

AFFL	ABOVE FINISHED FLOOR LEVEL
CLR	CLEAR
COL	COLUMN
C.O.S	CONFIRM ON SITE
CL	CL ON CENTER
DEMO	DEMOLISHED
DN	DOWN
EA	EACH
EQ	EQUAL
EX	EXISTING
FFL	FINISHED FLOOR LEVEL
FIN	FINISHED
FULL	FULL HEIGHT
LL	LANDLORD
MIR	MIRROR OR MIRRORED
N/A	NOT APPLICABLE
N.T.S.	NOT TO SCALE
PB	PLASTERBOARD
PM	PROJECT MANAGER
SF	SHOPFITTER
SS	STAINLESS STEEL
STD	STANDARD
WC	WATER CLOSETS

THE HUB FYANSFORD - Tenancy 9
235 - 265 Hamilton Highway Fyansford

DAY	11						
MONTH	06						
YEAR	26						
PURPOSE OF ISSUE	T						
ISSUED BY	GS						

FS=FEASIBILITY P=PRELIM LL=LANDLORD REVIEW T=TENDER ISSUE C=CONSTRUCTION ISSUE AS=AS BUILT

[illegible]

ISSUE -
TENDER ISSUE



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THE HUB FYANSFORD - Tenancy 9
235 - 265 Hamilton Highway Fyansford

Scale :	at A1	
Date :	11.06.2026	
Planner :	GS	
Designer :	GS	
Store No :	0	
Sheet No :	A001	Revision
		-

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PRELIMINARY TENDER ISSUE

REV.	DATE	BY	DESCRIPTION
-	11.06.2026	GS	PRELIMINARY TENDER ISSUE

LEGEND: SITE PLAN

- CP1 INDICATES EXTENT OF CONCRETE VEHICULAR PAVEMENT TO CIVIL ENGINEERS DETAILS. CONFIRM EXTENT ON SITE.
- CP3 INDICATES EXTENT OF FEATURE VEHICULAR PAVEMENT TO CIVIL ENGINEERS DETAILS. CONFIRM EXTENT ON SITE.
- CP2 INDICATES CONCRETE PAVEMENT WITH RULED LINES TO PEDESTRIAN WALKWAYS TO CIVIL ENGINEERS DETAILS. CONFIRM EXT ON SITE.
- INDICATES EXTENT OF CONCRETE VEHICULAR CROSSOVER IN ACCORDANCE WITH LOCAL COUNCIL REQUIREMENTS
- INDICATES AREA OF LANDSCAPING REFER TO LANDSCAPE ARCHITECT FOR LANDSCAPING LAYOUT & DETAILS.
- INDICATES AREA OF PROPOSED RAIN GARDEN FOR DETAILS REFER TO CIVIL ENG'S DRAWINGS.
- LM INDICATES LINE MARKING TO LOADING ZONES. (300mm WIDE)
- PROVIDE KERB RAMP & TACTILE INDICATORS WHERE REQUIRED TO COMPLY WITH AS-1428 FOR DISABLED ACCESS. REFER TO TYPICAL DETAILS.
- FH FIRE HYDRANT TO COMPLY WITH AS-2411 AND AS-2418 - REFER TO CONSULTANTS DRAWINGS FOR LOCATIONS, DETAILS & SPECIFICATIONS. NOTE: EXTERNAL HYDRANTS SHALL BE ACCESSIBLE AND PROVIDED WITH CLEARANCES IN ACCORDANCE WITH AS-2418.1 AND LOCATED WHERE THEY ARE NOT OBSTRUCTED BY PARKING OR LOADING AND UNLOADING OF VEHICLES AND ARE PROTECTED FROM DAMAGE WHERE NECESSARY.
- MSB MAIN ELECTRICAL SWITCHBOARD TO ENG'S DOCUMENTATION
- FLXXXX FINISHED FLOOR LEVEL INDICATION
- Bx PROTECTIVE BOLLARD TYPE AS SCHEDULED
- COL COLUMN TO STRUCTURAL ENGINEERS DETAILS
- DP DOWNPIPE - REFER TO ROOF PLAN
- DRIP GALVANISED MILD STEEL DOWNPIPE PROTECTOR
- FN1 FENCE TYPE 1 - 1800MM HIGH BLACK PAINTED STEEL DIPLOMAT / PALISADE FENCING
- FN2 FENCE TYPE 2 - 1800MM HIGH CHAIN MESH FENCE WITH 3 ROWS BARBED WIRE OVER TO 2100MM HIGH
- FNEX 2000MM HIGH EXISTING STEEL PICKET FENCING TO REMAIN
- TT TACTILE INDICATORS TO AS-1428
- WM WATER METER (TENANCY) TO ENGINEERS DETAILS
- WS WHEELSTOP TO CARPSPACE TO AS-1290.1
- TITLE BOUNDARY
- TG TRENCH GRATE - REFER TO CIVIL ENGINEERS DETAILS
- STORMWATER DRAINAGE PIT. INDICATIVE - REFER TO CIVIL ENGINEERS DETAILS

WAREHOUSE AREAS

UNIT	USE	AREA (m2)
1	WAREHOUSE	226
1	MEZZANINE	146
2	WAREHOUSE	139
2	MEZZANINE	42
3	WAREHOUSE	140
3	MEZZANINE	42
4	WAREHOUSE	124
4	MEZZANINE	38
5	WAREHOUSE	125
5	MEZZANINE	38
6	WAREHOUSE	111
7	WAREHOUSE	111
8	WAREHOUSE	204
9	WAREHOUSE	202
10	WAREHOUSE	109
11	WAREHOUSE	109
12	WAREHOUSE	122
13	WAREHOUSE	138
14	WAREHOUSE	156
15	WAREHOUSE	202
16	WAREHOUSE	204
17	WAREHOUSE	115
18	WAREHOUSE	140
19	MEZZANINE	47
19	WAREHOUSE	176
19	MEZZANINE	69
20	WAREHOUSE	139
20	MEZZANINE	42
21	WAREHOUSE	139
21	MEZZANINE	42
22	WAREHOUSE	226
22	MEZZANINE	146
23	OFFICE FIRST FLOOR	287
23	OFFICE GF LOBBY / SHARED AMENITIES	61
23A	OFFICE GROUND FLOOR	116
23B	CAFE	123
24	WAREHOUSE	146
24	MEZZANINE	147
25	WAREHOUSE	146
26	WAREHOUSE	146
27	WAREHOUSE	146
28	WAREHOUSE	118
29	WAREHOUSE	118
30	WAREHOUSE	118
31	WAREHOUSE	118
TOTAL		5799

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nded.

THIRD PLACE GOLF

THE HUB FYANSFORD - Tenancy 9
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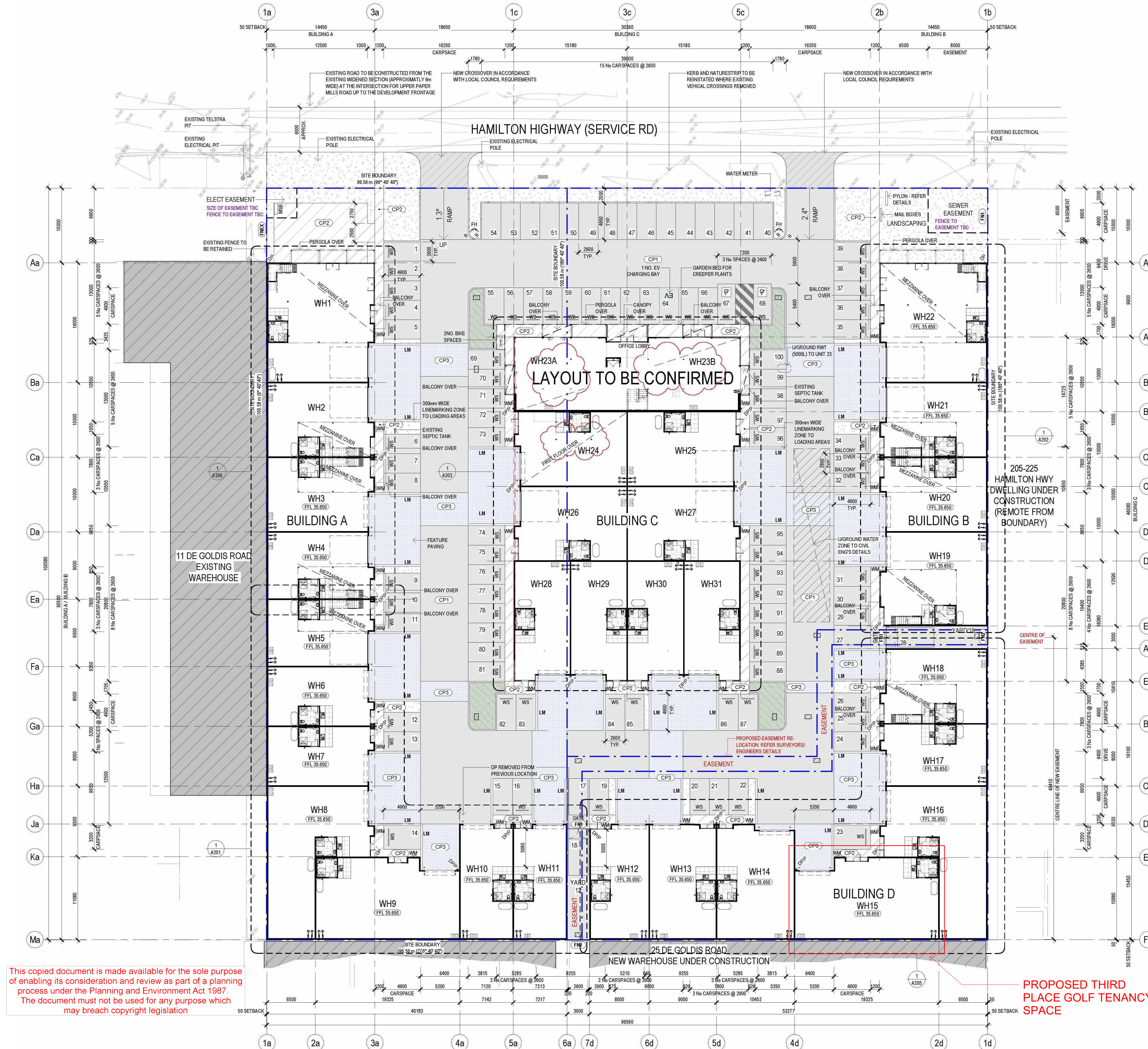
SITE PLAN

Scale :	1 : 300 at A1
Date :	02.06.2026
Planner :	GS
Designer :	GS

Sheet No :	Revision
A102	-

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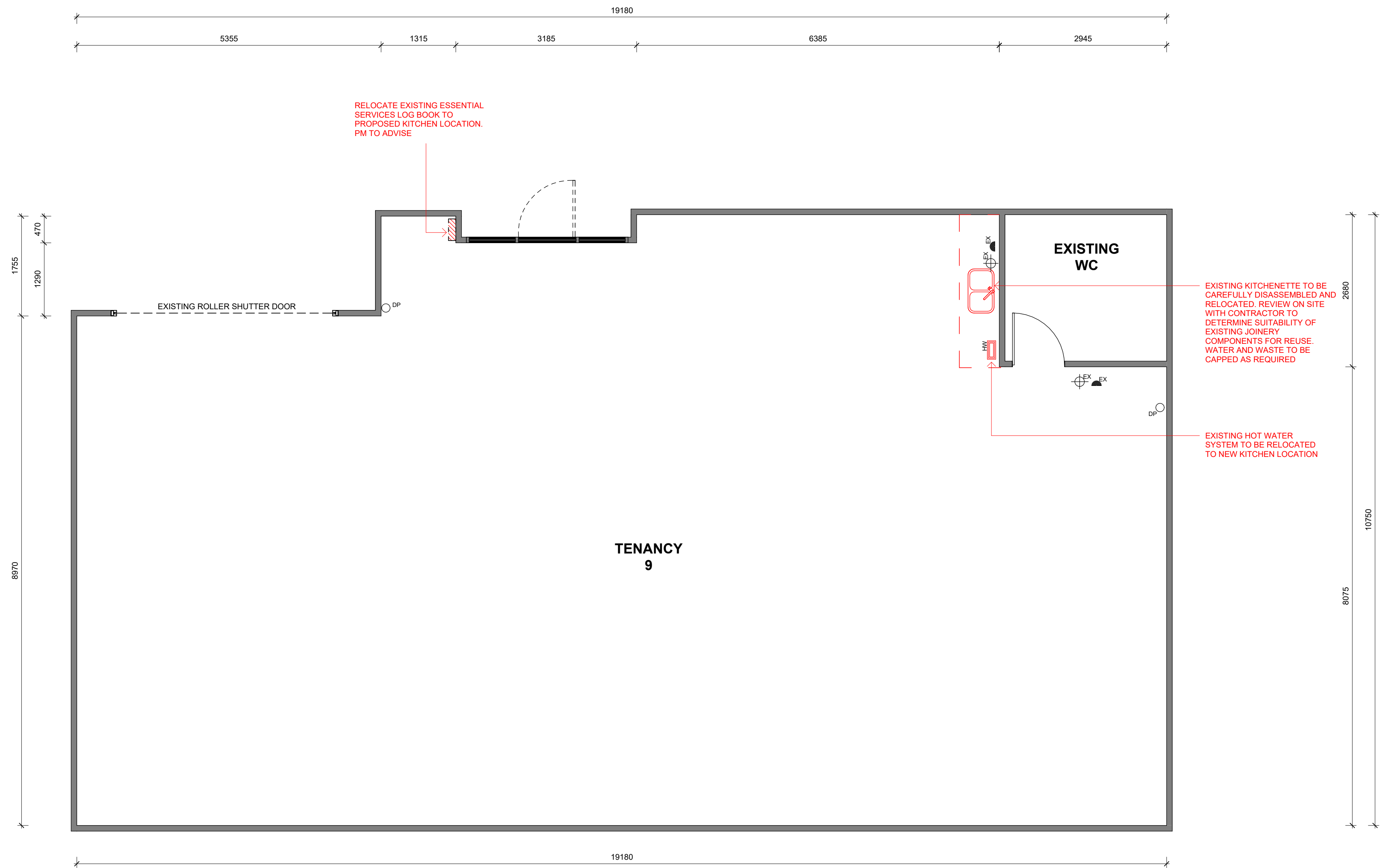


1 EXISTING SITE PLAN

1 : 300

PRELIMINARY TENDER ISSUE

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1 EXISTING/DEMOLITION PLAN

1 : 50

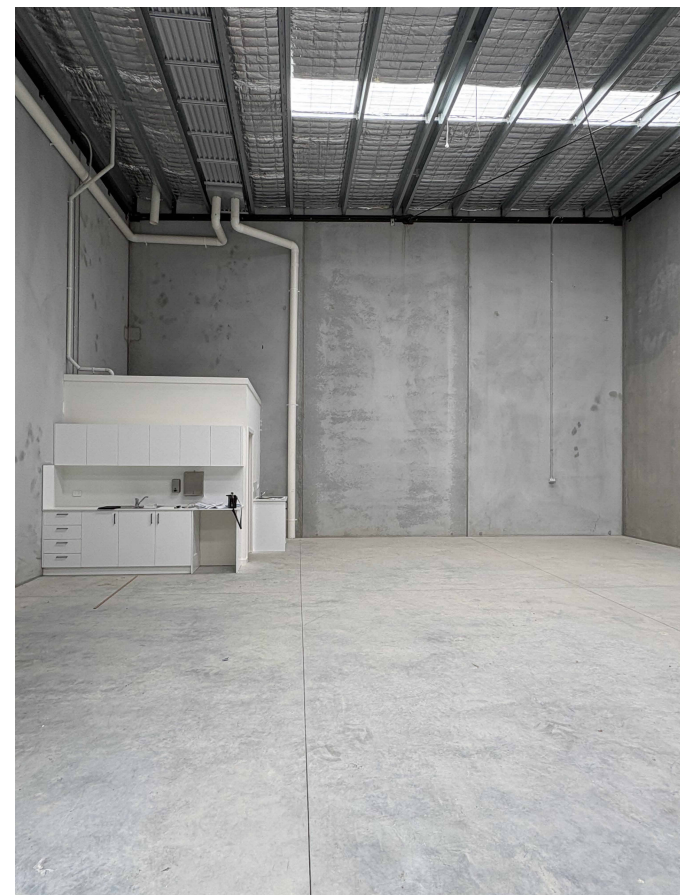
SERVICE LEGEND

- E1 FIRE EXTINGUISHER IN ACCORDANCE WITH LOCAL REGULATIONS
- DP DOWNPIPE
- WP(EX) EXISTING WASTE POINT
- WP PROPOSED WASTE POINT
- CW(EX) EXISTING COLD WATER POINT
- CW PROPOSED COLD WATER POINT
- HW HOT WATER SYSTEM
- EXISTING SWITCHBOARD, REFER TO WD FOR LOCATION AND NOTES
- PROPOSED SWITCHBOARD, REFER TO WD FOR LOCATION AND NOTES
- FHR FIRE HOSE REEL

DEMOLITION LEGEND

- DENOTES WALLS AND WINDOWS TO BE DEMOLISHED
 - EXISTING WALLS
 - DENOTES CEILING/FLOORING COVERINGS TO BE DEMOLISHED
- NOTE: EXISTING FLOOR AND CEILING TO BE MADE GOOD FOR NEW FINISHES

EXISTING CONDITIONS PHOTOS



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EXISTING/DEMOLITION PLAN

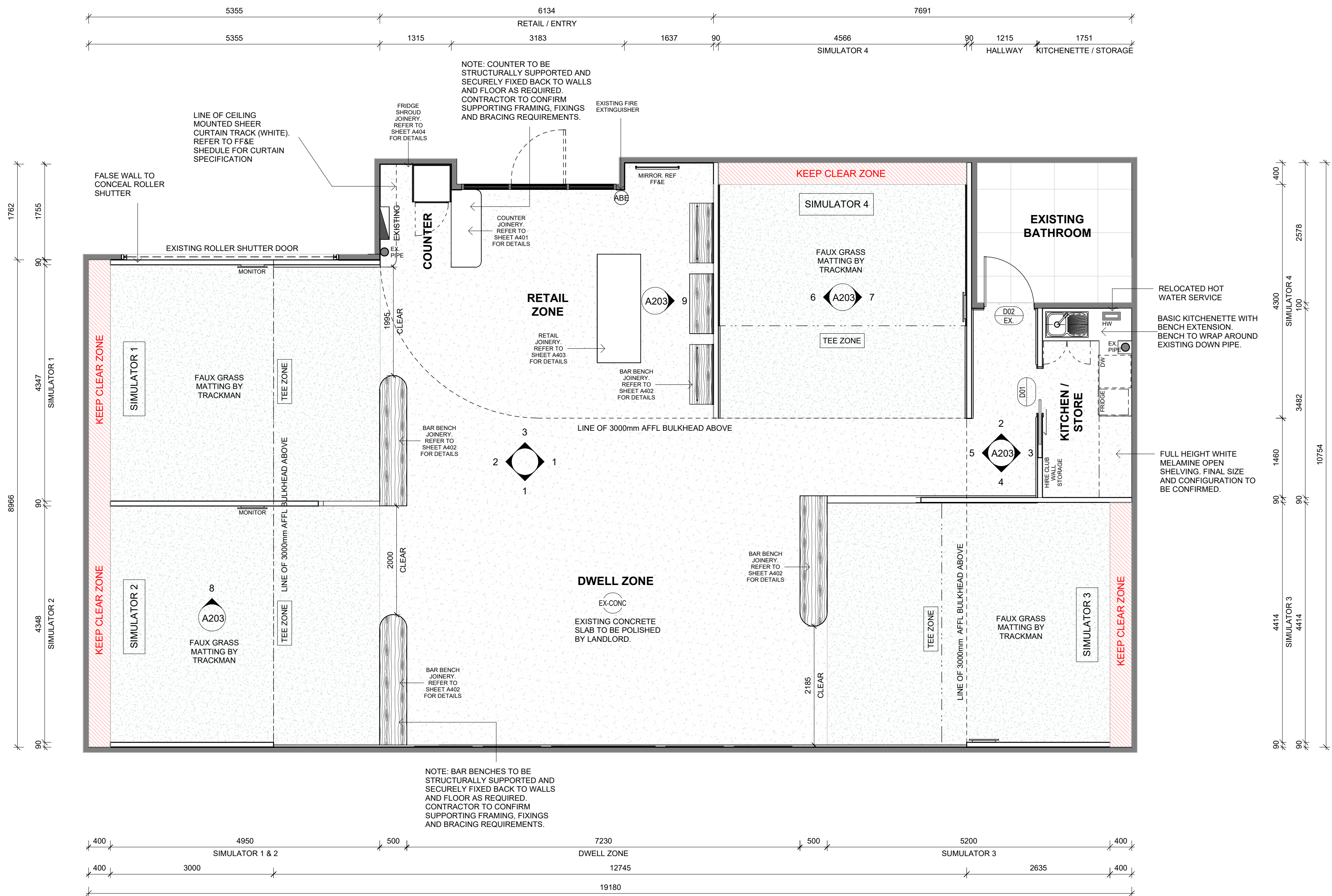
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A103	-

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1 FLOOR & FINISHES PLAN 1 : 50

NOTES:

- REFER TO ELEVATIONS FOR WALL FINISHES, FEATURE TREATMENTS AND SETOUT.

- SIMULATORS 1-4 TO BE SUPPLIED AND INSTALLED BY TRACKMAN/UGOLF UNDER SEPARATE CONTRACT. WORKS EXCLUDED FROM BUILDER'S SCOPE. CONTRACTORS TO LIAISE ON SCOPE PRIOR TO COMMENCEMENT.

- EXISTING CONCRETE SLAB TO BE POLISHED. BY LANDLORD.

DOOR SCHEDULE

NO.	DETAIL CODE	QTY	DESCRIPTION
D01		1	NEW CAVITY SLIDER DOOR TO BE PAINTED TO MATCH SURROUNDING WALL PA-01a. DOOR TO BE LOCKABLE.
D02	EX.	1	EXISTING DOOR TO BE PAINTED TO MATCH PA-01a.

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FLOOR & FINISHES PLAN

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