

**Clause 54 Assessment**

Subject site: 22A Northcote Road, Ocean Grove

Zone: General Residential Zone

Schedule: GRZ1

Proposal: Extension to an existing dwelling

Garden Area: None required, site <400m2

Height standard: 11 metres, 3 storeys - met

Policy in Zone Schedule	Sch. Requirement
1.0 Neighbourhood character objectives are specified	None
2.0 Min Subdivision Area	None
3.0 CI54 & CI55 Requirements	None
4.0 Max Height	None
5.0 Application Requirements	None
6.0 Additional decision guidelines specified	None

Other Planning Controls:

Design and Development Overlay – no planning permit required as proposed extension is < 7.5 metres in height

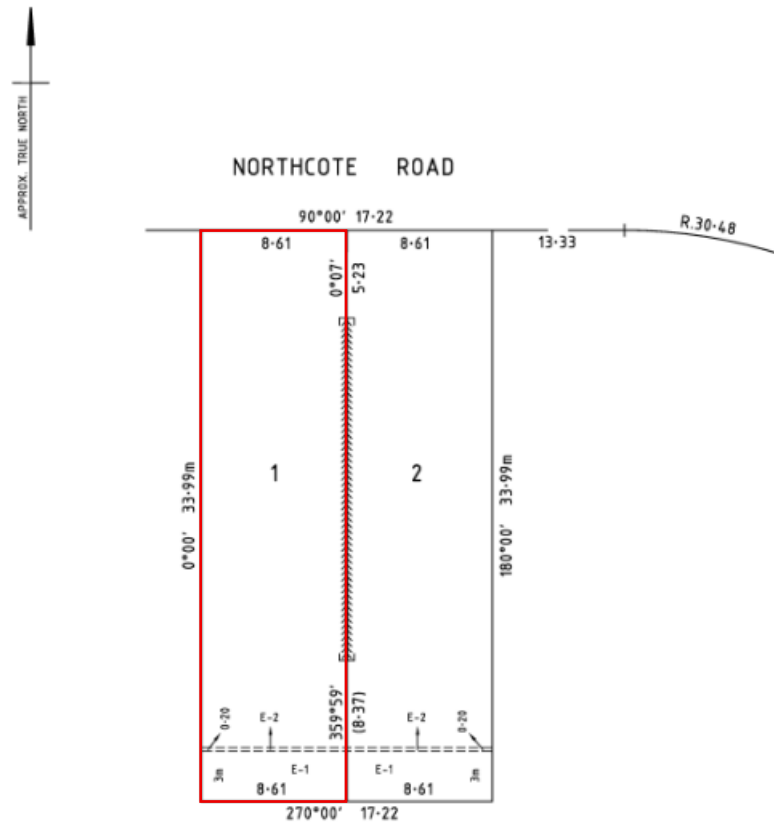
Protected Settlement Boundary – no planning permit triggered

Policy Objective	Notes/Discussion	Complies with standard	Objector right of appeal
APPLICATION REQUIREMENTS			
54.01 Application requirements	The plan details provide information to satisfy the illustrative requirements for a site description and a design response. In addition, the site can be described as follows: The site is rectangular in shape, with a width of 8.61 metres and a length of 33.99 metres, giving a total area of 292.65 metres. The site is located at 22A Northcote Road Ocean Grove and is accessed via a concrete vehicle accessway to Northcote Grove to the north. The site contains a double storey dwelling, constructed as part of semi-detached pair in 2019-2020. The dwelling is constructed to the eastern side boundary where it is attached to 22B Northcote Road. The dwelling is setback from the western side boundary with a front setback of 5.23 metres and a rear setback of 8.37 metres. An area of secluded private open space is provided at the rear of the dwelling on the south side of the lot. To the rear of the dwelling is an existing paved area extending into the secluded private open space. The following photograph shows the rear of the subject site where the verandah is proposed:	Yes	No/Exempt



Figure 1: Rear of dwelling at 22A Northcote Road Ocean Grove 18 May 2026

The site is legally described as Lot 1 on Plan of Subdivision 830869X Vol 12385 Fol 164. The title contains a restrictive covenant which limits the dwelling construction to brick, stone, concrete or brick veneer. It is our opinion that the construction of the verandah in colorbond (metal) is consistent with the purpose of the covenant as it does not compromise the dwelling proper and is an unwallled structure which cannot reasonably be roofed in these materials. The title plan shows a 3 metre wide easement adjacent to the rear boundary for the purposes of drainage and sewerage, pipelines or ancillary purposes. The subject site is outlined in red on the title excerpt below:



The site is located approximately 170 metres west of Endeavour Drive.

The site currently contains a two storey contemporary dwelling clad in brick and render, with flat roof parapets, building in mirror image of the attached neighbour at 22B Northcote Road.

The surrounding area can be described as:

- 20 Northcote Road to the west of the subject site contains a part single and part double storey brick dwelling set back approximately 2.5 metres from the subject site. The dwelling has an area of secluded private open space in the rear setback.
- 22A Northcote Road to the east of the subject site is constructed in mirror image to the subject site and includes a wall on the common boundary with the subject site for the same length. The dwelling has similar front, side and rear setbacks to the subject site.
- To the south (rear) of the subject site at 5 Westbury Court is a double storey brick dwelling with a large front set back set at an angle to the rear boundary. The dwelling is set back approximately 3.5 metres from the rear of the subject site.
- Opposite the subject site to the north are double storey and single storey dwellings, constructed mainly in brick with hipped and pitched roofs with eaves. The north side of Northcote Road is elevated above the height of properties on the south side of the road.
- The following aerial photograph illustrates the layout of the subject site and surrounds:



Source: NearMap 22 March 2026

54.01-2 Design Response	The proposal has been designed in response to the characteristics of the site and surrounds by: - Limiting the new building height to 3.3 metres where opposite the neighbouring boundary - Setting the structure back 200mm from the side boundary - Using an open sided structure to be visually lightweight - Building over an existing concreted area which has limited impact on impervious surface coverage at the site, while providing a 500 litre tank to collect and reuse runoff.	Yes	No/Exempt																				
NEIGHBOURHOOD CHARACTER																							
52.02-1 Street Setback Standard A2-1	Not applicable, the proposed extension is to the rear of the site.	Yes	No, as the Standard is met																				
54.02-2 Building Height Standard A2-2	The maximum building height proposed is 3.3 metres, and accords with the maximum building height specified in the zone of 11 metres.	Yes	No, as the Standard is met																				
54.02-3 Side & Rear Setbacks Standard A2-3	The proposal is compliant with this Standard and includes the following side and rear setbacks. <table><tr><th>Wall Location</th><th>Proposed Wall Height</th><th>Proposed Wall Setback</th><th>Standard Required Setback</th><th>Complies</th></tr><tr><td>East</td><td>3.3m</td><td>200mm</td><td>0m</td><td>Yes</td></tr><tr><td>South</td><td>3.2m</td><td>3.6m</td><td>0m</td><td>Yes</td></tr><tr><td>West</td><td>3.3m</td><td>2.4m</td><td>0m</td><td>Yes</td></tr></table>	Wall Location	Proposed Wall Height	Proposed Wall Setback	Standard Required Setback	Complies	East	3.3m	200mm	0m	Yes	South	3.2m	3.6m	0m	Yes	West	3.3m	2.4m	0m	Yes	Yes	No, as the Standard is met
Wall Location	Proposed Wall Height	Proposed Wall Setback	Standard Required Setback	Complies																			
East	3.3m	200mm	0m	Yes																			
South	3.2m	3.6m	0m	Yes																			
West	3.3m	2.4m	0m	Yes																			

54.02-4 Walls on Boundary Standard A2-4	No new walls are proposed on or within 200mm of the boundary.		Yes	No, as the Standard is met								
54.02-5 Site Coverage Standard A2-5	<table><tr><th>Zone</th><th>Max site coverage permissible under B2-5 Standard</th></tr><tr><td>NRZ, TZ</td><td>60%</td></tr><tr><td>GRZ</td><td>65%</td></tr><tr><td>RGZ, MUZ, HCTZ</td><td>70%</td></tr></table> The proposal includes site coverage of 58%, which meets the relevant standard of 65% for the GRZ.	Zone	Max site coverage permissible under B2-5 Standard	NRZ, TZ	60%	GRZ	65%	RGZ, MUZ, HCTZ	70%		Yes	No, as the Standard is met
Zone	Max site coverage permissible under B2-5 Standard											
NRZ, TZ	60%											
GRZ	65%											
RGZ, MUZ, HCTZ	70%											
54.02-6 Tree canopy objectives Standard A2-6	The site area of 292 square metres has a standard of a minimum three trees. A tree must reach a minimum height of at least 6 metres and canopy width of at least 4 metres, at maturity, with a deep soil area of 12 square metres. The proposal would not provide trees. <u>Assessment of Decision Guidelines</u> Any relevant neighbourhood character objective, policy or statement set out in this scheme. Relevant neighbourhood character policy includes Clauses: 11.03-6L-02 Bellarine Peninsula <i>Encourage development that respects the coastal landscape setting of Ocean Grove, by:</i>		No	Yes, as the Standard is not met								

	• <i>Ensuring that development allows for the protection of significant trees or planting around buildings and minimises impacts on roadside vegetation.</i> 12.06-1S Urban forests <i>Contribute to achieving an overall 30 per cent tree canopy target for urban areas by:</i> • <i>Encouraging the retention of existing canopy trees.</i> • <i>Promoting the planting of new canopy trees:</i> ○ <i>Within the public realm and open space (excluding areas dedicated to biodiversity or native vegetation conservation).</i> ○ <i>On private land.</i> <i>Ensuring that canopy tree species are appropriate for the locality, available space, growing conditions and future climate conditions.</i> 15.01-2L Environmentally Sustainable Development <i>Urban ecology strategies</i> <i>Protect and enhance biodiversity by incorporating natural habitats and planting indigenous vegetation.</i> <i>Reduce urban heat island effects through building design, landscape design, water sensitive urban design and the retention and provision of canopy trees.</i> <i>Encourage the provision of space for productive gardens, particularly in larger residential developments.</i> 15.01-5L Neighbourhood Character <i>Retain existing vegetation wherever possible, particularly vegetation that contributes to the municipality's tree canopy.</i>		
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Recent aerial photography of the surrounding neighbourhood indicates a varied range of canopy trees in private properties as illustrated in the following photograph:



Source NearMap 22 March 2026

The photograph shows that many, but not all, dwellings have canopy tree planting within their setbacks. The proposal does not compromise space for tree planting as it would be located over a

	covered and retained outdoor area which does not have planting at present. In that context the proposal does not alter the opportunities for planting in deep soil areas at the front and rear. The area in which the proposal is to be constructed is currently paved, as illustrated in the photo provided earlier in this assessment. • The site context and design response. The proposal does not create additional hard surface areas as the verandah would be constructed over existing hardstand. The proposal does not affect the potential for the site to accommodate tree planting. The landscape response is similar to the adjoining dwelling to the east which has a similar footprint in mirror image. • The extent to which the existing and proposed canopy trees contribute to a greener environment and reduce urban heat. There are no existing or proposed canopy trees. • Whether the growth characteristics of existing trees and proposed canopy trees will provide the required canopy cover. N/A • The suitability of the planting location, deep soil areas and planter soil volume for proposed canopy trees. N/A • Whether the species of canopy tree is suited to the soil conditions of the site. N/A • Whether an alternative combination of the canopy trees will provide the required canopy cover. N/A		
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54.02-7 Front fences Standard A2-7	The existing site has no front fence. This will not alter in the proposal.	Yes	No, as the Standard is met
54.02-8 Building setback for small second dwellings Standard A2-8	Not relevant to this application	N/A	N/A
LIVEABILITY			
54.03-1 Street Integration Standard A3-1	The proposal will not alter the integration of the dwelling with the street.	Yes	No/Exempt.
54.03-2 Private Open Space Standard A3-2	The proposal will not alter the area of existing secluded private open space. Although the applicant has chosen to cover the majority of the space with a verandah. This will leave an area of 30.996 square metres with a minimum dimension of 3.6 metres at the rear of the proposed verandah, complying with the standard. The dwelling also has a balcony of 14 square metres at the first floor with a minimum dimension of 2.45 metres (scaled from NearMap) which meets the private open space standard for a 3 bedroom dwelling.	Yes	No, exempt.
54.03-3 Solar Access to POS Standard A3-3	The proposal will cover much of the secluded private open space and affect its solar access. The south side of the private open space would be set back 3.6 metres from the proposed verandah which is 3.2 metres high at this point. The standard under this clause is 4.88 metres. In considering the Decision Guidelines of this Clause: <i>The Design Response</i>	No	No, exempt.

	The proposal includes some clear sheeting which will allow some natural light through. The proposal is also located in an area directly to the south of an existing two storey wall, and is unlikely to affect the solar access compliance to open space for the majority of that SPOS area. <i>The useability and amenity of the secluded private open space based on the sunlight it will receive.</i> The proposal will not significantly affect the usability and amenity of the secluded private open space and the owners of the site are choosing to cover the rear courtyard so that they have the opportunity to use it in poor weather. Also, the proposal does not affect the solar access or the use of the first floor private open space in the form of a balcony, which on its own meets the SPOS requirements of Standard A3-2.		
54.03-4 Daylight to New Windows Standard B3-4	No new windows are provided in the proposal.	Yes	No, exempt.
54.03-5 Safety and accessibility for small second dwellings Standard A3-5	N/A	N/A	N/A
EXTERNAL AMENITY			
54.04-1 Daylight to Existing Windows Standard A4-1	The proposal is set back to ensure appropriate light courts in accordance with this standard. The proposed verandah would cover some existing habitable room windows in the dwelling but would be open on at least 2 sides for approximately 50% of its perimeter and complies.	Yes	No, as the standard is met
54.04-2 Nth Facing Windows Standard A4-2	North facing windows opposite the proposed development at 5 Westbury Court would be set back approximately 7.9 metres from the proposed verandah but are not within 3 metres of the boundary, so meet this standard.	Yes	No, as the standard is met

54.04-3 Overshadowing SPOS Standard A4-3	The proposal would not cast additional shadow to the two side neighbours until: 1.00pm when the proposal would cast an additional 1 square metre of shadow and leave 42 square metres of sunlight at 22B Northcote Road with a minimum dimension of 5.5 metres. 2.00pm when the proposal would cast an additional 3 square metres of shadow and leave 37 square metres of sunlight at 22B Northcote Road with a minimum dimension of 5.2 metres. 3.00pm when the proposal would cast an additional 4.2 square metres of shadow and leave 30 square metres of sunlight at 22B Northcote Road with a minimum dimension of 5.0 metres. The proposal complies with the standard.	Yes	No, as the standard is met
54.04-4 Overlooking Standard A4-4	The proposal will not result in new windows or other glazing and will not increase overlooking opportunities from the existing dwelling.	Yes	No, as the standard is met

SUSTAINABILITY			
54.05-1 Permeability Standard A5-1	The existing permeability is provided in the rear setback, an area of 28 square metres, in the front setback with areas of 15 square metres and 2.5 square metres, and to the western side of the dwelling with landscape beds totalling 10 square metres, as illustrated on the following aerial photograph:	No	No, exempt.



NearMap, 22 March 2026

These areas total 55.5 square metres, or 19% of the site area. None of these areas would be affected by the proposal as the verandah would be constructed over the existing retaining

courtyard. Part of the paved courtyard is comprised of pebbles around a paved centrepiece, approximately 5 square metres of permeable surface area as marked in yellow on the photograph below, which would be covered by the proposal.



In considering the Decision Guidelines of this Clause:

- *The design response.*

The design response has been to cover an area of the site which is already mainly non-permeable. The proposal includes a 500 litre rain tank to store water to be used for garden irrigation. This would collect approximately 25 square metres of non-pervious surface runoff for reuse on the site, covering approximately 20 square metres of non-pervious surface runoff currently not treated.

	<i>The existing site coverage and any constraints imposed by existing development.</i> The existing site coverage by buildings is approximately 145 square metres or 49% of the site area. Existing permeable surface areas total approximately 20.7% of the total site area, including the pebbled surface in the rear deck The existing site coverage by buildings will not alter as a result of the proposal. The constraint imposed by existing development is the extent of hardcover already on site. <i>The capacity of the drainage network to accommodate additional stormwater.</i> Subsequent to the above and the provision of a 500 litre raintank, the proposal will not create additional demand on the drainage network. <i>The practicality of achieving the minimum site coverage of pervious surfaces.</i> Achieving the minimum site coverage of pervious surfaces, in this instance, is not practical due to the existing extent of paved areas within the site.		
54.05-2 Overshadowing Domestic Solar Panels Standard A5-2	There appear to be domestic solar energy panels on the roof of the neighbouring dwelling, to the south at 5 Westbury Court. The proposal is not high enough to impact these.	Yes	No, as the standard is met
54.05-3 Rooftop Solar Generation Area Standard A5-3	The proposal does not alter the opportunities for solar rooftop systems to be installed on the dwelling. There is already an established solar panel array on the roof of the subject site.	Yes	No, exempt.
54.05-4 Solar Protection to New Nth-Facing Windows Standard A5-4	No new north facing windows are proposed.	Yes	No, exempt.