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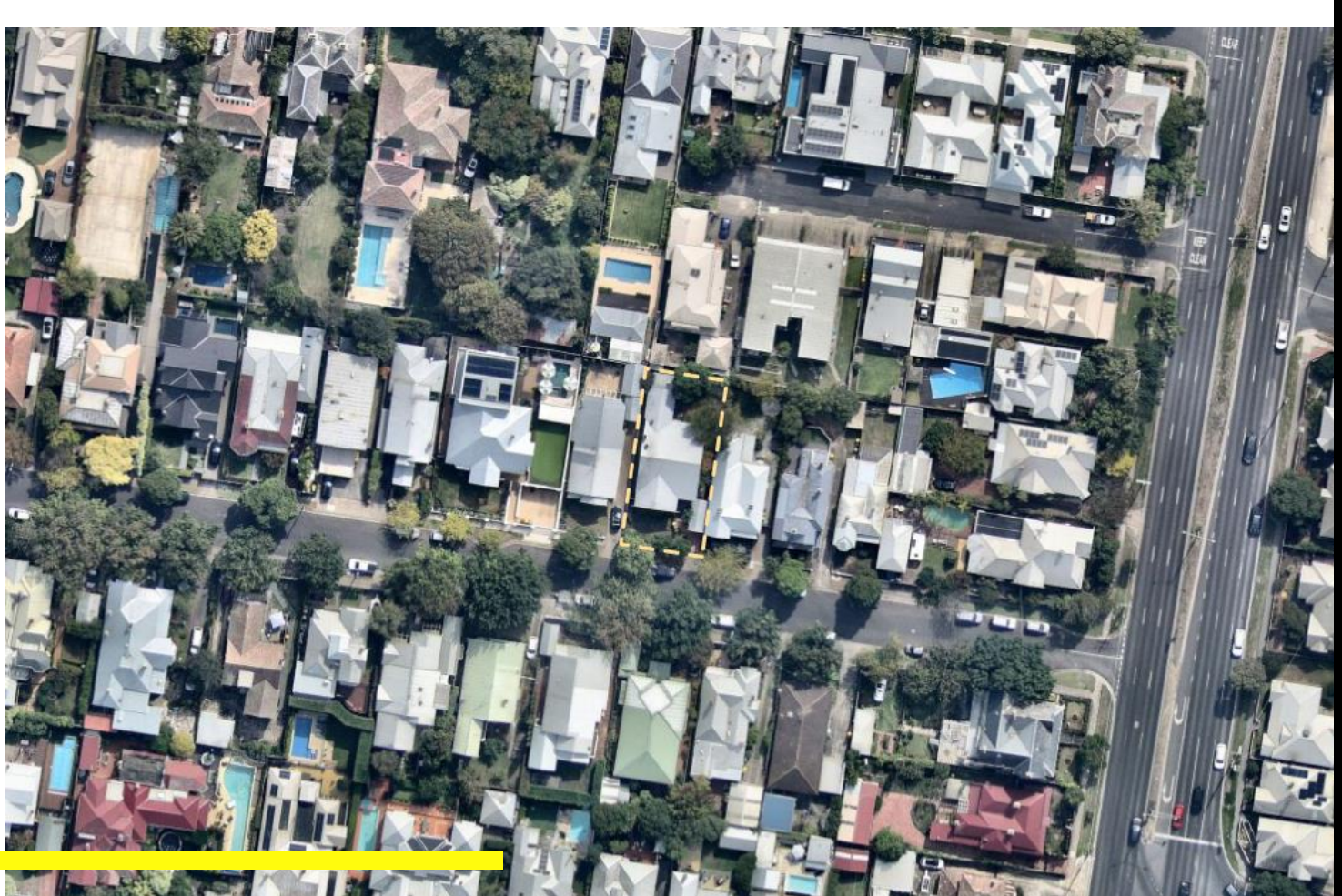
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Application for a Planning Permit
8 Laurel Bank Parade, Newtown

Partial demolition as well as alterations
and additions to an existing dwelling on land affected by
the Heritage Overlay

Prepared for Mr Cam Green

VERSION 2 - RFI RESPONSE



Report Name:	Town Planning Report - Version 2 (RFI Response)
Project Address:	8 Laurel Bank Parade, Newtown
Client Name:	Mr Cam Green
Issue Date:	06.08.2026
Prepared by:	Blasco Stuart Architects
Contact	Blair Scott

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1. Introduction

Blasco Stuart Architects (Blasco Stuart) acts on behalf of Mr Cam Green in relation to the land at 8 Laurel Bank Parade, Newtown (the 'subject site').

The proposal seeks planning approval for the partial demolition as well as alterations and additions to an existing dwelling on land affected by the Heritage Overlay.

This report has been prepared to support the permit application and demonstrate compliance with all relevant planning policy contained in the Greater Geelong Planning Scheme as well as overarching State planning policy direction.

The design response has been carefully crafted to respect the preferred heritage fabric and neighbourhood character of the surrounding area. This report includes a detailed description of the subject site and surrounding context, proposed built form outcome and an assessment against relevant policy.

This report should be read in conjunction with the amended architectural documentation prepared by Blasco Stuart Architects for the RFI response.

2. Subject Site and Surrounds

2.1 Subject Site

The subject site is located at 8 Laurel Bank Parade, Newtown and is formally identified as Lot 140 on LP2827.

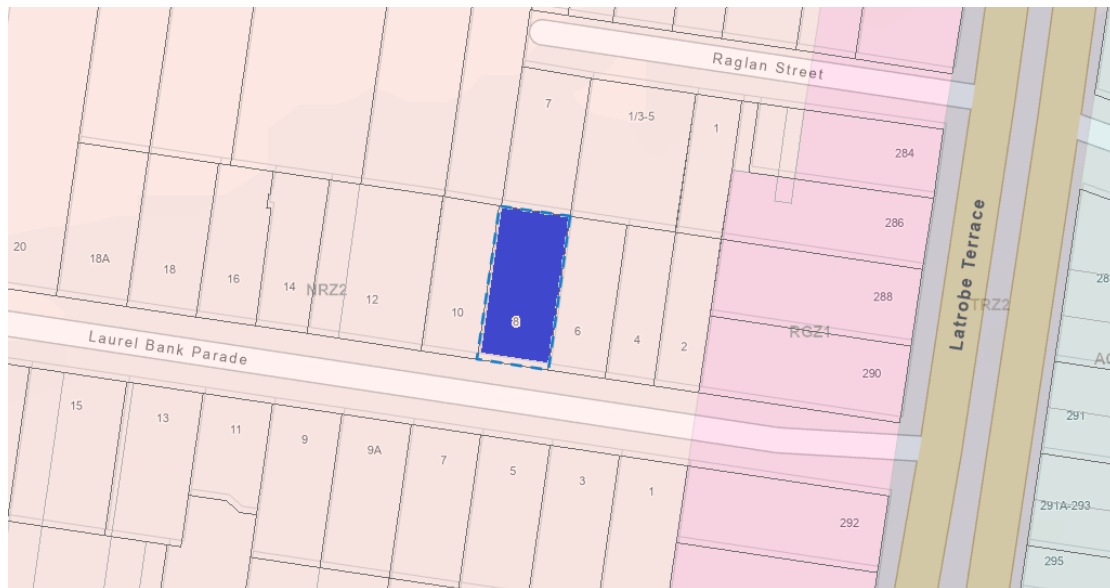


Figure 1 Subject site shown in blue

The subject site is regular in shape and covers a total area of approximately 521m². The subject site has a single street frontage to Laurel Bank Parade along its southern boundary. The subject site fronts Laurel Bank Parade for a length of 15.52m and has a depth of 33.59m.

The subject site is located to the north of Laurel Bank Parade is generally oriented north-south.

At present, the subject site contains a single storey weatherboard dwelling with pitched roofing. The subject site contains vegetation within the front and rear setbacks.

2.2 Site Surrounds

The subject site is found within the established residential community of Newtown, which is approximately 2.5km from the Geelong CBD area.

The surrounding area is predominantly used for residential purposes. Housing is typically comprised of detached 1-2 storey dwellings on standard sized allotments.

The subject site is broadly located between Pakington Street to the west and Latrobe Terrace to the east.

Newtown is characterised by its leafy streets and contains a number of dwellings which are recognised for their heritage significance. There are a number of non-residential uses located in proximity to the site including retail, educational as well as areas of public open space.

Pakington Street is located to the west of the site and forms a significant commercial and retail strip within the Geelong area.

The subject site benefits from excellent connectivity to the principal transport network with La Trobe Terrace located to the east of the site. La Trobe Terrace is recognised as a Transport Road Zone 2 and directly connects to the Princes Freeway.

The Kardinia Park sporting precinct is located to the south-east of the site and serves as a key regional sporting facility and is home to the Geelong Cats.

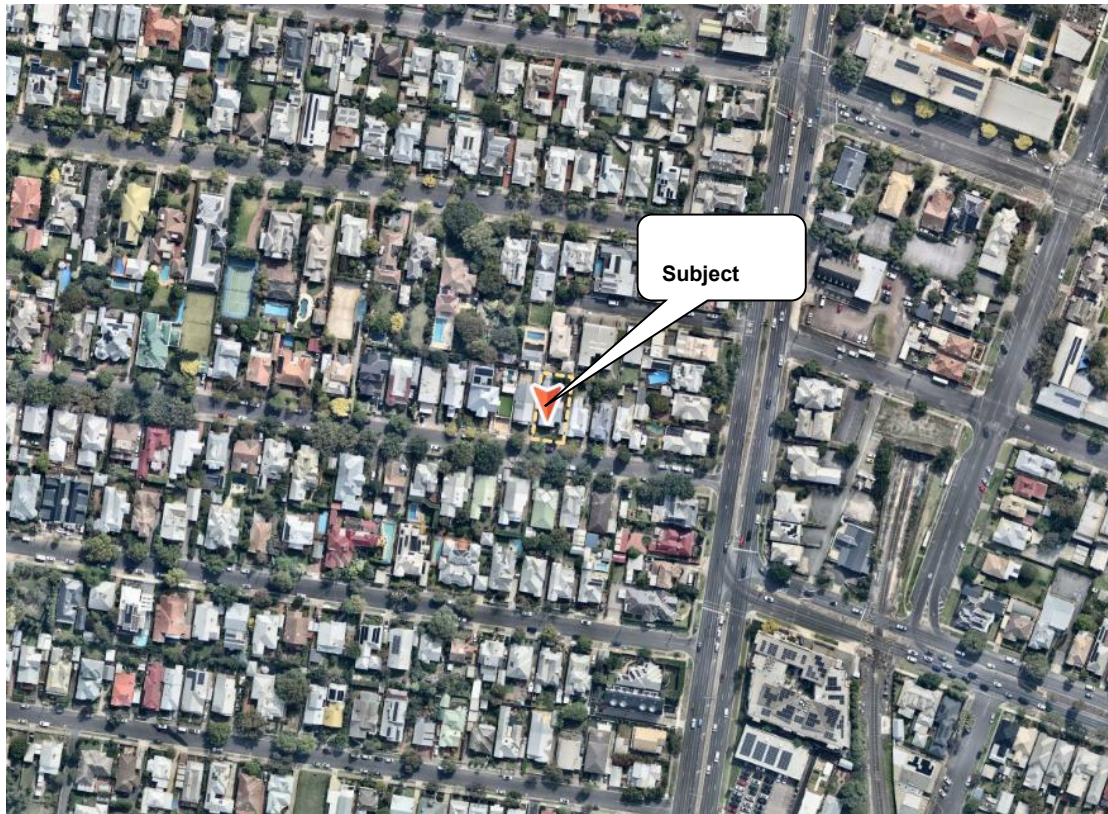


Figure 2 Aerial photo of the site and surrounding area Source: Nearmap

The site immediately adjoins the following properties:

No 8 Laurel Bank Parade abuts the western property boundary. The site contains a single-storey weatherboard dwelling.

No 6 Laurel Bank Parade abuts the eastern property boundary. The site contains a single-storey weatherboard dwelling.

No 5 Laurel Bank Parade abuts the subject site across the street. No 5 Laurel Bank Parade contains a single-storey weatherboard dwelling with pitched roofing and a carport.

No 7 Raglan Street adjoins the site to the north. 7 Raglan Street contains a double-storey brick dwelling and associated outbuildings.

The site is also located within proximity to the following:

St John of God Hospital approximately 580m to the east

Geelong Train Station approximately 630m to the north-east

Barwon River approximately 1400m to the south

3. Proposal

Planning approval is sought for the partial demolition, alterations and additions to an existing dwelling, and the removal of one boundary canopy tree on land affected by the Heritage Overlay at 8 Laurel Bank Parade, Newtown.

The proposal includes a first-floor addition which will contain the main bedroom, office and ensuite.

The proposal will demolish a portion of the rear of the existing dwelling while prioritising the retention of the principal front form, facade and significant verandah elements.



Figure 3 Updated proposed front facade from Laurel Bank Parade

Key features of the proposal include:

- Partial demolition of the rear portion of the existing dwelling and the car port
- Alterations and additions to the existing dwelling which result in a modest increase to the built-form footprint
- Provision of 3 bedrooms, shared kitchen/dining/living room, living room, courtyard and bathroom
- Wall on boundary component along the western property boundary
- First floor addition containing the main bedroom, office and ensuite
- Pitched and flat roofing with an overall height of 7.15m
- Low front fencing in brick
- Removal of one boundary canopy tree, being the Jacaranda at the northern/rear boundary, and provision of four new canopy trees across the front and rear portions of the site
- Double car driveway and provision of pedestrian entry path

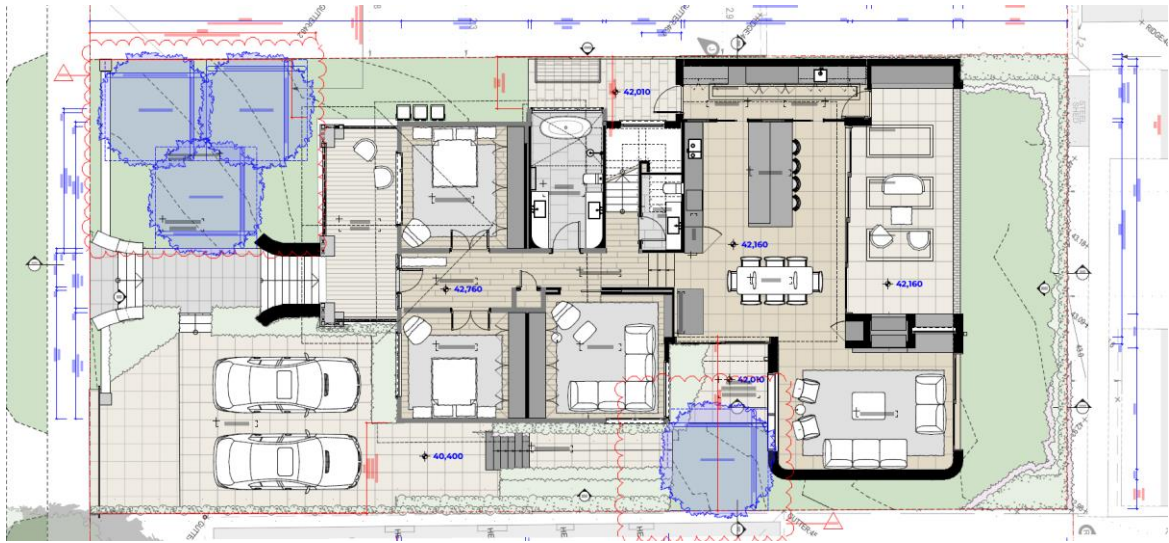


Figure 4 Ground Floor Layout

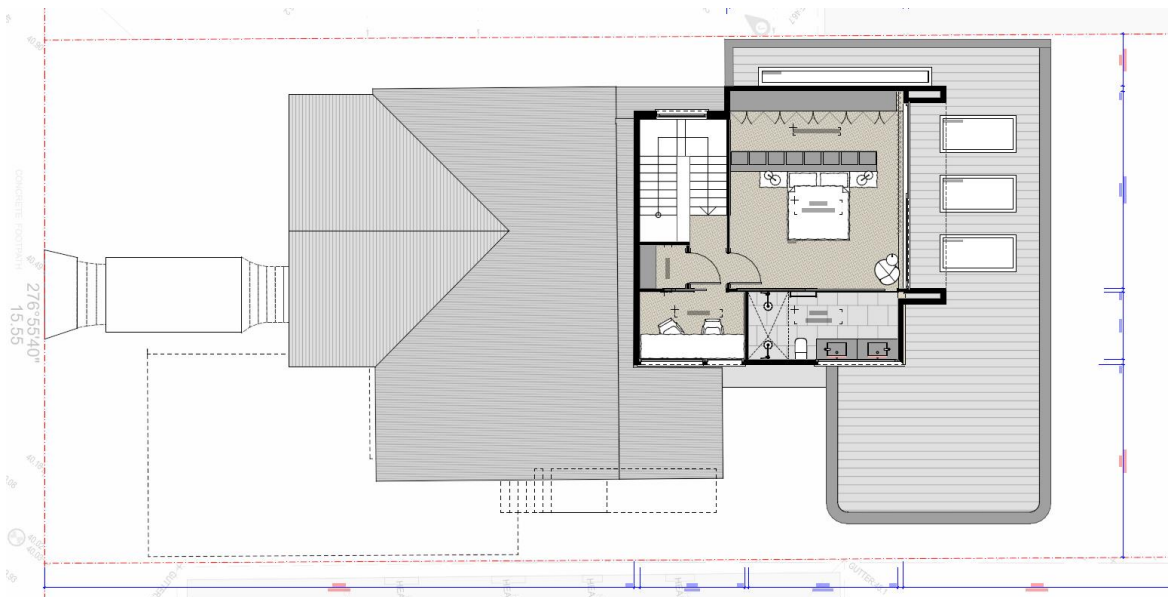


Figure 5 First Floor Layout Plan

3.1 Materials and finishing

The proposal includes the following materials and finishing schedule:

- Face brickwork
- Render
- Metal cladding

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- Cement Sheet
 - Timber decking
 - External paving
 - Glass finishing

4. Greater Geelong Planning Scheme

4.1 Zone

The site is located within the Neighbourhood Residential Zone - Schedule 2 (NRZ2) pursuant to Clause 32.09 of the Greater Geelong Planning Scheme. The purpose of the NRZ is:

- *To implement the Municipal Planning Strategy and the Planning Policy Framework.*
- *To recognise areas of predominantly single and double storey residential development.*
- *To manage and ensure that development is responsive to the identified neighbourhood character, heritage, environmental or landscape characteristics.*
- *To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.*



Figure 6: Zoning Map

It is noteworthy that the proposed buildings and works do not trigger planning permit requirements under the provisions of the NRZ2.

4.2 Overlays

Heritage Overlay – Schedule 1623 (HO1623)

The subject site is affected by the Heritage Overlay – Schedule 1623 (HO1623), which implements the Newtown Hill Heritage Area.

The purpose of the HO is:

- *To implement the Municipal Planning Strategy and the Planning Policy Framework.*
- *To conserve and enhance heritage places of natural or cultural significance.*
- *To conserve and enhance those elements which contribute to the significance of heritage places.*
- *To ensure that development does not adversely affect the significance of heritage places.*
- *To conserve specified heritage places by allowing a use that would otherwise be prohibited if this will demonstrably assist with the conservation of the significance of the heritage place.*

Planning permit requirements are triggered under the following provisions of the HO:

Pursuant to Clause 43.01-1 a permit is required to:

- Demolish or remove a building.
- Construct a building or construct or carry out works.

The HO1623 implements the Newtown Hill Heritage Area. The Newtown Hill Heritage Area Statement of Significance includes the following.

This precinct is distinguished by historically wealthy residential areas and private schools situated on the crest and slopes of the Newtown ridge, which has views east towards Geelong city and beyond. This area is dominated by a mixture of Victorian, Edwardian and Californian Bungalow and later residential development. The area is characterised by predominantly large single (and some two-storey) decorative timber and brick houses dating from the 1850's to the 1920's, representing the architectural quality of housing development in Newtown.

This area is significant for its architectural diversity and quality representing a wide range of the residential building styles evident in Newtown, and containing a number of individually important buildings. The retention of traditional street features and trees in Virginia Street demonstrates the qualities inherent in a relatively intact streetscape. It is historically significant as a representative embodiment of family life during the Victorian and Edwardian periods.

The objectives are:

- *To retain the bluestone lanes, nature strips, street tree planting, and traditional garden settings.*
- *To retain the intact examples of Victorian, Edwardian, Federation and interwar Californian Bungalow style predominately single storey double fronted detached houses and discrete building type groupings.*
- *To retain the uniformity of scale of the area including predominantly single storey height, regular front and side setbacks, side or rear driveways, building separation and subdivision pattern.*
- *To encourage the contemporary interpretation of traditional building design within the area.*
- *To encourage the use of traditional construction materials in the area.*
- *To encourage the use of appropriate fence types (up to 1400mm), designs and locations.*
- *To encourage the appropriate development, form and scale of garages and/or carports.*

4.3 Particular provisions

Clause 52.37 Canopy Trees of the Greater Geelong Planning Scheme provides tree protection requirements for canopy trees.

Pursuant to Clause 52.37-2, a permit is required to remove, destroy or lop a canopy tree in the Neighbourhood Residential Zone. Although an exemption applies to some canopy trees on land developed with an existing dwelling, that exemption does not apply to a boundary canopy tree.

The Jacaranda mimosifolia located on the northern/rear boundary meets the definition of a boundary canopy tree and is proposed for removal to facilitate the rear addition. Its removal therefore introduces an additional permit trigger under Clause 52.37. The tree is identified in orange in Figure 7 below.

The Tree Health and Condition Report prepared by Leafline Consulting, Version 1.0 dated 29 July 2026, documents the species, dimensions and condition of the tree. Removal is not sought on health or stability grounds. It is limited to the single boundary canopy tree affected by the proposed rear addition, with four new canopy trees nominated across the front and rear portions of the site.

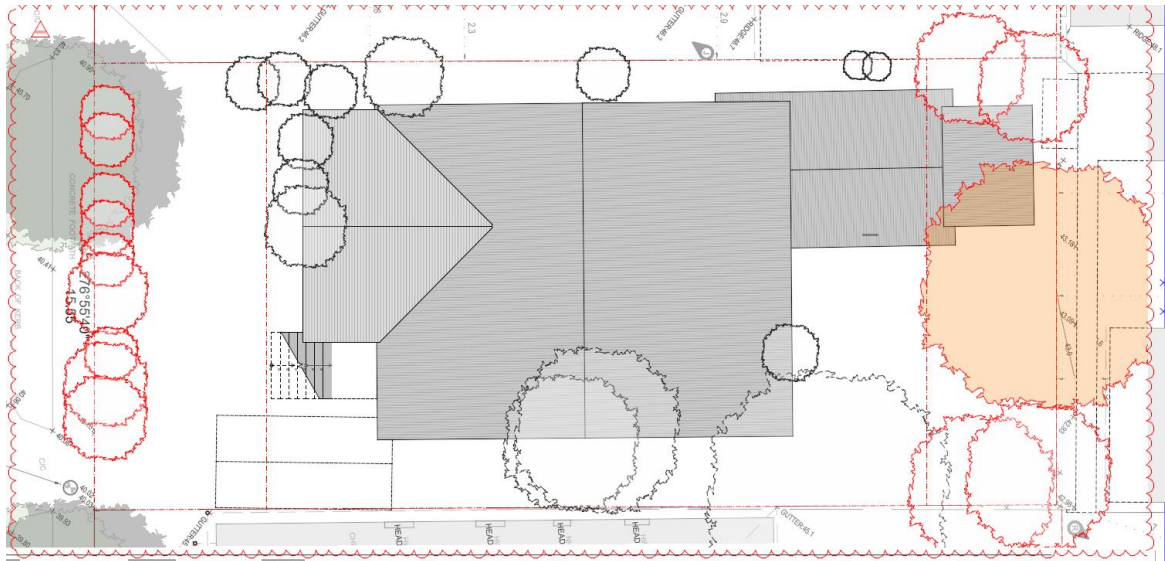


Figure 7 Rear boundary Jacaranda proposed for removal shown in orange

4.4 General provisions

Clause 65 Decision Guidelines is relevant to this application. Before deciding on an application, the Responsible Authority must also consider the Decision Guidelines of Clause 65.02, in addition to the Planning Policy Frameworks.

The subject site is not located within a Bushfire Prone Area.

The subject site is not located within an identified area of Aboriginal Cultural Heritage Sensitivity.

4.5 Planning Policy Framework

The following aspects of the Planning Policy Framework (PPF) are relevant in the consideration of this application:

The following State planning policies are particularly relevant in the consideration of this matter:

Clause 11- Settlement

Clause 11.01-1R – Settlement - Geelong G21

Support the role of Central Geelong as a major regional city and revitalise and strengthen it's role as Victoria's second city.

Clause 11.01-1S Settlement

Seeks to facilitate the sustainable growth and development of Victoria and deliver choice and opportunity for all Victorians through a network of settlements.

Clause 15- Built Environment and Heritage

Clause 15.01-1S Urban design

Seeks to create urban environments that are safe, healthy, functional and enjoyable and that contribute to a sense of place and cultural identity.

Clause 15.01-2S Building design

Seeks to achieve building design and siting outcomes that contribute positively to the local context, enhance the public realm and support environmentally sustainable development.

Clause 15.01-2L Environmentally sustainable development

Seeks to achieve best practice in environmentally sustainable development from the design stage through to construction and operation.

Clause 16 – Housing

16.01-1S Housing Supply seeks to facilitate well-located, integrated and diverse housing that meets community needs.

5. Planning Assessment

The application has been given due consideration against the requirements of the Planning Policy Framework and the purpose of the zone and overlay contained within the Greater Geelong Planning Scheme, as detailed below.

5.1 Newtown Hill Heritage Area Statement of Significance

The proposed design response has been prepared having regard to the Newtown Hill Heritage Area Statement of Significance and the local significance of the existing 1923 timber Californian Bungalow, traditionally known as 'Glen Alvie', under HO1623.

The proposal retains the principal front form, facade, roof form and significant verandah presentation of the dwelling. Partial demolition is concentrated at the rear, and a demolition method statement is included within the amended architectural documentation to safeguard the retained building fabric during demolition and construction.

The front verandah design has been amended in accordance with the Heritage Advisor's recommendations. The existing brick verandah piers and cappings, timber posts, fretwork and the balance of the existing timber balustrading are to be retained and repaired as required.

Only the portion of existing timber balustrading necessary to accommodate the relocated verandah staircase is proposed to be removed. The former stair opening on the eastern side is infilled with new timber balustrading matching the existing design and construction.

A new brick verandah pier and capping, timber post and fretwork are provided on the western side of the relocated stair opening, matching the corresponding existing verandah elements. The existing timber balustrade is shortened only as necessary to connect with the new pier.

The proposed verandah stair walls are constructed in red brick matching the existing brick base walls, with concrete cappings matching the existing verandah pier cappings. Bluestone is nominated for the stair treads and associated paving. The replacement roof cladding to the retained dwelling has also been amended from white to light grey in response to the Heritage Advisor's advice.

The one and two-storey additions remain located behind the retained front portion of the dwelling. The first-floor component is recessed from the front facade and is subservient to the principal gabled roof form, limiting its prominence when viewed from Laurel Bank Parade.

The additions use a restrained materials palette and documented timber-framed windows and doors. The low front fence and visually permeable white batten vehicular gate maintain views toward the dwelling and complement the retained heritage fabric.

On balance, the amended proposal conserves the identified significant fabric and presentation of 'Glen Alvie', while accommodating a functional rear addition and relocated front access. The proposal therefore represents an appropriate response to the Newtown Hill Heritage Area and the relevant decision guidelines of Clause 43.01.

5.2 Planning Policy Framework

The proposal is consistent with *Clause 11.02-1 Supply of Urban Land (Settlement)* as it will make a positive contribution to urban consolidation of Newtown. The proposed development utilises a large land parcel that is zoned for residential purposes without detrimentally impacting upon the amenity of surrounding residents.

The proposal is consistent with *Clause 15.01-1 Urban Design* as it will contribute to a safe, functional and good quality environment. The proposed design is in keeping with its context in terms of the existing urban character and it is appropriate for this location.

The proposal responds positively to *Clause 15.01-2S Building design* as it will deliver an appropriate outcome that takes design and siting cues from adjoining dwellings. The proposal will make a positive contribution to the streetscape along Laurel Bank Parade by delivering an attractive design which prioritises an appropriate materials palette.

The proposal is consistent with *Clause 16.01-1S Housing Supply* as it will contribute to the range of housing options available to residents in the area, whilst also respecting the heritage fabric of the Newtown Hill Heritage Area.

5.3 Clause 52.37 Canopy Trees

The proposal has been assessed against the purposes, application requirements and decision guidelines of Clause 52.37.

The Jacaranda mimosifolia at the northern/rear boundary is the only boundary canopy tree proposed for removal. Its retention would materially constrain the rear building envelope, the proposed finished floor levels and the amount and functionality of private open space available to the dwelling.

Removal enables the rear extension, a coherent and usable rear yard, and improved solar access to the principal rear living areas, which have been set low within the site to minimise the overall height of the development.

The removal is limited to the single boundary canopy tree affected by the addition. Four new canopy trees are proposed across the front and rear portions of the site, increasing the relevant on-site canopy outcome from one tree proposed for removal to four new trees. Species selection and compliant deep-soil areas will be detailed in accordance with Clause 52.37.

The Leafline Consulting report is relied upon to document the tree and assist Council's assessment of the proposed removal. The removal is not advanced as a health or stability removal.

5.4 Decision guidelines

The proposal responds positively to the relevant decision guidelines contained in Clause 65 as follows:

- The proposal demonstrates alignment with the Municipal Planning Strategy and Planning Policy Framework contained in the Greater Geelong Planning Scheme, as demonstrated in the body of this report.
- The proposal is in accordance with the NRZ which anticipates residential outcomes at this location

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- The proposal will not result in any unreasonable impacts on the heritage fabric of the area and will provide a sympathetic design response
 - The proposal represents orderly land use planning by retaining residential land in an established residential area
 - The proposal removes one boundary canopy tree, being the Jacaranda at the northern/rear boundary, where retention would materially constrain the proposed rear addition and usable private open space. Four new canopy trees are proposed across the site, providing a net increase in the number of canopy trees and responding positively to Clause 52.37.

6. Conclusion

The proposal represents a high-quality design response that provides a contemporary rear addition while conserving the significant front form, facade and verandah character of the existing dwelling.

The proposed partial demolition is concentrated at the rear of the dwelling and will be largely screened from the public realm. The amended front verandah and roof treatments respond directly to the Heritage Advisor's recommendations and maintain the significant presentation of the dwelling to Laurel Bank Parade.

The proposal will support housing outcomes in an established residential area, which anticipates this level of development. The surrounding area already contains a number of double storey dwellings.

It is considered that a planning permit should be granted in this instance as the proposed development:

- Incorporates a high-quality design response that will contribute to the Laurel Bank Parade streetscape
- Retains and repairs the significant verandah piers, cappings, timber posts, fretwork and balustrading, with new work matching the existing detailing
- Will result in minor changes to the existing built form footprint
- Provides an attractive material palette which prioritises durable and high-quality finishing
- Limits canopy-tree removal to one rear boundary Jacaranda and provides four new canopy trees across the site
- Will not result in unreasonable impacts to amenity of adjoining dwellings
- Incorporates environmentally sustainable design features
- Results in a high level of internal amenity and improved functionality
- Responds positively to the Newtown Hill Statement of Significance
- Is consistent with State and local planning policy contained in the Greater Geelong Planning Scheme

For the above reasons, the proposed development is worthy of support under the Greater Geelong Planning Scheme, and it is considered that a planning permit be issued.