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Design Response Report

Development of Land for Two (2) Dwellings
75 Orton Street OCEAN GROVE

June 2026

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Subject Site & Surrounds

Subject site

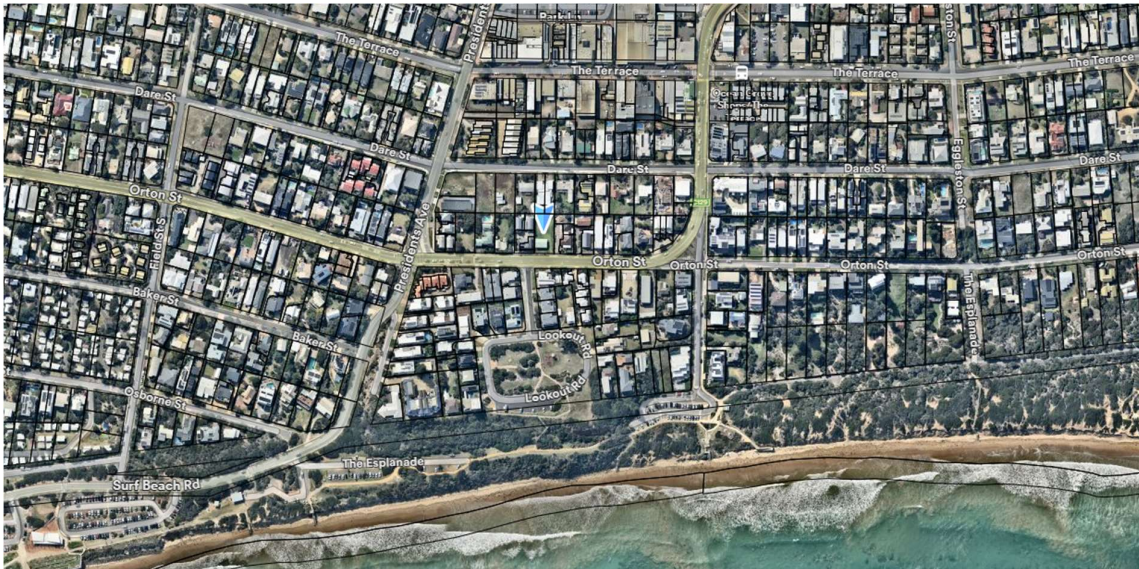
The subject site is rectangular in shape parcel of 810.65 square metres located on the northern side of Orton Street in Ocean Grove. The frontage of the site to Orton Street is 20.12 metres and the site has a depth of 40.30 metres. The site is legally referred to as Lot 73 on lodged plan 1855.

There is a formed concrete vehicle crossover to the site directly from Orton Street. There is a concrete pedestrian footpath along the street frontage and a grassed nature strip. The roadway is sealed.

The subject site is not within area of Aboriginal Cultural Heritage Significance. A cultural heritage management plan is not required.

The site is zoned Residential Growth - schedule 3 (RGZ3) and is affected by the following overlays:

- Design and development overlay – schedule 14 (DDO14)
- Protected settlement boundary overlay (PSB)



Subject Site Source: Nearmap 22 March 2026

Surrounding area

The surrounding area is primarily residential with 1970-80s development locally prevalent. The vast majority of allotments range from 700 to 900 square metres in area accommodating single detached dwellings. Although, much of the built form comprises original housing stock within Ocean Grove with additions to the rear there are many examples of more recent infill multi-dwelling development accommodating medium density housing.

Details of Proposal

This application seeks to construct two (2) dwellings at 75 Orton Street Ocean Grove. The proposed dwellings are to include the following spaces:

	Living	Bedrooms	Bathrooms	Additional Rooms	Private Open Space (m ²)	Parking
Dwelling 1	Kitchen, Meals & Living	4	2	Separate lounge	SPOS >3m 95.19	Double garage
Dwelling 2	Kitchen, Meals & Living	4	2	Separate lounge	SPOS >3m 95.22	Double garage

Planning triggers

Zoning

Pursuant to 32.07-6 of the Planning Scheme a permit is required to construct two or more dwellings on a lot. As such, a planning permit is triggered by this clause.

Overlays

Pursuant to 43.02-2 of the Planning Scheme a permit is required to construct or carry out works unless the schedule to this overlay specifically states that a permit is not required. Schedule 14 does not require a planning permit for buildings and works other than to construct a dwelling which is more than 7.5 metres above natural ground level. The height to the uppermost point of this proposal is 4.40 metre above ground level. As such, a planning permit is not triggered by this clause.

Planning Policies

State and Local Planning Policy Frameworks

00 Purpose and Vision

Pursuant to clause 55 of the Planning Scheme, despite any other provisions, in determining applications to which this clause applies, the responsible authority is exempt from and is not required to consider the Municipal Planning Strategy, unless an applicable decision guideline specifies otherwise.

10 Planning Policy Framework

Pursuant to clause 55 of the Planning Scheme, despite any other provisions, in determining applications to which this clause applies, the responsible authority is exempt from and is not required to consider the Planning Policy Framework, unless an applicable decision guideline specifies otherwise.

No 75 Orton Street Ocean Grove is within the protected settlement boundary. As such, clause 11.01-1L-01 is applicable.

11 SETTLEMENT

Planning is to anticipate and respond to the needs of existing and future communities through provision of zoned and serviced land for housing, employment, recreation and open space, commercial and community facilities and infrastructure.

Planning is to recognise the need for, and as far as practicable contribute towards:

- Health, wellbeing and safety.
- Diversity of choice.
- Adaptation in response to changing technology.
- Economic viability.
- A high standard of urban design and amenity.
- Energy efficiency.
- Prevention of pollution to land, water and air.
- Protection of environmentally sensitive areas and natural resources.
- Accessibility.
- Land use and transport integration.

Planning is to prevent environmental, human health and amenity problems created by siting incompatible land uses close together.

Planning is to facilitate sustainable development that takes full advantage of existing settlement patterns and investment in transport, utility, social, community and commercial infrastructure and services.

11.01 VICTORIA
11.01-1S Settlement
To facilitate the sustainable growth and development of Victoria and deliver choice and opportunity for all Victorians through a network of settlements.

11.01-1L-01 Settlement - Greater Geelong Strategies

- **Maintain the non-urban breaks between Geelong and Melbourne (Wyndham), Geelong and the Surf Coast Shire municipal boundary, urban Geelong and the Bellarine Peninsula, and the townships on the Bellarine Peninsula.**
- **Direct the majority of future housing needs to urban Geelong (urban infill, Armstrong Creek and the Northern and Western Geelong Growth Areas).**
- **Ensure urban development occurs within designated settlement boundaries, including the protected settlement boundaries.**
- **Maintain the extent of the rural hamlet of Ceres and the settlement of Breamlea to current Township zoned land.**
- **Discourage land use and development outside the Lara settlement boundary that would prejudice the following:**
 - Retention of the rural landscape setting including views to the You Yangs.
 - Protection of agricultural land, particularly to the north of Lara and aquaculture or intensive agricultural production activities adjacent and complementary to Avalon Airport.
 - Protection of buffers to the Geelong Ring Road Employment Precinct.
 - Protection of opportunities for a potential intermodal transport facility.
 - Protection of the current and future operations and development of Avalon Airport including associated or compatible uses.

11.02 MANAGING GROWTH
11.02-1S Supply of urban land
To ensure a sufficient supply of land is available for residential, commercial, retail, industrial, recreational, institutional and other community uses.

11.02-2S Structure planning
To facilitate the fair, orderly, economic and sustainable use and development of urban areas.

11.02-3S Sequencing of development
To manage the sequence of development in areas of growth so that services are available from early in the life of new communities.

11.03 PLANNING FOR PLACES
11.03-1S Activity centres

To encourage the concentration of major retail, residential, commercial, administrative, entertainment and cultural developments into activity centres that are highly accessible to the community.

11.03-2S Growth areas

To locate urban growth close to transport corridors and services and provide efficient and effective infrastructure to create sustainability benefits while protecting primary production, major sources of raw materials and valued environmental areas.

11.03-3S Peri-urban areas

To manage growth in peri-urban areas to protect and enhance their identified valued attributes.

11.03-4S Coastal settlement

To plan for sustainable coastal development.

11.03-5S Distinctive areas and landscapes

To recognise the importance of distinctive areas and landscapes to the people of Victoria and protect and enhance the valued attributes of identified or declared distinctive areas and landscapes.

11.03-6S Regional and local places

To facilitate integrated place-based planning.

Zoning and Overlays

Zoning, Minimum Garden Area and Overlays

3.0 Zoning

32.07 Residential Growth Zone

Purpose:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To provide housing at increased densities in buildings up to and including four storey buildings.
- To encourage a diversity of housing types in locations offering good access to services and transport including activity centres and town centres.
- To encourage a scale of development that provides a transition between areas of more intensive use and development and other residential areas.
- To ensure residential development achieves design objectives specified in a schedule to this zone.
- To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.

32.07-2 Table of uses – Section 1 Permit not required

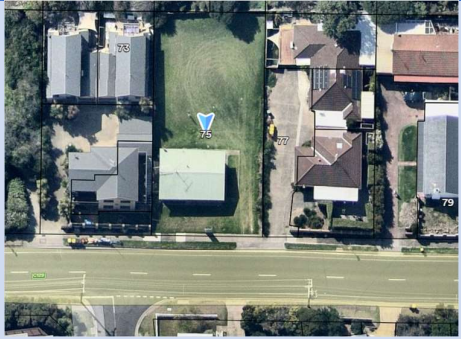
Use	Condition
Dwelling (other than Bed and breakfast)	None

32.07-6 Construction and extension of two or more dwellings on a lot, dwellings on common property and residential buildings

Pursuant to 32.08-7 of the Planning Scheme a permit is required to construct or extend two or more dwellings on a lot, dwellings on common property and residential buildings. As such, a planning permit is triggered by this clause.

32.07-14 Decision Guidelines

	Decision guidelines	Response
General	The Municipal Planning Strategy and the Planning Policy Framework.	<i>Proposed use is generally consistent with state and local planning policies, particularly clause 11.01-1L-01 supporting urban development occurrence within designated settlement boundaries, including the protected settlement boundaries</i>
	The purpose of this zone.	<i>The proposed dwellings have considered and responded to the purpose of the zone. The subject land is located in close proximity to a variety of facilities and services. In summary the policy context encourages greater choice in the type of housing to meet the varied accommodation needs of the community and is situated within easy access to public transport, shopping and community facilities; while respecting character and residential amenity, including natural assets and consideration of views.</i>
	The objectives set out in a schedule to this zone.	<i>Schedule 3 includes specific requirements for standard B2-1:</i> <i>• If the site is in a heritage overlay, the same distance as the lesser front wall setback of an existing building on the abutting allotments facing the front street or 6 metres, whichever is the lesser.</i> <i>• In all other areas, the same distance as the lesser front wall setback of an existing building on the abutting allotments facing the front street or 5.5 metres, whichever is the lesser.</i> <i>• Side street setback requirements specified in the table to Standard B2-1 continue to apply.</i> <i>This application complies</i>
	Any other decision guidelines specified in a schedule to this zone.	<i>None specified</i>
	The impact of overshadowing on existing rooftop solar energy systems on dwellings on adjoining lots in a Housing Choice and Transport Zone, Mixed Use Zone or Residential Growth Zone.	<i>There are no rooftop solar energy systems on dwellings south of the subject site.</i>

		 Nearmap 22 March 2026
Subdivision	The pattern of subdivision and its effect on the spacing of buildings For subdivision of land for residential development, the objectives and standards of Clause 56.	<i>Not applicable</i> <i>Not applicable</i>
Dwellings, small second dwellings and residential buildings	For the construction and extension of one dwelling on a lot and a small second dwelling, the applicable objectives, standards and decision guidelines of Clause 54. For the construction and extension of two or more dwellings on a lot, dwellings on common property and residential buildings of three storeys or less, excluding a basement, the objectives, standards and decision guidelines of Clause 55. For the construction and extension of two or more dwellings on a lot, dwellings on common property and residential buildings of four storeys, excluding a basement, the objectives, standards and decision guidelines of Clause 57. For the construction and extension of an apartment development of five or more storeys, excluding a basement, the objectives, standards and decisions guidelines of Clause 58.	<i>Not applicable</i> <i>Complies with standard specified in clause 55 (discussed below)</i> <i>Not applicable</i> <i>Not applicable</i>
Non-residential use and development	Whether the use or development is compatible with residential use. Whether the use generally serves local community needs.	<i>Not applicable</i> <i>Not applicable</i>

	The scale and intensity of the use and development.	<i>Not applicable</i>
	The design, height, setback and appearance of the proposed buildings and works.	<i>Not applicable</i>
	The proposed landscaping.	<i>Not applicable</i>
	The provision of car and bicycle parking and associated accessways.	<i>Not applicable</i>
	Any proposed loading and refuse collection facilities.	<i>Not applicable</i>
	The safety, efficiency and amenity effects of traffic to be generated by the proposal.	<i>Not applicable</i>

Schedule 3 to the Residential Growth Zone

Standard	Ref	Description	Design Response	
Minimum Street Setback	B2-1	If the site is in a heritage overlay, the same distance as the lesser front wall setback of an existing building on the abutting allotments facing the front street or 6 metres, whichever is the lesser. In all other areas, the same distance as the lesser front wall setback of an existing building on the abutting allotments facing the front street or 5.5 metres, whichever is the lesser. Side street setback requirements specified in the table to Standard B2-1 continue to apply.	<i>In compliance with B2-1</i>	√
Site Coverage	B2-5	None specified	<i>In compliance with B2-5</i>	√
Private Open Space	B3-5	None specified	<i>In compliance with B3-5</i>	√
Front Fence Height	B2-8	None specified	<i>In compliance with B2-8</i>	√

Zoning – Design Response Discussion

The proposed dwellings have considered and responded to the purposes of the zone. The subject land is located in close proximity to a variety of facilities and services.

In summary the policy context encourages greater choice in the type of housing to meet the varied accommodation needs of the community and is situated within easy access to public transport, shopping and community facilities; while respecting character and residential

amenity, including natural assets and consideration of views. It achieves the objectives set out in the decision guidelines.

The site is located in close proximity to local shopping, community facilities, education facilities, and public open space reserves. The character of the neighbourhood and surrounds have been fully considered in the design response for this development and is considered to be consistent and in keeping.

4.0 Overlays

43.02 Design and Development Overlay

Purpose

- To implement the State Planning Policy Framework and the Local Planning Policy Framework, including Municipal Strategic Statement and local planning policies.
- To identify areas which are affected by specific requirements relating to the design and built form of new development.

Schedule 14 to the Design and Development Overlay

DWELLINGS OVER 7.5 METRES IN AREAS WITH ACCESS TO VIEWS

1.0 Design Objectives:

- To ensure that the siting, height and visual bulk of dwellings achieves a reasonable sharing of views between properties to significant landscape features such as the coast (ocean and foreshore), Corio Bay, Barwon River, Central Geelong, Barrabool Hills and the You Yangs.

2.0 Buildings and works

A permit is not required for buildings and works other than to construct a dwelling which is more than 7.5 metres above natural ground level (excluding any television antenna, chimney or flue) or extend a dwelling where the extension is more than 7.5 metres above natural ground level (excluding any television antenna, chimney or flue).

The height to the uppermost point of this proposal is 4.40 metre above ground level. As such, a planning permit is not triggered by this clause.

Particular Provisions

Car Parking & ResCode Assessment

52.06-5 Table 1 – Car Parking Requirements



No 75 Orton Street Ocean Grove is within category 1

The proposal is consistent with this particular provision as:

- This proposal utilises the existing crossover along Orton Street and introduces another, connecting to two individual driveways, providing access that is safe and convenient to use.
- Car parking to be attached to their associative dwelling, allowing for safe and efficient movement within the site.
- This proposal includes two secure car spaces per dwelling, limiting the need for on street car parking along Orton Street.
- Car parking capacity is responsive to the likely demand generated
- Local public transport infrastructure provide transport alternative.

Use	Dwelling	Rate	Parking Required	Parking Provided
Dwelling	Existing Dwelling	1.2 to each dwelling	1.2 x 2 = 2.4, so 2 car space	2 ✓
	Proposed Dwelling			2 ✓

Clause 53.03 – RESIDENTIAL RETICULATED GAS SERVICE CONNECTION:

Purpose

- To prohibit residential reticulated gas connections to new dwellings, new apartment developments and new residential subdivisions.

The proposed dwelling will not be connected to a reticulated gas service.

Clause 53.18 – Stormwater Management in Urban Development:

Water Sensitive Urban Design (WSUD) treatments in the form of rainwater tanks to each dwelling can be provided. The application includes site permeability of 32.89% which exceeds the minimum requirements under Standard 5-1 of Clause 55 (which requires 20%), supporting the opportunity for water to filtrate rather than run off into stormwater which will encourage water infiltration.

55 Two or more dwellings on a lot and Residential Buildings

Purpose

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To encourage residential development that provides reasonable standards of amenity for existing and new residents.
- To encourage residential development that responds to the site and the surrounding area.

Application

- Provisions in this clause apply to an application to the classes of applications specified in clauses:
 - 32.04-7, Mixed Use Zone,

- 32.05-8, Township Zone,
- 32.07-6, Residential Growth Zone,
- 32.08-7, General Residential Zone,
- 32.09-7, Neighbourhood Residential Zone,
- 32.10-5, Housing Choice and Transport Zone.
- The objective contained in clause 55.03-1 does not apply to a development of less than 10 dwellings.
- The objective contained in clause 55.05-3 does not apply to an apartment development or residential building.
- The objectives contained in clauses 55.03-12 and 55.05-7 do not apply to the construction or extension of:
 - A dwelling that is not in, or does not form part of, an apartment development; or
 - A residential building.

Written Statement Checklist

	<i>Is the standard fully met</i>	<i>Does an objector have a right of appeal</i>
Standard B-2-1: 55.02-1 - Street setback	☒ Yes ☐ No	☐ Yes ☒ No
Standard B-2-2: 55.02-2 – Building height	☒ Yes ☐ No	☐ Yes ☒ No
Standard B-2-3: 55.02-3 – Side and rear setbacks	☒ Yes ☐ No	☐ Yes ☒ No
Standard B-2-4: 55.02-4 – Walls on boundaries	☒ Yes ☐ No	☐ Yes ☒ No
Standard B-2-5: 55.02-5 – Site coverage	☒ Yes ☐ No	☐ Yes ☒ No
Standard B-2-6: 55.02-6 – Access	☒ Yes ☐ No	☐ Yes ☒ No
Standard B-2-7: 55.02-7 – Tree canopy	☒ Yes ☐ No	☐ Yes ☒ No
Standard B-2-8: 55.02-8 – Front fences	☒ Yes ☐ No	☐ Yes ☒ No
Standard B-3-1: 55.03-1 – Dwelling diversity	☒ Yes ☐ No	☒ No
Standard B-3-2: 55.03-2 – Parking location	☒ Yes ☐ No	☒ No
Standard B-3-3: 55.03-3 – Street integration	☒ Yes ☐ No	☒ No
Standard B-3-4: 55.03-4 – Entry	☒ Yes ☐ No	☒ No
Standard B-3-5: 55.03-5 – Private open space	☒ Yes ☐ No	☒ No
Standard B-3-6: 55.03-6 – Solar access to OS	☒ Yes ☐ No	☒ No
Standard B-3-7: 55.03-7 – Functional layout	☒ Yes ☐ No	☒ No
Standard B-3-8: 55.03-8 – Room depth	☒ Yes ☐ No	☒ No
Standard B-3-9: 55.03-9 – Daylight to new windows	☒ Yes ☐ No	☒ No
Standard B-3-10: 55.03-10 – Natural ventilation	☒ Yes ☐ No	☒ No
Standard B-3-11: 55.03-11 – Storage	☒ Yes ☐ No	☒ No
Standard B-3-12: 55.03-12 – Accessibility for apartment developments	Not applicable	Not applicable
Standard B-4-1: 55.04-1 – Daylight to existing windows	☒ Yes ☐ No	☐ Yes ☒ No
Standard B-4-2: 55.04-2 – Existing north facing windows	☒ Yes ☐ No	☐ Yes ☒ No
Standard B-4-3: 55.04-3 – Overshadowing SPOS	☒ Yes ☐ No	☐ Yes ☒ No
Standard B-4-4: 55.04-4 – Overlooking	☒ Yes ☐ No	☐ Yes ☒ No

Standard B-4-5: 55.04-5 – Internal views	☒ Yes ☐ No	☒ No
Standard B-5-1: 55.05-1 – Permeability and stormwater management	☒ Yes ☐ No	☒ No
Standard B-5-2: 55.05-2 – Overshadowing domestic solar energy systems	☒ Yes ☐ No	☐ Yes ☒ No
Standard B-5-3: 55.05-3 – Rooftop solar energy generation area	☒ Yes ☐ No	☒ No
Standard B-5-4: 55.05-4 – Solar protection to new north facing windows	☒ Yes ☐ No	☒ No
Standard B-5-5: 55.05-5 – Waste and recycling	☒ Yes ☐ No	☒ No
Standard B-5-6: 55.05-6 – Noise impacts	☒ Yes ☐ No	☒ No
Standard B-5-7: 55.05-7 – Energy efficiency for apartment developments	Not applicable	Not applicable

55.02 NEIGHBOURHOOD CHARACTER

55.02-1 Street setback objective

- To ensure that the setbacks of buildings from a street respond to the existing or preferred neighbourhood character and make efficient use of the site.

Standard B2.1

Walls of buildings are set back from streets:

- At least the distance specified in a schedule to the zone if the distance specified in the schedule is less than the distance specified in Table B2-1; or
- If no distance is specified in a schedule to the zone, the distance specified in Table B2-1.

Porches, pergolas and verandahs that are less than 3.6 metres high and eaves may encroach not more than 2.5 metres into the setbacks of this standard.

Response

Requirements set out in schedule 3 to the zone:

- If the site is in a heritage overlay, the same distance as the lesser front wall setback of an existing building on the abutting allotments facing the front street or 6 metres, whichever is the lesser.*
- In all other areas, the same distance as the lesser front wall setback of an existing building on the abutting allotments facing the front street or 5.5 metres, whichever is the lesser.*
- Side street setback requirements specified in the table to Standard B2-1 continue to apply.*

The two adjoining properties; 73 Orton Street and 42 77 Orton Street have front setbacks of 4.20 metres and 8.50 metres, respectively.

This proposal presents a front setback of 6.00 metres; being consistent with Table B2-1 Street setback and is locally responsive.

Proposed porches are less than 3.6 metres in height and encroach less than 2.5 metres.

Table B2-1 Street setback

Development context	Minimum setback from front street	Minimum setback from a side street
There is an existing building on both the abutting allotments facing the same street, and the site is not on a corner.	The same distance as the lesser front wall setback of the existing buildings on the abutting allotments facing the front street or 6 metres, whichever is the lesser.	Not applicable
There is an existing building on one abutting allotment facing the same street and no existing building on the other abutting allotment facing the same street, and the site is not on a corner.	The same distance as the setback of the front wall of the existing building on the abutting allotment facing the front street or 6 metres, whichever is the lesser.	Not applicable
There is no existing building on either of the abutting allotments facing the same street, and the site is not on a corner.	6 metres for streets in a Transport Zone 2 and 4 metres for other streets.	Not applicable
The site is on a corner.	If there is a building on the abutting allotment facing the front street, the same distance as the site is on a corner. setback of the front wall of the existing building on the abutting allotment facing the front street or 6 metres, whichever is the lesser. If there is no building on the abutting allotment facing the front street, 6 metres for streets in a Transport Zone 2 and 4 metres for other streets.	Front walls of new development fronting the side street of a corner site are setback at least the same distance as the setback of the front wall of any existing building on the abutting allotment facing the side street or 3 metres, whichever is the lesser. Side walls of new development on a corner site are setback the same distance as the setback of the front wall of any existing building on the abutting allotment facing the side street or 2 metres, whichever is the lesser.

**Standard met****Standard not met****55.02-2 Building height objective**

- To ensure that the height of buildings respond to the existing or preferred neighbourhood character.

Standard B2.2

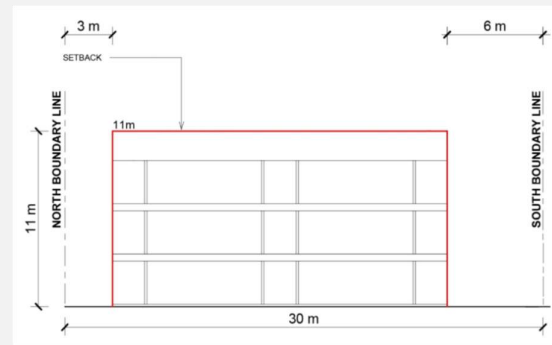
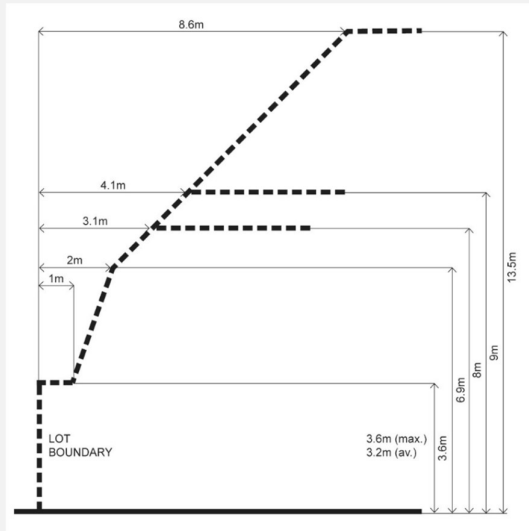
The maximum building height does not exceed the maximum height specified in the zone, schedule to the zone or an overlay that applies to the land.

If no maximum height is specified in the zone, schedule to the zone or an overlay, the maximum building height does not exceed 9 metres, unless the slope of the natural round level at any cross section wider than 8 metres of the site of the building is 2.5 degrees or more, in which case the maximum building height does not exceed 10 metres.

Response

The height to the uppermost point of the proposal is 4.40 metres, well under the maximum height specified, reducing the appearance of visual bulk, impacts of overshadowing on adjoining properties and overall protects neighbourhood character.

**Standard met****Standard not met**

Diagram B2-3.2 Side and rear setbacks

- ☒ **Standard met**
☐ **Standard not met**

55.02-4 Walls on boundaries objectives

- To ensure that the location, length and height of a wall on a boundary responds to the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings and small second dwellings.

Standard B2.4

A new wall constructed on or within 200mm of a side or rear boundary of a lot or a carport constructed on or within 1 metre of a side or rear boundary of a lot does not abut the boundary for a length that exceeds the greater of the following distances:

- 10 metres plus 25 per cent of the remaining length of the boundary of an adjoining lot, or
- The length of existing or simultaneously constructed walls or carports abutting the boundary on an abutting lot.

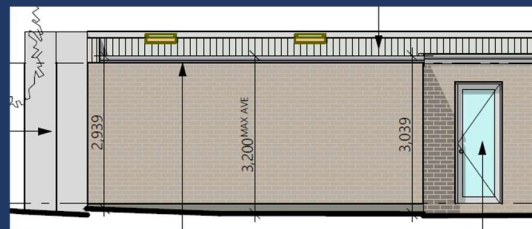
A new wall or carport may fully abut a side or rear boundary where slope and retaining walls or fences would result in the effective height of the wall or carport being less than 2 metres on the abutting property boundary. A building on a boundary includes a building set back up to 200mm from a boundary.

The height of a new wall constructed on or within 200mm of a side or rear boundary or a carport constructed on or within 1 metre of a side or rear boundary does not exceed an average of 3.2 metres with no part higher

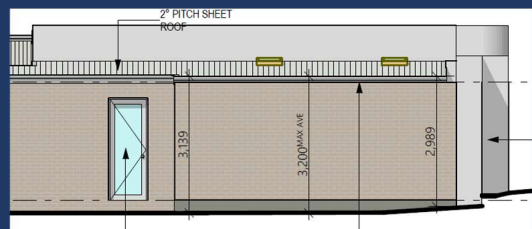
Response

The garages occupying the side boundaries have lengths of 6.48 metres each. The maximum allowable length along these boundaries is 10m + 25% (30.30m) = 17.58 metres. The overall length of these walls is well under.

The wall has a maximum average height of less than 3.2 metres with no part exceeding 3.6 metres in height.



East elevation



West elevation

than 3.6 metres unless abutting a higher existing or simultaneously constructed wall.

- ☒ **Standard met**
☐ **Standard not met**

55.02-5 Site coverage objective

- To ensure that the site coverage responds to the existing or preferred neighbourhood character and responds to the features of the site.

Standard B2.5

The site area covered by buildings does not exceed:

- The maximum site coverage specified in a schedule to the zone; or
- If no maximum site coverage is specified in a schedule to the zone, the percentage specified in Table B2-5.

If the maximum site coverage is specified in a schedule to a zone, it must be greater than the percentage specified in Table B2-5.

Response

No maximum site coverage is specified in schedule 3 to the zone.

The site occupies an area of 810.65 square metres and this proposal presents a site coverage of 61.06% promoting planting of trees and the provision of open space and permeable surfaces.

Complies / Does-not-comply

Table B2-5 Site coverage

Zone	Area
Neighbourhood Residential Zone Township Zone	60 per cent
General Residential Zone	65 per cent
Residential Growth Zone Mixed Use Zone Housing Choice and Transport Zone	70 per cent

- ☒ **Standard met**
☐ **Standard not met**

55.02-6 Access objective

- To ensure the number and design of vehicle crossovers responds to the neighbourhood character.

Standard B2.6

The width of accessways or car spaces (other than to a rear lane) does not exceed:

- 33 per cent of the street frontage; or
- 40 per cent of the street frontage if the width of the street frontage is less than 20 metres.

Response

This proposal utilises the existing crossover and introduces another along Orton Street, each meet individual driveways leading to proposed parking areas for each dwelling; that are safe and convenient to use.

The number of access points to a road in a Transport Zone 2 or a Transport Zone 3 is not increased.

The width of the title frontage is 20.12metres and the proposed crossovers equate to a total width 6.0 metres; 29.8%.

Orton Street is not a transport zone 2/3 road

The location of a vehicle crossover or accessway does not encroach the tree protection zone of an existing tree, that is proposed to be retained in a road by more than 10 per cent.

Not applicable



Standard met



Standard not met

55.02-7 Tree canopy objective

- To provide tree canopy that responds to the neighbourhood character of the area and reduces the visual impact of buildings on the streetscape.
- To preserve existing canopy cover and support the provision of new canopy cover.
- To ensure new canopy trees are climate responsive, support biodiversity, wellbeing and amenity, and help reduce urban heat.

Standard B2.7

Provide a minimum canopy cover as specified in Table B2-7.1.

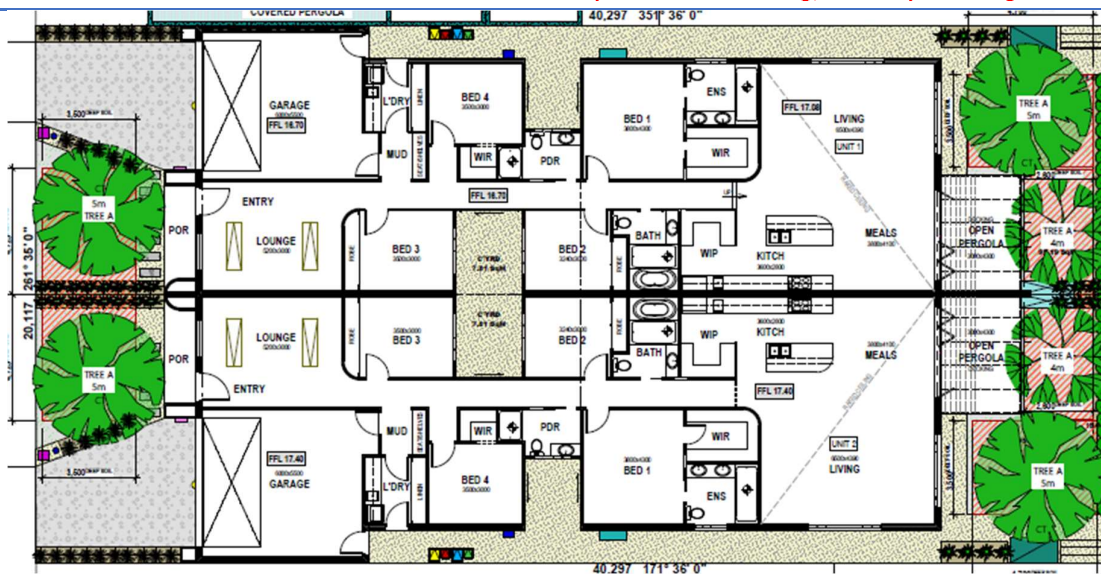
Response

This proposal will not result in the removal of significant vegetation on the site and seeks to introduce additional vegetation that is contextually compatible with a canopy cover of at least 10% of the site; 81.1 square metres.

Adequate space has been provided to achieve meaningful landscaping outcomes for the dwellings within the front and rear private open space areas

This application retain the existing rear tree contributing canopy backdrop to the streetscape

Complies / Does not comply



B3-7 tree canopy area calculation %

Site area = 810.65 total

Tree type a

Tree canopy area required = 81.06m² 10%

4x 5m canopy diameter = 19.7m² x3 = 78.80m²

2x 4m canopy diameter = 12.6m² x2 = 25.2m²

Total tree canopy cover = 104.00m²

Table B2-7.1 Canopy cover

Site area	Canopy Cover
1000 square metres or less	10% of site area
More than 1000 square metres	20% of site area

Table B2-7.1 Canopy cover

Tree type	Minimum canopy diameter at maturity	Minimum height at maturity	Minimum mature canopy cover	Tree in deep soil Area of deep soil	Tree in planter Volume of planter	Minimum depth of planter soil
A	4 metres	6 metres	12.6 sqm	12 sqm (min. plan dimension 2.5 metres)	21 cubic metres (min. plan dimension 2.5 metres)	0.8 metres
B	8 metres	8 metres	50.3 sqm	49 sqm (min. plan dimension 4.5 metres)	28 cubic metres (min. plan dimension 4.5 metres)	1 metre
C	12 metres	12 metres	113.1 sqm	121 sqm (min. plan	64 cubic metres	1.5 metres

				dimension 6.5 metres)	(min. plan dimension 6.5 metres)	
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- Existing trees to be retained meet all of the following:
 - Has a height of at least 5 metres,
 - Has a trunk circumference of 0.5 metres or greater at 1.4 metres above ground level,
 - Has a trunk that is located at least 4 metres from proposed buildings.
- The minimum canopy cover is met using any combination of trees specified in Table B2-7.2.
- Existing trees that are retained can be used in calculating canopy cover.
- Provide at least one new or retained tree in the front setback and the rear setback.
- Trees are located in either:
 - An area of deep soil as specified in Table B2-7.2; or
 - A planter as specified in Table B2-7.2.
- Any tree required to be planted under this standard must be of species to the satisfaction of the responsible authority, having regard to the location and relevant geographic factors.

**Standard met****Standard not met****55.02-8 Front fences objective**

- To encourage front fence design that responds to the existing or preferred neighbourhood character.

Standard B2.8

A front fence within 3 metres of a street is:

- The maximum height specified in a schedule to the zone, or
- If no maximum height is specified in a schedule to the zone, the maximum height specified in Table B2-8.

Response*No requirements specified in schedule 1 to the zone:**No front fencing proposed****Complies / Does not comply*****Table B2-8 Maximum front fence height**

Street context	Maximum front fence height
Streets in a Transport Zone 2	2 metres
Other streets	1.5 metres

**Standard met****Standard not met**

55.03 LIVEABILITY**55.03-1 Dwelling diversity objective**

- To encourage a range of dwelling sizes and types in developments of ten or more dwellings.

Standard B3-1

Developments include at least:

- One dwelling that contains a kitchen, bath or shower, bedroom and a toilet and wash basin at ground floor level for every 10 dwellings.
- One dwelling that includes no more and no less than 2 bedrooms for every 10 dwellings.
- One dwelling that includes no more and no less than 3 bedrooms for every 10 dwellings.

Response

This application involves the development of less than 10 dwellings.

- ☐ **Standard met**
- ☐ **Standard not met**
- ☒ **Note applicable**

55.03-2 Parking location objective

- To minimise the impact of vehicular noise within developments on residents.

Standard B3-2

Habitable room windows with sill heights of less than 3 metres above ground level are setback from accessways and car parks by at least:

- 1.5 metres; or
- If there is a solid fence with a height of at least 1.5 metres between the accessway or car park and the window, 1 metre; or
- 1 metre where window sills are at least 1.5 metres above ground level.

This standard is met if an accessway or relevant car parking space is used exclusively by the resident of the building with the habitable room.

Response

This proposal situates car parking such that they're attached to their associative dwelling providing direct access and are secure and convenient designed to allow for safe and efficient movement within the development.

The design adequately protects residents from vehicular noise within development.

There are no habitable room windows facing accessway.

- ☒ **Standard met**
- ☐ **Standard not met**

55.03-3 Street integration objective

- To integrate the layout of development with the street to support the safety and amenity of residents.

Standard B3-3

Where a development fronts a street, a vehicle accessway or abuts public open space:

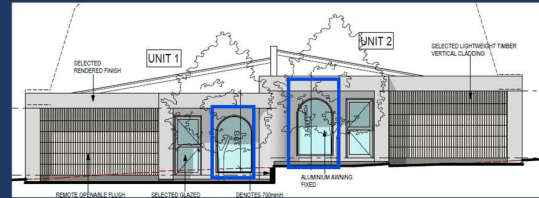
- Passive surveillance is provided by a direct view from a balcony or a habitable room window to each street, vehicle accessway and public open space.
- The total cumulative width of all site services to be located within 3 metres of a street, do not take up more than 20 per cent of the width of the frontage and are screened from view from the street or located behind a fence. Screens or fences are to provide no more than 25 per cent transparency.

Lighting is provided to all external accessways and paths.

Mailboxes are provided for each dwelling and can be communally located.

Response

The proposed dwellings are orientated to front Orton Street. There is one habitable room window (per dwelling) facing Orton Street offering passive surveillance throughout the day. No front fencing proposed enhances this aspect.



South elevation

Services within 3 metres of Orton Street will equate to a total cumulative width of less than 20% of the frontage: 4.02 metres.

Mailboxes are proposed along the frontage, in keeping and appropriately positioned for convenient access as required by Australia Post.



Standard met



Standard not met

55.03-4 Entry objective

- To provide each dwelling, apartment development or residential building with its own sense of identity.
- To provide entries with weather protection, safe design, natural light and ventilation.

Standard B3-4

Dwellings (other than a dwelling in or forming part of an apartment Development) and residential buildings

Each dwelling and each residential building has a ground level entry door that:

- Has a direct line of sight from a street, accessway or shared walkway.
- Is not accessed through a garage.
- Has an external covered area of at least 1.44 square metres with a minimum dimension of least 1.2 metres over the entry door.

Apartment development and residential building with a shared entry

Response

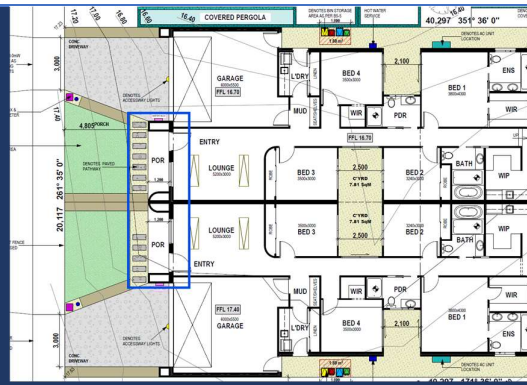
The proposed dwelling entries are visible and easily identifiable from Orton Street. The proposed porch and individual street frontages enhance this aspect with a sense of personal address and transitional space around the entry.

The ground level entry door to the existing and proposed dwellings:

- Have direct line of sight from Orton Street and the accessway.*
- Are not accessed through a garage.*
- Have an external covered area of more than 1.44 square metres with a minimum dimension of least 1.2 metres over the entry door.*

An apartment development and each residential building has:

- A ground level entry door, gate or walkway with a direct line of sight from a street, accessway or shared walkway.
- An external covered area of at least 1.44 square metres with a minimum dimension of least 1.2 metres over the entry door to the building.
- Shared corridors and common areas have at least one source of natural light and natural ventilation.



- ☒ **Standard met**
☐ **Standard not met**

55.03-5 Private open space objective

- To provide adequate private open space for the reasonable recreation and service needs of residents.

Standard B3-5

A dwelling or residential building has private open space of an area and dimensions specified in a schedule to the zone.

If no area or dimension is specified in a schedule to the zone, a dwelling or residential building has private open space with direct access from a living area, dining area or kitchen consisting of:

- An area of 25 square metres of secluded private open space, with a minimum dimension of 3 metres width; or
- A balcony with at least the area and dimensions specified in Table B3-5; or
- An area on a podium or similar of at least 15 square metres, with a minimum dimension of 3 metres width; or
- An area on a roof of at least 10 square metres, with a minimum dimension of 2 metres width.

If the area and dimensions of the private open space or secluded private open space is specified in a schedule to the zone;

- The area and dimensions specified in the schedule must be 25 square metres or less; and
- The area and dimensions specified for a podium, balcony or an area on a roof must be less than the area and dimensions specified in this standard.

Response

No requirements specified in schedule 3 to the zone.

Almost 200 square metres of land has been reserved for secluded private open space, of which more than 100 square metres (per dwelling) is over 3 metres in dimension, subject to sunlight, safe and functional while contributing to the character of the neighbourhood.

	SPOS >3m
Dwelling 1	95.19
Dwelling 2	95.22

If a cooling or heating unit is located in the secluded private open space or private open space the required area is increased by 1.5 square metres.

Where ground level private open space is provided an area for clothes drying is provided.

Table B3-5 Private open space for a balcony

Orientation of dwelling	Dwelling type	Minimum area	Minimum dimension
North (between north 20 degrees west to north 30 degrees east)	All	6 metres	12.6 sqm
South (between north 30 degrees west to south 20 degrees east)	All	8 metres	50.3 sqm
Any other orientation	Studio or 1 bedroom dwelling	8 square metres	1.8 metres
	2 bedroom dwelling	8 square metres	2 metres
	3 bedroom dwelling	12 square metres	2.4 metres



Standard met



Standard not met

55.03-6 Solar access to open space objective

- To allow solar access into the secluded private open space of new dwellings and residential buildings.

Standard B3-6

The southern boundary of secluded private open space is set back from any wall on the north of the space at least $(2 + 0.9h)$ metres, where 'h' is the height of the wall.

Response

Each secluded private open space is located to the north of their associative dwelling. As such, they do not have a wall directly north of SPOS area.

Complies / Does not comply

Diagram B3-6 Solar access to open space

- To ensure dwellings provide functional areas that meet the needs of residents.

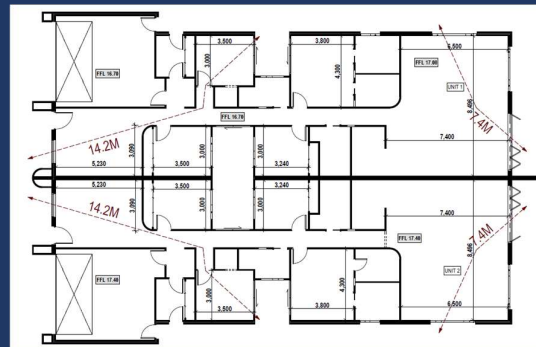
Bedrooms:

- Meet the minimum internal room dimensions specified in Table B3-7.1; and
- Provide an additional area of at least 0.8 square metres to accommodate a wardrobe.

The main bedroom has a minimum width and depth well in excess of 3 metres and 3.4 metres. All other bedrooms have minimum widths and depths well in excess of 3 metres.

The main living areas have the following dimensions.

	Width	Area
Dwelling 1	4.39	28.54
Dwelling 2	4.39	28.54



Bedroom type	Minimum width	Minimum depth
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Main bedroom	3 metres	3.4 metres
All other bedrooms	3 metres	3 metres

Living areas (excluding dining and kitchen areas) meet the minimum internal room dimensions specified in Table B3-7.2.

Table B3-7.2 Living area dimensions

Bedroom type	Minimum width	Minimum area
Studio and 1 bedroom dwelling	3.3 metres	10 metres
2 or more bedroom dwelling	3.6 metres	12 metres



Standard met



Standard not met

55.03-8 Room depth objectives

- To allow adequate daylight into single aspect habitable rooms.

Standard B3-8

The depth of a single aspect habitable room does not exceed 2.5 times the ceiling height measured from the external surface of the habitable room window to the rear wall of the room.

The depth of a single aspect, open plan, habitable room may be increased to 9 metres if all the following requirements are met:

- The room combines the living area, dining area and kitchen; and
- The kitchen is located furthest from the window; and
- The ceiling height is at least 2.7 metres measured from finished floor level to finished ceiling level, this excludes where services are provided above the kitchen; and
- An overhang extends no more than 2m beyond the window of the single aspect habitable room.

In Clause 55.03-8 a single aspect habitable room is a habitable room with windows on only one wall.

Response

All single aspect habitable room have depths less than 2.5 times the ceiling height ensuring adequate daylight



Standard met



Standard not met

55.03-9 Daylight to new windows objectives

- To allow adequate daylight into new habitable room windows.

Standard B3-9**Dwelling (other than a dwelling in or forming part of an apartment development)**

- A window in an external wall of the building is provided to all habitable rooms.
- Habitable rooms in a dwelling have a window that faces:
 - An outdoor space clear to the sky or a light court with a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky, not including land on an abutting lot; or
 - A verandah provided it is open for at least one third of its perimeter; or
 - A carport provided it has two or more open sides and is open for at least one third of its perimeter.

Response

Habitable room windows of the proposed dwellings face open space and are provided with more than the minimum dimension of one metre and area of 3 square metres clear to the sky promoting penetration of natural daylight into these windows for amenity while limiting the need for artificial light during the day.

Dwelling in or forming part of an apartment development

- A window in an external wall of the building is provided to all habitable rooms.
- Where daylight to a bedroom is provided from a smaller secondary area within the bedroom, the secondary area is to have:
 - A minimum width of 1.2 metres.
 - A maximum depth of 1.5 times the width, measured from the external surface of the window.
 - A window clear to the sky.

**Standard met****Standard not met**

55.03-10 Natural ventilation objectives

- To encourage natural ventilation of dwellings.
- To allow occupants to effectively manage natural ventilation of dwellings.

Standard B3-10**Dwelling (other than a dwelling in or forming part of an apartment development)**

- Dwellings have openable windows, doors or other ventilation devices in external walls of the building that provide:
 - A maximum breeze path through the dwelling of 18 metres.
 - A minimum breeze path through the dwelling of 5 metres.
 - Ventilation openings with approximately the same size.
- The breeze path is measured between the ventilation openings on different orientations of the dwelling.

Response

The proposed dwellings will have openable windows providing:

- *A maximum breeze path through the dwelling of 18 metres.*
- *A minimum breeze path through the dwelling of 5 metres.*
- *Ventilation openings with approximately the same size.*



Breeze path maximum of 14.2 metres

Dwelling in or forming part of an apartment development

- At least 40 per cent of dwellings have openable windows, doors or other ventilation devices in external walls of the building that provide:
 - A maximum breeze path through the dwelling of 18 metres.
 - A minimum breeze path through the dwelling of 5 metres.
 - Ventilation openings with approximately the same size.
- The breeze path is measured between the ventilation openings on different orientations of the dwelling.



Standard met



Standard not met

55.03-11 Storage objectives

- To provide adequate storage facilities for each dwelling.

Standard B3-11**Response**

Dwelling (other than a dwelling in or forming part of an apartment development)

- Each dwelling has exclusive access to at least 6 cubic metres of externally accessible storage space.

Dwelling in or forming part of an apartment development

- Each dwelling has exclusive access to storage at least the total minimum storage volume that is specified in Table B3-11.

This proposal presents over 18 cubic metres of storage space per dwelling, of which at least 12 cubic metres is within the dwelling.

At least 6 cubic metres of external storage space provided for the proposed dwellings within the proposed garages at rear.

Table B3-7.1 Bedroom dimensions

Dwelling type	Total minimum storage volume	Minimum storage volume within the dwelling
Studio	8 cubic metres	5 cubic metres
1 bedroom dwelling	10 cubic metres	6 cubic metres
2 bedroom dwelling	14 cubic metres	9 cubic metres
3 or more bedroom dwelling	18 cubic metres	12 cubic metres

- ☒ **Standard met**
☐ **Standard not met**

55.03-12 Accessibility for apartment developments objectives

- To ensure the design of dwellings meets the needs of people with limited mobility.

Standard B3-12

At least 50 per cent of dwellings in or forming part of an apartment development have:

- A clear opening width of at least 850mm at the entrance to the dwelling and main bedroom.
- A clear path with a minimum width of 1.2 metres that connects the dwelling entrance to the main bedroom, an adaptable bathroom and the living area.
- A main bedroom with access to an adaptable bathroom.
- At least one adaptable bathroom that meets all of the requirements of either Design A or Design B specified in Table B3-12.

Response

This application does not involve the construction or extension of:

- A dwelling that is not in, or does not form part of, an apartment development; or*
- A residential building.*

Table B3-12 Bathroom design

	Design option A	Design option B
Door opening	A clear 850mm wide door opening.	A clear 820mm wide door opening located opposite the shower.

Door design	Either: • A slide door; or • A door that opens outwards; or • A door that opens inwards that is clear of the circulation area and has readily removable hinges	Either: • A slide door; or • A door that opens outwards; or • A door that opens inwards and has readily removable hinges
Circulation area	A clear circulation area that is: • A minimum area of 1.2 metres by 1.2 metres. • Located in front of the shower and the toilet. • Clear of the toilet, basin and the door swing. The circulation area for the toilet and shower can overlap.	A clear circulation area that is: • A minimum width of 1 metre. • The full length of the bathroom and a minimum length of 2.7 metres. • Clear of the toilet and basin. The circulation area can include a shower area.
Path to circulation area	A clear path with a minimum width of 900mm from the door opening to the circulation area.	Not applicable.
Shower	A hobless (step-free) shower.	A hobless (step-free) shower that has a removable shower screen and is located on the furthest wall from the door opening.
Toilet	A toilet located in the corner of the room.	A toilet located closest to the door opening and clear of the circulation area.

- ☐ **Standard met**
☐ **Standard not met**
☒ **Note applicable**

55.04 EXTERNAL AMENITY

55.04-1 Daylight to existing windows objective

- To allow adequate daylight into existing habitable room windows.

Standard B4-1

Buildings opposite an existing habitable room window provide for a light court to the existing window that has a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky. The calculation of the area may include land on the abutting lot.

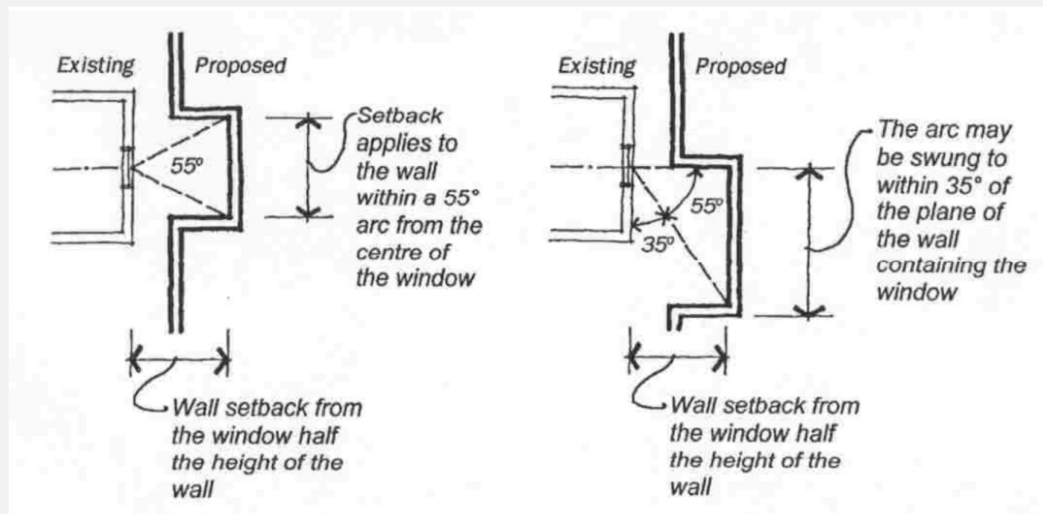
Walls or carports more than 3 metres in height opposite an existing habitable room window are set back from the window at least 50 per cent of the height of the new wall if the wall is within a 55 degree arc from the centre of the existing window. The arc may be swung to within 35 degrees of the plane of the wall containing the existing window.

Response

The proposed dwellings will not reduce the amount of natural daylight entering habitable room windows within neighbouring properties; sufficiently setback achieving well in excess of 3 square metres with a minimum dimension of 1 metre clear to the sky.

Where the existing window is above ground floor level, the wall height is measured from the floor level of the room containing the window.

Diagram B4-1 Daylight to existing windows



- ☒ **Standard met**
☐ **Standard not met**

55.04-2 Existing north-facing windows objective

- To allow adequate solar access to existing north-facing habitable room windows.

Standard B4-2

Where a north-facing habitable room window of a neighbouring dwelling or small second dwelling is within 3 metres of a boundary on an abutting lot:

- A new building is to be set back from the boundary by at least 1 metre, plus 0.6 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres. This setback is to be provided for a distance of at least 3 metres from the edge of each side of the window.
- For new buildings that meet the Standard B2-3.2 setback, the building is setback at least 6 metres up to a height not Exceeding 11 metres and at least 9 metres for a height over 11 metres between south 30 degrees west to south 30 degrees east. This setback is to be provided for a distance of at least 3

Response

There are no northern habitable room windows within 3m of the site's southern boundary.

metres from the edge of each side of the window.

For this standard a north-facing window is a window with an axis perpendicular to its surface oriented from north 20 degrees west to north 30 degrees east.

Diagram B4-2.1 North-facing windows

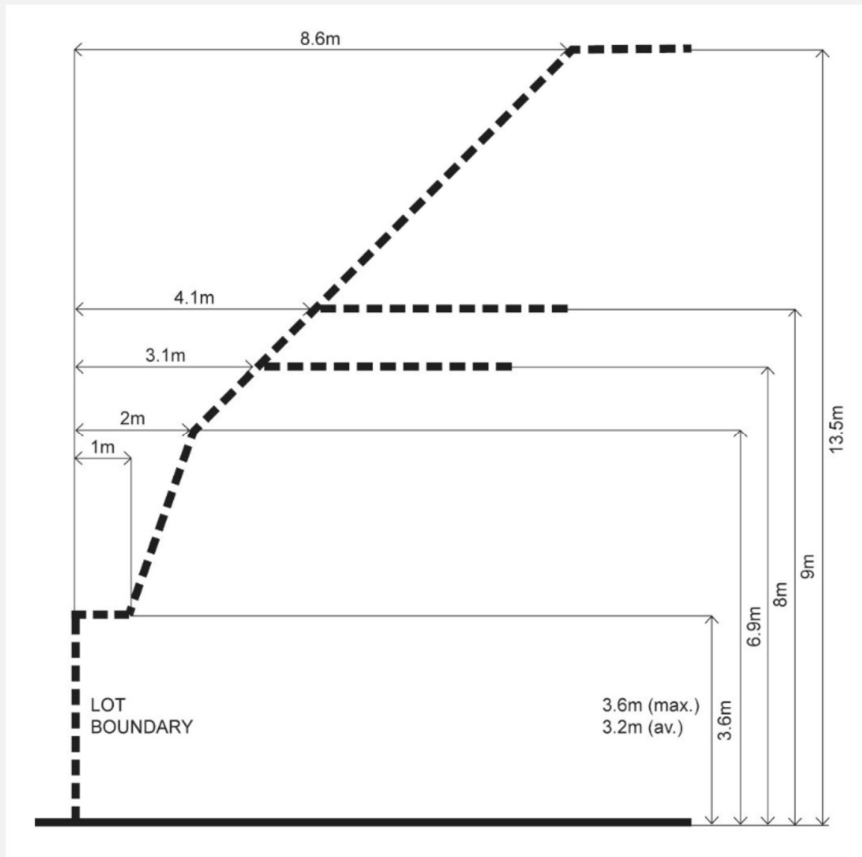
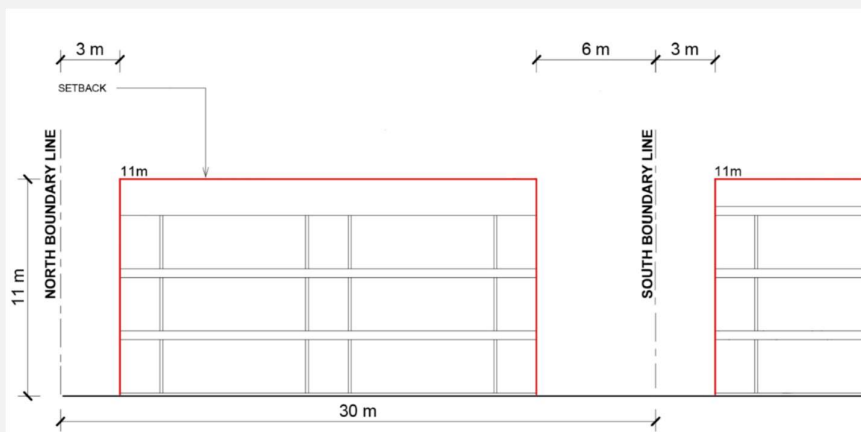


Diagram B4-2.2 North-facing windows



☒ **Standard met**
☐ **Standard not met**

55.04-3 Overshadowing secluded open space objective

- To ensure buildings do not significantly overshadow existing secluded private open space.

Standard B4-3

The area of secluded private open space that is not overshadowed by the new development is greater than:

- 50 per cent, or
- 25 square metres with a minimum dimension of 3 metres, whichever is the lesser area, for a minimum of five hours between 9 am and 3 pm on 22 September.

If existing sunlight to the secluded private open space of an existing dwelling or small second dwelling is less than the requirements of this standard, the amount of sunlight will not be further reduced.

Response

There is private open space within nine metres of the site and are situated to the rear of 73 Orton Street, 77 Orton Street and directly behind.

According to the shadow diagrams, this application will not reduce the amount of solar access adjoining SPOS are currently receiving.

☒ **Standard met**
☐ **Standard not met**

55.04-4 Overlooking objective

- To limit views into existing secluded private open space and habitable room windows.

Standard B4-4

In Clause 55.04-4 a habitable room does not include a bedroom.

A habitable room window, balcony, podium, terrace, deck or patio is located and designed to avoid direct views into the secluded private open space of an existing dwelling or small second dwelling within a horizontal distance of 9 metres (measured at ground level) of the window, balcony, terrace, deck or patio. Views are measured within a 45 degree angle from the plane of the window or perimeter of the balcony, terrace, deck or patio, and from a height of 1.7 metres above floor level.

A habitable room window, balcony, terrace, deck or patio that is located with a direct view into a habitable room window of an existing dwelling or small second dwelling within a horizontal distance of 9 metres (measured at

Response

Existing habitable room windows and private open space are within 9m of the proposal, however potential for overlooking is minimised as this proposal is single storey; providing reasonable protection against visual intrusion.

ground level) of the window, balcony, terrace, deck or patio:

- Is offset a minimum of 1.5 metres from the edge of one window to the edge of the other; or
- Has sill heights of at least 1.7 metres above floor level; or
- Has fixed, obscure glazing in any part of the window below 1.7 metre above floor level; or
- Has permanently fixed external screens to at least 1.7 metres above floor level and be no more than 25 per cent transparent; or
- Has fixed elements that prevent the direct view, such as horizontal ledges or vertical fins.

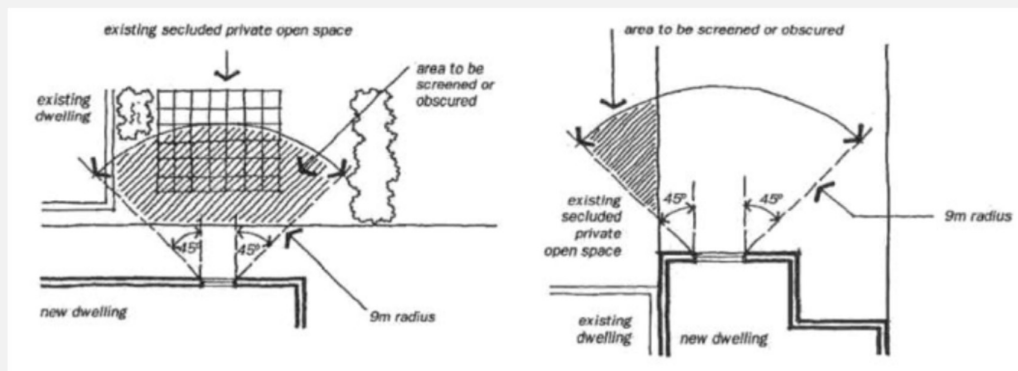
Obscure glazing in any part of the window below 1.7 metres above floor level may be openable provided that there are no direct views as specified in this standard.

Screens used to obscure a view are:

- Perforated panels or trellis with a maximum of 25 per cent openings or solid translucent panels.
- Permanent, fixed and durable.
- Designed and coloured to blend in with the development.

This standard does not apply to a new habitable room window, balcony, terrace, deck or patio which faces a property boundary where there is a visual barrier at least 1.8 metres high and the floor level of the habitable room, balcony, terrace, deck or patio is less than 0.8 metres above ground level at the boundary.

Diagram B4-4 Overlooking



- ☒ **Standard met**
☐ **Standard not met**

55.04-5 Internal views objective

- To limit views into the secluded private open space and habitable room windows of dwellings and residential buildings within a development.

Standard B4.5

In Clause 55.04-5 a habitable room does not include a bedroom.

Within the development, a habitable room window, balcony, terrace, deck or patio that is located with a direct view into the secluded private open space of another dwelling:

- Is offset a minimum of 1.5 metres from the edge of the secluded private open space; or
- Has a sill height of at least 1.7 metres above floor level; or
- Has a fixed, visually obscure balustrade to at least 1.7 metre above floor level; or
- Has permanently fixed external screens to at least 1.7 metres above floor level; or.
- Has fixed elements that prevent the direct view, such as horizontal ledges or vertical fins.

Direct views are measured at a height of 1.7 metres above floor level and within:

- A 45 degree horizontal angle from the edge of the new window or balcony.
- A 45 degree angle in the downward direction.

Screens provided for overlooking are no more than 25 per cent transparent. Screens may be openable provided that this does not allow direct views as specified in this standard.

Response

All windows within the proposal have been positioned such that direct observation into other habitable room windows within the site is not possible protecting the privacy of all residents.



Standard met



Standard not met

55.05 SUSTAINABILITY**55.05-1 Permeability and stormwater management objective**

- To reduce the impact of increased stormwater run-off on the drainage system and downstream waterways.
- To facilitate on-site stormwater infiltration.
- To encourage stormwater management that maximises the retention and reuse of stormwater.
- To contribute to urban cooling.

Standard B5-1

The site area covered by the pervious surfaces is at least 20 percent of the site.

The development includes a stormwater management system designed to:

- Meet the best practice quantitative performance objectives for stormwater quality specified in the Urban stormwater management guidance (EPA Publication 1739.1, 2021) of:
 - Suspended solids 80% reduction in mean annual load.
 - Total phosphorus and Total Nitrogen 45% reduction in mean annual load.
 - Litter 70% reduction of mean annual load.

Note:

A certificate generated from a stormwater assessment tool including Stormwater Treatment Objective - Relative Measurement (STORM), Model for Urban Stormwater Improvement Conceptualisation (MUSIC) or an equivalent product accepted by the responsible authority may be used to demonstrate the performance objectives for stormwater quality are met.

- Direct flows of stormwater into treatment areas, garden areas, tree pits and permeable surfaces, with drainage of residual flows to the legal point of discharge.

Response

Due to a site coverage of 56.83% there is sufficient remaining land to provide for more than 20% of the surface to be permeable promoting increased absorption of stormwater on the site. This application includes 32.89% permeability.

Water Sensitive Urban Design (WSUD) treatments in the form of rainwater tanks to each dwelling can be provided. The application includes site permeability of 32.89% which exceeds the minimum requirements under Standard 5-1 of Clause 55 (which requires 20%), supporting the opportunity for water to filtrate rather than run off into stormwater which will encourage water infiltration.



Standard met



Standard not met

55.05-2 Overshadowing domestic solar energy systems objective

- To ensure that the height and setback of a building from a boundary allows reasonable solar access to existing domestic solar energy systems on the roofs of buildings.

Standard B5-2

Any part of a new building that will reduce the sunlight at any time between 9am and 4 pm on 22 September to an existing domestic solar energy system on the roof of a building on an adjoining lot be set back from the boundary to that lot by at least 1 metre at 3.6

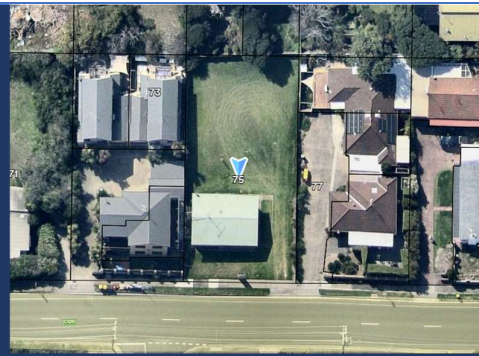
Response

There are no existing domestic solar energy systems on roofs of buildings within adjoining properties

metres above ground level, plus 0.3 metres for every metre of building height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres.

This standard applies to an existing building in a Township Zone, General Residential Zone or Neighbourhood Residential Zone.

In Clause 55.05-2 domestic solar energy system means a domestic solar energy system that existed at the date the application was lodged.



Nearmap dated 22 March 2026

- ☒ **Standard met**
☐ **Standard not met**

55.05-3 Rooftop solar energy generation area objectives

- To support the future installation of appropriately sited rooftop solar energy systems for a dwelling.

Standard B5-3

In Clause 55.05-3 rooftop solar energy area means an area provided on the roof of a dwelling to enable the future installation of a solar energy system.

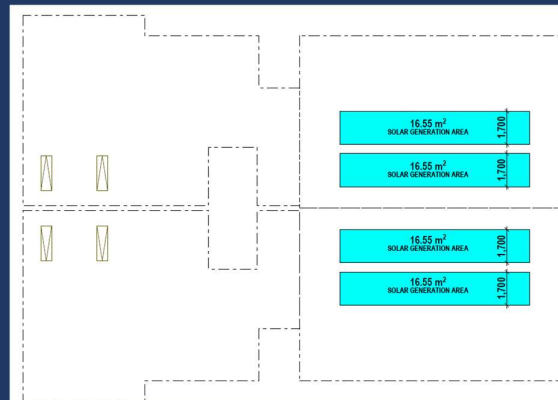
An area on the roof is capable of siting a rooftop solar energy area for each dwelling which:

- Has a minimum dimension of 1.7 metres.
- Has a minimum area in accordance with Table B5-3.
- Is oriented to the north, west or east.
- Is positioned on the top two thirds of a pitched roof.
- Can be a contiguous area or multiple smaller areas.
- Is free of obstructions on the roof of the dwelling within twice the height of each obstruction (H), measured horizontally (D) from the centre point of the base of the obstruction to the nearest point of the rooftop solar energy area.

Response

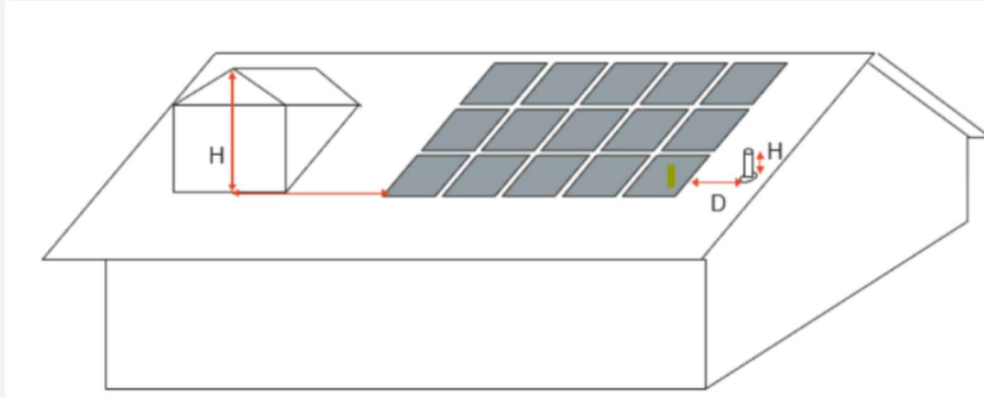
The design / layout of proposed roofing ensures capability of siting a rooftop solar energy:

- Has a minimum dimension of well more than 1.7 metres.*
- Has a minimum area of more than 34 square metres.*
- Is oriented to the north, west or east.*
- Is positioned on the top two thirds of a pitched roof.*
- Is free of obstructions on the roof of the dwelling*



Dwelling 1 – total 33.10 square metres SGA

Dwelling 2 – total 33.10 square metres SGA

Diagram B5-3 Allowable distance between obstructions and the rooftop solar energy area**Table B5-3 Minimum rooftop solar energy generation area**

Number of bedrooms	Minimum roof area
1 bedroom dwelling	15 square metres
2 or 3 bedroom dwelling	26 square metres
4 or more bedroom dwelling	34 square metres

☒ **Standard met**
☐ **Standard not met**

55.05-4 Solar protection to new north-facing windows objectives

- To encourage external shading of north facing windows to minimise summer heat gain.

Standard B5-4

North facing windows are shaded by eaves, fixed horizontal shading devices or fixed awnings with a minimum horizontal depth of 0.25 times the window height.

Response

All north facing windows are shaded by eaves with a minimum dimension greater than 0.25 times the window height

☒ **Standard met**
☐ **Standard not met**

55.05-5 Waste and recycling objectives

- To ensure dwellings are designed to facilitate waste recycling.

- To ensure that waste and recycling facilities are accessible and are of sufficient size to manage organic and general waste, and mixed and glass recycling.
- To ensure that waste and recycling facilities are designed and managed to minimise impacts on residential amenity.

Minimum area	Minimum depth	Minimum height
1.8 square metres	0.8 metre	1.8 metres
5.4 square metres	0.8 metre	1.8 metres
1 square metre per dwelling plus 4 square metres	0.8 metre	1.8 metres

Standard B5-5

Dwelling (other than a dwelling in or forming part of an apartment development)

- The development includes an individual bin storage area for each dwelling, or a shared bin storage area for use by each dwelling, of at least the applicable area, depth and height specified in Table B5-5.1.
- If the development includes a shared bin storage area:
 - The shared bin storage area:
 - Is located within 40 metres of a kerbside collection point.
 - Includes a tap for bin washing.
 - There is a continuous path of travel free of steps and obstructions from dwellings to the bin storage area.
- Where access is provided for private bin collection on the land the design of access ways must allow the vehicle to enter and exit in a forward direction.
- Each dwelling includes an internal waste and recycling storage space of at least 0.07 cubic metres with a minimum depth of 250 millimetres.

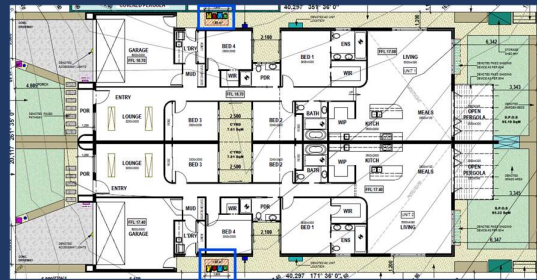
Dwelling in or forming part of an apartment development

- The development includes a shared bin storage area for use by each dwelling of at least the applicable area, depth and height specified in Table B5-5.2.
- Enclosed bin storage areas are ventilated by:
 - Natural ventilation openings to the external air with an area of at least 5 per cent of the area for bin storage area; or
 - A mechanical exhaust ventilation system.

Response

Bin enclosures are to be stored away from street view and conveniently located to the rear/side via the garage and taken out on garbage collection days.

A minimum area of 1.8 square metres has been provided to each dwelling with a minimum depth and height of 0.8 metres and 1.8 metre, respectively.



- A tap and drain is provided to wash bins.
- A continuous path of travel is provided from each dwelling to bin storage areas.
- Each dwelling includes an internal waste and recycling storage space of at least 0.07 cubic metres with a minimum depth of 250 millimetres.

Table B5-5.1 Bin storage

Type of bin storage area	Minimum area	Minimum depth	Minimum height
Individual bin storage area for a dwelling	1.8 square metres	0.8 metre	1.8 metres
Shared bin storage area for 3 dwellings or less	5.4 square metres	0.8 metre	1.8 metres
Shared bin storage area for 4 or more dwellings	1 square metre per dwelling plus 4 square metres	0.8 metre	1.8 metres

Table B5-5.2 Apartment bin storage

Type of bin storage area	Minimum area	Minimum depth	Minimum height
15 or less dwellings	0.7 square metres per dwelling in a shared waste storage area	0.8 metre	2.7 metres
16 to 55 dwellings	0.5 square metres per dwelling, plus 5 square metres in a shared waste storage area.	1 metre	2.7 metres
56 or more dwellings	0.5 square metres per dwelling in a shared waste storage area.	1 metre	2.7 metres

- ☒ **Standard met**
☐ **Standard not met**

55.05-6 Noise impacts objectives

- To minimise the impact of mechanical plant noise located in the development.

Standard B5-6

Mechanical plant, including mechanical car storage and lift facilities are not located immediately adjacent to bedrooms of new or existing dwellings or small second dwellings, unless a solid barrier is in place to provide a line of sight barrier to transmission of noise and the location of all relevant bedrooms.

Response

The only major identifiable noise source within the surrounding area is traffic along Orton Street. All bedrooms and private open space areas are well setback.

- ☒ **Standard met**
☐ **Standard not met**

55.05-7 Energy efficiency for apartment developments objectives

- To achieve energy efficient dwellings and buildings.
- To ensure dwellings achieve adequate thermal efficiency.

Standard B5-7

Dwellings in or forming part of an apartment development located in a climate zone identified in Table B5-7 do not exceed the maximum NatHERS annual cooling load.

Response

This application does not involve the construction or extension of:

- *A dwelling that is not in, or does not form part of, an apartment development; or*
- *A residential building.*

Table B5-5.7 NatHERS Climate

NatHERS climate zone	NatHERS maximum cooling load MJ/M2 per annum
Climate zone 21 Melbourne	30
Climate zone 22 East Sale	22
Climate zone 27 Mildura	69
Climate zone 60 Tullamarine	22
Climate zone 62 Moorabbin	21
Climate zone 63 Warrnambool	21
Climate zone 64 Cape Otway	19
Climate zone 66 Ballarat	23

Note:

Refer to NatHERS zone map, Nationwide House Energy Rating Scheme (Commonwealth Department of Environment and Energy).

- ☐ **Standard met**
☐ **Standard not met**
☒ **Note applicable**

Conclusion

This proposal presents two new dwellings at 75 Orton Street Ocean Grove which strikes a balance between improving living standards while protecting the original character of our neighbourhoods. It reflects a high standard of design and has been reached through careful consideration of adjoining properties.

The proposed development meets the objectives and Standards as set out in Clause 55 of the Scheme, Clause 52.06 and clause 52.13 pertaining to car parking and Stormwater Management in Urban Development, respectively.



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