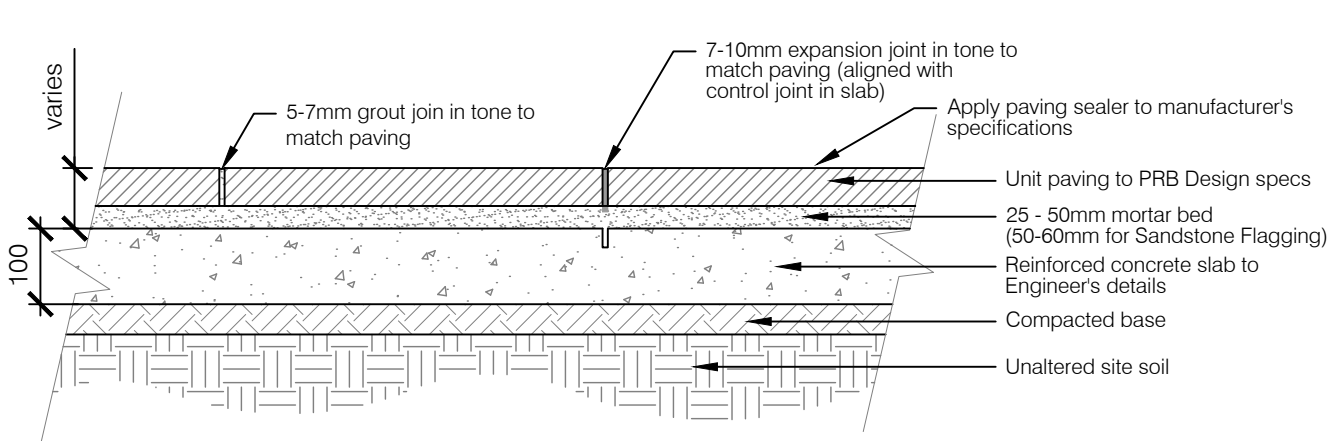
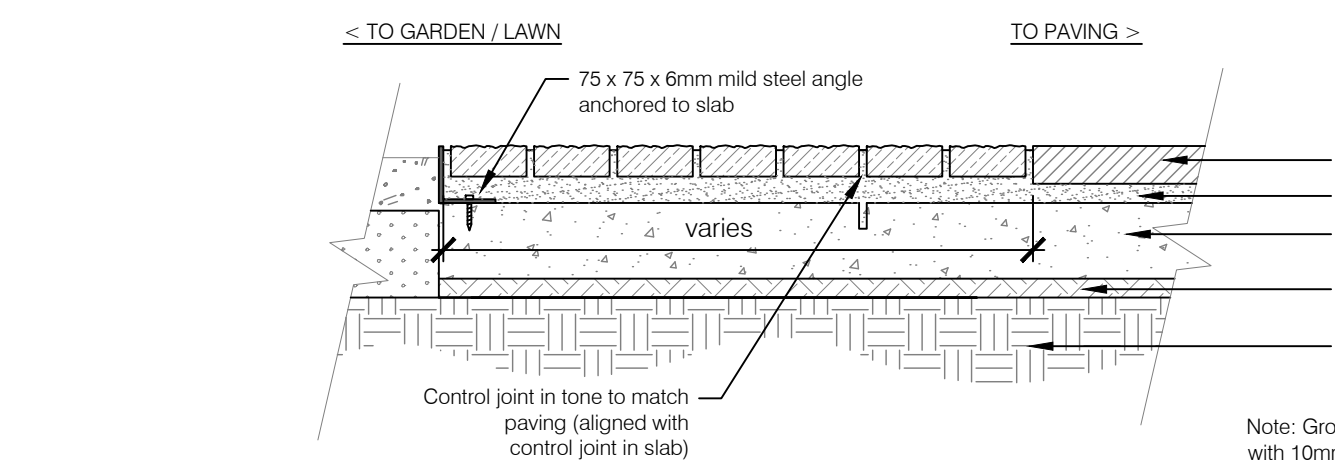
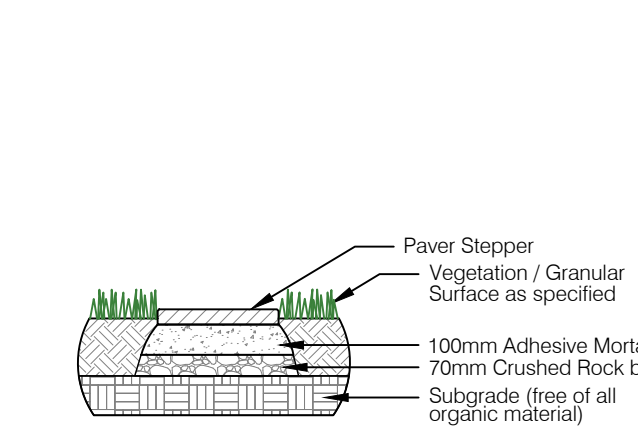
**1 TYPICAL TREE PLANTING**

- CORE-FILLED BLOCKWORK, REINFORCING TO ENGINEER'S DOCUMENTATION
- APPLY FINISH AS SCHEDULED, 1-10mm APRIS TO ALL EXPOSED EDGES
- MASS RC FOOTING. REFER ENG.
- WATERPROOF MEMBRANE: 45 DEGREE FILLET TO ACUTE ANGLES
- EXPANSION JOINT. REFER ENG.

- AG PIPE TO LPD
- GRANULAR FILL (FREE DRAINAGE). REFER ENG.
- MODIFIED SOIL FOR PLANTING (IF GARDEN)
- UNDISTURBED SUBGRADE
- BIDUM A24 OR EQUIVALENT
- COMPACTED GRANULAR BASE - 20 MM CRUSHED ROCK / ROAD BASE (DGB20)

**6 RETAINING WALL CONSTRUCTION STRATEGIES, CONCRETE BLOCK****4 TYPICAL SHRUB PLANTING**

GENERAL RETAINING WALL NOTES
Retaining walls shall comply with the Building Act 1993, Local Building Regulations and NCC. A Building Permit is required where wall height is ≥ 1.0 m, supports surcharge loads, or is near a boundary. Walls requiring a permit shall be engineer designed and certified in accordance with AS 4678. Construction shall be in accordance with approved engineering drawings. Footings to be founded in natural ground, free of fill. Subsoil drainage is mandatory, discharged to a legal point of outlet. No encroachment beyond title boundaries or into easements without approval. Mandatory inspections and Engineer's Certificate of Compliance required.

**5 IN-SITU PLANTER - TYPICAL DETAIL****7 UNIT PAVING TO SLAB AND MORTAR****8 TYPICAL COBBLE/ FILLET/ BAGUETTE SETTS TO RC SLAB****10 AGGREGATE TOPPING/ PEBBLE****9 PAVER STEPPERS, PERMEABLE**

FOR TYPICAL INSTALLATIONS:
Setup parallel / radial string lines every 1.5m as a setout guide. Along the straight guide lines, use the most uniform pieces of stone.

Note: Grout (in tone to match stone) to sit 3-8mm below face, with 10mm joints.