

GARDEN STREET RESIDENCE

2 GARDEN STREET, GEELONG

DRAWING REGISTER	
SHEET NUMBER	SHEET NAME
TP-000	TITLE SHEET & CONTEXT PLAN
TP-010	DESIGN RESPONSE - CONTEXT
TP-020	EXISTING & DEMO PLAN
TP-100	PROPOSED GROUND FLOOR PLAN
TP-200	PROPOSED ELEVATIONS
TP-300	PROPOSED SECTIONS
TP-510	SHADOW DIAGRAMS 01
TP-520	OVERLOOKING SECTION DIAGRAMS
TP-101	PROPOSED FIRST FLOOR PLAN
TP-102	PROPOSED ROOF PLAN
TP-103	TREE PROTECTION ZONE PLAN
TP-099	PROPOSED BASEMENT FLOOR PLAN
TP-301	PROPOSED SECTIONS - LONG
TP-511	SHADOW DIAGRAMS

PROJECT DESCRIPTION

THIS EXTENSION AND RENOVATION PROJECT IS DRIVEN BY A DEEP RESPECT FOR THE SITE'S HERITAGE CHARACTER. THE DESIGN SEEKS TO CELEBRATE AND PRESERVE THE ORIGINAL DWELLING IN ITS ENTIRETY, ENSURING THAT THE HERITAGE FACADE AND BLOCK-FORM REMAIN THE PRIMARY VISUAL AND ARCHITECTURAL FOCUS OF THE SITE. BY RETAINING NOT ONLY THE FRONT FACADE BUT THE WHOLE VOLUMETRIC EXPRESSION OF THE EXISTING HOME, THE PROPERTY CAN CONTINUE TO BE READ AND APPRECIATED IN ITS AUTHENTIC, ORIGINAL FORM.

THE PROPOSED REAR ADDITION IS DELIBERATELY CONCEALED FROM THE STREET, ALLOWING THE HERITAGE FRONTAGE TO REMAIN VISUALLY DOMINANT. SUBTLY RECESSED ENTRY POINTS AND CAREFULLY CONSIDERED SETBACKS PROVIDE UNDERSTATED HINTS OF THE CONTEMPORARY EXTENSION BEYOND, WHILE ENSURING THE INTEGRITY OF THE RETAINED HERITAGE PRESENCE REMAINS UNDIMINISHED.

TO THE SOUTH, THE ADDITION IS PRIMARILY & STRATEGICALLY SET BACK 1 METRE FROM THE BOUNDARY, PROTECTING THE NEIGHBOURING TREES AND PRESERVING THE SITE'S BROADER LANDSCAPE CONTEXT. BELOW GROUND, A NEW BASEMENT IS DISCREETLY INTEGRATED BENEATH PART OF THE EXISTING STRUCTURE. CONSTRUCTION WILL UTILISE STABILISING HORIZONTAL PROPS TO SAFEGUARD THE HERITAGE BUILDING THROUGHOUT THE PROCESS, ENSURING IT REMAINS STRUCTURALLY SECURE AND INTACT.

THE RESULT IS A DESIGN THAT BALANCES PRESERVATION WITH PROGRESSION—HONOURING THE HERITAGE DWELLING AS THE PRIMARY ARCHITECTURAL STATEMENT WHILE INTRODUCING A CAREFULLY RESTRAINED CONTEMPORARY EXTENSION THAT ENRICHES THE PROPERTY FOR MODERN LIVING WITHOUT COMPROMISE TO ITS HISTORIC VALUE.



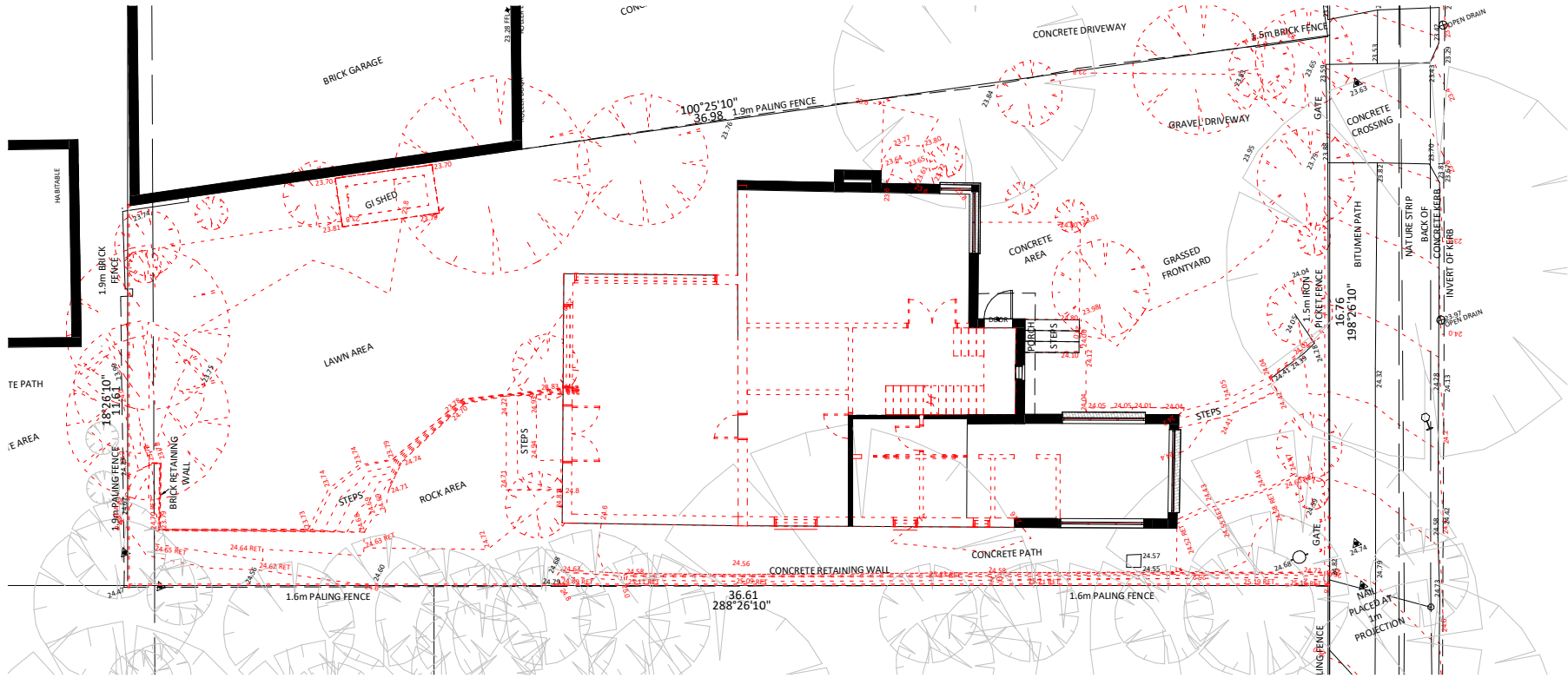
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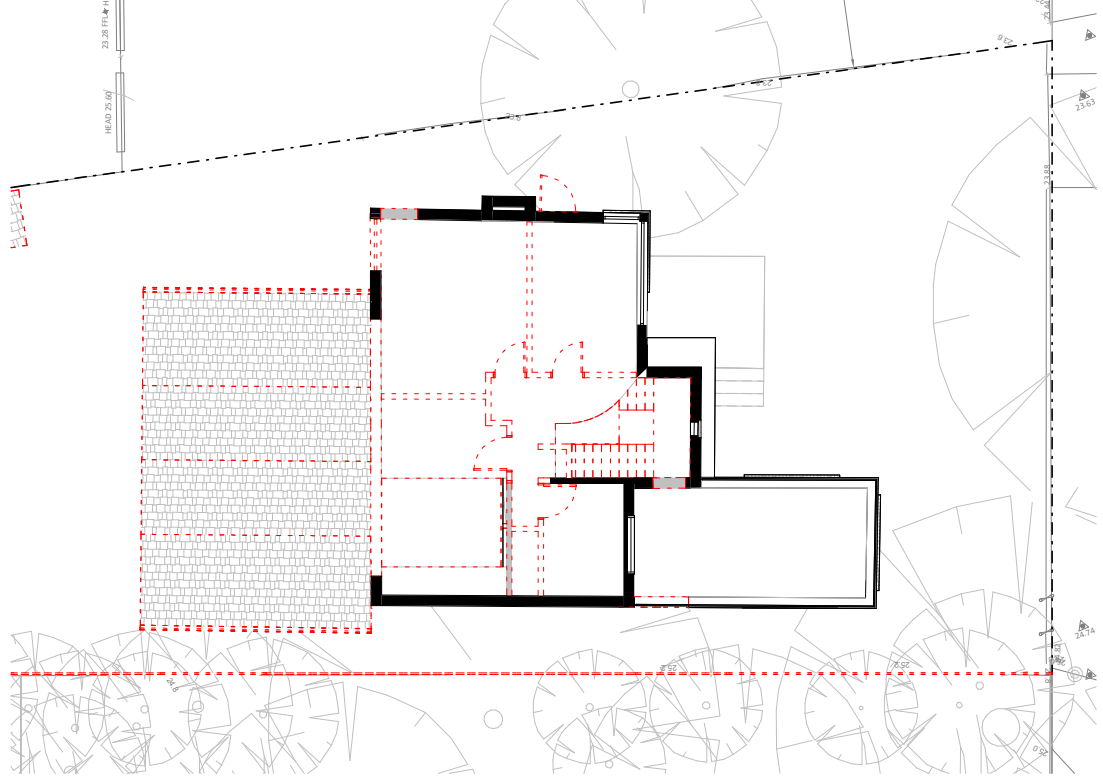
10/07/2026 2:13:16 PM	Builders / Contractors shall verify all dimensions before any work commences. Dimensions shown are nominal. Figured dimensions shall take precedence over scaled dimensions. Any discrepancies are to be made known to the architect's / designer's office prior to any works commencing on site. All shop drawings shall be submitted for review and manufacture shall not commence prior to the return of unamended shop drawings.			Rev	Date	Issue	Project	GARDEN STREET RESIDENCE	Project No	00000
	1	11/05/26	TP SUBMISSION							
	2	10/07/26	TP RFI							
							2 GARDEN STREET, GEELONG			
							Title TITLE SHEET & CONTEXT PLAN			
							Scale @A1			Dwg No TP-000
							TP RFI			Date 10/07/26



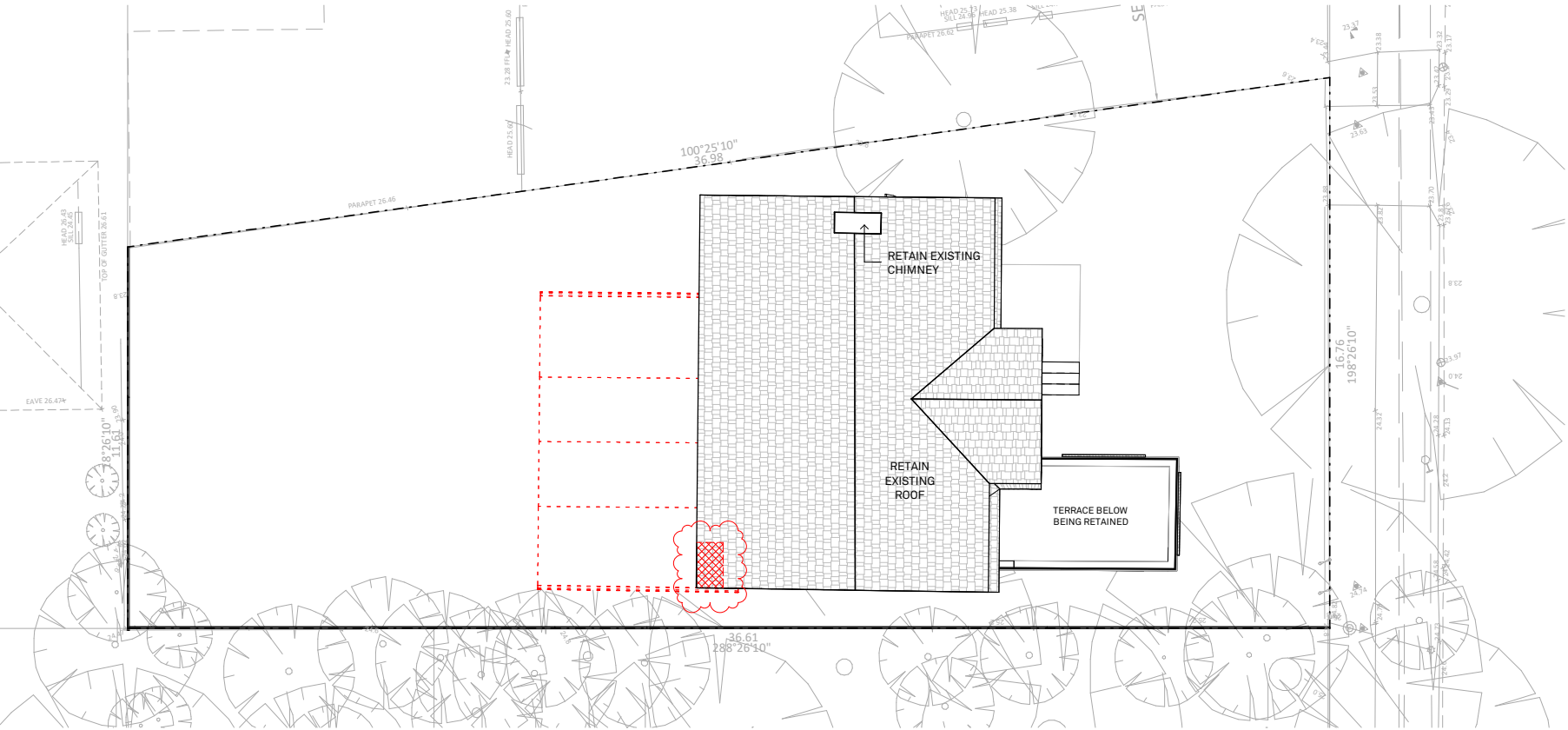
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1 00. GROUND FLOOR DEMO PLAN
TP-200 SCALE 1:100



3 00. FIRST FLOOR DEMO PLAN
TP-200 SCALE 1:100

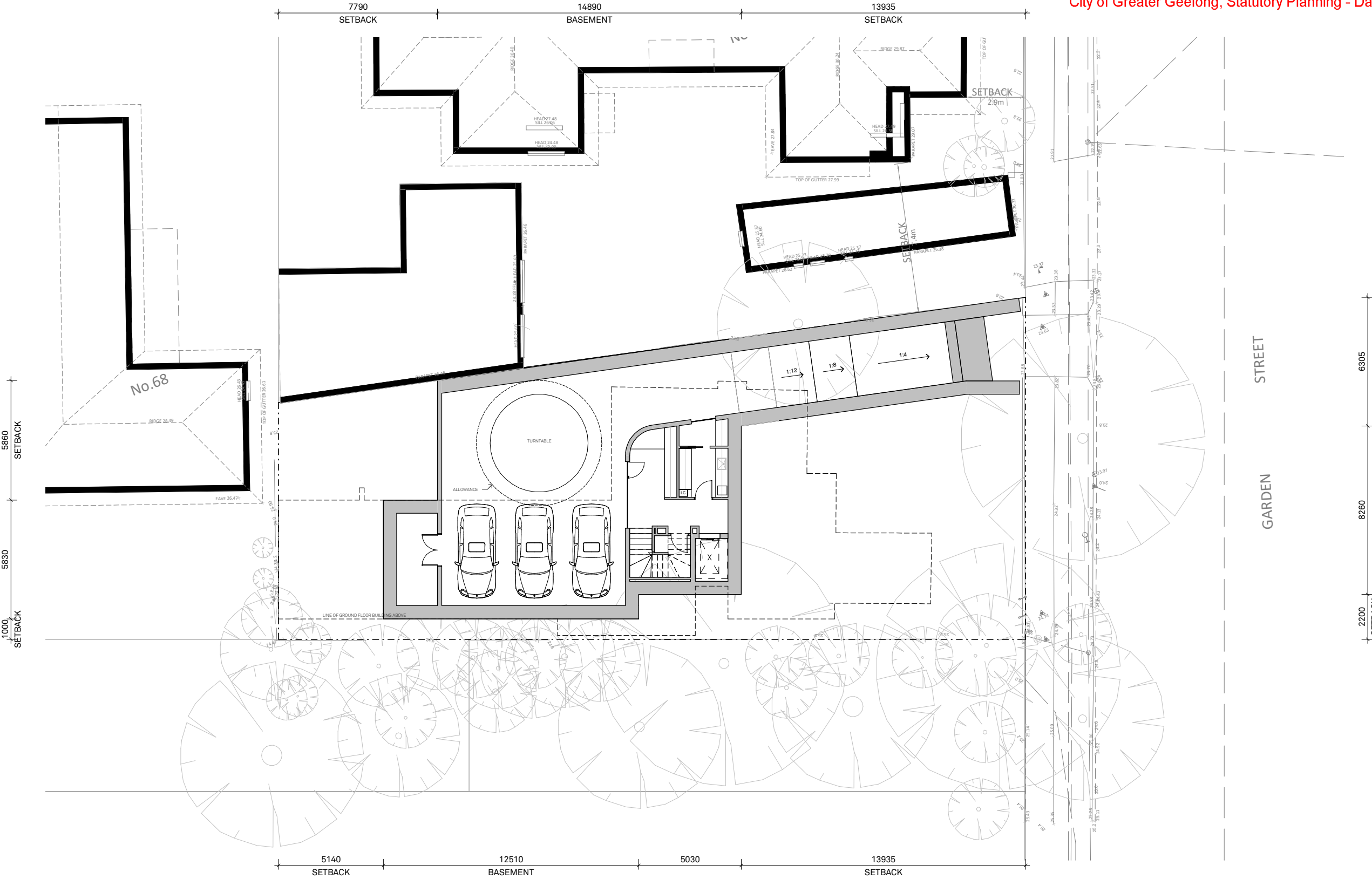


2 00. SITE DEMO PLAN
SCALE 1:100

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City of Greater Geelong, Statutory Planning - Date Received 15/07/2026



Area Schedule		
Name	Level	Area
PROPOSED BASEMENT	PROPOSED BASEMENT LEVEL F.F.L.	187 m²
EXISTING RETAINED AREA	EXISTING GROUND FLOOR LEVEL F.F.L.	187 m²
GROUND FLOOR ADDITION	EXISTING GROUND FLOOR LEVEL F.F.L.	96 m²
FF TERRACE	EXISTING FIRST FLOOR LEVEL F.F.L.	228 m²
EXISTING FF RETAINED	EXISTING FIRST FLOOR LEVEL F.F.L.	23 m²
PROPOSED FIRST FLOOR AREA	EXISTING FIRST FLOOR LEVEL F.F.L.	81 m²
Grand total		157 m²
		572 m²

SITE INFORMATION	
SITE AREA:	= 519sqm
SITE COVERAGE:	= 280sqm or 53.9%
SITE PERMEABILITY:	= 109sqm or 21%
GARDEN AREA:	= 170sqm of 155sqm required.
GENERAL NOTE:	
EXISTING HERITAGE FABRIC TO BE RETAINED AS SHOWN, REPAIRED AND RECTIFIED WHERE POSSIBLE, OR REINSTATED IN A LIKE-FOR-LIKE MANNER CONSISTENT WITH ITS ORIGINAL FORM AND CHARACTER WHERE REQUIRED.	

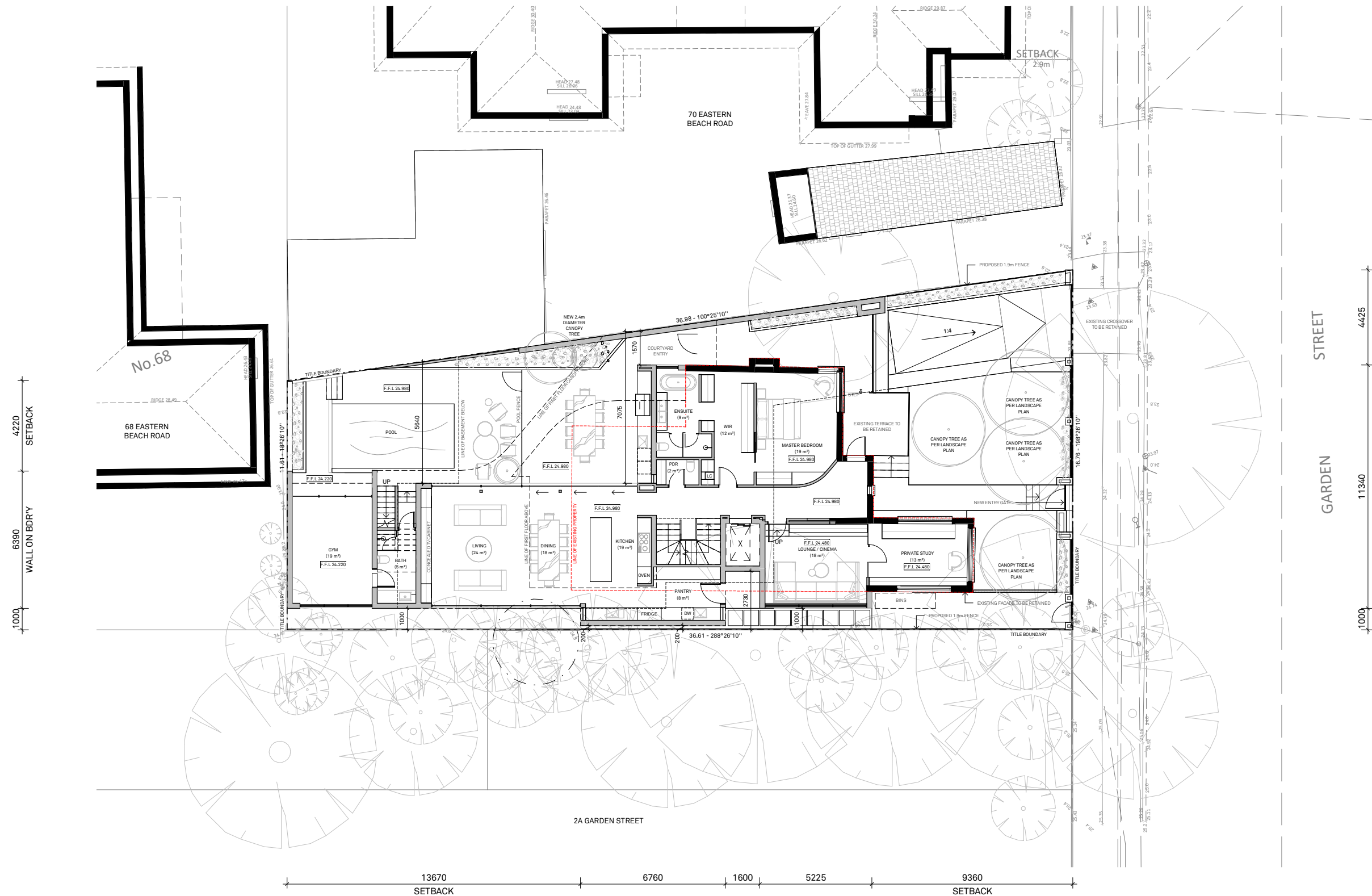
Rev	Date	Issue
1	11/05/26	TP SUBMISSION
2	10/07/26	TP RFI

TOWN PLANNING

Project	GARDEN STREET RESIDENCE	Project No	00000
2 GARDEN STREET, GEELONG			
Title	PROPOSED BASEMENT FLOOR PLAN		
Scale @A1 1 : 100	Dwg No TP-099		
TP RFI	Date 10/07/26	Rev	2

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Area Schedule		
Name	Level	Area
PROPOSED BASEMENT	PROPOSED BASEMENT LEVEL F.F.L	187 m ²
		187 m ²
EXISTING RETAINED AREA	EXISTING GROUND FLOOR LEVEL F.F.L	96 m ²
GROUND FLOOR ADDITION	EXISTING GROUND FLOOR LEVEL F.F.L	133 m ²
		228 m ²
FF TERRACE	EXISTING FIRST FLOOR LEVEL F.F.L	23 m ²
EXISTING FF RETAINED	EXISTING FIRST FLOOR LEVEL F.F.L	52 m ²
PROPOSED FIRST FLOOR AREA	EXISTING FIRST FLOOR LEVEL F.F.L	81 m ²
		157 m ²
Grand total		572 m ²

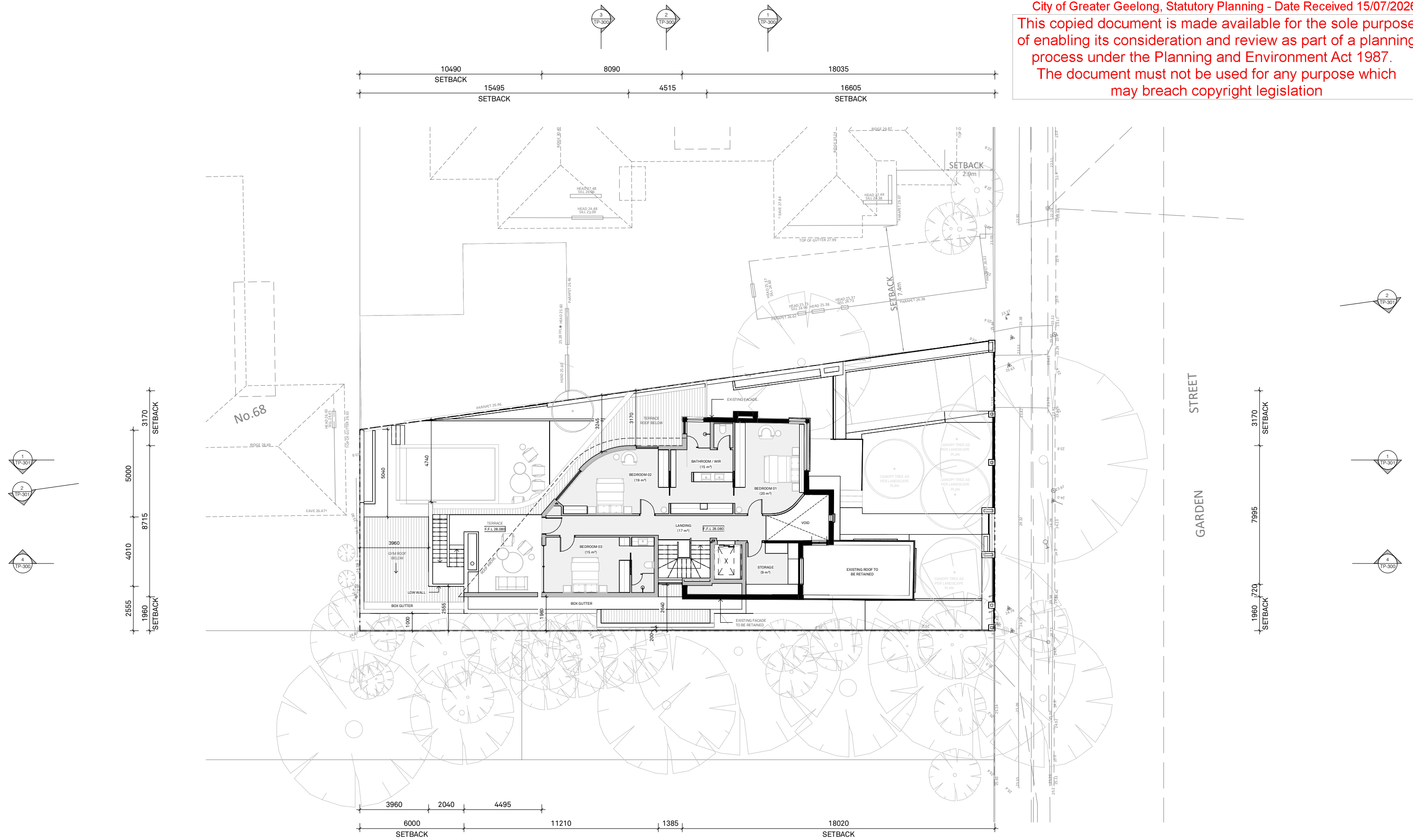
SITE INFORMATION

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GARDEN AREA:	= 170sqm of 155sqm required.

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10/07/2026 2:13:21 PM Builders / Contractors shall verify all dimensions before any work commences. Dimensions shown are nominal. Figured dimensions shall take precedence over scaled dimensions. Any discrepancies are to be made known to the architect's / designer's office prior to any works commencing on site. All shop drawings shall be submitted for review and manufacture shall not commence prior to the return of unamended shop drawings.	Rev	Date	Issue	Project	GARDEN STREET RESIDENCE	Project No	00000
	1	11/05/26	TP SUBMISSION	2 GARDEN STREET, GEELONG			
	2	10/07/26	TP RFI				
	Title PROPOSED GROUND FLOOR PLAN						
	Scale @A1 1: 100						
	TP RFI	Date	10/07/26	Rev	2		
	Dwg No TP-100						



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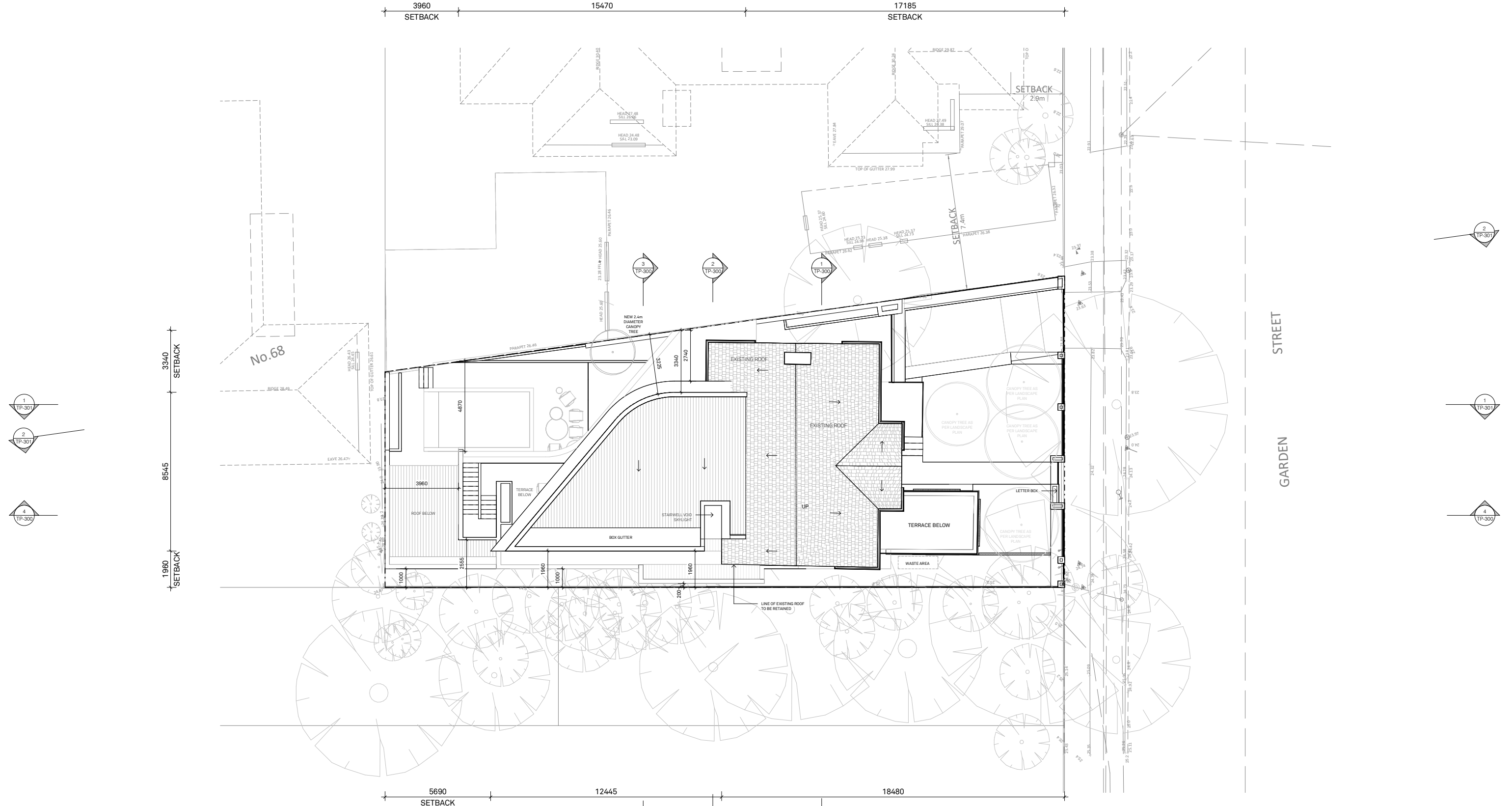
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Project	GARDEN STREET RESIDENCE	Project No	00000
2 GARDEN STREET, GEELONG			
Title	PROPOSED FIRST FLOOR PLAN		
Scale @A1 1 : 100	Dwg No TP-101		
TP RFI	Date	10/07/26	Rev 2



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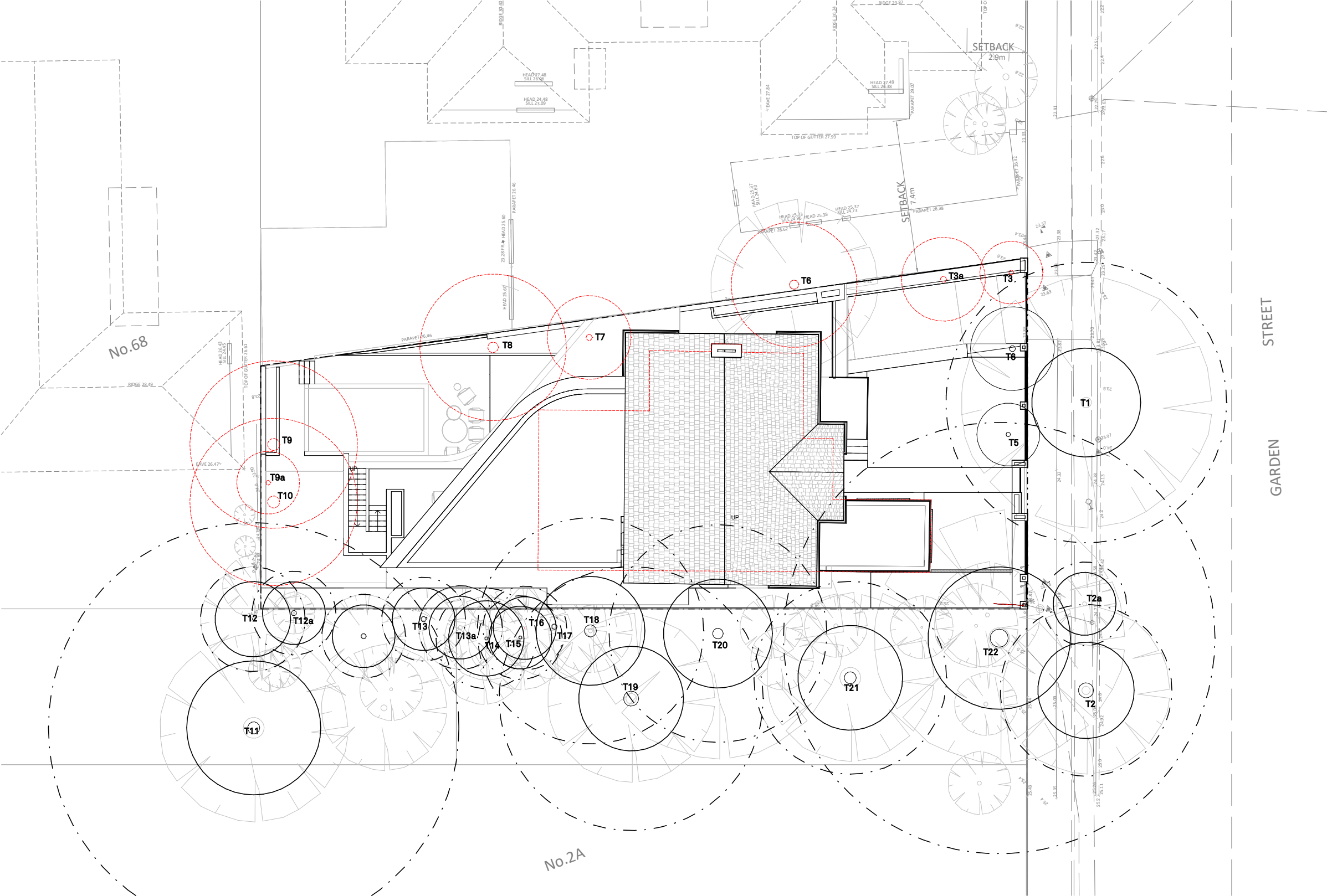
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2	10/07/26	TP RFI

Project	GARDEN STREET RESIDENCE	Project No	00000
2 GARDEN STREET, GEELONG			
Title	PROPOSED ROOF PLAN		
Scale @A1 1:100	Dwg No TP-102		
TP RFI	Date	10/07/26	Rev 2



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NOTES

REFER TO ARBORIST REPORT AND OVERLAY PLAN FOR DETAILS ON EACH TREE & THE TPZ AREAS.

1 W - 05 TREE PROTECTION ZONE PLAN
SCALE 1:100

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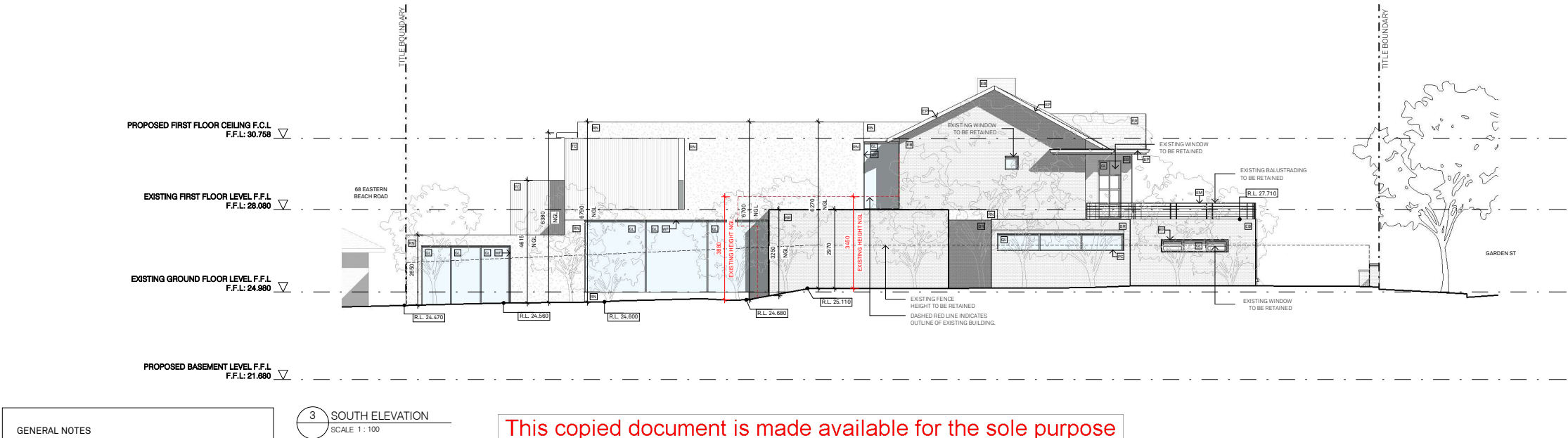
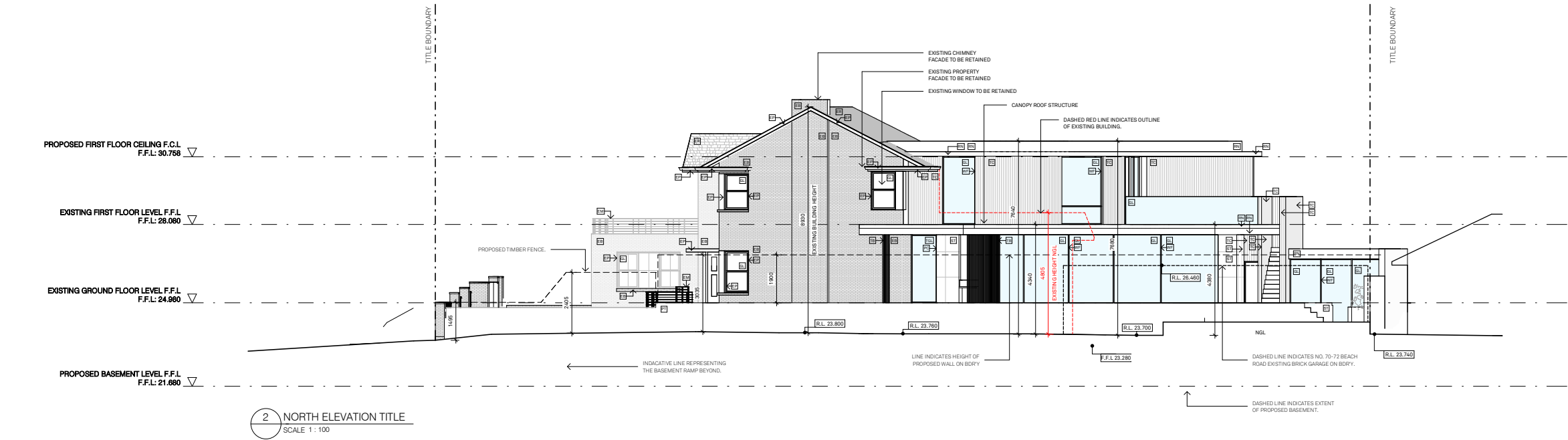
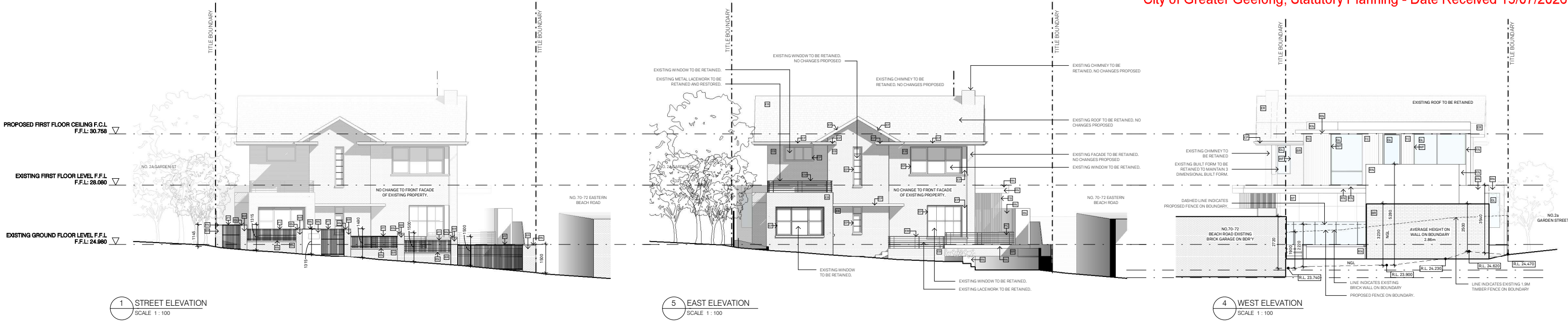
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TOWN PLANNING

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Project	GARDEN STREET RESIDENCE	Project No	00000
2 GARDEN STREET, GEELONG			
Title	TREE PROTECTION ZONE PLAN		
Scale @A1	1:100	Dwg No	TP-103
TP RFI	Date	10/07/26	Rev 2

DEAN
DYSON
ARCHITECTS



MATERIAL SCHEDULE	
Existing Property	
	Existing Brickwork CLINKER BRICK EB
	Existing Roof Tiles ER
	Existing Window Frames WHITE EP
	Existing Fascias & Gutters WHITE EP
	Existing Soffits WHITE EP
	Existing Ironwork BLACK EM
Proposed Extension	
	Smooth Render Finish OFF WHITE USED FOR RETAINING WALLS FINISH RN
	Timber Cladding SPOTTED GUM TC
	Timber Battens SPOTTED GUM TB
	Metal Deck Roofing WHITE RS
	Window Frames BRONZE WF
	Clear Glass GL
	Textured Glass CLEAR TGL
	Skylight Frames SOFT WHITE PC
	Structural Columns SOFT WHITE PC
	POOL TILE LIGHT BLUE T101
	Reclaimed Clinker Bricks BR
	Powdercoat Paint finish BLACK PT
	Stone Tile LIGHT LIMESTONE ST
	Retaining Walls SOFT WHITE - PAINT FINISH PTW

GENERAL NOTES

- EXISTING WINDOWS NOMINATED TO BE RETAINED THAT ARE DAMAGED ARE TO BE RESTORED OR REPLACED TO MATCH EXISTING.
- EXISTING LACEWORK NOMINATED TO BE RETAINED WILL BE RESTORED OR REPLACED TO MATCH EXISTING.
- WHERE BRICKWORK REQUIRES RESTORATION AND REPAIR THEY WILL BE REPLACED LIKE FOR LIKE.
- ANY STRUCTURAL ISSUES WILL BE RECTIFIED AND ANY RESTORATION WILL BE RESTORED TO MATCH EXISTING CONDITIONS.

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TOWN PLANNING

Project GARDEN STREET RESIDENCE Project No 00000

2 GARDEN STREET, GEELONG

Title PROPOSED ELEVATIONS

Scale @A1 1:100 Dwg No TP-200

TP RFI Date 10/07/26 Rev 2

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