

LAURELBANK RESIDENCE

TOWN PLANNING - RFI RESPONSE
8 LAURELBANK PDE, NEWTOWN

DRAWING LIST				REVISION NOTES	
SUBSET	DRAWING ID	DRAWING	REV	ID	Name
				Ch-01	ADDITIONAL DIMENSIONS NOMINATED
				Ch-02	DOOR / WINDOW FRAME TYPE NOMINATED.
				Ch-03	BLUESTONE PAVING NOMINATED IN DRIVEWAY AND STAIR.
				Ch-04	RETAINING WALL FINISH NOMINATED.
				Ch-05	ROOF CLADDING COLOUR CHANGE TO LIGHT GREY PER HERITAGE ADVICE.
				Ch-06	ADDITIONAL INFORMATION PROVIDED IN REPSONSE TO CANOPY TREE POLICY.
				Ch-07	NOTATION CONFIRMING REMOVAL OF CHINMEY
				Ch-08	DEMOLITION METHOD STATMENT PROVIDED
				Ch-09	GARDEN AREA COMPLIANCE NOTED.
				Ch-10	VERANDAH DESIGN AMENDED IN ACCORDANCE WITH HERITAGE ADVISOR RECOMMENDATIONS.



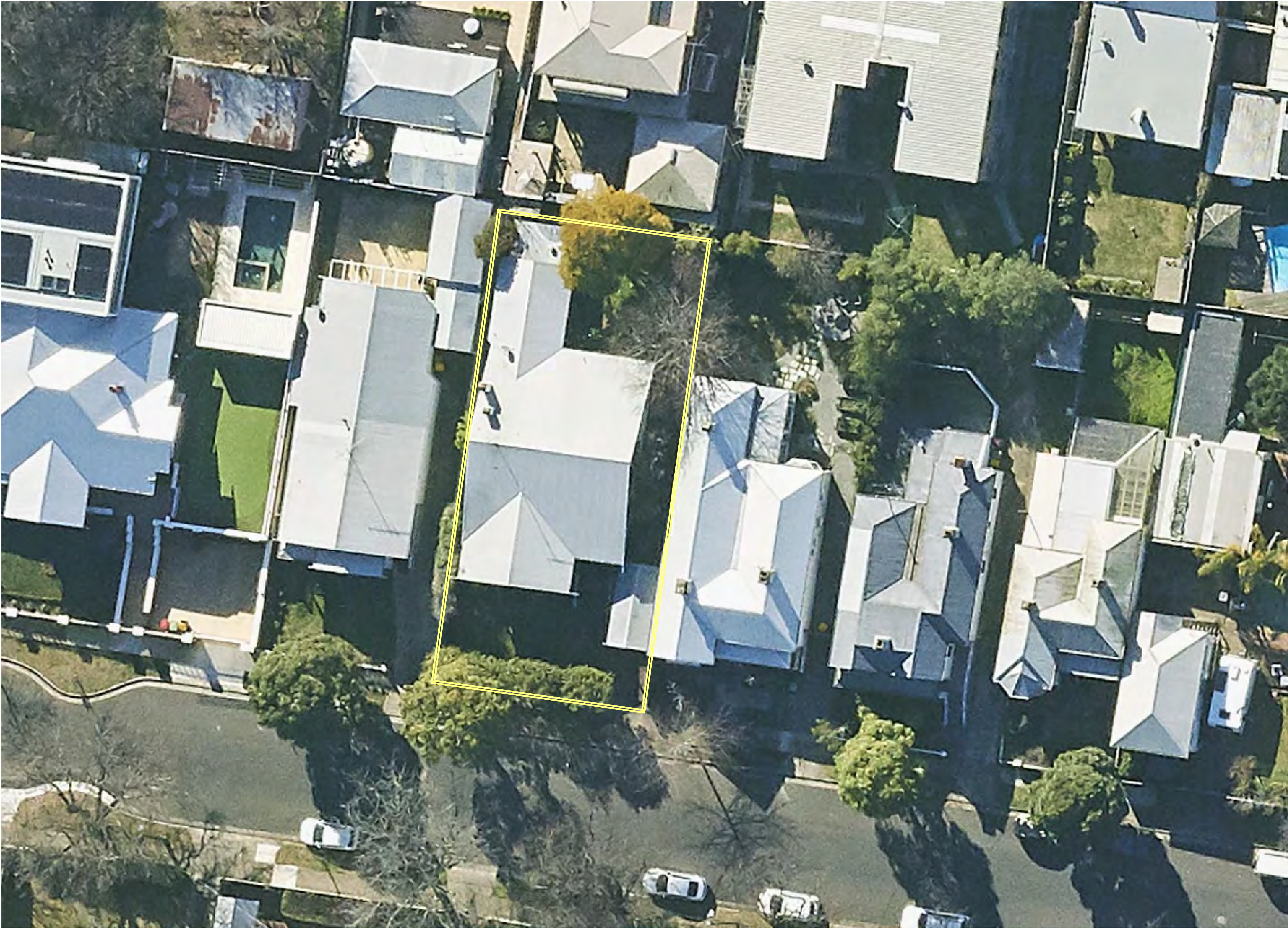
CONSULTANT TEAM

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BLASCO STUART

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VIC 3220

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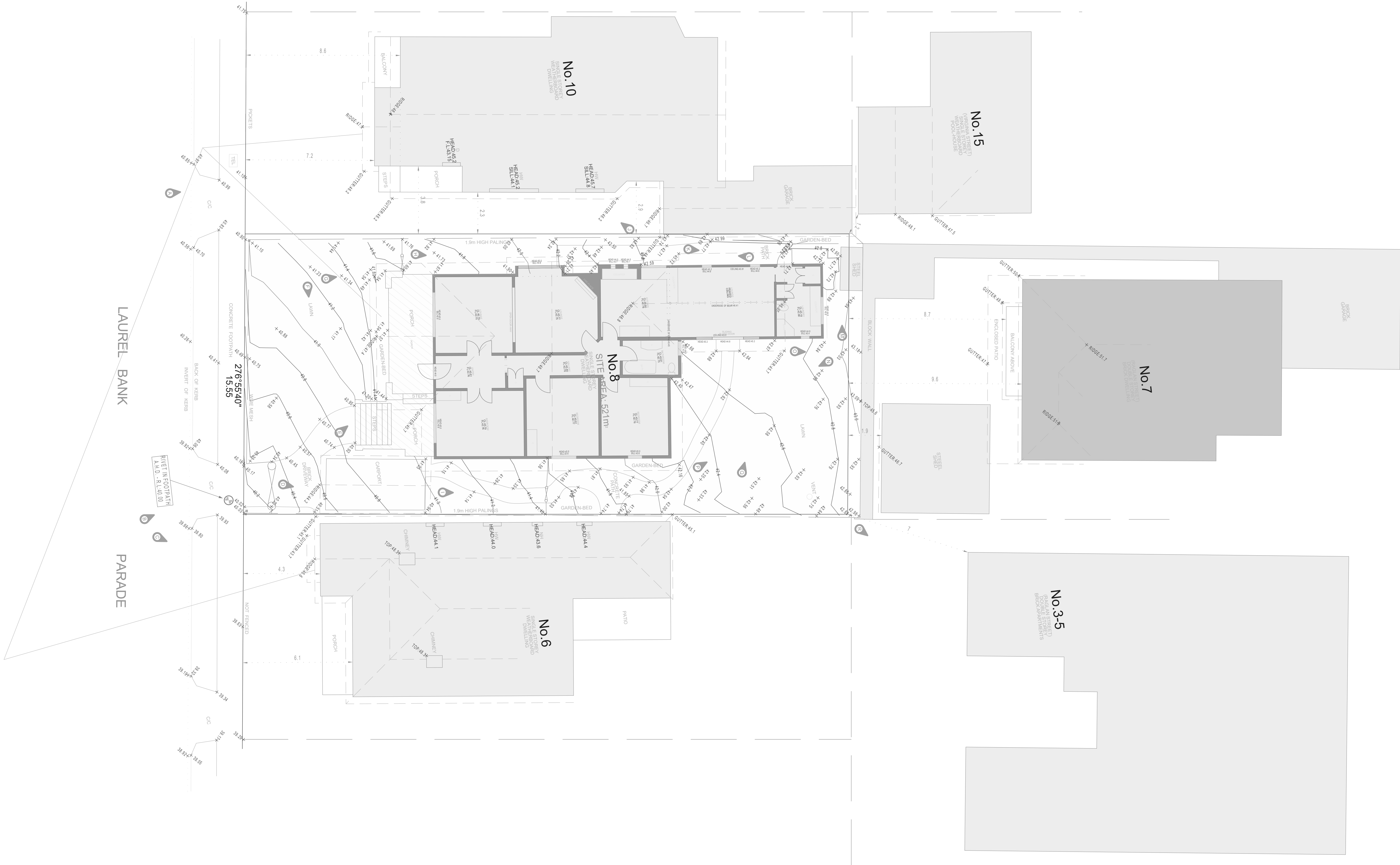
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22/06/2026	TOWN PLANNING
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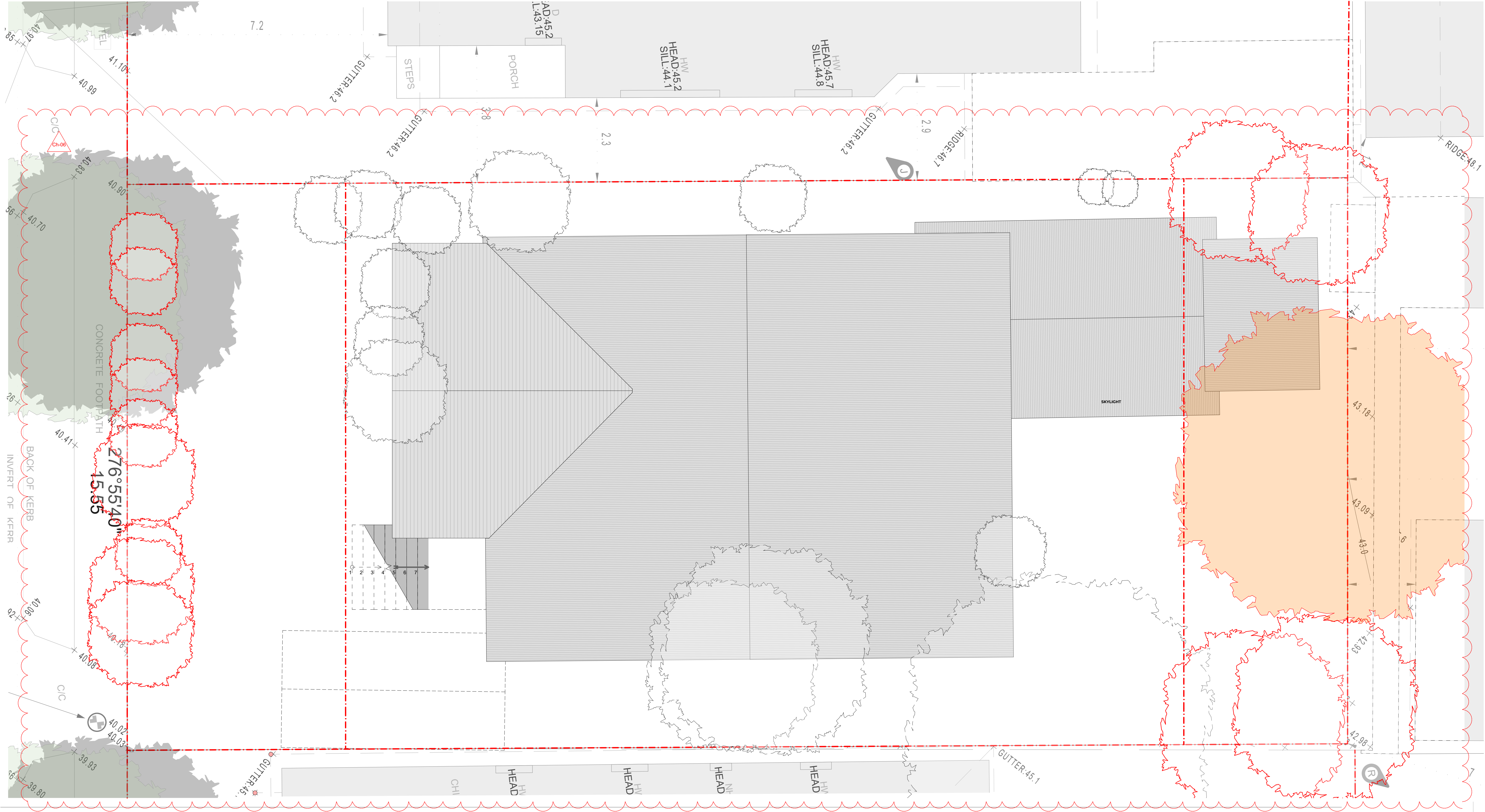
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DRAWING NO

0123



CANOPY TREES

UNDER CLAUSE 52.37, A CANOPY TREE MEANS A TREE THAT HAS:
- A HEIGHT OF MORE THAN 5 METRES ABOVE GROUND LEVEL AND
- A TRUNK CIRCUMFERENCE OF MORE THAN 0.5 METRES
MEASURED AT 1.4 METRES ABOVE GROUND LEVEL AND
- A CANOPY DIAMETER OF AT LEAST 4 METRES.

CANOPY TREE LEGEND

- EXISTING CANOPY TREE TO BE REMOVED
REFER ARBORIST REPORT / PLANNING REPORT.
- EXISTING NON CANOPY EXEMPT TREE TO BE REMOVED
TREE DOES NOT MEET THE CANOPY TREE CRITERIA OF CLAUSE 52.3
- EXISTING CANOPY TREE TO BE RETAINED
TREE MEETS THE CANOPY TREE CRITERIA OF CLAUSE 52.3
- EXISTING NON CANOPY TREE TO BE RETAINED
REFER ARBORIST REPORT / PLANNING REPORT.
- PROPOSED CANOPY TREE, AT MATURITY, TO HAVE:
- AN EXPECTED HEIGHT OF AT LEAST 6 METRES ABOVE GROUND LEVEL AND
- AN EXPECTED CANOPY DIAMETER OF AT LEAST 4 METRES.

CANOPY TREE REQUIREMENT

Table 1 - Minimum canopy tree requirement	
Site area	Canopy tree requirement
100 square metres or less	1 tree
101 sqm to 250 sqm	2 trees
251 sqm to 500 sqm	3 trees
501 sqm to 1000 sqm	4 trees
1001 sqm to 1500 sqm	5 trees
Above 1500 sqm	6 trees
A total canopy cover within the site that is equal to or less 20 per cent of the site area.	

THE MINIMUM CANOPY TREE REQUIREMENT MAY BE MET WITH AN EXISTING CANOPY TREE, BY PLANTING A NEW CANOPY TREE, OR A COMBINATION OF BOTH.

A NEW CANOPY TREE SHOULD BE PLANTED IN:

- A MINIMUM DEEP SOIL AREA OF AT LEAST 12 SQUARE METRES, WITH A MINIMUM DIMENSION OF AT LEAST 2.5 METRES. **OR**
- A PLANTER WITH A MINIMUM VOLUME OF 12 CUBIC METRES, WITH A MINIMUM DEPTH OF AT LEAST 0.8 METRES OF PLANTER SOIL. **OR**
- IF THE PROPOSED CANOPY TREE HAS AN EXPECTED CANOPY DIAMETER OF MORE THAN 8 METRES AT MATURITY, A DEEP SOIL AREA OR PLANTER AREA TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY.

PROPOSED CANOPY TREES

NEW CANOPY TREES TO BE SELECTED BY LANDSCAPE DESIGNER CONSIDERING:

The suitability of the proposed deep soil areas or planter soil volume or depth. A deep soil area may be shared with other canopy trees and other vegetation where it does not affect the viability of the canopy tree growth.

Whether the species of the canopy tree is suited to the soil conditions of the site.

Whether landscaping or design measures are required to provide structural protection of buildings.

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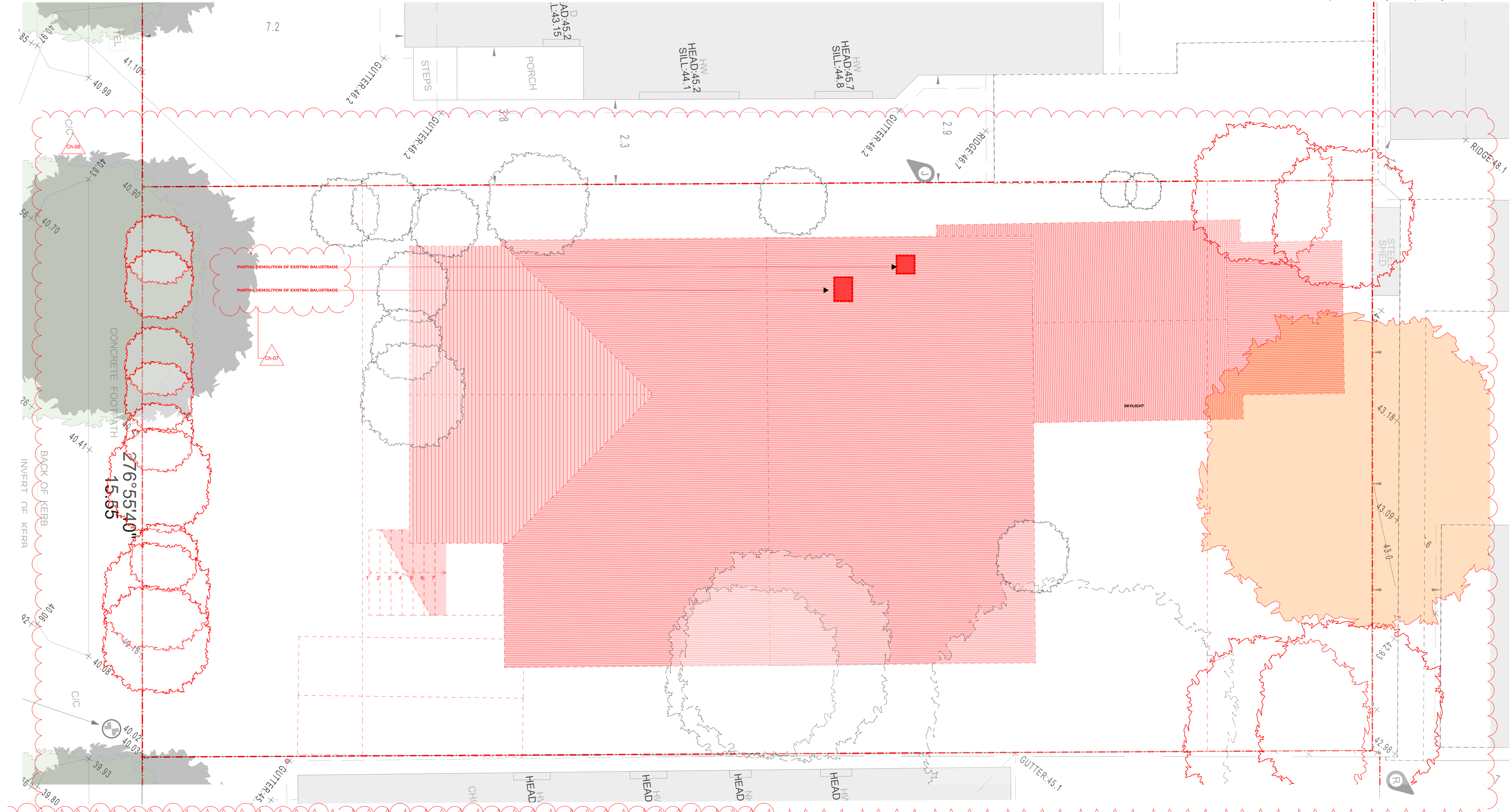
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EXISTING ROOF PLAN

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CANOPY TREES

UNDER CLAUSE 52.37, A CANOPY TREE MEANS A TREE THAT HAS:

- A HEIGHT OF MORE THAN 5 METRES ABOVE GROUND LEVEL AND
- A TRUNK CIRCUMFERENCE OF MORE THAN 15 METRES, MEASURED AT 1.4 METRES ABOVE GROUND LEVEL AND
- A CANOPY DIAMETER OF AT LEAST 4 METRES.

CANOPY TREE LEGEND

- EXISTING CANOPY TREE TO BE REMOVED**
REFER ARBORIST REPORT / PLANNING REPORT.
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CANOPY TREE REQUIREMENT

Table 1 - Minimum canopy tree requirement	
Site area	Canopy tree requirement
100 square metres or less	1 tree
101 sqm to 250 sqm	2 trees
251 sqm to 500 sqm	3 trees
501 sqm to 1000 sqm	4 trees
Above 1000 sqm	5 trees

A total canopy cover within the site that is equal to at least 20 per cent of the site area.

THE MINIMUM CANOPY TREE REQUIREMENT MAY BE MET WITH AN EXISTING CANOPY TREE, BY PLANTING A NEW CANOPY TREE, OR A COMBINATION OF BOTH.

A NEW CANOPY TREE **SHOULD** BE PLANTED IN:

- A MINIMUM DEEP SOIL AREA OF AT LEAST 12 SQUARE METRES, WITH A MINIMUM DIMENSION OF AT LEAST 2.5 METRES; **OR**
- A PLANTER WITH A MINIMUM VOLUME OF 12 CUBIC METRES, WITH A MINIMUM DEPTH OF AT LEAST 0.8 METRES OF PLANTER SOIL; **OR**
- IF THE PROPOSED CANOPY TREE HAS AN EXPECTED CANOPY DIAMETER OF MORE THAN 8 METRES AT MATURITY, A DEEP SOIL AREA OR PLANTER AREA TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY.

PROPOSED CANOPY TREES

NEW CANOPY TREES TO BE SELECTED BY LANDSCAPE DESIGNER CONSIDERING:

The suitability of the proposed deep soil areas or planter soil volume or depth. A deep soil area may be shared with other canopy trees and other vegetation where it does not affect the viability of the canopy tree growth.

Whether the species of the canopy tree is suited to the soil conditions of the site.

Whether landscaping or design measures are required to provide structural protection of buildings.

DEMOLITION METHOD STATEMENT

- ALL DEMOLITION WORKS SHALL COMPLY WITH AS 2601 AND BE UNDERTAKEN BY A SUITABLY QUALIFIED AND EXPERIENCED CONTRACTOR.
- PRIOR TO DEMOLITION, THE STRUCTURAL ENGINEER SHALL INSPECT THE EXISTING BUILDING AND CONFIRM THE REQUIRED DEMOLITION SEQUENCE, TEMPORARY PROPPING AND BRACING.
- ALL BUILDING FABRIC SHOWN TO BE RETAINED SHALL BE RECORDED, PROTECTED AND SAFEGUARDED THROUGHOUT THE WORKS. THIS INCLUDES THE RETAINED FRONT FACADE, ROOF STRUCTURE, EXTERNAL WALLS AND EXISTING VERANDAH PIERS, CAPPING, POSTS, FREWORK AND RETAINED BALUSTRADE.
- TEMPORARY PROPPING AND BRACING SHALL BE INSTALLED TO THE STRUCTURAL ENGINEERS REQUIREMENTS BEFORE ANY ADJOINING LOADBEARING WALL, ROOF, FLOOR OR SUPPORTING ELEMENT IS REMOVED.
- DEMOLITION ADJOINING RETAINED FABRIC SHALL BE UNDERTAKEN BY HAND IN SMALL, CONTROLLED SECTIONS, GENERALLY COMMENCING AT ROOF LEVEL AND WORKING DOWNWARDS. CONNECTIONS SHALL BE CAREFULLY CUT AND SEPARATED. RETAINED FABRIC SHALL NOT BE PULLED, IMPACTED OR USED TO SUPPORT DEMOLITION EQUIPMENT.
- MECHANICAL DEMOLITION SHALL NOT OCCUR IMMEDIATELY ADJACENT TO RETAINED HERITAGE FABRIC UNLESS APPROVED BY THE STRUCTURAL ENGINEER.
- EXPOSED ROOF, WALL AND FLOOR EDGES SHALL BE TEMPORARILY SUPPORTED, SEALED AND WEATHERPROOFED IMMEDIATELY FOLLOWING DEMOLITION. RETAINED FABRIC SHALL REMAIN STRUCTURALLY STABLE, DRY AND PROTECTED FROM DAMAGE AT ALL TIMES.
- TEMPORARY PROPPING AND WEATHER PROTECTION SHALL REMAIN IN PLACE UNTIL THE NEW PERMANENT STRUCTURE IS COMPLETE AND THE STRUCTURAL ENGINEER CONFIRMS THAT IT MAY BE REMOVED.
- SHOULD ANY MOVEMENT, CRACKING, INSTABILITY OR UNFORESEEN CONDITION BE IDENTIFIED, WORK SHALL CEASE IMMEDIATELY AND THE STRUCTURAL ENGINEER SHALL BE NOTIFIED.
- ANY DAMAGE TO RETAINED FABRIC SHALL BE REPAIRED USING MATERIALS, DETAILS AND FINISHES TO MATCH THE EXISTING.

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NOTE: EXISTING TREES AND VEGETATION TO BE REMOVED AND REPLACED WITH NEW LANDSCAPING.

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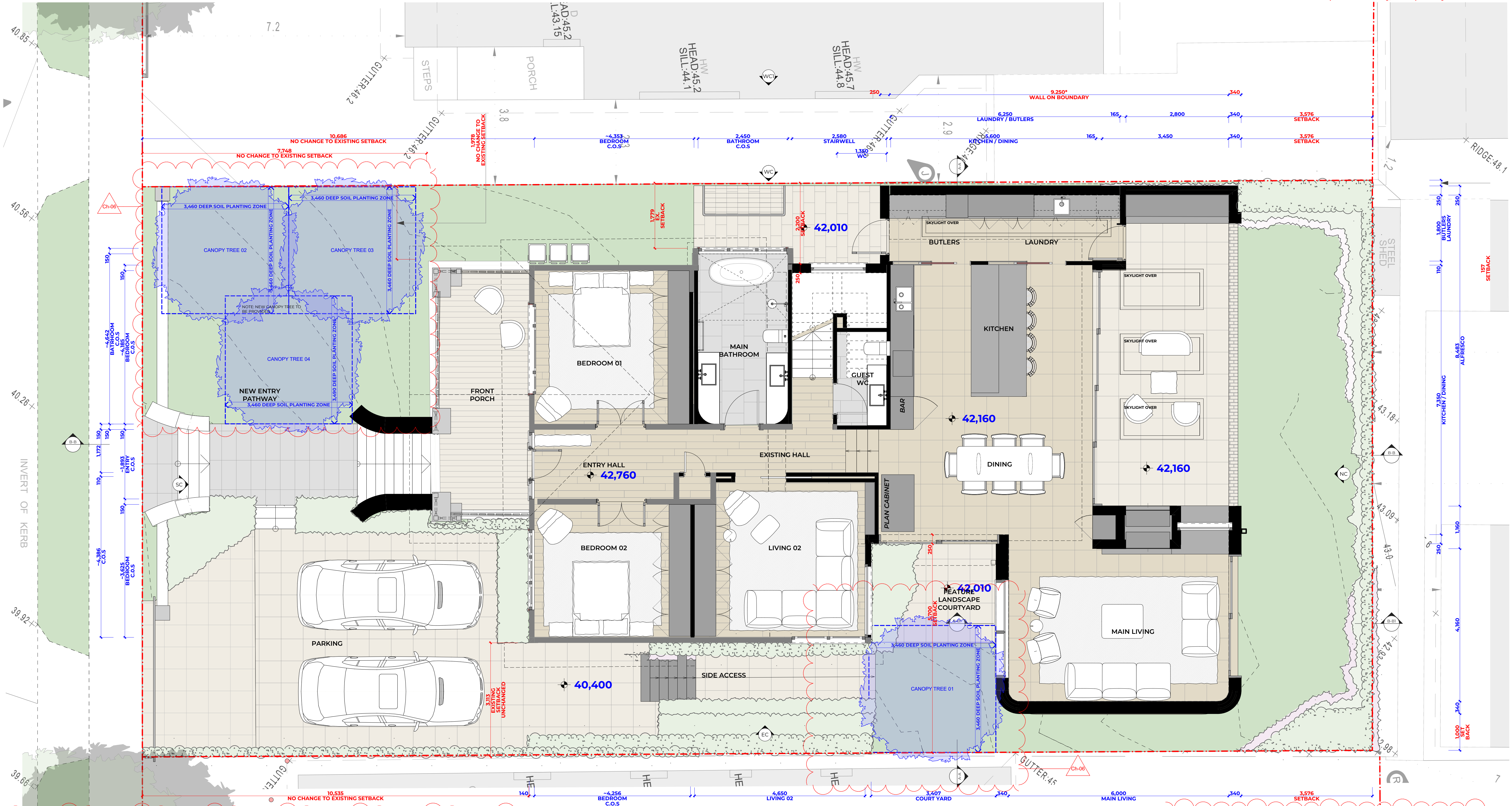
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DEMOLITION PLANS

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CANOPY TREES

UNDER CLAUSE 52.37, A CANOPY TREE MEANS A TREE THAT HAS:

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CANOPY TREE LEGEND

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CANOPY TREE REQUIREMENT

Site area	Canopy tree requirement
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Above 10000 sqm	A total canopy cover within the site that is equal to or less than 25 per cent of the site area.

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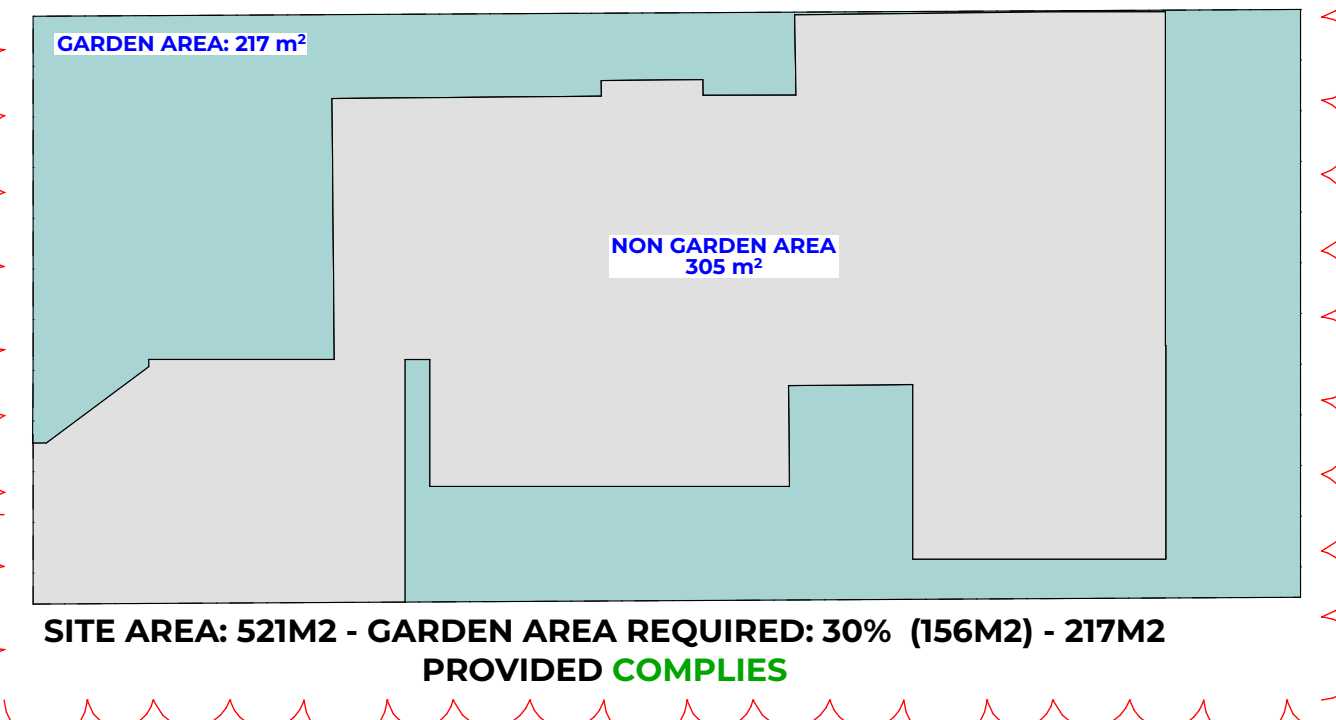
PROPOSED CANOPY TREES

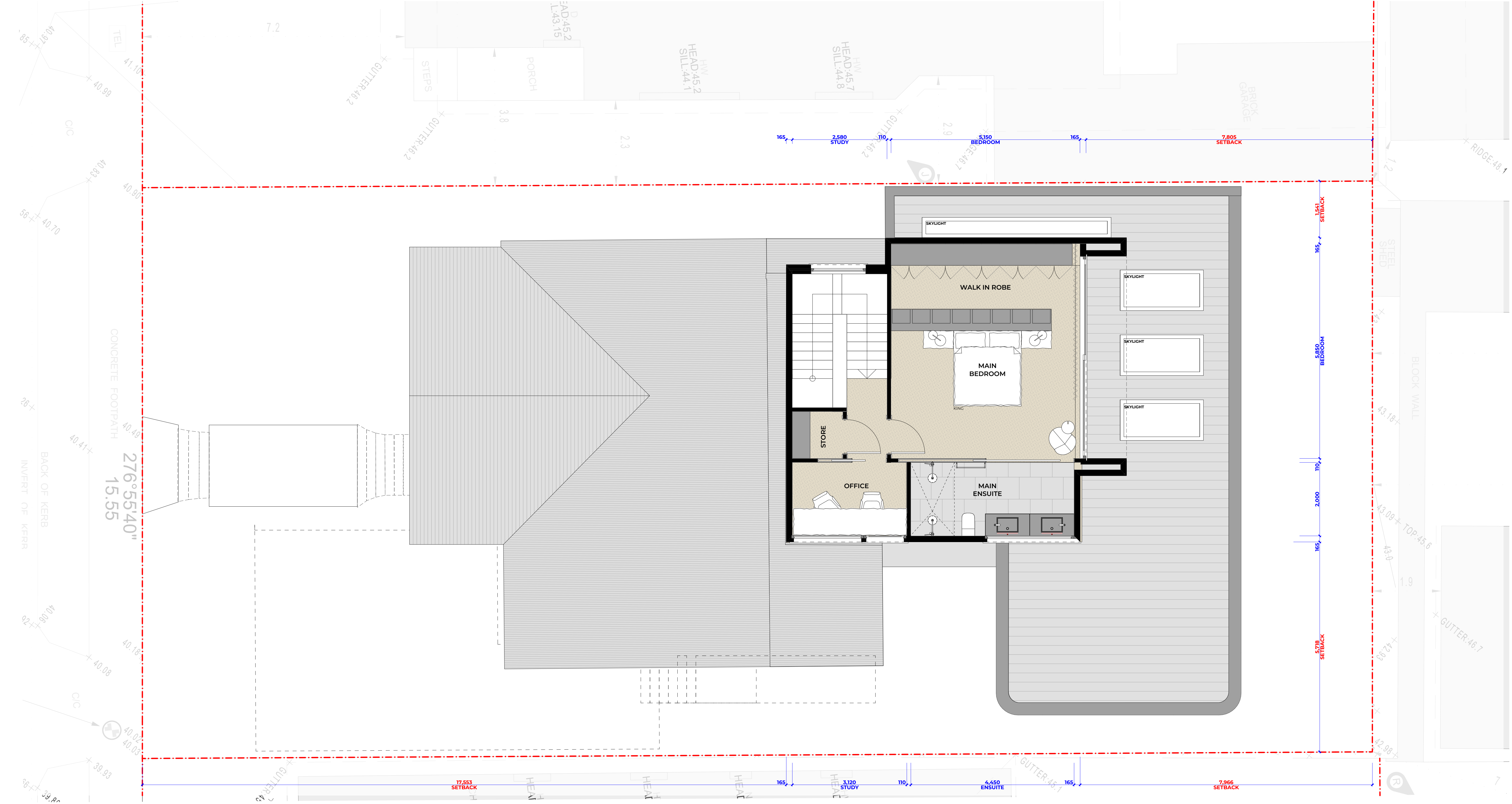
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Ch-04

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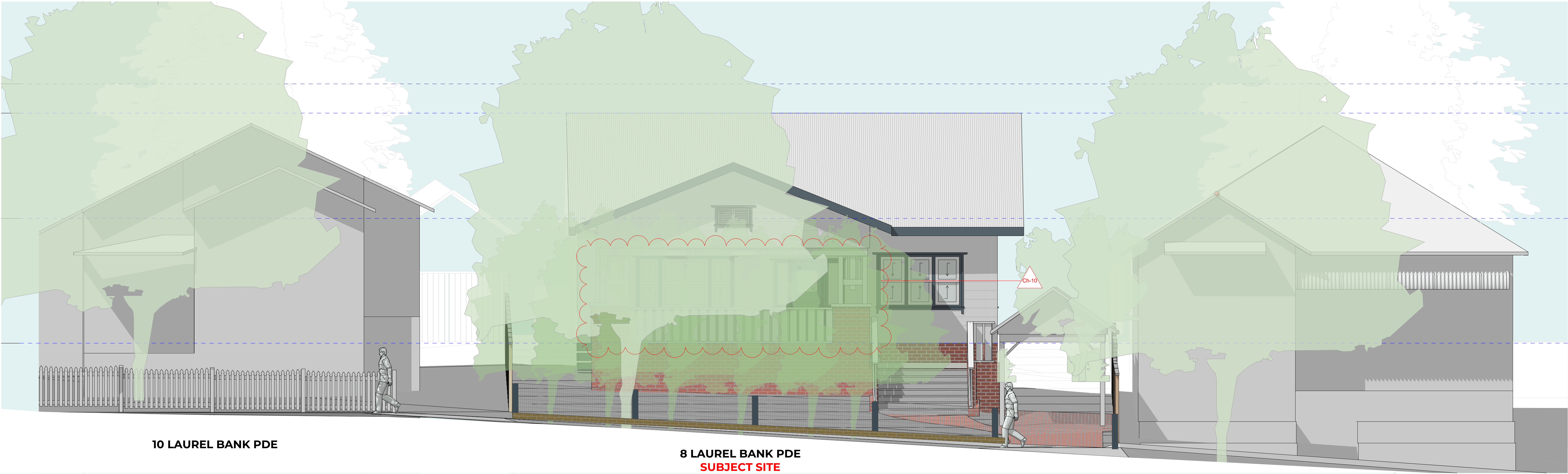
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FIRST FLOOR PLANS

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10 LAUREL BANK PDE

8 LAUREL BANK PDE
SUBJECT SITE

6 LAUREL BANK PDE
SUBJECT SITE



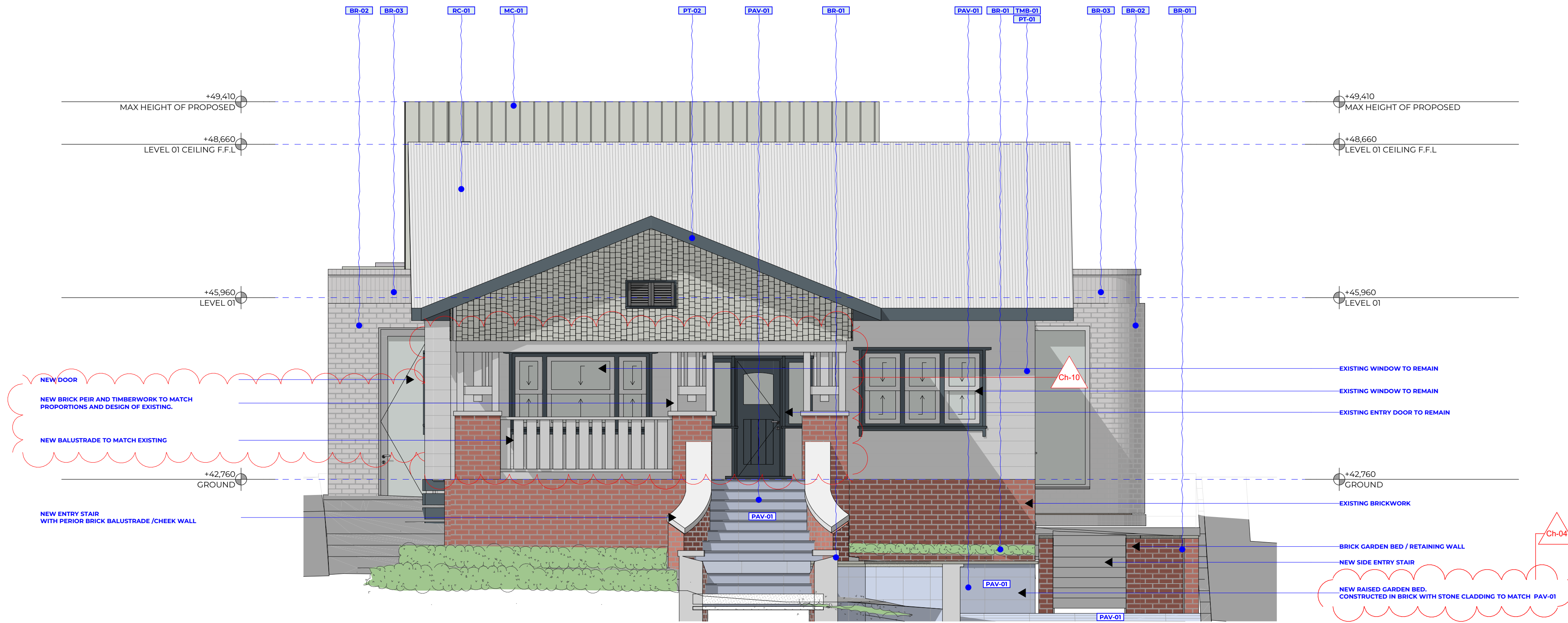
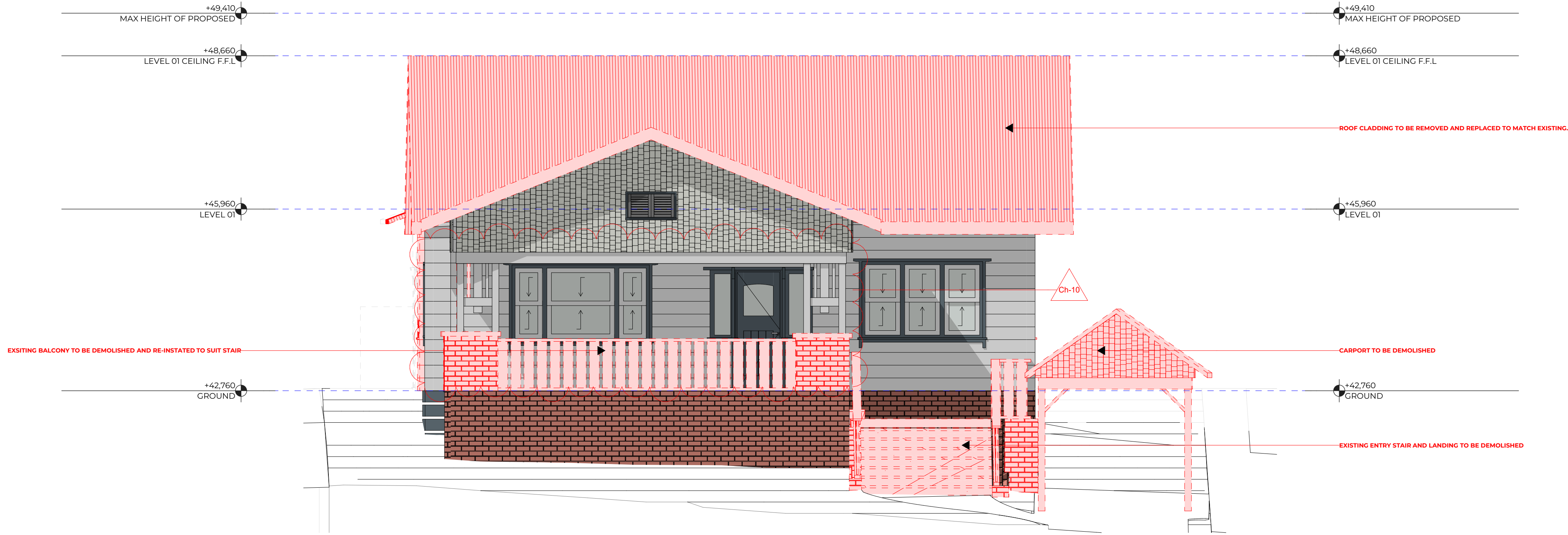
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EXTERNAL FINISHES LEGEND

EC	CEMENT SHEET
PTE	EXTERNAL PAINT FINISH
PCE	EXTERNAL PAINT FINISH
STE	STONE FINISH
BL	BLOCKWORK
BR	BRICK
TC	TIMBER CLADDING
RN	RENDER
MC	METAL CLADDING
AL	ALUMINIUM
AP	OTHER APPLIED FINISH
GL	GLASS FINISHES
PV	EXTERNAL PAVING
RC	ROOF CLADDING
TB	TIMBER DECKING

TMB-01	DESCRIPTION EXTERNAL CLADDING SUPPLIER / PRODUCT NAME WEATHERBOARD COLOUR / FINISH MATCH PT-01 COMMENTS:
PAV-01	DESCRIPTION FRONT STEPS PAVING SUPPLIER / PRODUCT NAME STONE PAVING COLOUR / FINISH BLUESTONE COMMENTS:

BR-01	DESCRIPTION BRICK CLADDING SUPPLIER / PRODUCT NAME RED BRICKS COLOUR / FINISH MATCH EXISTING COMMENTS:
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BR-02	DESCRIPTION BRICK CLADDING SUPPLIER / PRODUCT NAME PAINTED RECYCLED BRICKS COLOUR / FINISH WHITE COMMENTS:
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BR-03	DESCRIPTION BRICK CLADDING - VERTICAL STACK BOND SUPPLIER / PRODUCT NAME PAINTED RECYCLED BRICKS COLOUR / FINISH WHITE COMMENTS:
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MC-01	DESCRIPTION METAL CLADDING SUPPLIER / PRODUCT NAME VERTICAL ARCHCLAD COLOUR / FINISH WHITE COMMENTS:
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RC-01	DESCRIPTION ROOF CLADDING SUPPLIER / PRODUCT NAME CORRUGATED COLOUR / FINISH LIGHT GREY COMMENTS:
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PT-01	DESCRIPTION EXTERNAL PAINT FINISH PRODUCT NAME COLOUR / FINISH WHITE COMMENTS:
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PT-02	DESCRIPTION EXTERNAL PAINT FINISH PRODUCT NAME COLOUR / FINISH DARK NAVY COMMENTS: MATCH EXISTING
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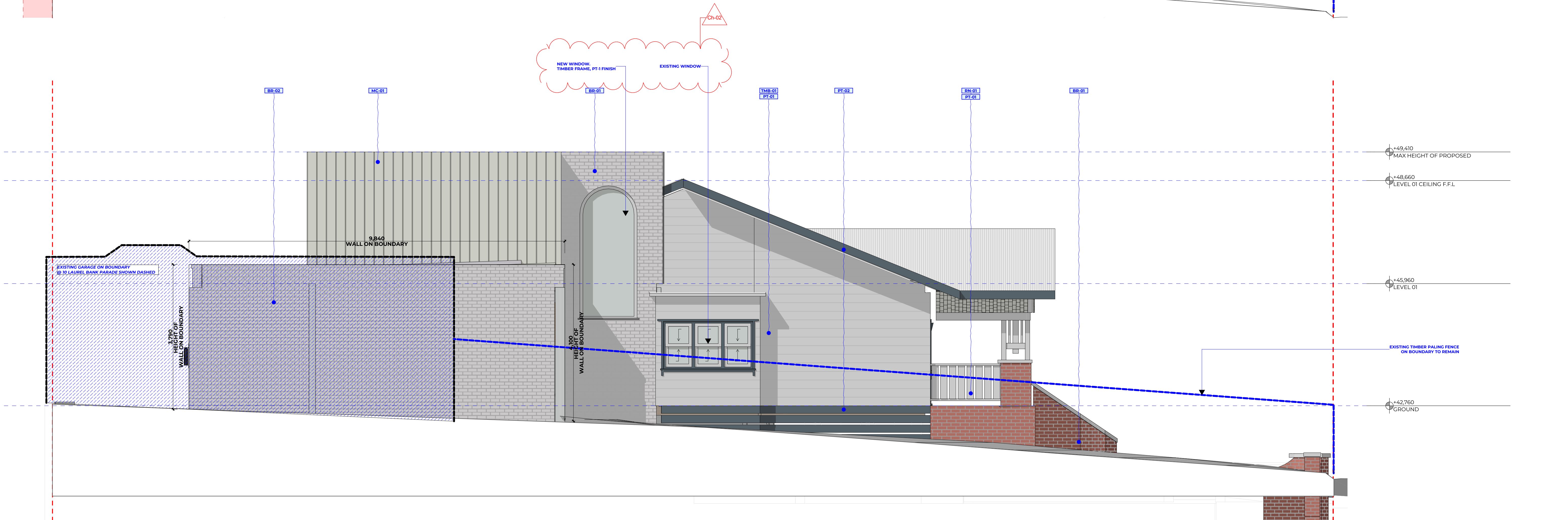
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SOUTH ELEVATIONS

1:50
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EXTERNAL FINISHES LEGEND

FC	CEMENT SHEET
PTE	EXTERNAL PAINT FINISH
PCE	EXTERNAL PAINT FINISH
STL	STONE FINISH
BL	BLOCKWORK
BR	BRICK
TC	TIMBER CLADDING
RND	RENDER
MC	METAL CLADDING
AL	ALUMINUM
AP	OTHER APPLIED FINISH
CL	GLASS FINISHES
PV	EXTERNAL PAVING
RC	ROOF CLADDING
TD	TIMBER DECKING



--	--	--	--	--	--



11

PAV-01	DESCRIPTION	FRONT STEPS/PAVING	SUPPLIER / PRODUCT NAME	STONE PAVING	COLOUR / FINISH	BLUESTONE	COMMENTS:	Ch-03

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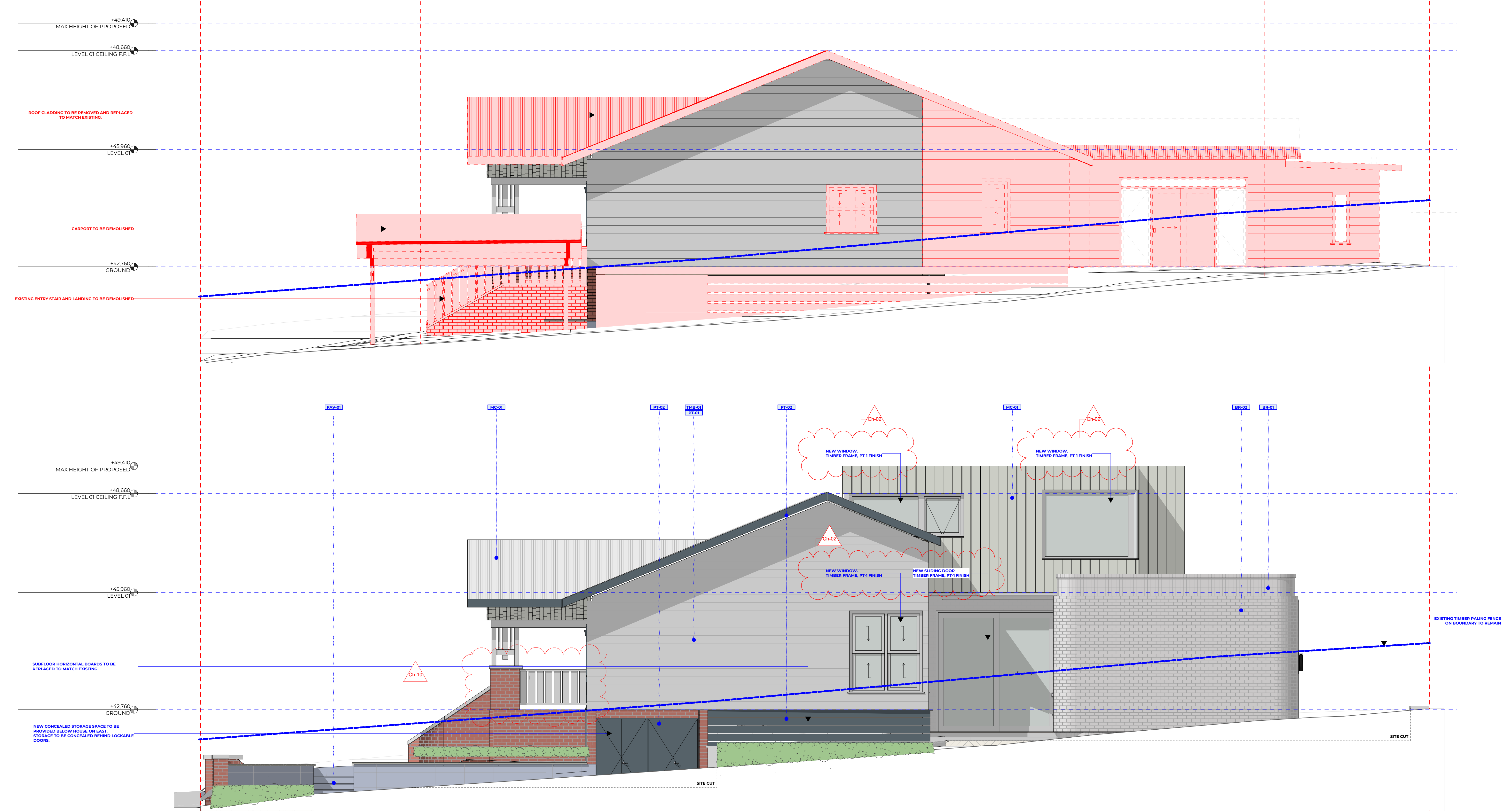
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EXTERNAL FINISHES LEGEND

EC	CEMENT SHEET
PTE	EXTERNAL PAINT FINISH
PCE	EXTERNAL PAINT FINISH
STE	STONE FINISH
BL	BLOCKWORK
BR	BRICK
TC	TIMBER CLADDING
RN	RENDER
MC	METAL CLADDING
AL	ALUMINIUM
AP	OTHER APPLIED FINISH
GL	GLASS FINISHES
PV	EXTERNAL PAVING
RE	ROOF CLADDING
TD	TIMBER DECKING

TMBC-01	DESCRIPTION EXTERNAL CLADDING SUPPLIER / PRODUCT NAME WEATHERBOARD COLOUR / FINISH MATCH PT-01 COMMENTS:
PT-01	DESCRIPTION EXTERNAL PAINT FINISH PRODUCT NAME COLOUR / FINISH WHITE COMMENTS:

BR-01	DESCRIPTION BRICK CLADDING SUPPLIER / PRODUCT NAME RED BRICKS COLOUR / FINISH MATCH EXISTING COMMENTS:
BR-02	DESCRIPTION BRICK CLADDING SUPPLIER / PRODUCT NAME PAINTED RECYCLED BRICKS COLOUR / FINISH WHITE COMMENTS:

BR-03	DESCRIPTION BRICK CLADDING - VERTICAL STACK BOND SUPPLIER / PRODUCT NAME PAINTED RECYCLED BRICKS COLOUR / FINISH WHITE COMMENTS:
MC-01	DESCRIPTION METAL CLADDING SUPPLIER / PRODUCT NAME VERTICAL ARCHCLAD COLOUR / FINISH WHITE COMMENTS:

RC-01	DESCRIPTION ROOF CLADDING SUPPLIER / PRODUCT NAME CORRUGATED COLOUR / FINISH LIGHT GREY COMMENTS:
PT-02	DESCRIPTION EXTERNAL PAINT FINISH PRODUCT NAME COLOUR / FINISH DARK NAVY COMMENTS: MATCH EXISTING

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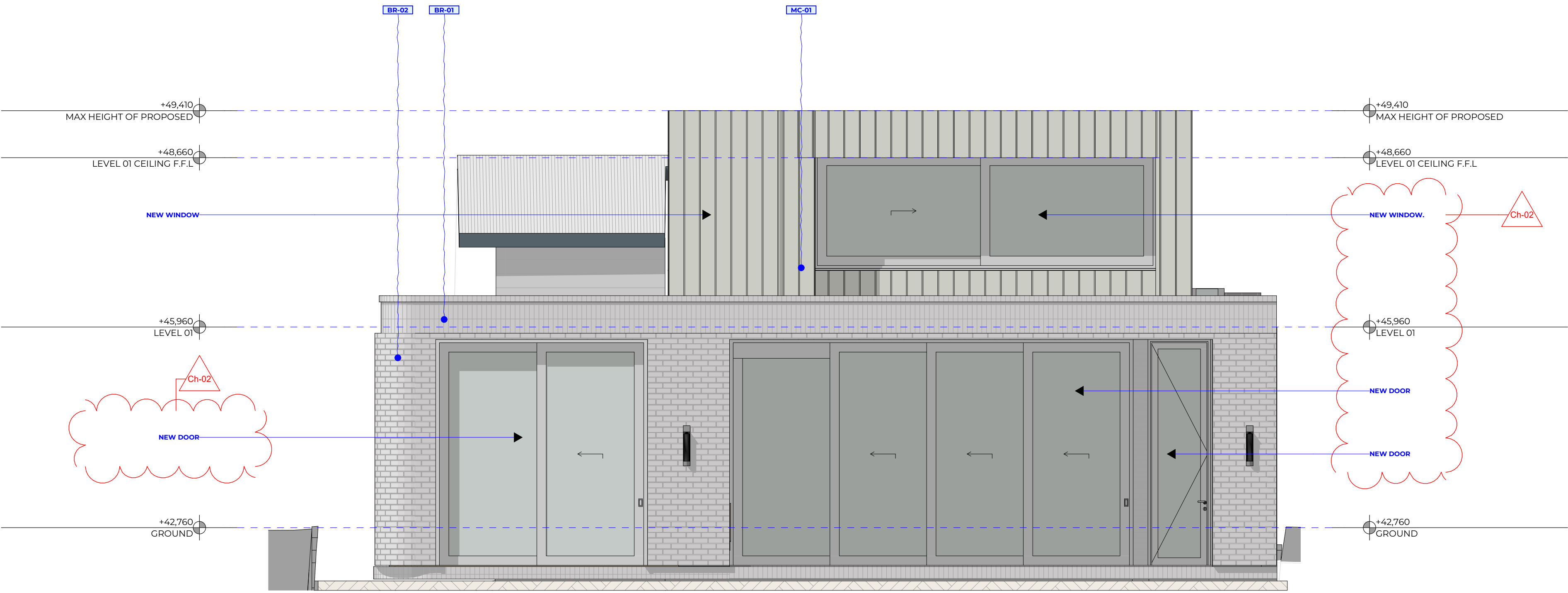
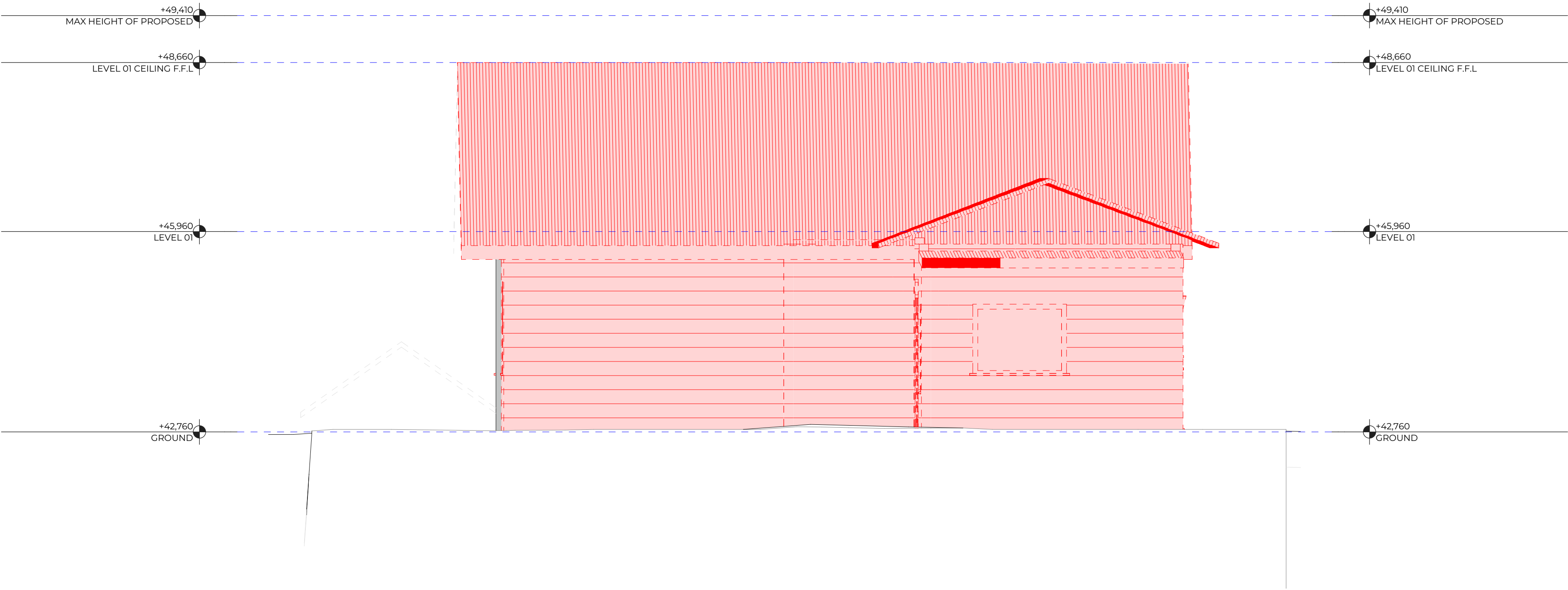
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EXTERNAL FINISHES LEGEND

EC	CEMENT SHEET
PTE	EXTERNAL PAINT FINISH
PCE	EXTERNAL PAINT FINISH
STE	STONE FINISH
BL	BLOCKWORK
BR	BRICK
TC	TIMBER CLADDING
RN	RENDER
MC	METAL CLADDING
AL	ALUMINIUM
AP	OTHER APPLIED FINISH
GL	GLASS FINISHES
PV	EXTERNAL PAVING
RC	ROOF CLADDING
TD	TIMBER DECKING

DESCRIPTION	EXTERNAL CLADDING
SUPPLIER / PRODUCT NAME	WEATHERBOARD
COLOUR / FINISH	MATCH PT-01
COMMENTS:	

DESCRIPTION	FRONT STEPS PAVING
SUPPLIER / PRODUCT NAME	STONE PAVING
COLOUR / FINISH	BLUESTONE
COMMENTS:	

DESCRIPTION	BRICK CLADDING
SUPPLIER / PRODUCT NAME	RED BRICKS
COLOUR / FINISH	MATCH EXISTING
COMMENTS:	

DESCRIPTION	BRICK CLADDING
SUPPLIER / PRODUCT NAME	PAINTED RECYCLED BRICKS
COLOUR / FINISH	WHITE
COMMENTS:	

DESCRIPTION	BRICK CLADDING - VERTICAL STACK BOND
SUPPLIER / PRODUCT NAME	PAINTED RECYCLED BRICKS
COLOUR / FINISH	WHITE
COMMENTS:	

DESCRIPTION	METAL CLADDING
SUPPLIER / PRODUCT NAME	VERTICAL ARCHCLAD
COLOUR / FINISH	WHITE
COMMENTS:	

DESCRIPTION	ROOF CLADDING
SUPPLIER / PRODUCT NAME	CORRUGATED
COLOUR / FINISH	LIGHT GREY
COMMENTS:	

DESCRIPTION	EXTERNAL PAINT FINISH
PRODUCT NAME	
COLOUR / FINISH	WHITE
COMMENTS:	

DESCRIPTION	EXTERNAL PAINT FINISH
PRODUCT NAME	
COLOUR / FINISH	DARK NAVY
COMMENTS:	MATCH EXISTING

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3D PERSPECTIVE 1:200



3D PERSPECTIVE 1:200



3D PERSPECTIVE 1:200

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3D PERSPECTIVE 1:200



3D PERSPECTIVE 1:200



3D PERSPECTIVE 1:200



3D PERSPECTIVE 1:200



3D PERSPECTIVE 1:200



3D PERSPECTIVE 1:200



3D PERSPECTIVE 1:200



3D PERSPECTIVE 1:200



3D PERSPECTIVE

1:200



3D PERSPECTIVE

1:200

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3D PERSPECTIVES

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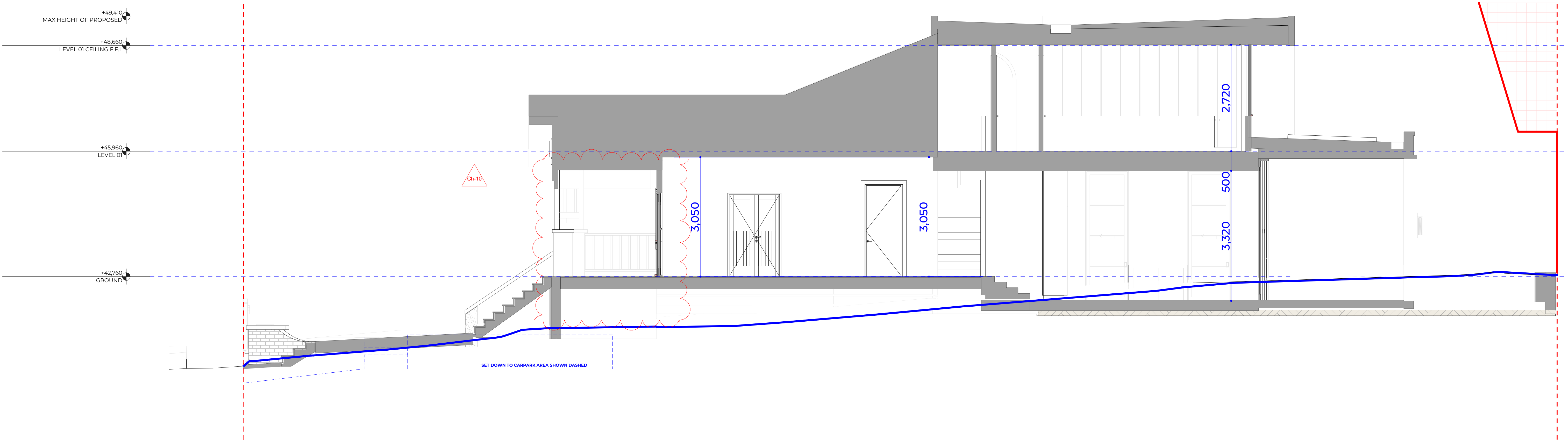
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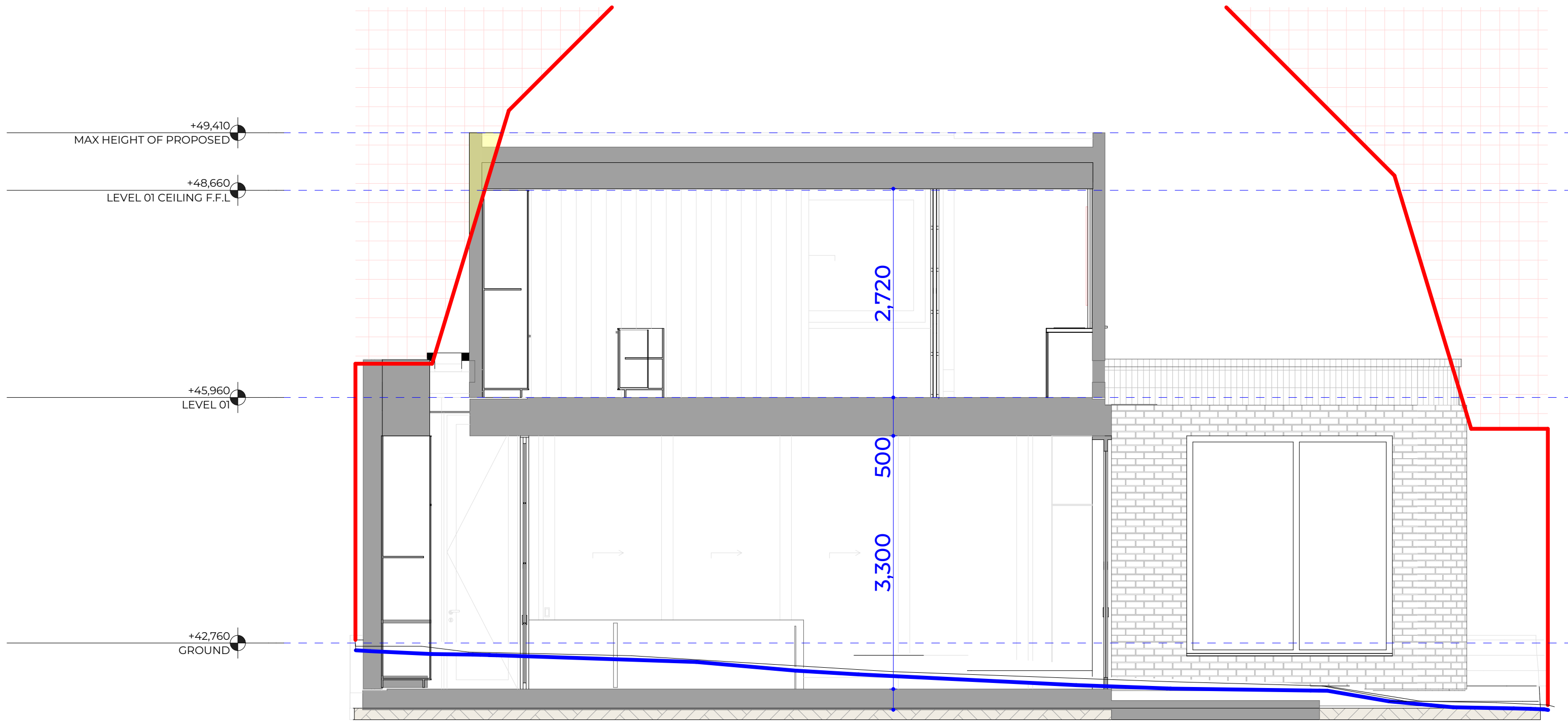
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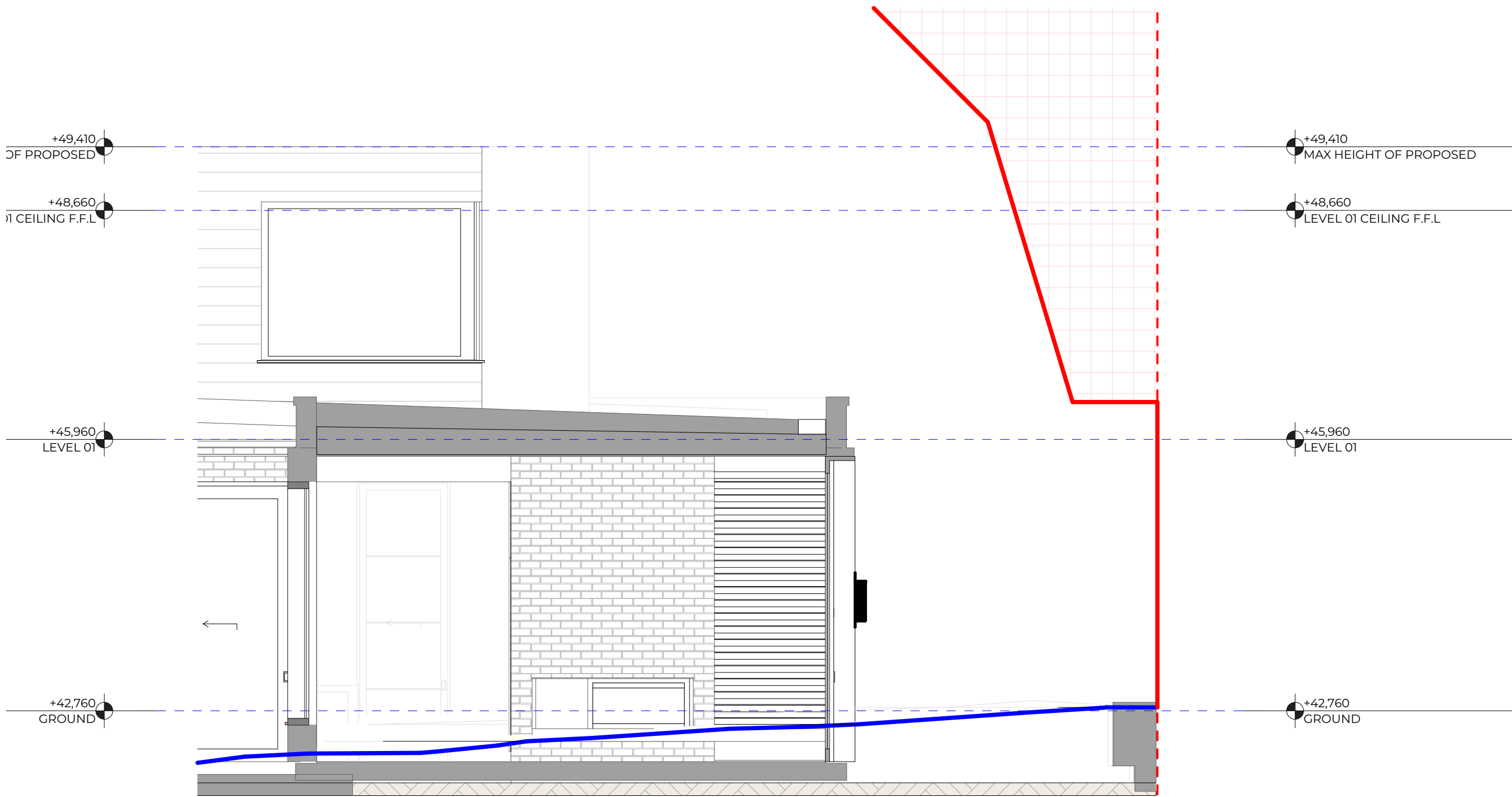
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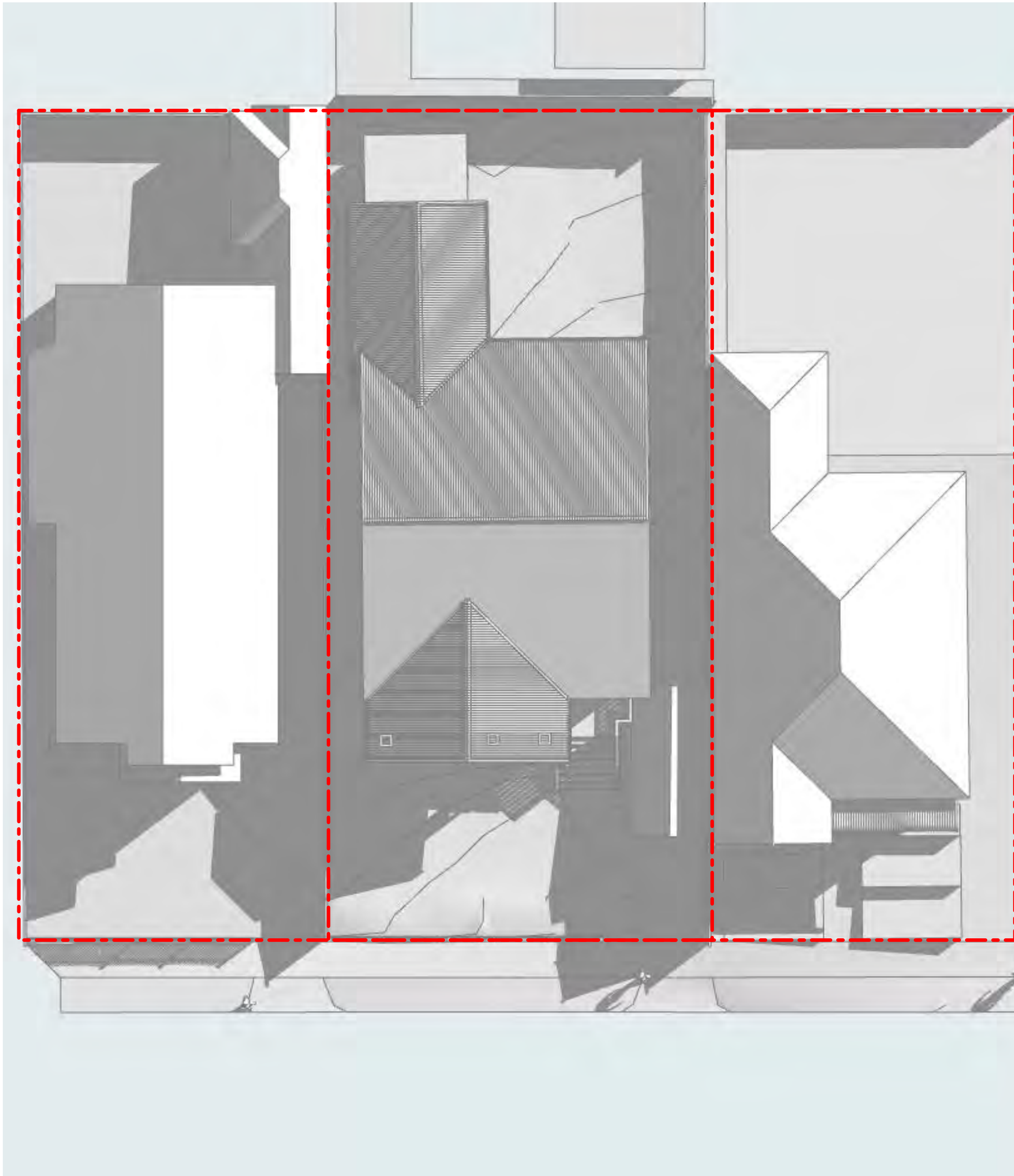
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SECTION C-C

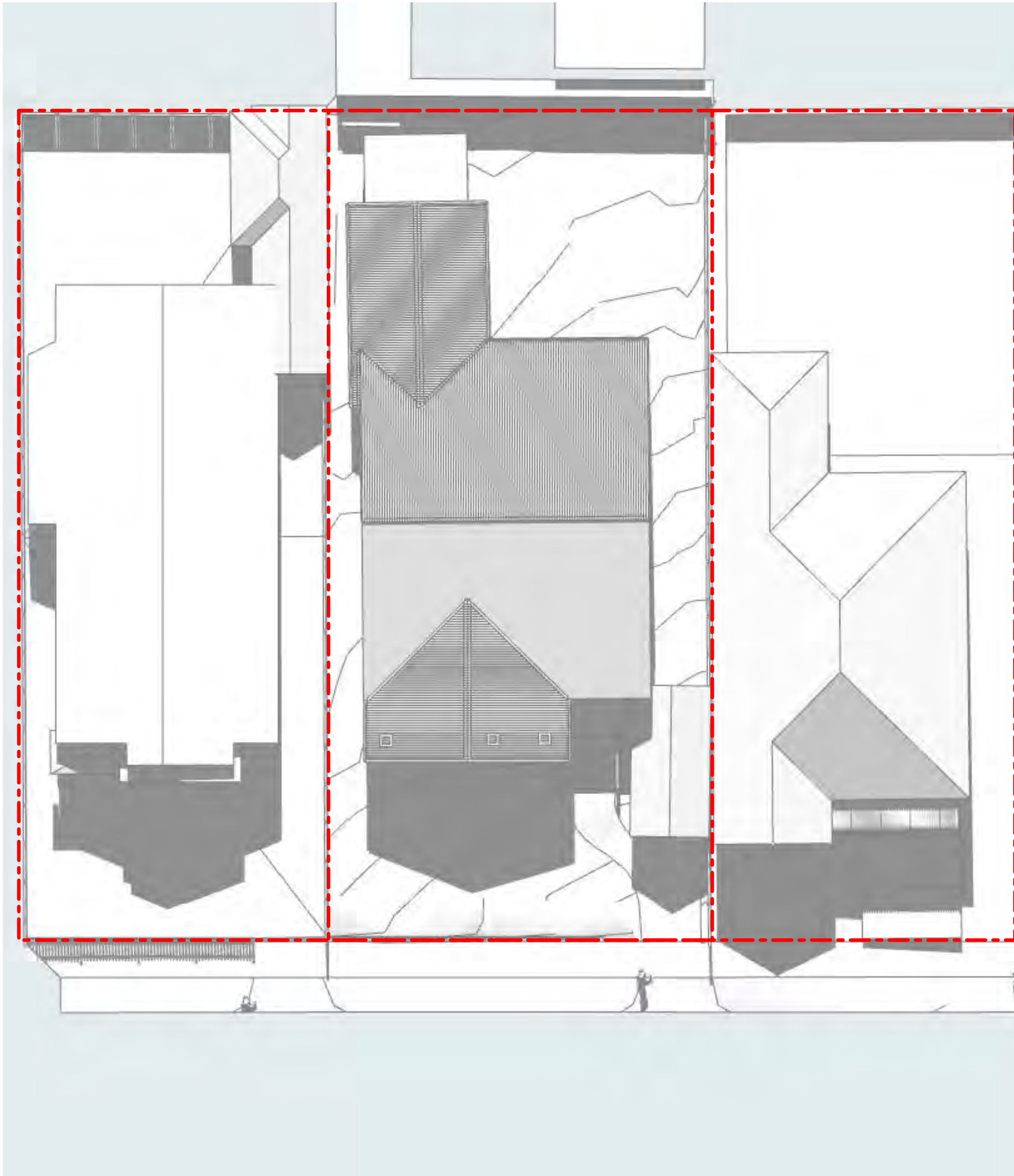
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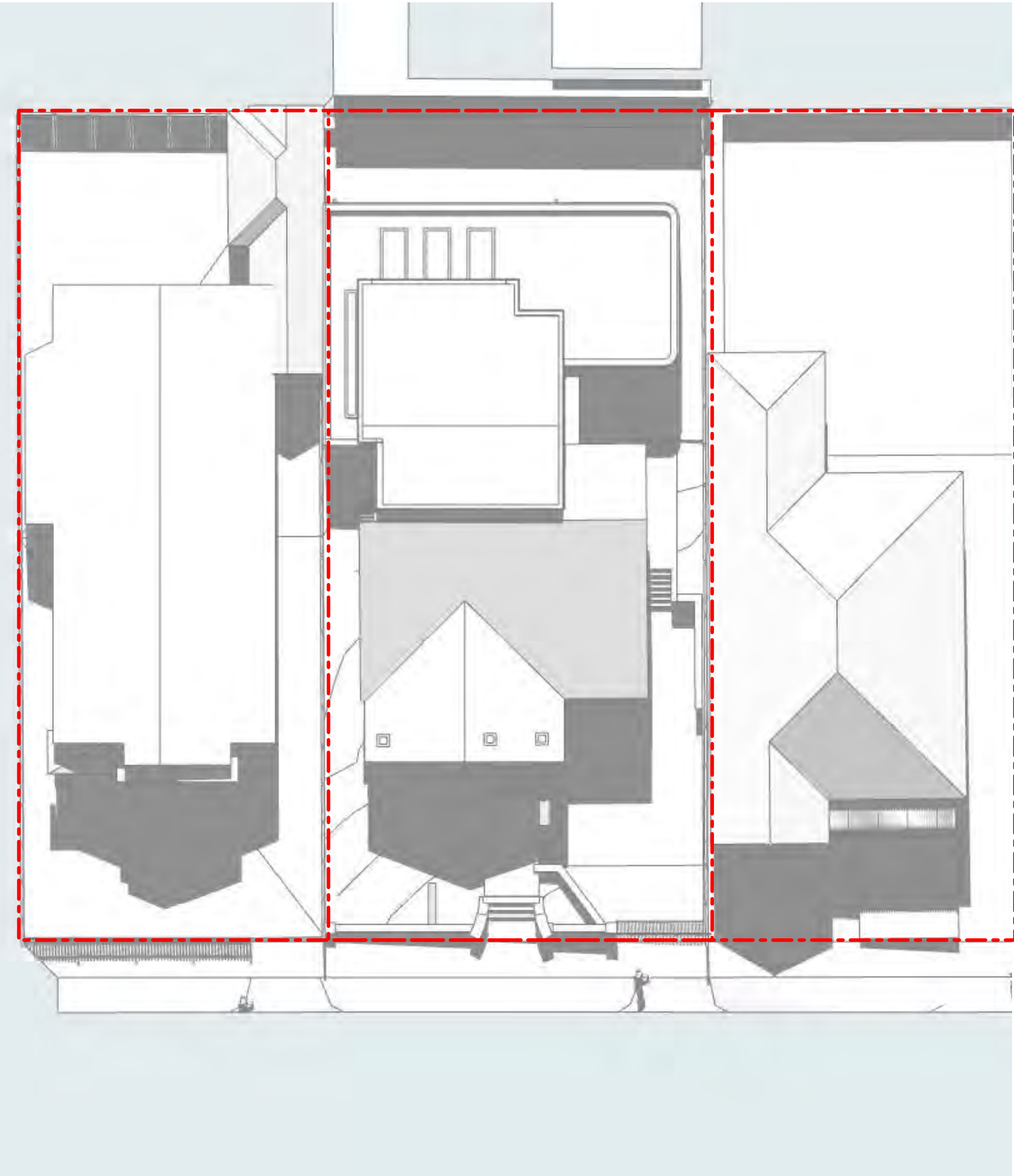


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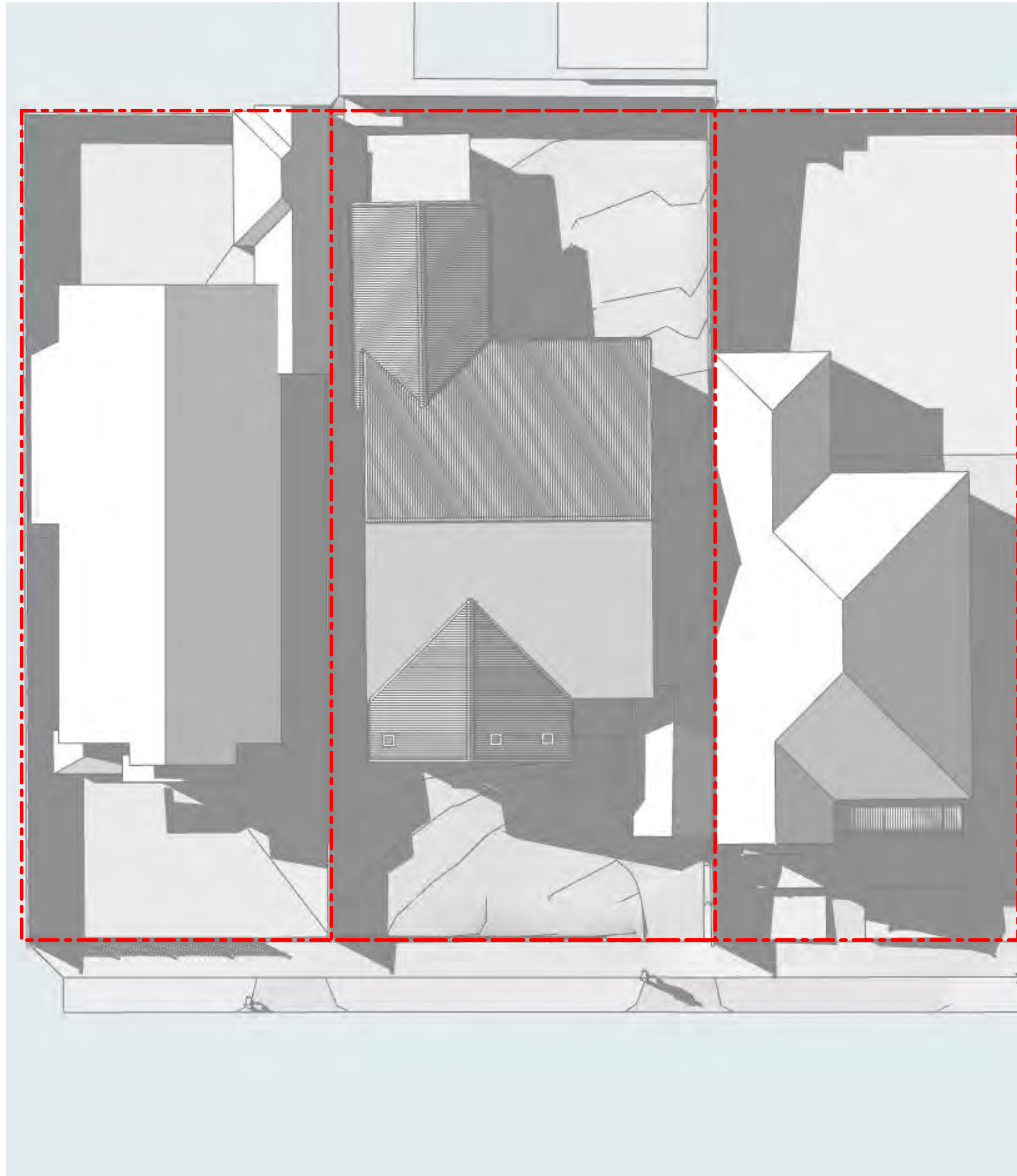
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1:100



SHADOWS: 12PM

1:100



SHADOWS: 3PM 1:100



SHADOWS: 3PM 1:100