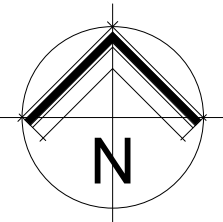


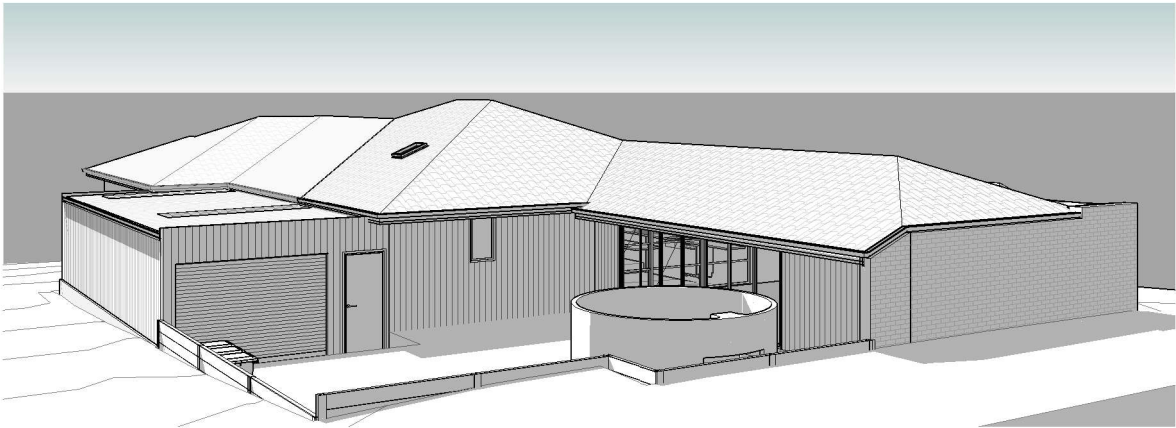
PROJECT:
PROPOSED EXTENSION

SITE ADDRESS:
23 Roebuck Street, NEWTOWN



Sheet List - Town Planning	
Sheet Number	Sheet Name
TP3.0	EXISTING FLOOR PLAN
TP4.0	PROPOSED FLOOR PLAN
TP5.0	PROPOSED ELEVATIONS
TP00	COVER PAGE
TP1.0	SITE ANALYSIS PLAN
TP1.1	DESIGN RESPONSE PLAN
TP2.0	SITE CONTEXT PLAN
TP2.1	GARDEN AREA PLAN
TP6.0	SHADOW DIAGRAMS
TP3.1	EXISTING ELEVATIONS
TP3.2	DEMOLITION PLAN

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LOCALITY PLAN

1 : 1000

PROPOSAL:
PROPOSED EXTENSION

FOR; BLAKE

ADDRESS:
23 Roebuck Street,
NEWTOWN

REVISION:
26-05-26 PRELIMINARY TP

DRAWN: KB DATE: 26-05-26 DWG NO: TP00

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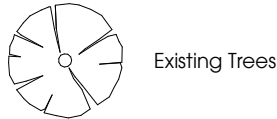
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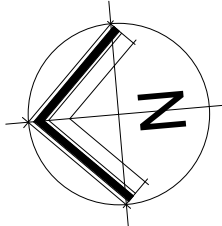
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- LEGEND**
- A. Existing Single Storey Dwellings
 - B. Existing Double Storey Dwellings
 - C. Proposed Extension
 - D. Car Accommodation
 - 1. Adjoining Private Open Space
 - 2. Proposed Private Open Space
 - 3. Vehicular Site Entry



- 650m to Bus Stop
- 750m to Post Office
800m to Geelong City Campus
- 1.3m to Newtown Medical Centre
- 300m to Bus Stop



SITE ANALYSIS PLAN

1 : 500

PROPOSAL:
PROPOSED EXTENSION

FOR; BLAKE

ADDRESS:
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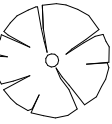
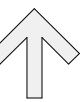
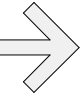
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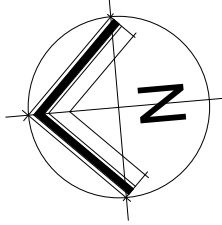
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- LEGEND**
- A. Existing Single Storey Dwellings
 - B. Existing Double Storey Dwellings
 - C. Proposed Extension
 - D. Car Accommodation
 - 1. Adjoining Private Open Space
 - 2. Proposed Private Open Space
 - 3. Vehicular Site Entry

-  Existing Trees
-  650m to Bus Stop
-  750m to Post Office
800m to Geelong City Campus
-  1.3m to Newtown Medical Centre
-  300m to Bus Stop



DESIGN RESPONSE PLAN

1 : 500

PROPOSAL:
PROPOSED EXTENSION

FOR; BLAKE

ADDRESS:
23 Roebuck Street,
NEWTOWN

REVISION:

26-05-26 PRELIMINARY TP

DRAWN: KB
DATE: 26-05-26
DWG NO: TP1.1

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PROPERTY DETAILS
Address: 23 ROEBUCK STREET, NEWTOWN 3220
Lot and Plan Number: More than one parcel
Standard Parcel Identifier (SPI): More than one parcel
Local Government Area (Council): GREATER GEELONG
Council Property Number: 204373
Planning Scheme: Greater Geelong
Directory Reference: Melway 401 C5

Planning Zone Summary
Planning Zone: NEIGHBOURHOOD RESIDENTIAL ZONE - SCHEDULE 2 (NRZ2)
Planning Overlays: HERITAGE OVERLAY - SCHEDULE (HO1623)

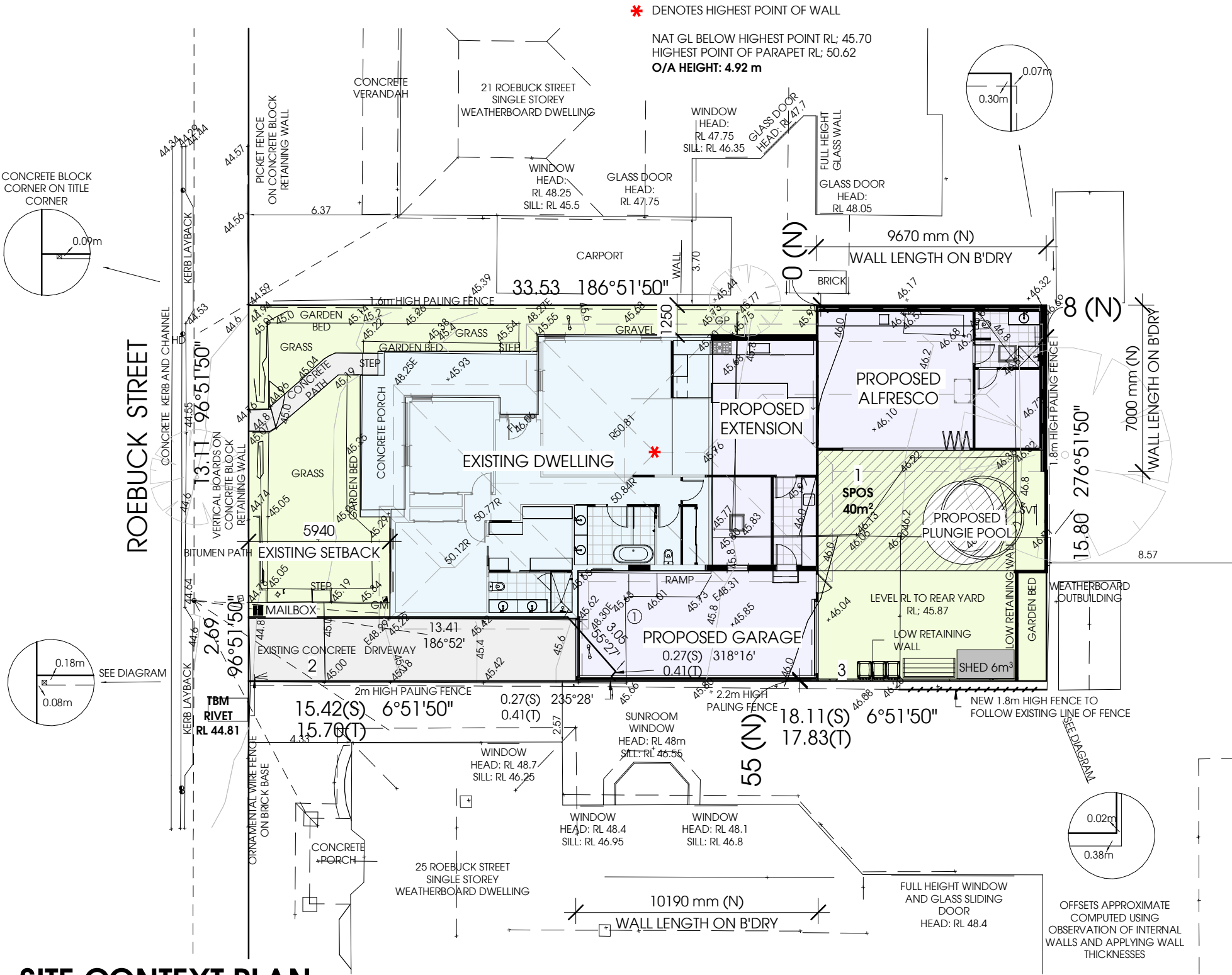
Site Area: 529 m²
Existing Dwelling Area: 129.99 m²
Proposed Extension Area: 62.34 m²
Proposed Alfresco Area: 40.31 m²
Proposed Garage Area: 46.76 m²
Dwelling Surface Area: 279.40 m²
Building Site Coverage: 52.82 %

Paved Area: 41.82 m²
Total Hard Surface Area: 321.22 m²

Permeable Surface Area: 207.78 m²
Permeable Surface Coverage: 39.28 %

- LEGEND:**
- A Proposed Dwelling
 - 1 Private Open Space
 - 2 Driveway
 - 3 Drying / Service Yard

MINIMUM PARKING REQUIREMENTS
Parking 1 6000 X 3500
Parking 2 4900 X 2600



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FLOOR LEVEL SCHEDULE		
	CUT RL	FFL
GARAGE FLOOR	45.33	45.48
GROUND FLOOR PLAN	45.46	46.06

SITE CONTEXT PLAN

1 : 200

PROPOSAL:
PROPOSED EXTENSION

FOR; BLAKE

ADDRESS:
23 Roebuck Street,
NEWTOWN

REVISION:
26-05-26 PRELIMINARY TP

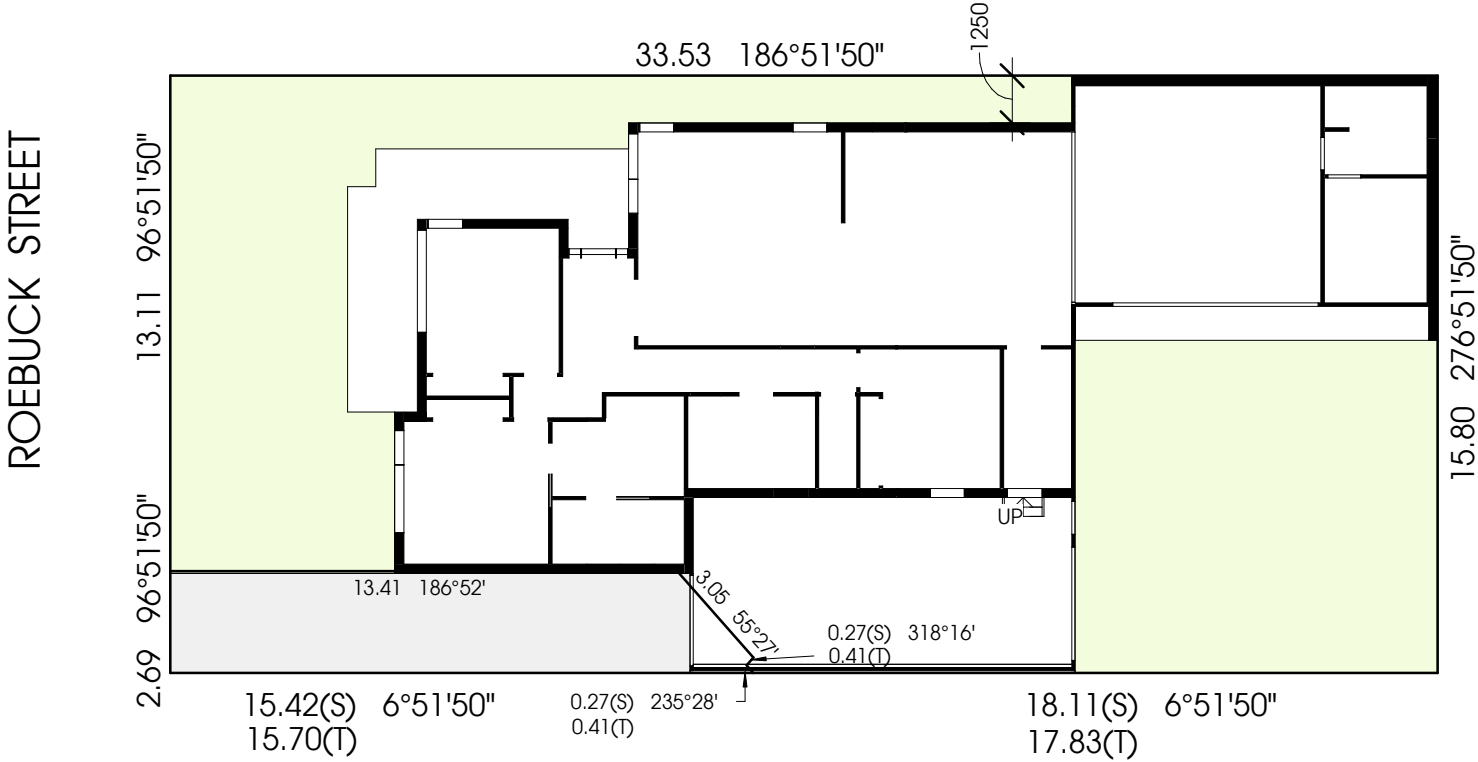
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GARDEN AREA PLAN

1 : 200

- DENOTES DWELLING FLOOR AREA
- DENOTES GARDEN AREA
- DENOTES EXCLUDED AREAS

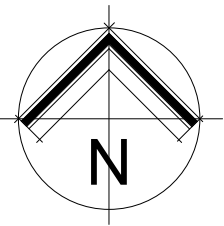
SITE AREA;	529 m2
Required Garden Area;	158.70 m2
Proposed Garden Area;	181.20 m2

MANDATORY MINIMUM 'GARDEN AREA'

LOT SIZE	MIN. PERCENTAGE OF A LOT SET ASIDE AS GARDEN AREA
501 - 650 sqm	30%

Any area on a lot with a minimum dimension of 1 metre that does not include:

- a) a dwelling or residential building, except for:
 - an eave, fascia or gutter that does not exceed a total width of 600mm;
 - a pergola;
 - unroofed terraces, patios, decks, steps or landings less than 800mm in height;
 - a basement that does not project above ground level;
 - any outbuilding that does not exceed a gross floor area of 10 square metres; and
 - domestic services normal to a dwelling or residential building;
- b) a driveway; or
- c) an area set aside for car parking.



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PROPOSAL:	ADDRESS:	REVISION:
PROPOSED EXTENSION	23 Roebuck Street, NEWTOWN	26-05-26 PRELIMINARY TP
FOR; BLAKE		

DRAWN:	DATE:	DWG NO:
KB	26-05-26	TP2.1

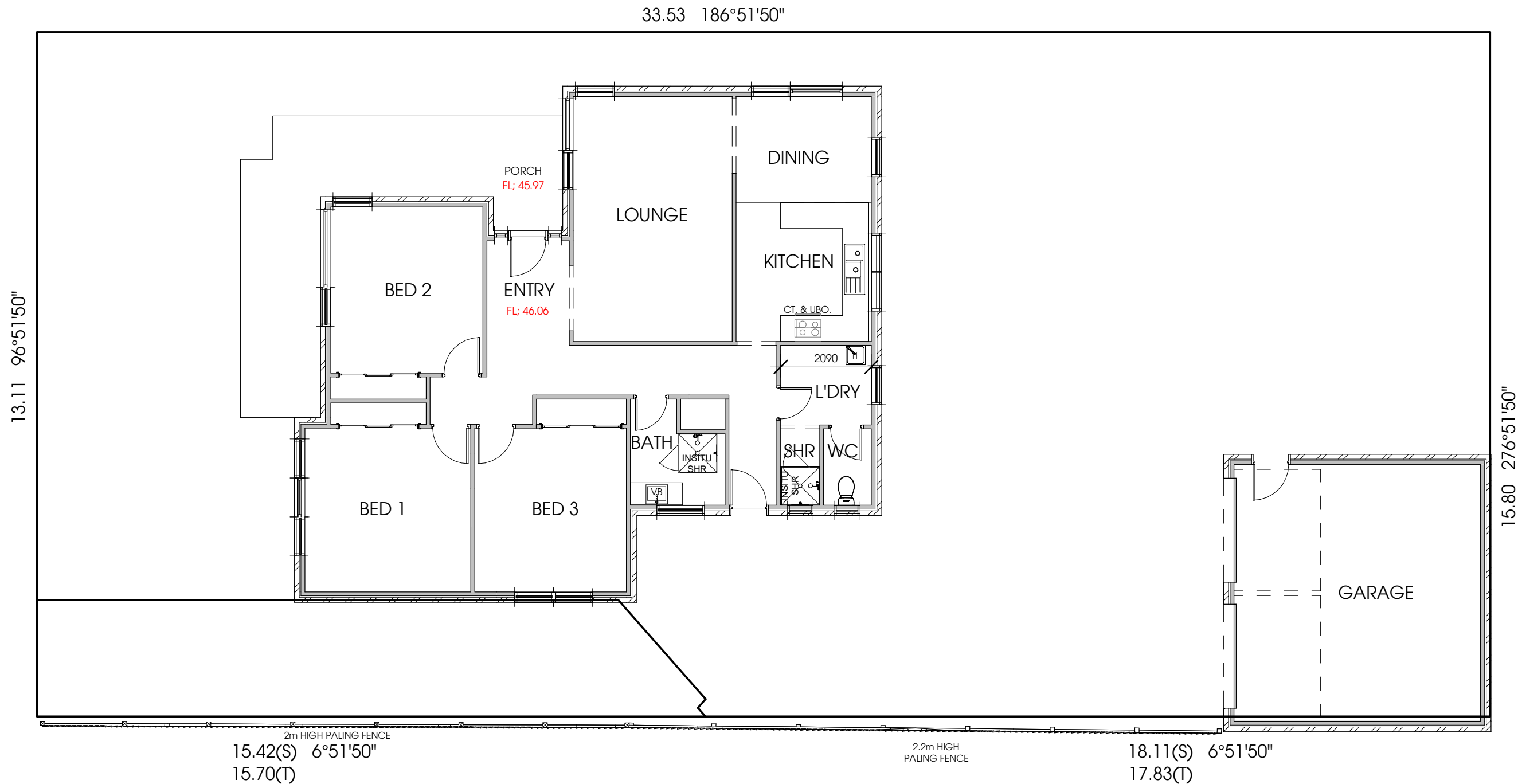
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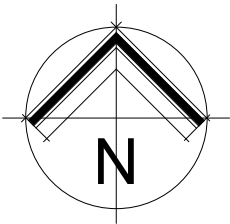
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EXISTING FLOOR PLAN
1 : 100

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PROPOSAL:
PROPOSED EXTENSION

FOR; BLAKE

ADDRESS:
23 Roebuck Street,
NEWTOWN

REVISION:
26-05-26 PRELIMINARY TP

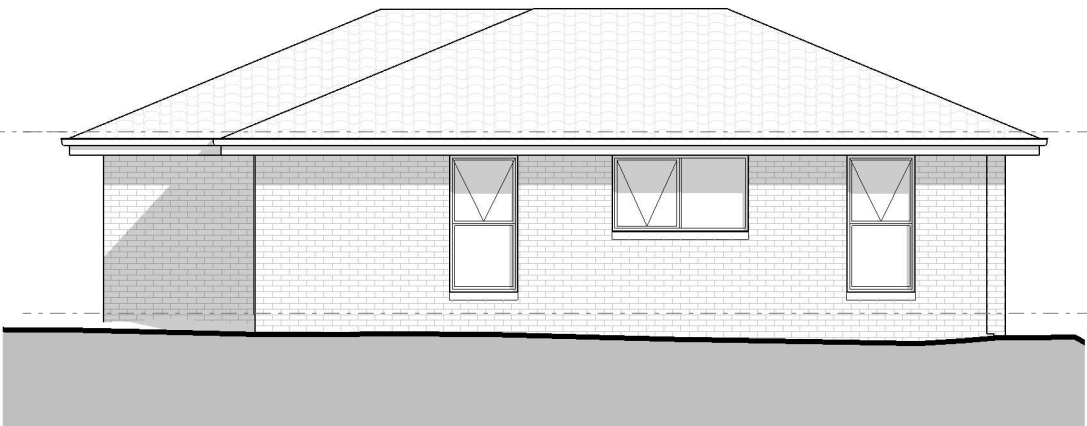
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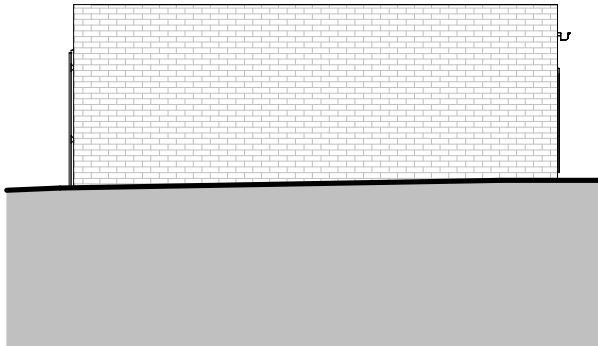
EXISTING NORTH ELEVATION

1 : 100



EXISTING SOUTH ELEVATION

1 : 100



EXISTING SOUTH
ELEVATION - GARAGE

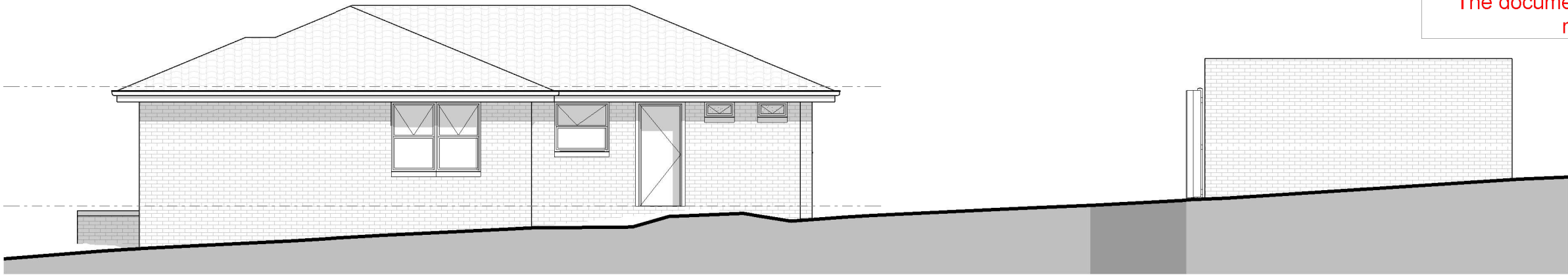
1 : 100



EXISTING EAST ELEVATION

1 : 100

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EXISTING WEST ELEVATION

1 : 100

PROPOSAL:
PROPOSED EXTENSION

FOR; BLAKE

ADDRESS:
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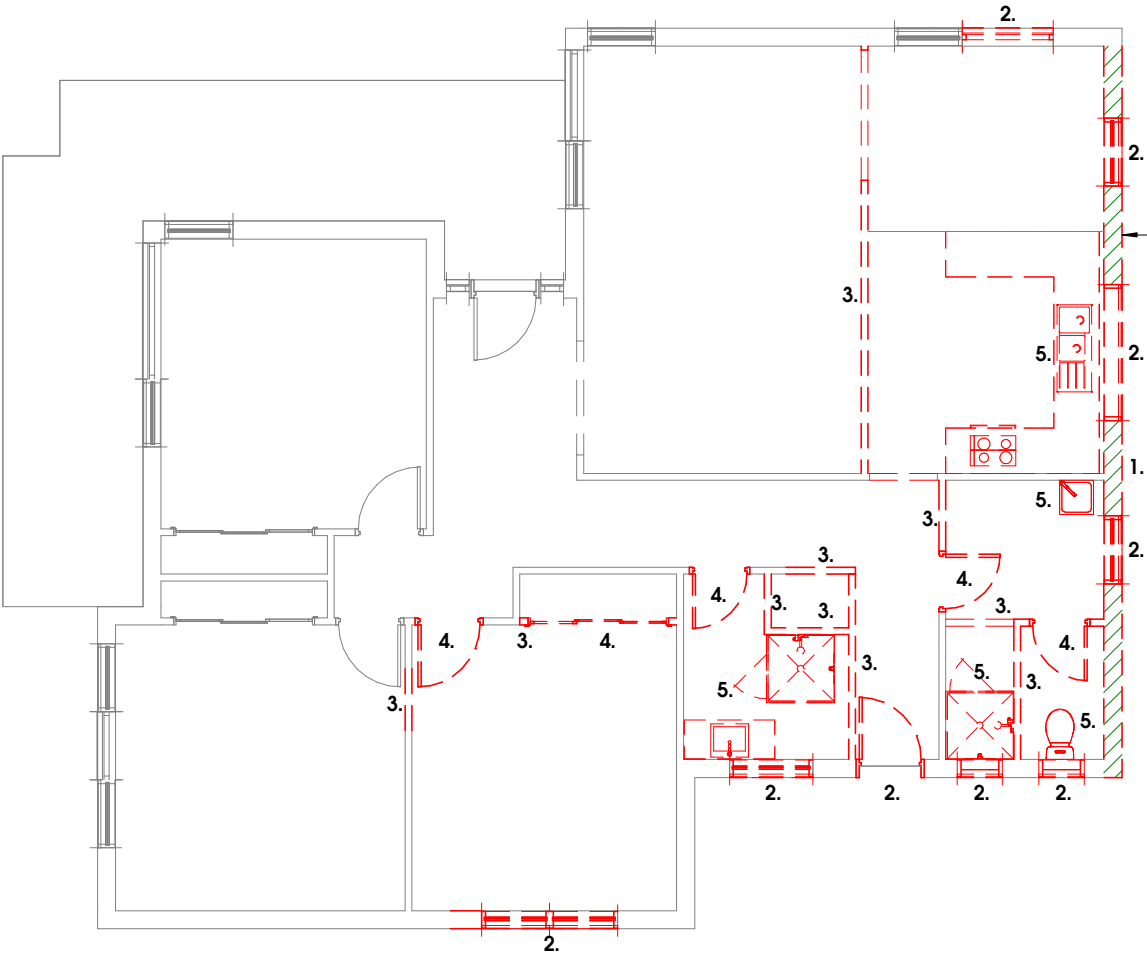
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- Demolition Method Statement**
- Disconnect all services, power, water, gas etc.
 - Locate stormwater and sewer drains and seal at points of discharge.
 - Protect adjoining property
 - Provide temporary wall bracing where required.
 - Remove tiled roof ,Fascia ,Gutter and down pipes (where required)
 - Remove any internal linings.
 - Remove loose or attached fittings and built-in fixtures, internally and externally.
 - Remove brick work from the top course of bricks down (where required)
 - Place bricks in building skip that is provided
 - Clean up site.
 - Fill in excavations.
 - Check for any hazards.
 - Clean site entry points and infrastructure where necessary.
 - Retained fabric will be safeguarded during demolition and construction (structurally propped, weatherproofed and not damaged)

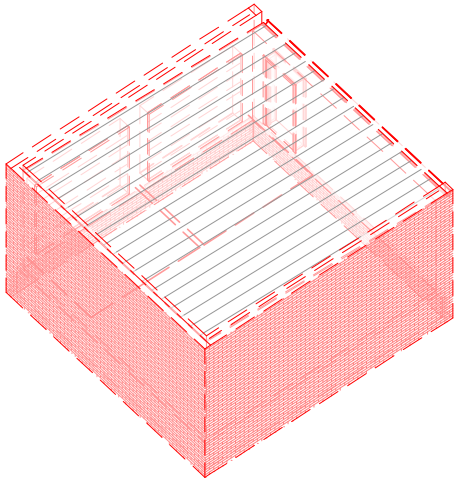
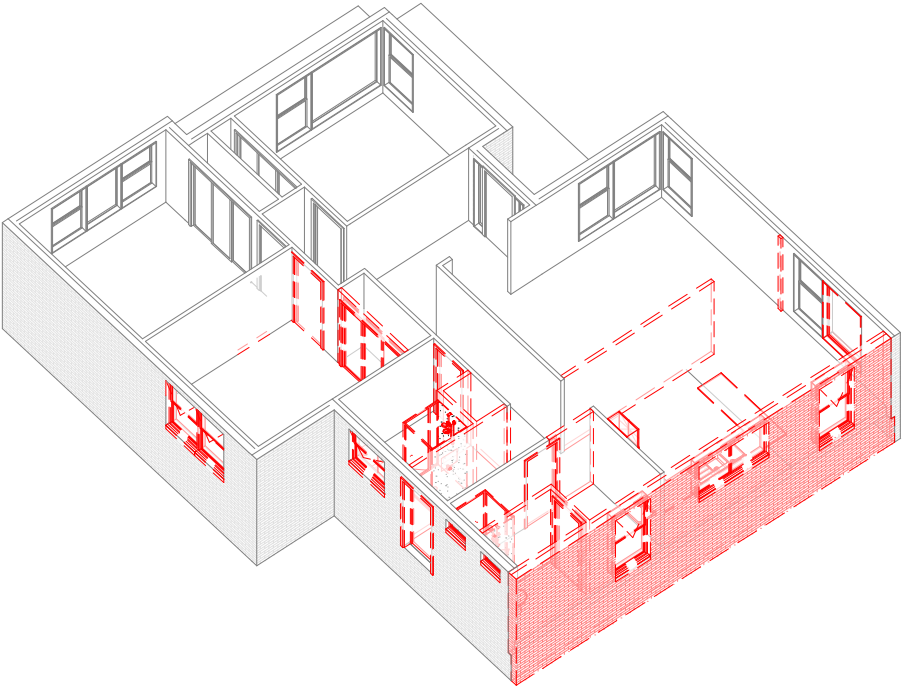
— DENOTES EXISTING WALLS

— DENOTES WALLS TO BE DEMOLISHED

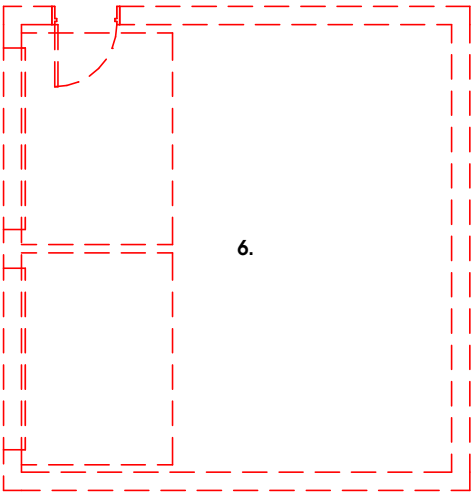
1. DEMOLISH EXTERNAL WALL WHERE REQUIRED & MAKE GOOD TO ALL ADJACENT SURFACES.
2. REMOVE EXISTING WINDOWS & DEMOLISH EXTERNAL WALL WHERE REQUIRED MAKE GOOD TO ALL ADJACENT SURFACES.
3. DEMOLISH EXISTING INTERNAL WALLS WHERE SHOWN & MAKE GOOD TO ALL ADJACENT SURFACES.
4. REMOVE EXISTING INTERNAL DOORS WHERE SHOWN & MAKE GOOD TO ALL ADJACENT SURFACES.
5. REMOVE EXISTING JOINERY & FIXTURES & MAKE GOOD TO ALL ADJACENT SURFACES.
6. DEMOLISH EXISTING GRADE.



NOTE;
PRIOR TO REMOVAL OF WALL, ROOF TO BE PROPPED UP & REMAIN UNTIL ALL REQUIRED BEAMS ARE IN PLACE FOR ROOF STRUCTURE SUPPORT



3D DEMO



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DEMOLITION PLAN

1 : 100

PROPOSAL:
PROPOSED EXTENSION

FOR; BLAKE

ADDRESS:
23 Roebuck Street,
NEWTOWN

REVISION:
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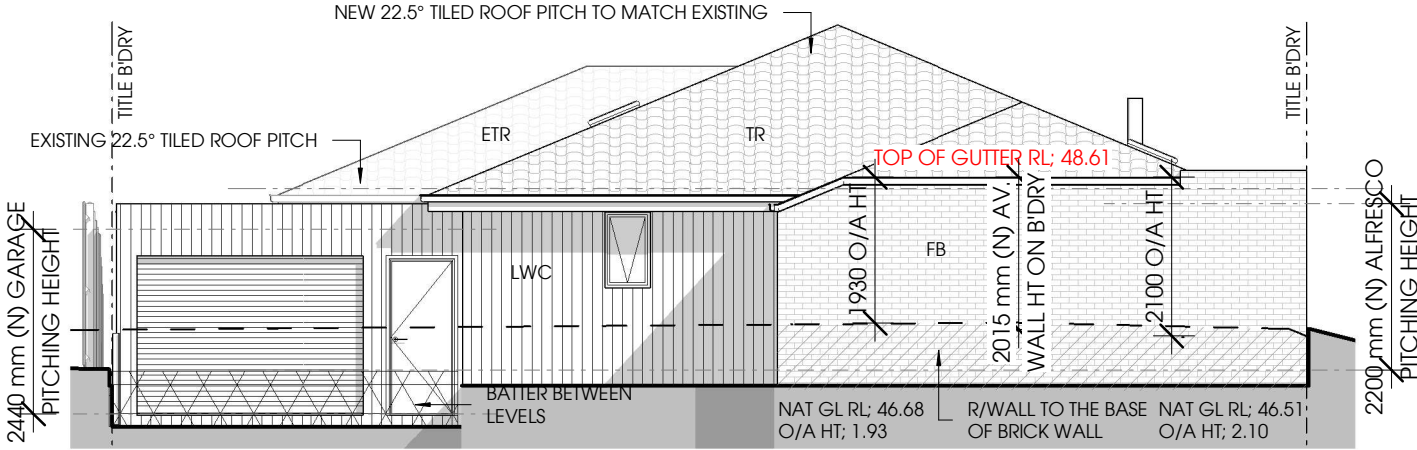
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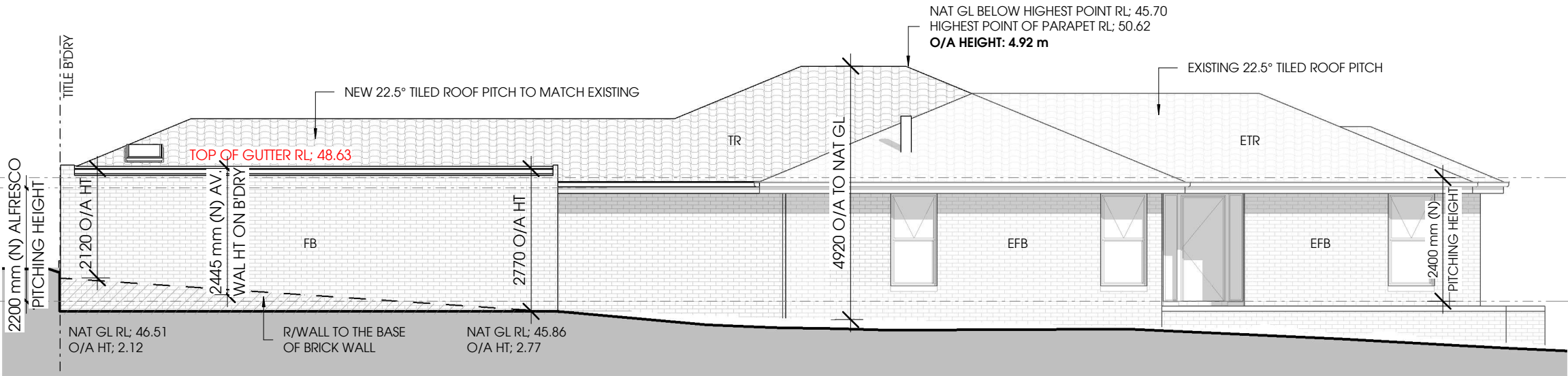
NORTH ELEVATION

1 : 100



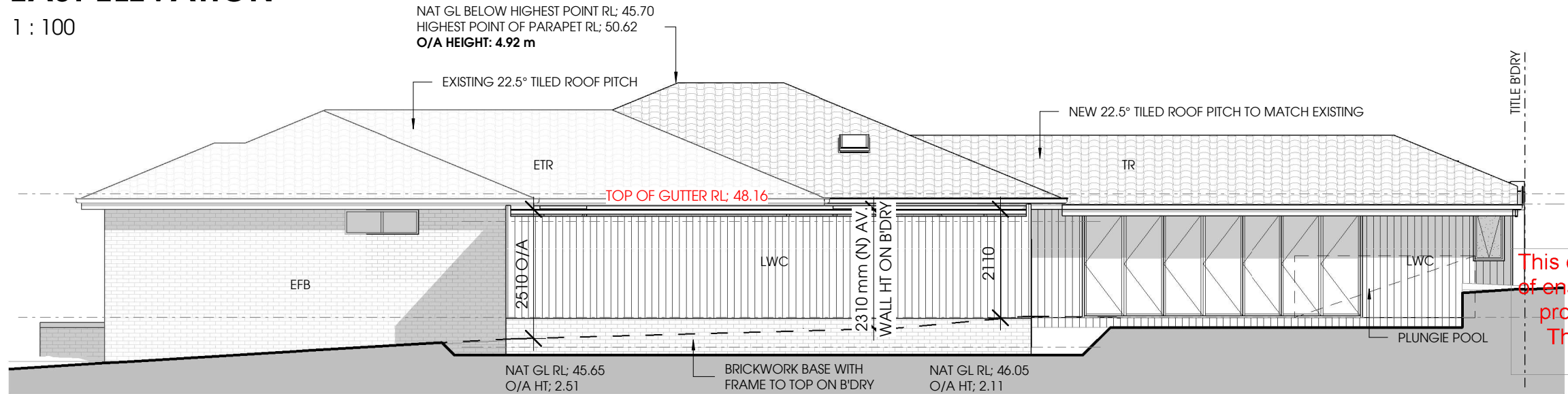
SOUTH ELEVATION

1 : 100



EAST ELEVATION

1 : 100



WEST ELEVATION

1 : 100

PROPOSAL:
PROPOSED EXTENSION

FOR; BLAKE

ADDRESS:
23 Roebuck Street,
NEWTOWN

REVISION:
26-05-26 PRELIMINARY TP

DRAWN: DATE: DWG NO:
KB 26-05-26 TP5.0

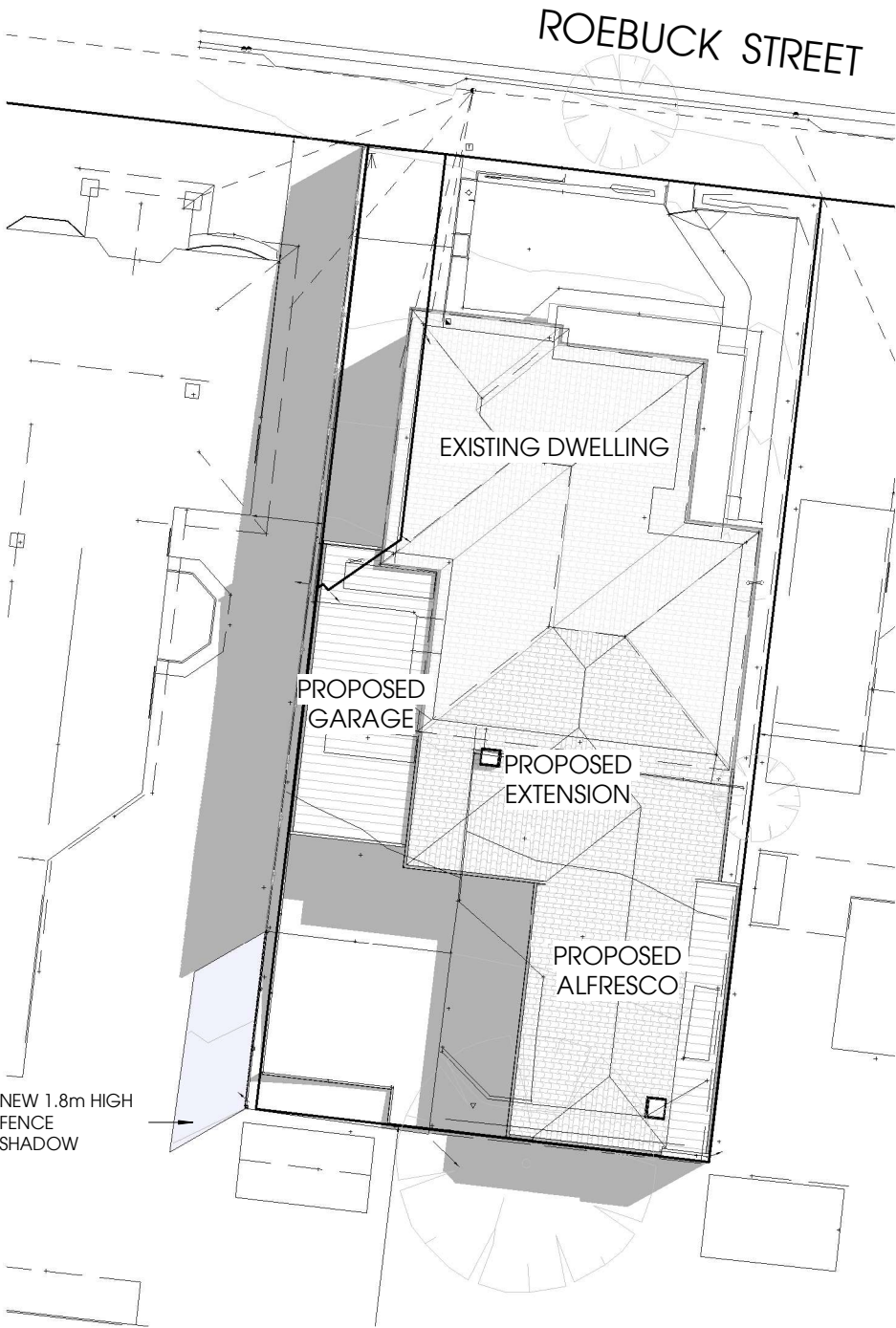
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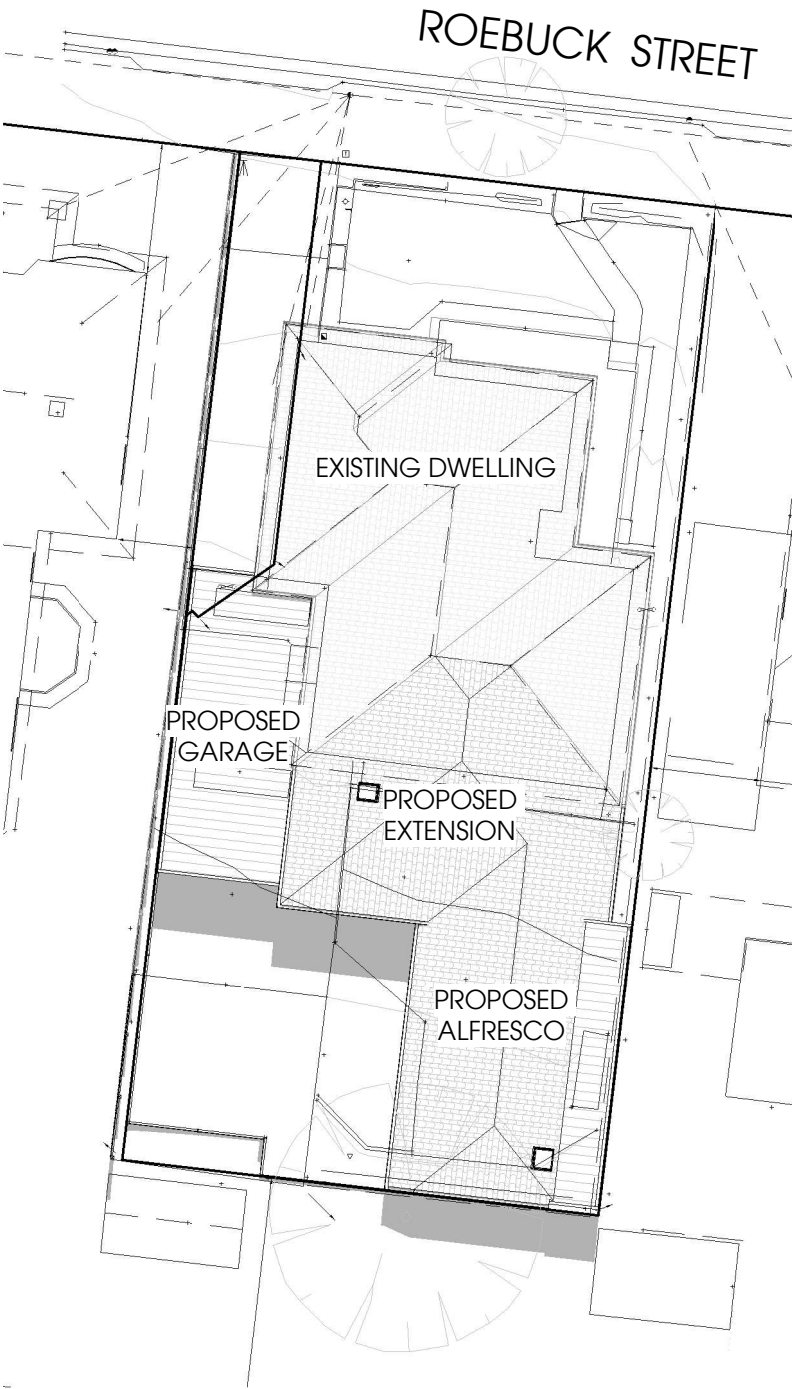
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9.00am 22/09

1 : 250



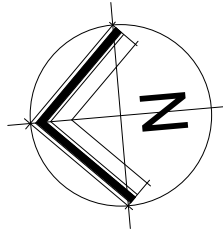
12.00pm 22/09

1 : 250



3.00pm 22/09

1 : 250



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PROPOSAL:
PROPOSED EXTENSION

FOR; BLAKE

ADDRESS:
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REVISION:
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KB 26-05-26 TP6.0

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