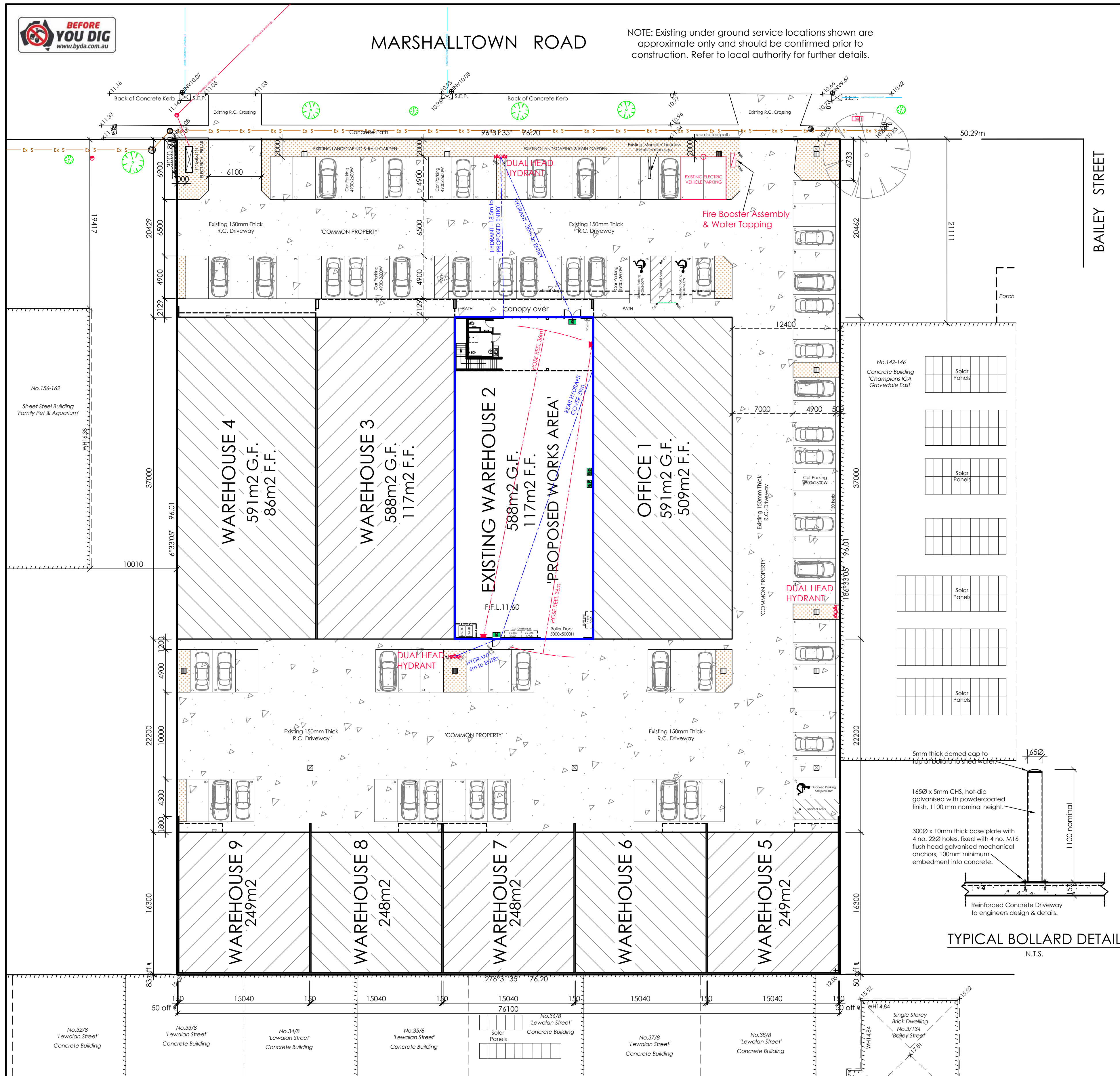
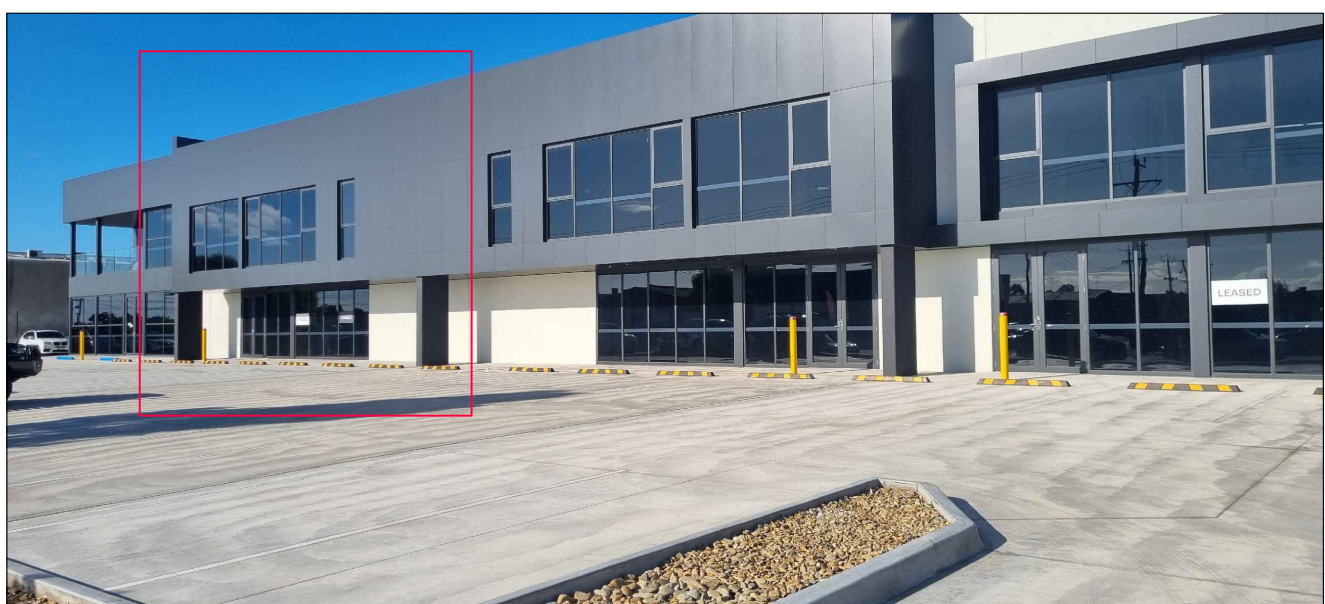




SITE ANALYSIS

TOTAL SITE AREA	= 7,316 m ²
TOTAL GROUND FLOOR AREA	= 3,600 m ²
TOTAL FIRST FLOOR AREA	= 1,004 m ²
TOTAL FLOOR AREA	= 4,604 m ²
49 % COVERAGE OF SITE	
WAREHOUSE 2 GROUND FLOOR AREA	= 588 m ²
WAREHOUSE 2 FIRST FLOOR AREA	= 117 m ²
WAREHOUSE 2 TOTAL FLOOR AREA	= 705 m ²

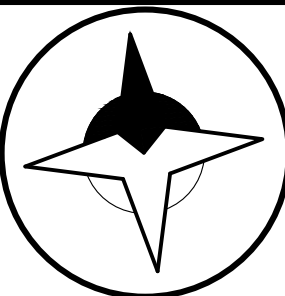


NOTE: Existing Site Photos - Proposed Works Area shown in RED

TYPICAL BOLLARD DETAIL

N.T.S.

PROPOSED RESTRICTED RECREATION (GYM) FIT OUT
UNIT 2 / 148 MARSHALLTOWN RD, GROVEDALE
BMI CONSTRUCTIONS P/L



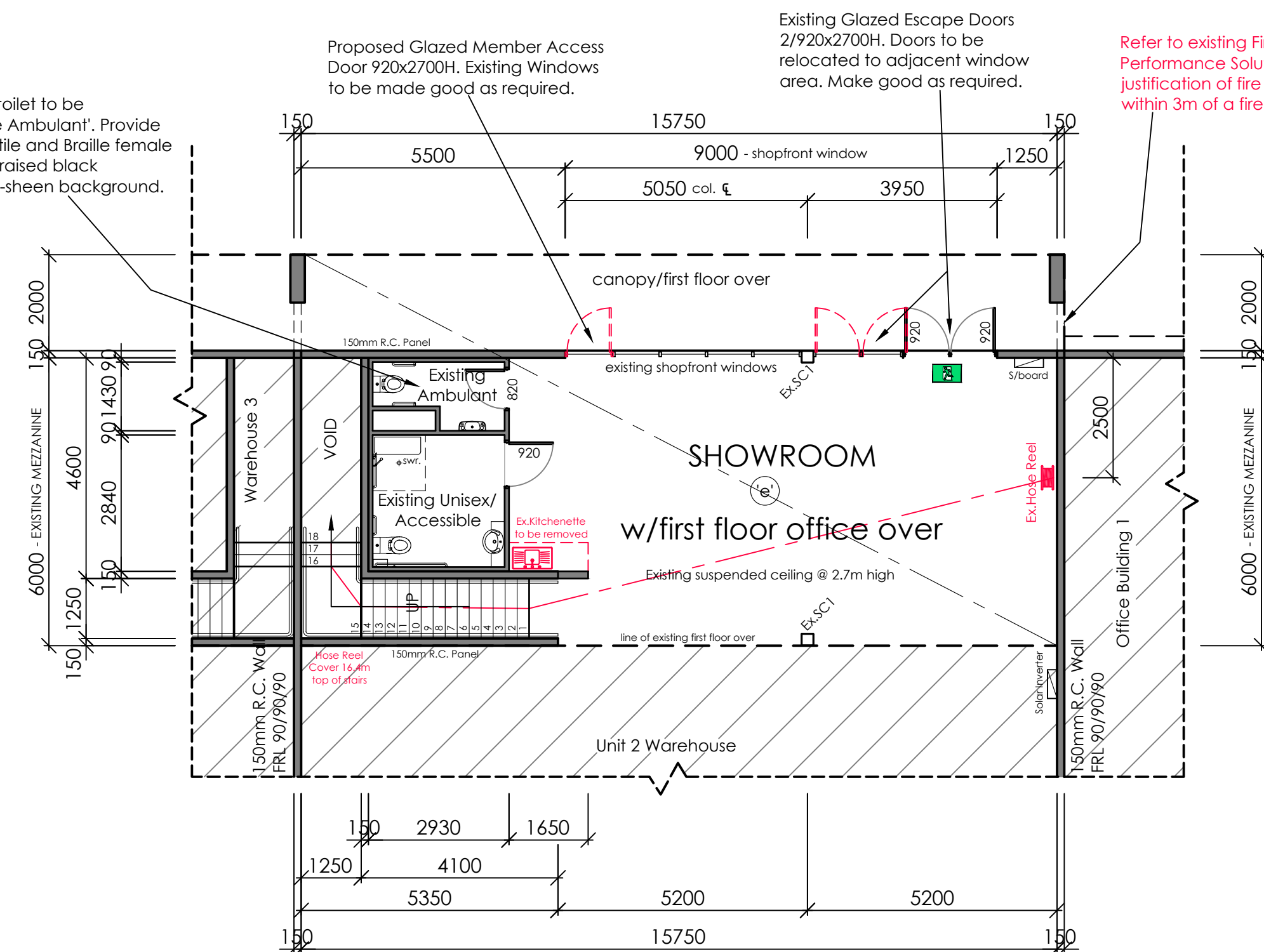
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EXISTING SITE PLAN

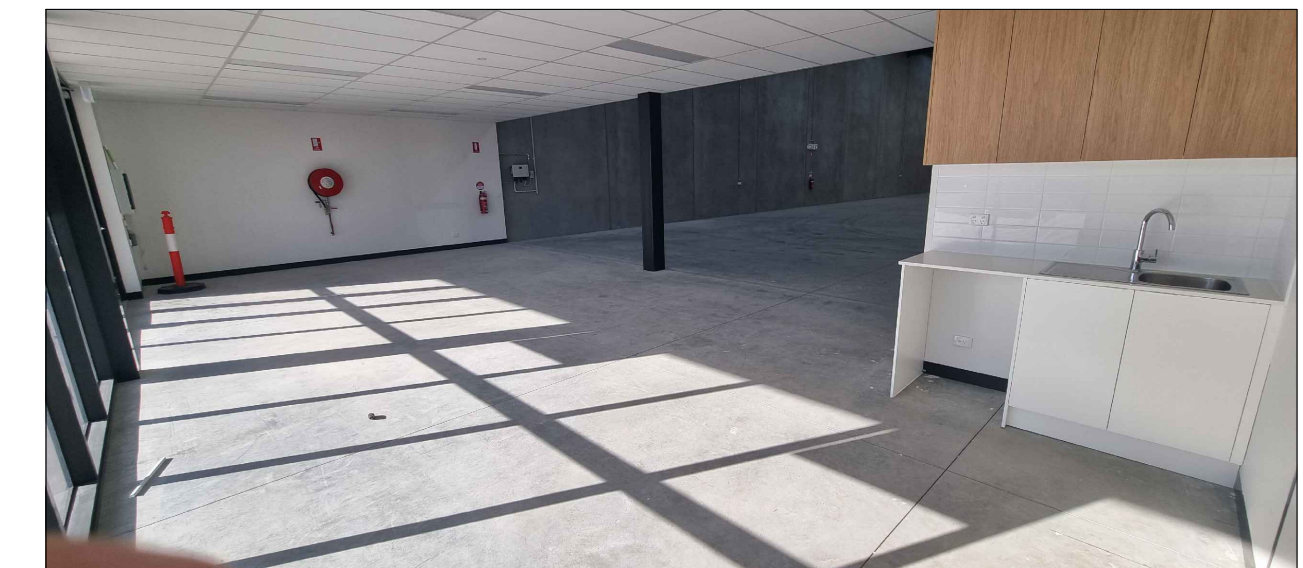
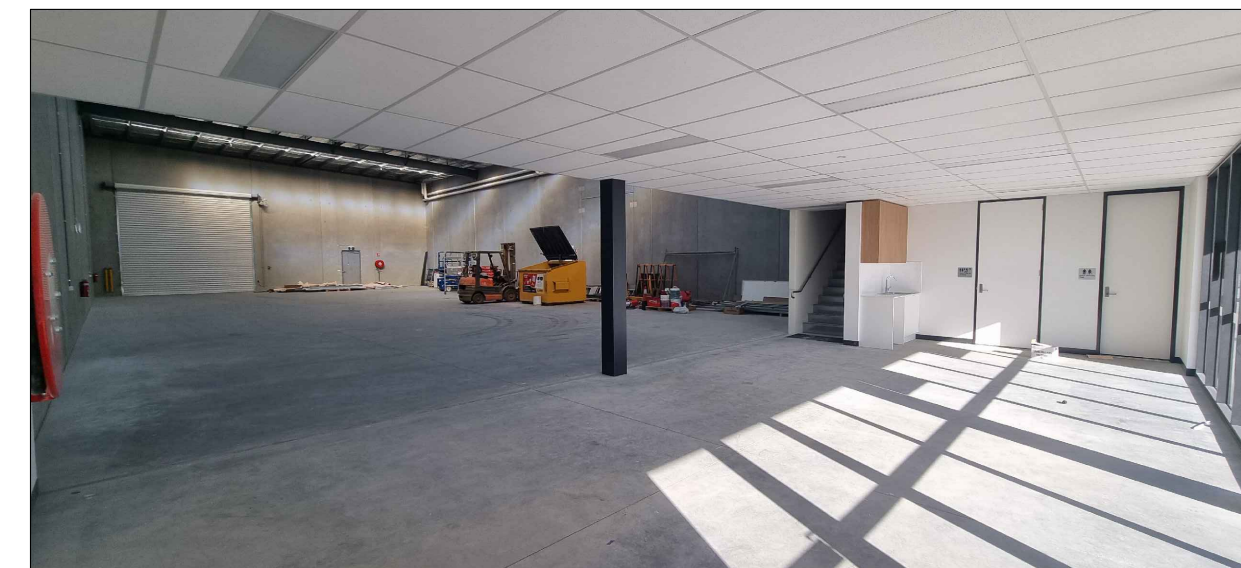
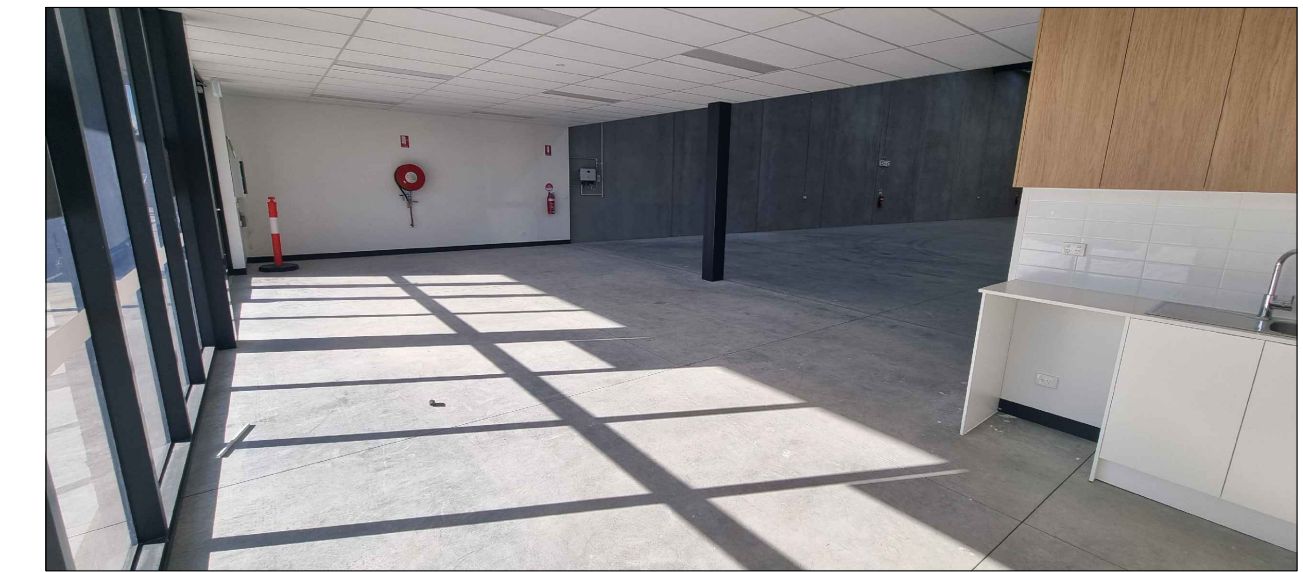
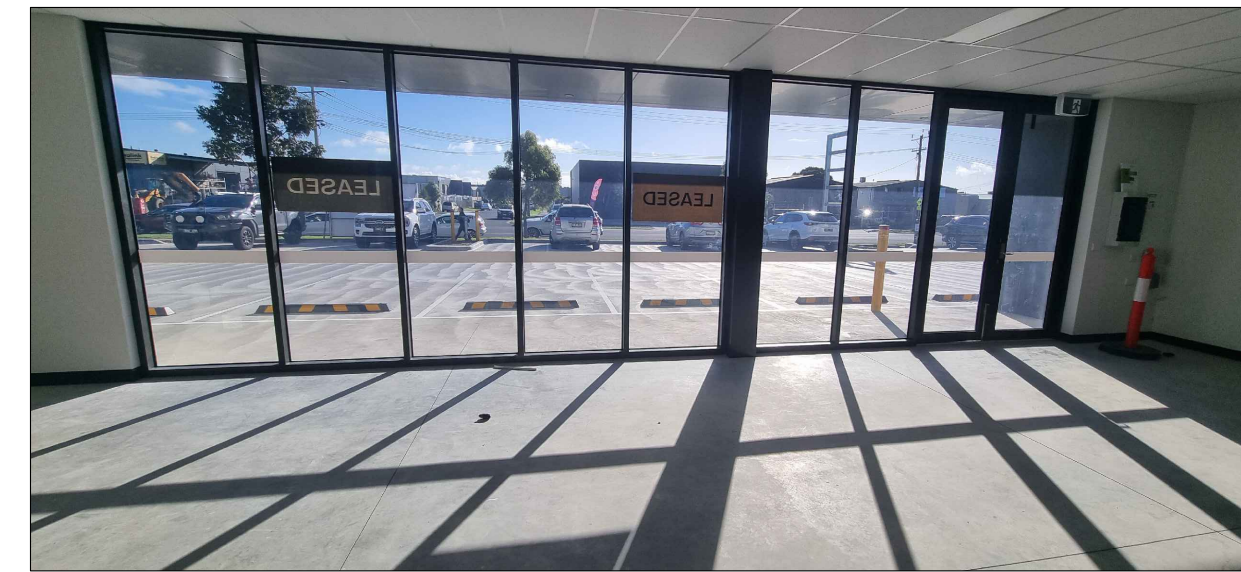
revision Rev A: Markups for Part J energy report (notations) and Fire Engineering Performance Solution amendments (Smokeproof wall detail added and notation updates).		drawing number WD1	
designed/drawn J.W.H.	date 10/07/2026	scale 1:250 @ A1	job number J26022

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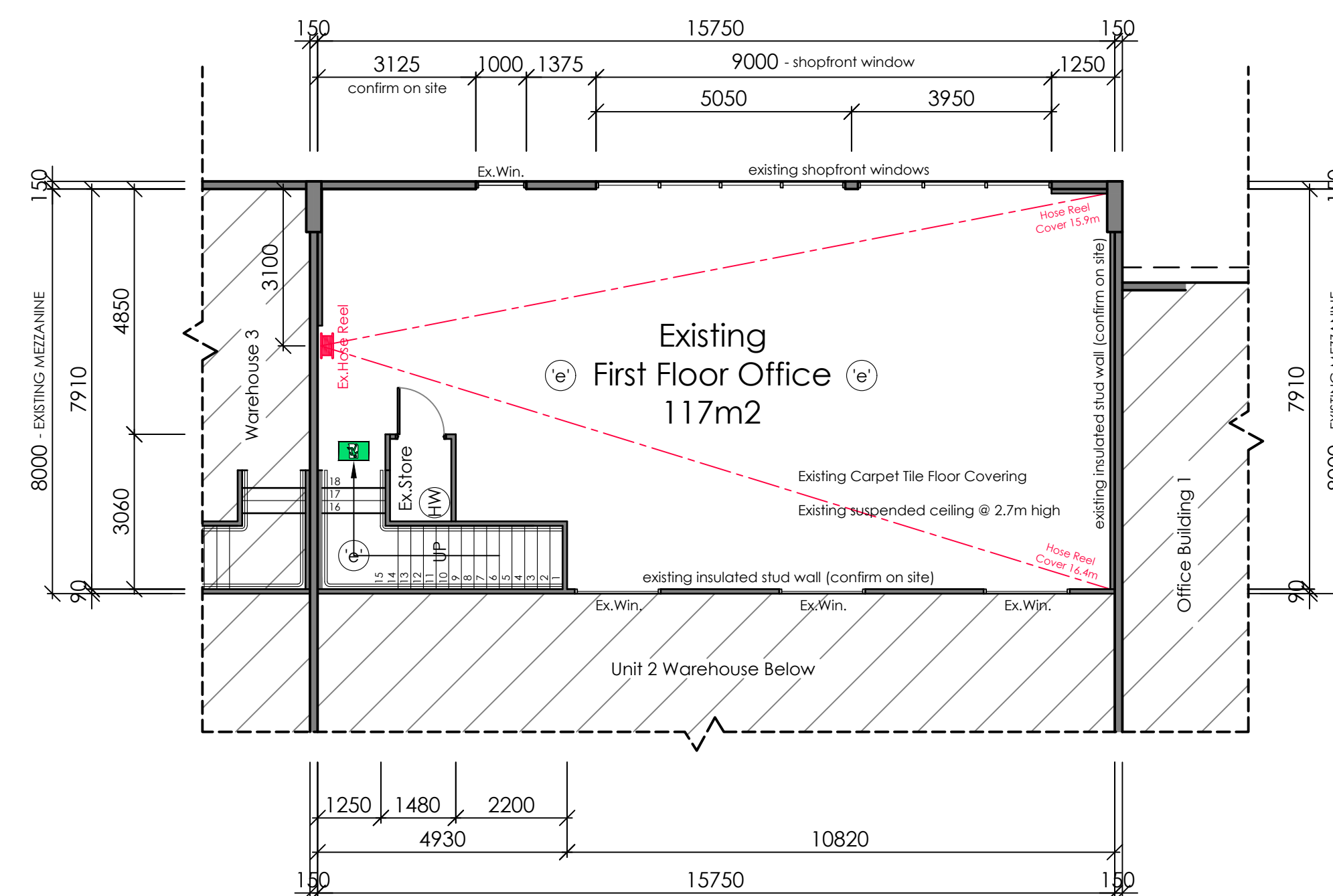
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<u>designed/drawn</u> J.W.H.	<u>date</u> 10/07/2026	<u>scale</u> 1:100 @ A1	<u>job number</u> J26022



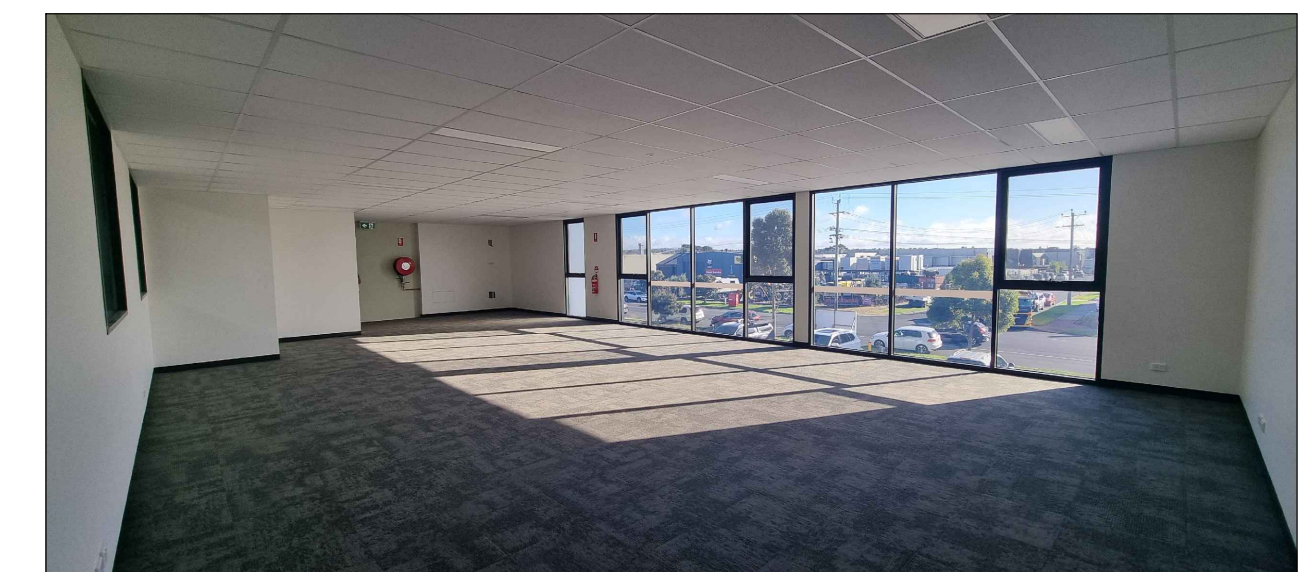
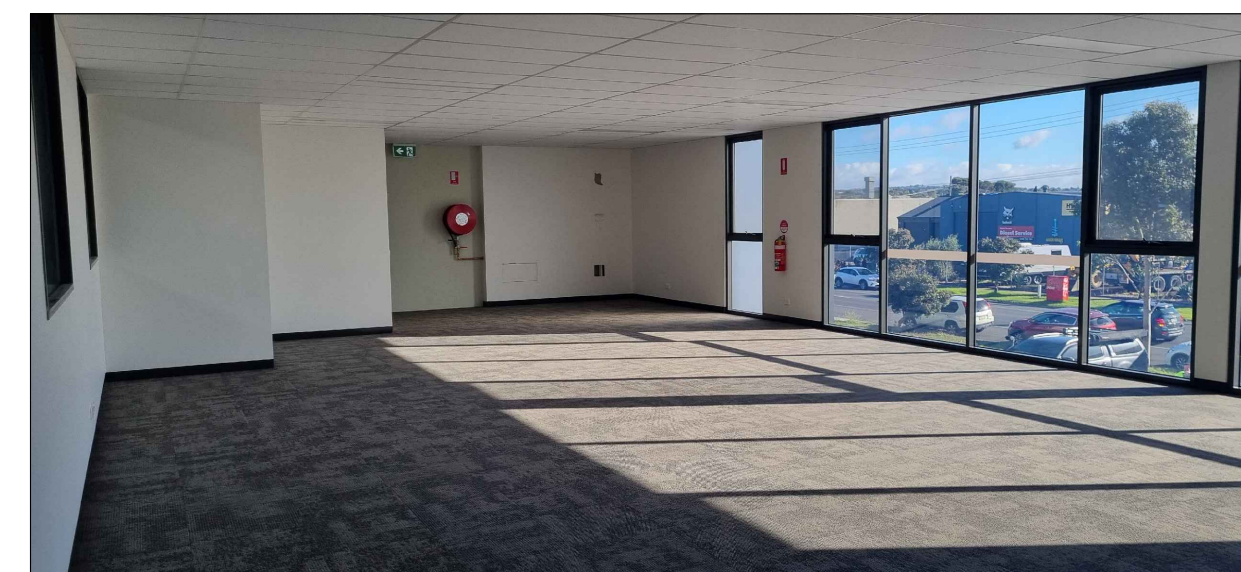
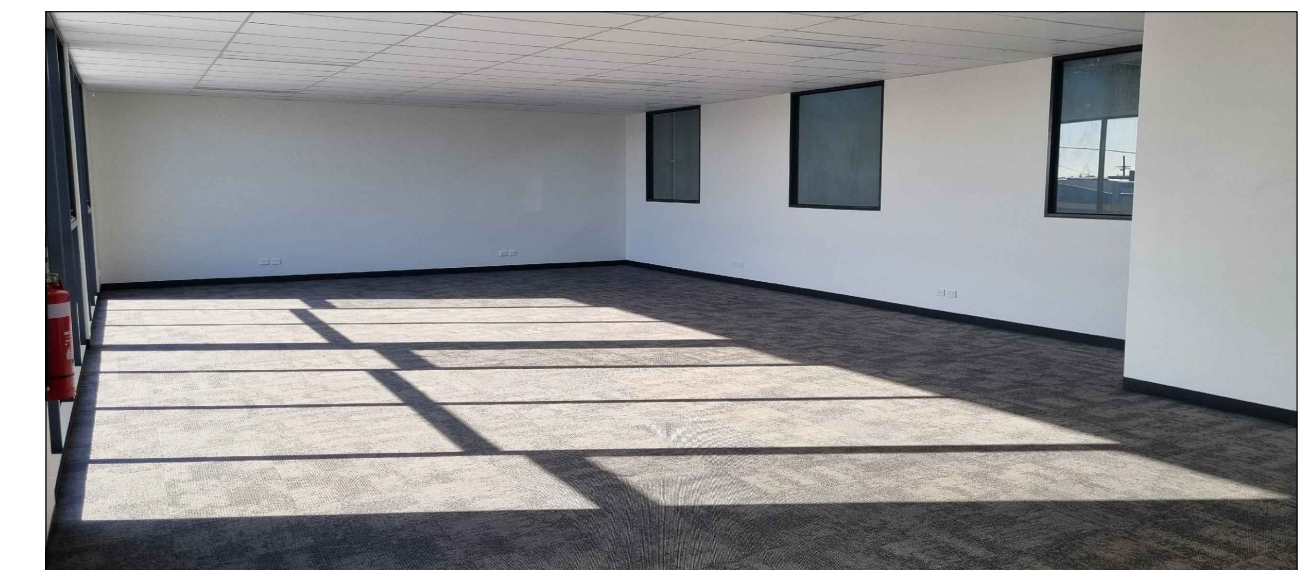
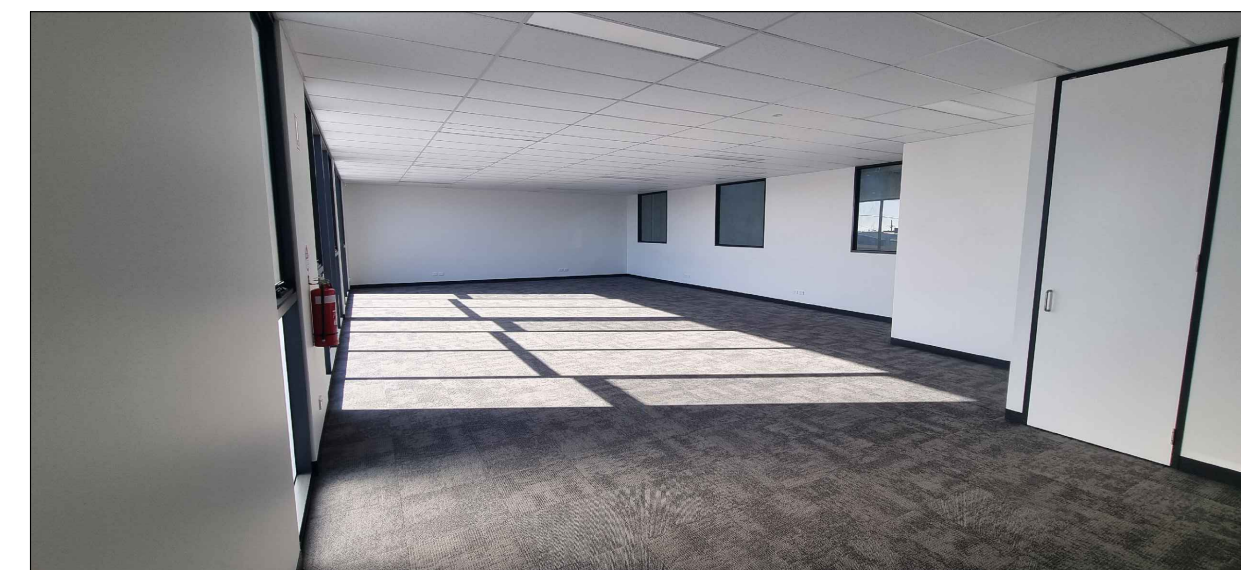
EXISTING GROUND FLOOR PLAN



NOTE: Existing Ground Floor Photos



EXISTING FIRST FLOOR PLAN



NOTE: Existing First Floor Photos

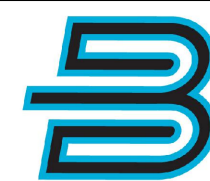
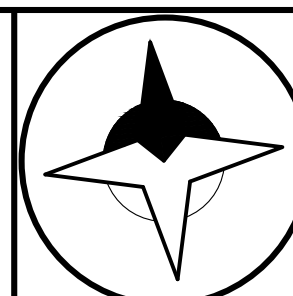
Wall Legend

Existing Walls:

Proposed Walls: 

Walls/Elements
to be removed:

PROPOSED RESTRICTED RECREATION (GYM) FIT OUT
UNIT 2 / 148 MARSHALLTOWN RD, GROVEDALE
BMI CONSTRUCTIONS P/L



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EXISTING OFFICE PLANS

revision	drawn
Rev A: Markups for Part-J energy report (notations) and Fire Engineering Performance Solution amendments (Smokeproof wall detail added and notation updates).	

drawing number

WD3

designed/drawn	date	scale	job number
J.W.H.	10/07/2026	1:100 @ A1	J26022

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GENERAL NOTES:

Toilets, amenities, offices and enclosed rooms to be naturally or mechanically ventilated to outside air as required by NCC 2025 Volume One Part F6, AS 1668.2-2024 and AS/NZS 3666.1-2011. Compliance certificate from contractor to be supplied to the Relevant Building Surveyor prior to occupancy.

All toilet / sanitary compartment doors to comply with NCC 2025 Volume One Part F4. Provide removable hinges, lift-off hinges, outward opening doors or other compliant means where required to allow removal of an unconscious person.

Exhaust fans to be ducted / discharged to outside air and fitted with backdraft shutters or sealing devices where required by NCC 2025 Volume One Section J.

Artificial lighting to comply with NCC 2025 Volume One Part F6, Part J7, AS/NZS 1680.0-2009 and electrical design requirements.

Emergency lighting and exit signage to comply with NCC 2025 Volume One Part E4, AS/NZS 2293.1-2018 and AS/NZS 2293.3-2018.

All glazing, windows and glazed doors to comply with NCC 2025 Volume One, AS 1288-2021, AS 2047-2014 and project energy efficiency requirements.

All timber work, where applicable, to comply with NCC 2025 Volume One, AS 1684.2-2021 and/or structural engineer's design. Terminate management to comply with AS 3660.1-2014 where applicable. Refer to Property Information Certificate / relevant authority requirements.

All floor linings and floor coverings to comply with NCC 2025 Volume One C2D11 and Specification 7 for fire hazard properties. Evidence of suitability to be provided prior to installation where required.

All floor finishes to provide slip resistance suitable for the proposed use and expected wet / dry conditions in accordance with NCC 2025, AS 4586-2013 and relevant Australian Standards.

All wet areas are to be lined with suitable water-resistant and/or waterproof materials in accordance with NCC 2025 Volume One Part F2 and AS 3740-2021 where applicable. Provide impervious wall and floor finishes to wet areas as required.

Where roller doors form part of a required exit, required path of travel and/or are relied upon for natural ventilation calculations, they are to remain unlocked and open during business hours, unless otherwise accepted under an approved Fire Engineering Performance Solution and approved by the Relevant Building Surveyor.

Electrical switchboards, meters, distribution boards and similar electrical equipment located in a required exit or path of travel to a required exit are to be enclosed in non-combustible construction or fire-protective covering, with all openings and doors suitably sealed against smoke spread, in accordance with NCC 2025 Volume One D3D8.

ENTRY DOORS:

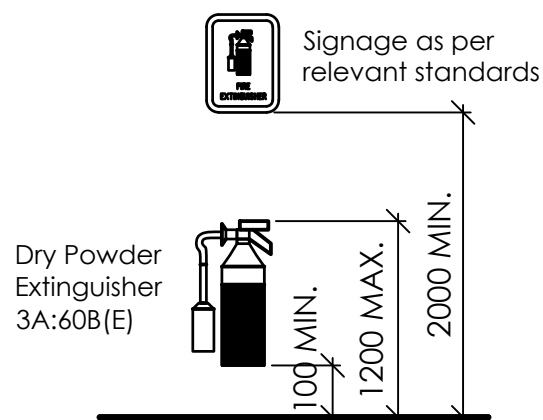
Braille / tactile signage to required EXIT doors and accessible facilities as per NCC 2025 Volume One D4D7, Specification 15 and AS 1428.1-2009. Signage location, mounting height and luminance contrast to comply with NCC 2025 Specification 15.

Level access to required accessible entrance doors from external paving to comply with NCC 2025 Volume One Part D4 and AS 1428.1-2009. Thresholds to comply with NCC 2025 Volume One D3D16 and AS 1428.1-2009 where applicable.

Door hardware to required exits and accessible doors to comply with NCC 2025 Volume One D3D26 and AS 1428.1-2009.

Door hardware to be readily openable without a key from the side seeking egress by a single hand downward action located between 900mm and 1100mm above F.F.L., or by a single hand pushing action located between 900mm and 1200mm above F.F.L. where permitted by NCC 2025 Volume One D3D26.

Door handles to accessible doors to have a clearance between the handle and the door face / backplate of not less than 35mm and not more than 45mm where required by AS 1428.1-2009.



EXTINGUISHER MOUNTING DETAIL
N.T.S.

EXITS:

Illuminated exit signs where shown on the floor plans thus: 'EXIT' shall be installed in accordance with NCC 2025 Volume One, AS/NZS 2293.1:2018 and AS/NZS 2293.3.

'EXIT' denotes internally illuminated LED exit sign, wall, ceiling, single-sided or double-sided mounted as required, with directional pictograms to suit the path of travel. Exit sign to be Clevertronics Cleverfit Exit CCFLD or equivalent, AS/NZS 2293.3 compliant, maintained operation, 24m viewing distance, C0=D4 / C90=E3.2 classification, IP20, suitable for office and warehouse applications.

Exit signs shall be clearly visible and located on, above or adjacent to required exits, and at locations necessary to clearly identify the path of travel to an exit in accordance with NCC 2025 Volume One Part E4 and AS/NZS 2293.1:2018.

Exit signs shall be mounted at a compliant viewing height, generally not more than 2700mm above finished floor level, unless otherwise permitted by AS/NZS 2293.1 and verified by the installer/certifier.

Warehouse exit signs shall be suspended, rod-mounted, wall-mounted or otherwise installed to maintain compliant visibility and viewing distance.

Exit doors are to be readily openable without a key from the side of the person seeking egress, by a single-handed downward or pushing action, in accordance with NCC 2025 Volume One Part D3D26 and AS 1428.1-2009 where applicable.

EMERGENCY LIGHTS:

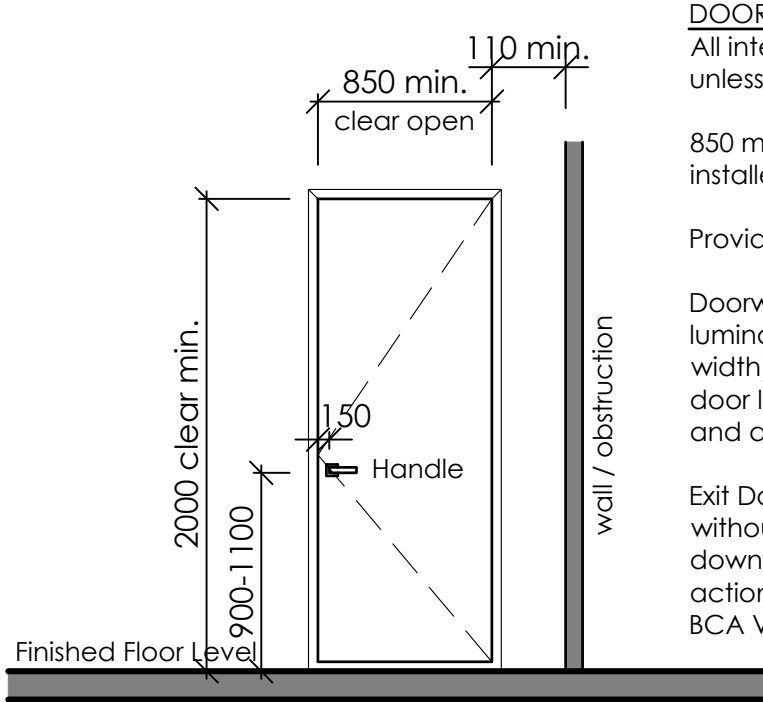
Emergency lighting where shown on the floor plans thus: 'e' shall be installed in accordance with NCC 2025 Volume One, AS/NZS 2293.1:2018 and AS/NZS 2293.3.

'e' denotes non-maintained LED emergency luminaire, Clevertronics Lifelight or equivalent, AS/NZS 2293.3 compliant, D40 classification, IP20, with battery backup and automatic operation upon failure of the normal lighting supply.

Office emergency luminaires shall be Clevertronics CLIFE Lifelight recessed emergency luminaire or equivalent, mounted at approximately 2700mm AFFL / ceiling height, C0=D40 / C90=D40 classification. Maximum spacing to be 14.8m both directions for D40 classification at 2.7m mounting height, subject to final layout, obstructions and certified lighting design.

Warehouse emergency luminaires shall be Clevertronics CLIFE-SM-D2 / LUFE-SM-D2 Lifelight surface mount emergency luminaire or equivalent, mounted at approximately 6000mm AFFL, C0=D40 / C90=D40 classification. Maximum spacing to be 22.1m both directions for D40 classification at 6.0m mounting height, subject to final layout, obstructions, racking, equipment and certified lighting design.

Emergency lighting and exit signage shall be installed, commissioned, labelled, tested and maintained by a suitably qualified electrical contractor in accordance with NCC 2025 Volume One Part E4, AS/NZS 2293.1, AS/NZS 2293.2 and AS/NZS 2293.3. Final locations and quantities are to be confirmed by the electrical contractor to achieve compliant illuminance to all designated areas and paths of travel.



DOOR DETAILS
N.T.S.

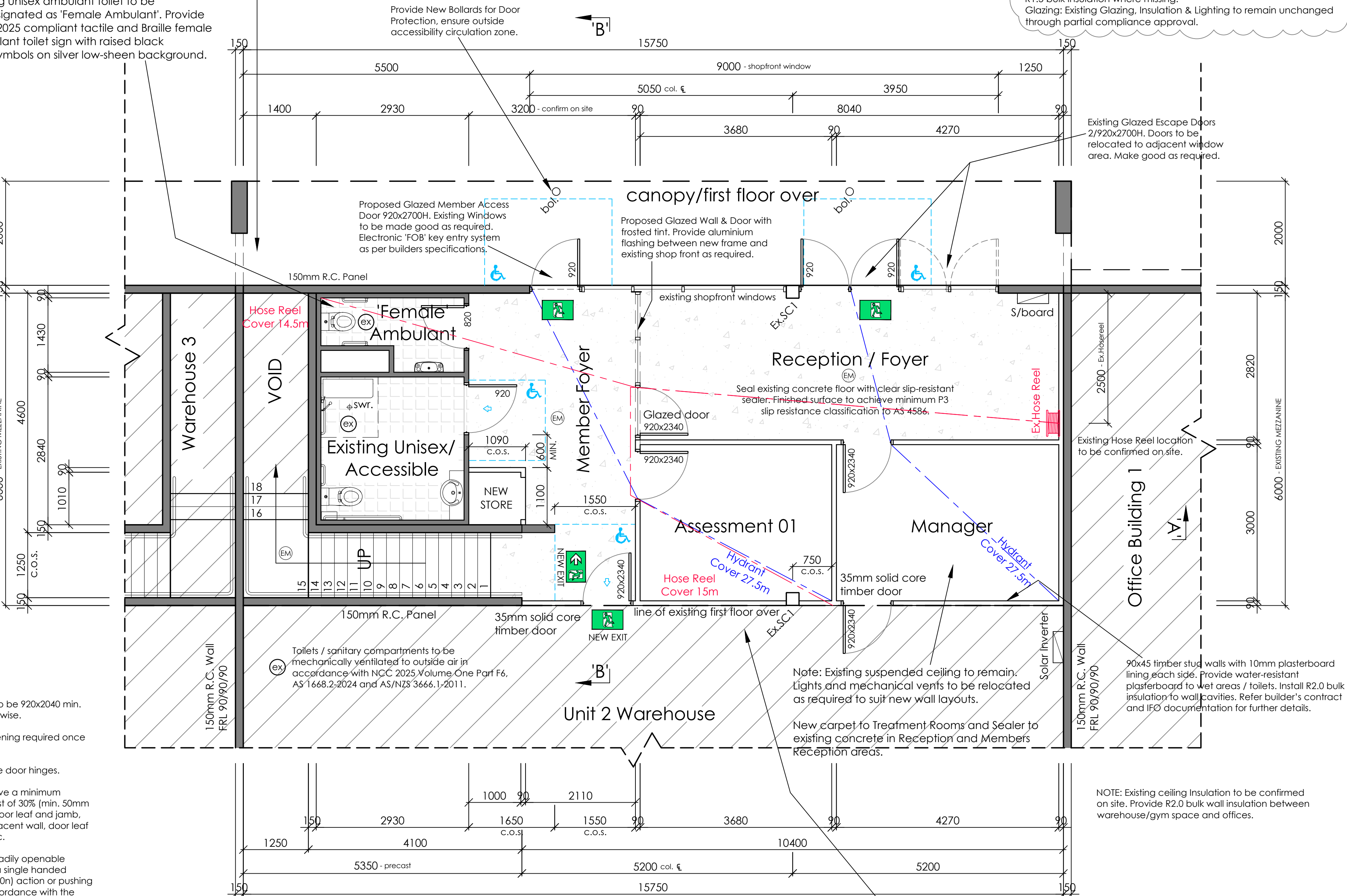
Wall Legend

Existing Walls: —
Proposed Walls: —
Walls/Elements to be removed: - - -

FIRE ENGINEERING NOTE: DDEG P/L Ref: 221826-F
The fire walls separating Unit 2 from Unit 3 need not extend through to the front fascias & canopies that connect at Ground Floor between these tenancies. The fire walls will otherwise comply with C3D8.

As those fascias & canopies are above entrance to Unit 2, permanent thoroughfare must be maintained, and no combustibles are to be stored underneath the canopies. The underside soffits of the fascias & canopies will be lined with non-combustible materials.

Existing unisex ambulant toilet to be re-designated as 'Female Ambulant'. Provide NCC 2025 compliant tactile and Braille female ambulant toilet sign with raised black text/symbols on silver low-sheen background.



PROPOSED GROUND FLOOR PLAN
RECEPTION / OFFICE - Unit 2

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ENERGY EFFICIENCY NOTE: MSC P/L Ref: MSC7052
Partial Compliance Requested for Existing Building Elements, refer to energy efficiency report for details.

Insulation Requirements:
New internal stud wall between Gym & Office: R1.5 bulk insulation min. Existing internal wall between Gym & Office: Existing insulation to remain, or add R1.5 bulk insulation where missing. Existing First Floor external walls around conditioned spaces: Existing insulation to remain, or add R2.0 bulk insulation where missing. Existing First Floor ceiling above conditioned spaces: Existing insulation to remain, or add R4.0 bulk insulation where missing. Cantilevered floor over external: Existing insulation to remain, or add R1.5 bulk insulation where missing. Glazing: Existing Glazing, Insulation & Lighting to remain unchanged through partial compliance approval.

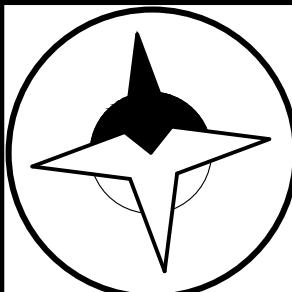
FIRE ENGINEERING NOTE: DDEG P/L Ref: 221826-F
The wall separating the Class 9b Gym and Class 5 Office at Ground Level is to be constructed as a smoke-proof wall in accordance with the Fire Engineering Report, generally based on NCC 2025 Volume One Specification 11, Clause S11C2.

The smoke-proof wall construction is to extend to the underside of the first floor structure above only. Refer to Section Sheet WD6 for wall detail.

All junctions, gaps, service penetrations and perimeter abutments are to be sealed/treatment-detailed to maintain the smoke-proof performance of the wall.

Doors in the smoke-proof wall are to be 35 mm minimum solid-core timber doors, fitted with self-closing devices and smoke seals.

PROPOSED RESTRICTED RECREATION (GYM) FIT OUT
UNIT 2 / 148 MARSHALLTOWN RD, GROVEDALE
BMI CONSTRUCTIONS P/L



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PROPOSED GROUND
FLOOR OFFICE PLANS

revision Rev A: Markups for Part J energy report (notations) and Fire Engineering Performance Solution amendments (Smokeproof wall detail added and notation updates).		drawing number WD4	
designed/drawn J.W.H.	date 10/07/2026	scale 1:50 @ A1	job number J26022

GENERAL NOTES:

Toilets, amenities, offices and enclosed rooms to be naturally or mechanically ventilated to outside air as required by NCC 2025 Volume One Part F6, AS 1668.2-2024 and AS/NZS 3666.1-2011. Compliance certificate from contractor to be supplied to the Relevant Building Surveyor prior to occupancy.

All toilet / sanitary compartment doors to comply with NCC 2025 Volume One Part F4. Provide removable hinges, lift-off hinges, outward opening doors or other compliant means where required to allow removal of an unconscious person.

Exhaust fans to be ducted / discharged to outside air and fitted with backdraft shutters or sealing devices where required by NCC 2025 Volume One Section J.

Artificial lighting to comply with NCC 2025 Volume One Part F6, Part J7, AS/NZS 1680.0-2009 and electrical design requirements.

Emergency lighting and exit signage to comply with NCC 2025 Volume One Part E4, AS/NZS 2293.1-2018 and AS/NZS 2293.3-2018.

All glazing, windows and glazed doors to comply with NCC 2025 Volume One, AS 1288-2021, AS 2047-2014 and project energy efficiency requirements.

All timber work, where applicable, to comply with NCC 2025 Volume One, AS 1684.2-2021 and/or structural engineer's design. Terminate management to comply with AS 3660.1-2014 where applicable. Refer to Property Information Certificate / relevant authority requirements.

All floor linings and floor coverings to comply with NCC 2025 Volume One C2D11 and Specification 7 for fire hazard properties. Evidence of suitability to be provided prior to installation where required.

All floor finishes to provide slip resistance suitable for the proposed use and expected wet / dry conditions in accordance with NCC 2025, AS 4586-2013 and relevant Australian Standards.

All wet areas are to be lined with suitable water-resistant and/or waterproof materials in accordance with NCC 2025 Volume One Part F2 and AS 3740-2021 where applicable. Provide impervious wall and floor finishes to wet areas as required.

Where roller doors form part of a required exit, required path of travel and/or are relied upon for natural ventilation calculations, they are to remain unlocked and open during business hours, unless otherwise accepted under an approved Fire Engineering Performance Solution and approved by the Relevant Building Surveyor.

Electrical switchboards, meters, distribution boards and similar electrical equipment located in a required exit or path of travel to a required exit are to be enclosed in non-combustible construction or fire-protective covering, with all openings and doors suitably sealed against smoke spread, in accordance with NCC 2025 Volume One D3D8.

ENTRY DOORS:

Braille / tactile signage to required EXIT doors and accessible facilities as per NCC 2025 Volume One D4D7, Specification 15 and AS 1428.1-2009. Signage location, mounting height and luminance contrast to comply with NCC 2025 Specification 15.

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Door handles to accessible doors to have a clearance between the handle and the door face / backplate of not less than 35mm and not more than 45mm where required by AS 1428.1-2009.

Signage as per relevant standards

Dry Powder Extinguisher 3A:60B(E)

EXTINGUISHER MOUNTING DETAIL N.T.S

EXITS:

Illuminated exit signs where shown on the floor plans thus: 'EXIT' shall be installed in accordance with NCC 2025 Volume One, AS/NZS 2293.1:2018 and AS/NZS 2293.3.

'EXIT' denotes internally illuminated LED exit sign, wall, ceiling, single-sided or double-sided mounted as required, with directional pictograms to suit the path of travel. Exit sign to be Clevertronics Cleverfit Exit CCFLED or equivalent, AS/NZS 2293.3 compliant, maintained operation, 24m viewing distance, C0=D4 / C90=E3.2 classification, IP20, suitable for office and warehouse applications.

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EMERGENCY LIGHTS:

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Toilets / sanitary compartments to be mechanically ventilated to outside air in accordance with NCC 2025 Volume One Part F6, AS 1668.2-2024 and AS/NZS 3666.1-2011.

Access Performance Solution required for Unisex Shower & arrangement. Refer to APS by MSC Pty for further details.

Frosted tint to existing window to minimum 1700mm high from finished floor level. Refer to builders specifications.

NOTE: Existing ceiling insulation to be confirmed on site, R3.0 bulk insulation to ceiling minimum.

Provide R2.0 bulk wall insulation between amenities and offices.

90x45 timber stud walls with 10mm plasterboard lining each side. Provide water-resistant plasterboard to wet areas / toilets. Install R2.0 bulk insulation to wall cavities. Refer builder's contract and IFO documentation for further details.

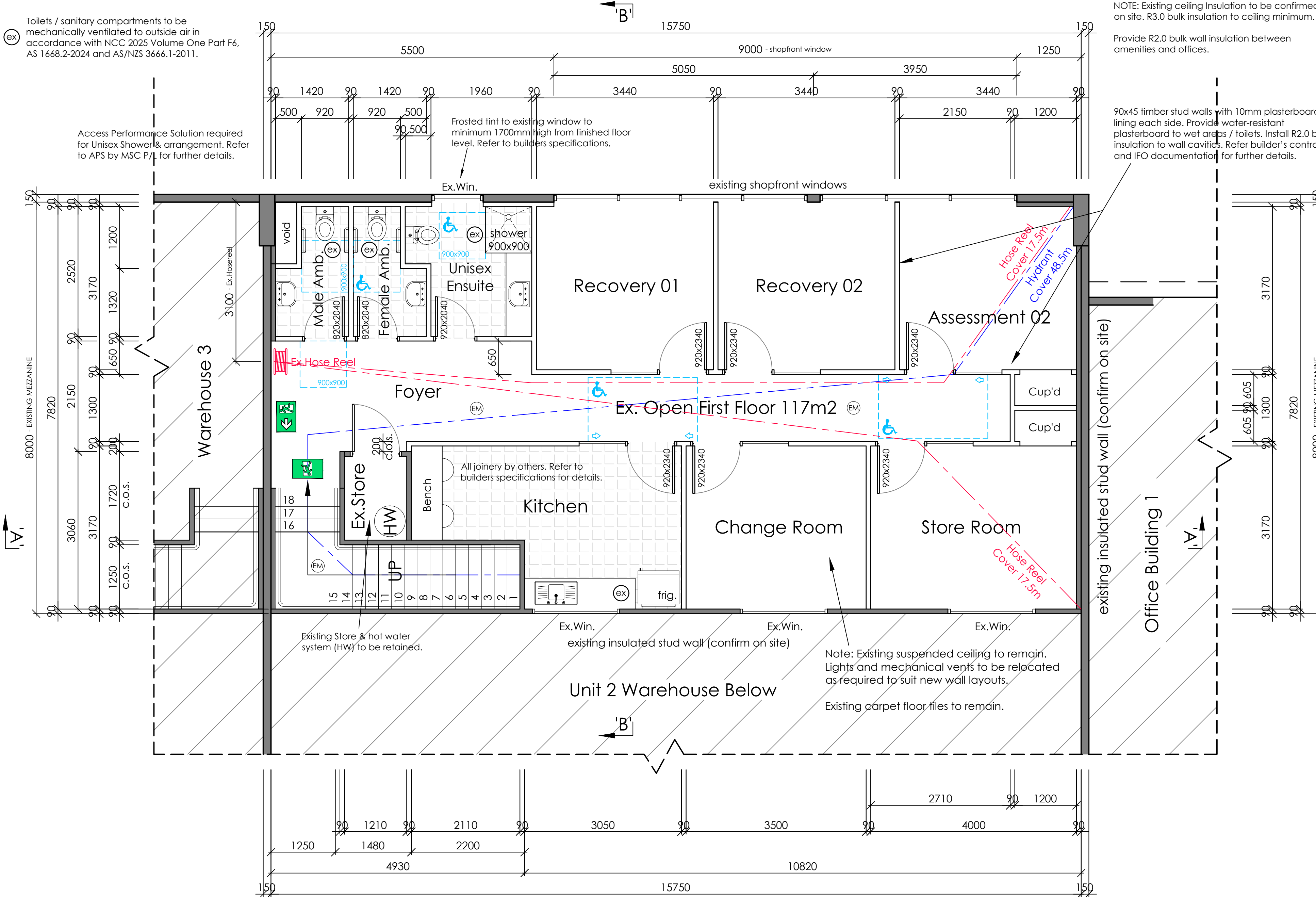
existing insulated stud wall (confirm on site)

existing insulated stud wall (confirm on site)

Note: Existing suspended ceiling to remain. Lights and mechanical vents to be relocated as required to suit new wall layouts.
Existing carpet floor tiles to remain.

PROPOSED FIRST FLOOR PLAN

OFFICE - Unit 2

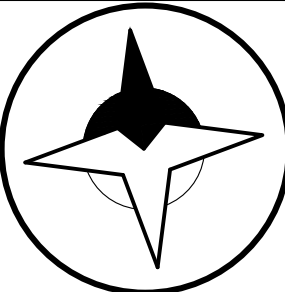


Wall Legend

Existing Walls: ———
Proposed Walls: ———
Walls/Elements to be removed: - - - -

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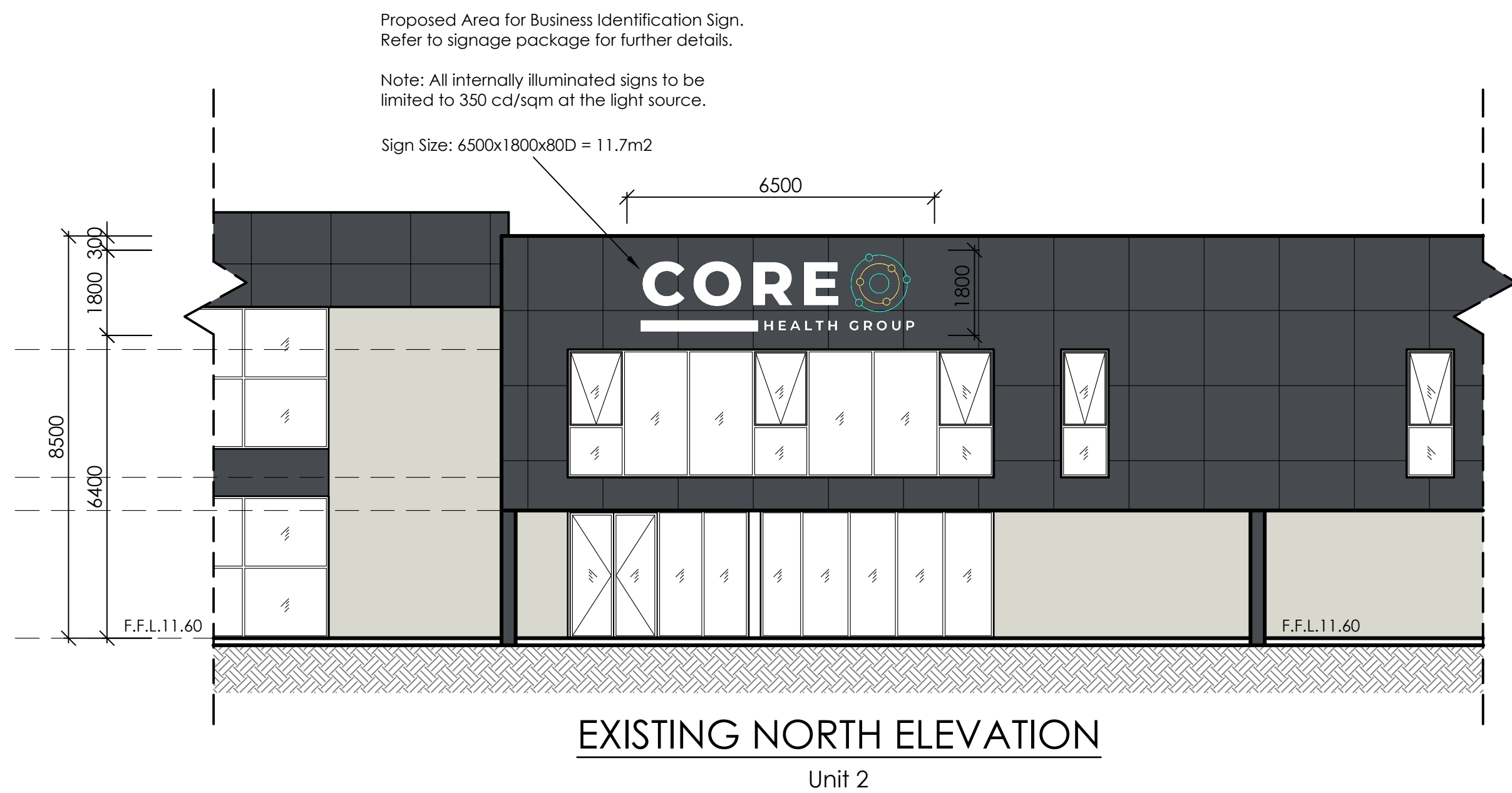
PROPOSED RESTRICTED RECREATION (GYM) FIT OUT
UNIT 2 / 148 MARSHALLTOWN RD, GROVEDALE
BMI CONSTRUCTIONS P/L



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PROPOSED FIRST FLOOR
OFFICE PLANS

revision			drawing number	
Rev A: Markups for Part J energy report (notations) and Fire Engineering Performance Solution amendments (Smokeproof wall detail added and notation updates).			WD5	
designed/drawn	date	scale	job number	
J.W.H.	10/07/2026	1:50 @ A1	J26022	



NOTE: Example Sign Location on Front Facade facing Marshalltown Road



NOTE: Black background for plan visualization only.

Proposed Business Identification Sign

Individual face illuminated letters and logo fixed to existing building façade.
Lettering - White, Logo - Cyan / Yellow.

6500L x 1800H x 80D = 11.7 m2

6000K LED illumination with trim cap to control side light spill.

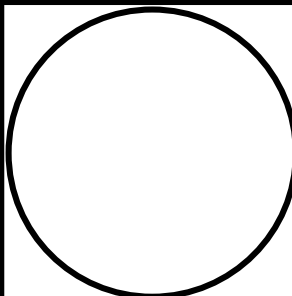
All internally illuminated signs to be limited to 350 cd/sqm at the light source.
Signage to be dimmable and installed so as not to cause unreasonable glare, spill light or distraction.

Final luminance, operating hours, controls, fixings, transformer location and electrical connection by signage contractor/electrician.

Signage to comply with authority requirements and AS/NZS 4282.

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PROPOSED RESTRICTED RECREATION (GYM) FIT OUT
UNIT 2 / 148 MARSHALLTOWN RD, GROVEDALE
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PROPOSED
SIGNAGE PLANS

revision			drawing number	
Rev A: Markups for Part J energy report (notations) and Fire Engineering Performance Solution amendments (Smokeproof wall detail added and notation updates).			WD10	
designed/drawn	date	scale	job number	
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