

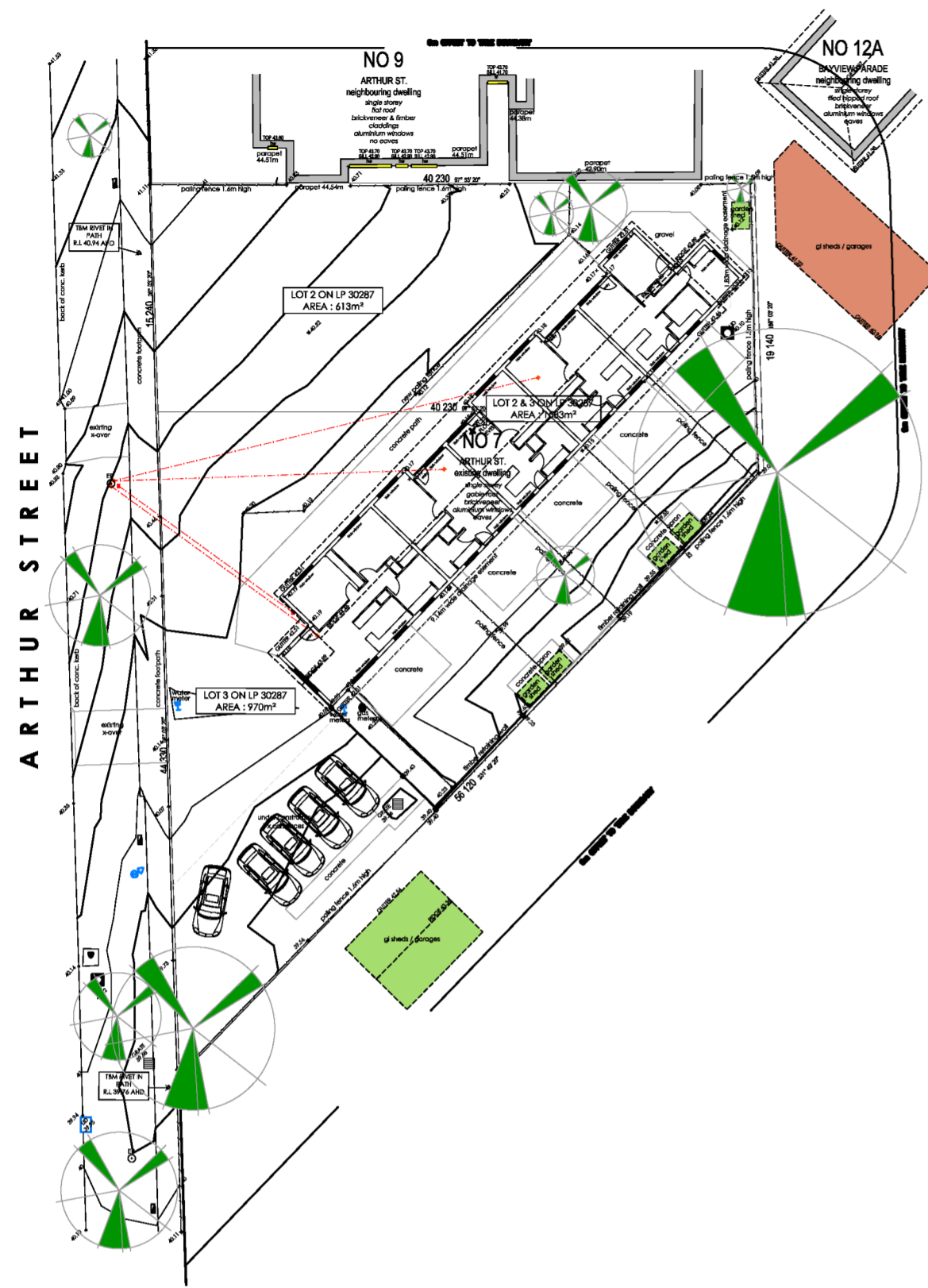
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date commenced: XX / XX / 2020
date first issued:

rev	date	drw	chk	description
A	16/03/2026	TPP	TPP	RFI COUNCIL CHANGES

PROPOSED AREA SCHEDULE

EXISTING UNIT		
Existing Unit Floor	267.03 m ²	28.74 sq
Existing Pergola	97.95 m ²	10.54 sq
SUB TOTAL AREA	364.98 m²	39.28 sq
UNIT 6		
Ground Floor	55.9 m ²	6.02sq
Patio	5.36 m ²	0.57 sq
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UNIT 7		
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UNIT 8		
Ground Floor	111.11 m ²	11.97 sq
Patio	7.34 m ²	0.79 sq
SUB TOTAL AREA	118.45 m²	
TOTAL BUILDING AREA	521.48m²	
Site Area	1582.35 m ²	
Site Coverage (60% max.)	514.54 m ²	32.5 %
Permeability (20% min.)	605.00 m ²	38 %
Garden Area (35% min.)	684.39 m ²	43.25 %
Common Property	00.0 m ²	



CONTEXT FLOOR PLAN
SCALE 1:400

LOCALITY PLAN
NOT TO SCALE

EXISTING AREA SCHEDULE		
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Existing Pergola	97.95 m ²	10.54 sq
TOTAL BUILDING AREA	364.98 m²	39.28 sq

LEGEND: Site Features	
1	SUBJECT SITE AREA 1583.0 m2
2	STREET FRONTAGE
3	EXISTING ADJOINING NEIGHBOURS
4	ADJOINING PRIVATE OPEN SPACE TO BE PROTECTED
5	ADJOINING SECLUDED PRIVATE OPEN SPACE TO BE PROTECTED
6	ACCESS TO PUBLIC TRANSPORT: Bus Stop Route 24 (Arthur St/ Church St) 170m SOUTH WEST
7	ACCESS TO SHOPS: Volls IGA Hamlyn Heights - 1.1km NORTH, Coles Geelong West - 1.8 km SOUTH EAST.
8	PARK LANDS: Hamlyn Park 450m NORTH EAST.
9	PROXIMITY TO SCHOOLS: Clonard College - 270m SOUTH EAST, St Josephs College - 650m SOUTH EAST
10	VEHICLE SITE ENTRY
11	EXISTING VEHICLE ENTRY
	ROAD NOISE
	HABITABLE WINDOW OF ADJOINING RESIDENCES
	EXISTING DWELLING
	EXISTING GARAGE
	EXISTING CARPORT
	EXISTING SHED

NOTE: NO CONTAMINATED SOIL ON SUBJECT SITE



client approval signature:

stage:
PLANNING

project:
UNIT DEVELOPMENT

site address:
**7 ARTHUR STREET
HAMLYN HEIGHTS**

client:

drawing title:
CONTEXT

date:	16/03/2026	drawn:	TPP
scale:	AS SHOWN	checked:	TP
sheet no:	01 of 10		

file no: **251963** rev no: **A**

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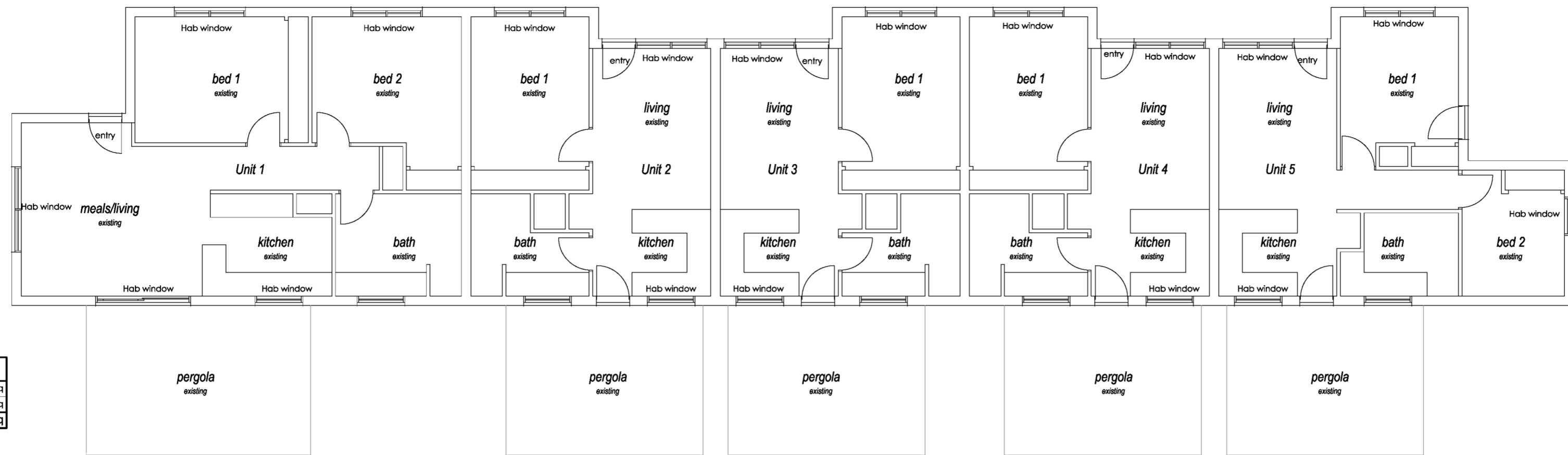
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PROPOSED AREA SCHEDULE

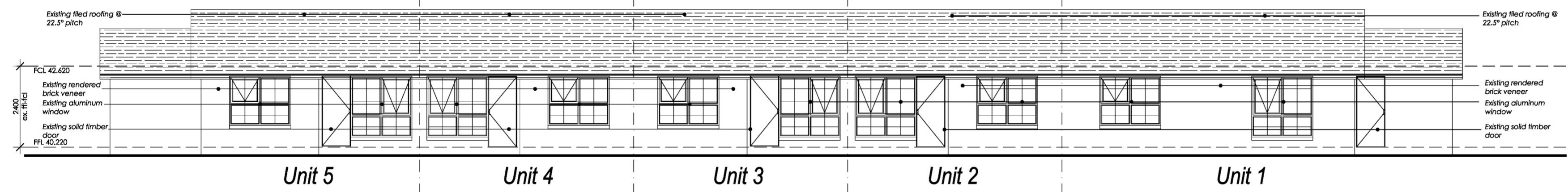
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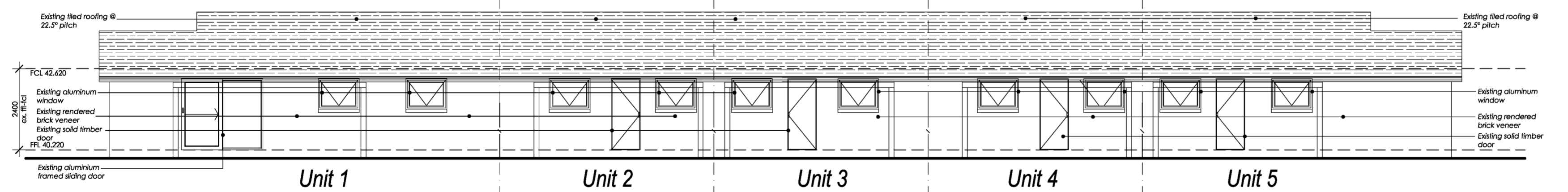
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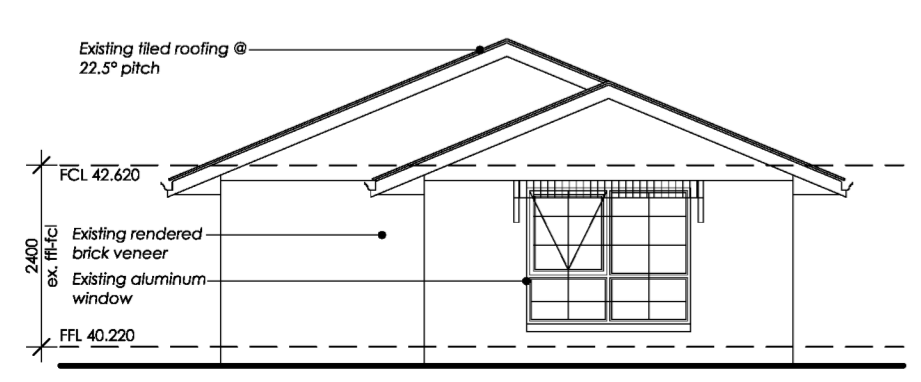
EXISTING FLOOR PLAN
SCALE 1:100



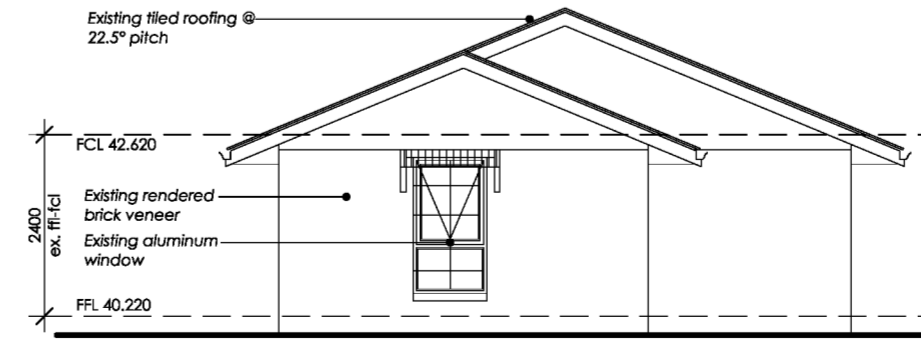
EXISTING NORTH ELEVATION
SCALE 1:100



EXISTING SOUTH ELEVATION
SCALE 1:100



EXISTING WEST ELEVATION
SCALE 1:100



EXISTING EAST ELEVATION
SCALE 1:100

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project:
UNIT DEVELOPMENT

site address:
**7 ARTHUR STREET
HAMLYN HEIGHTS**

client:

drawing title:
EXISTING

date:	16/03/2026	drawn:	TPP
scale:	1:100	checked:	TP
sheet no:	02 of 10	rev no:	A

251963

PRELIMINARY
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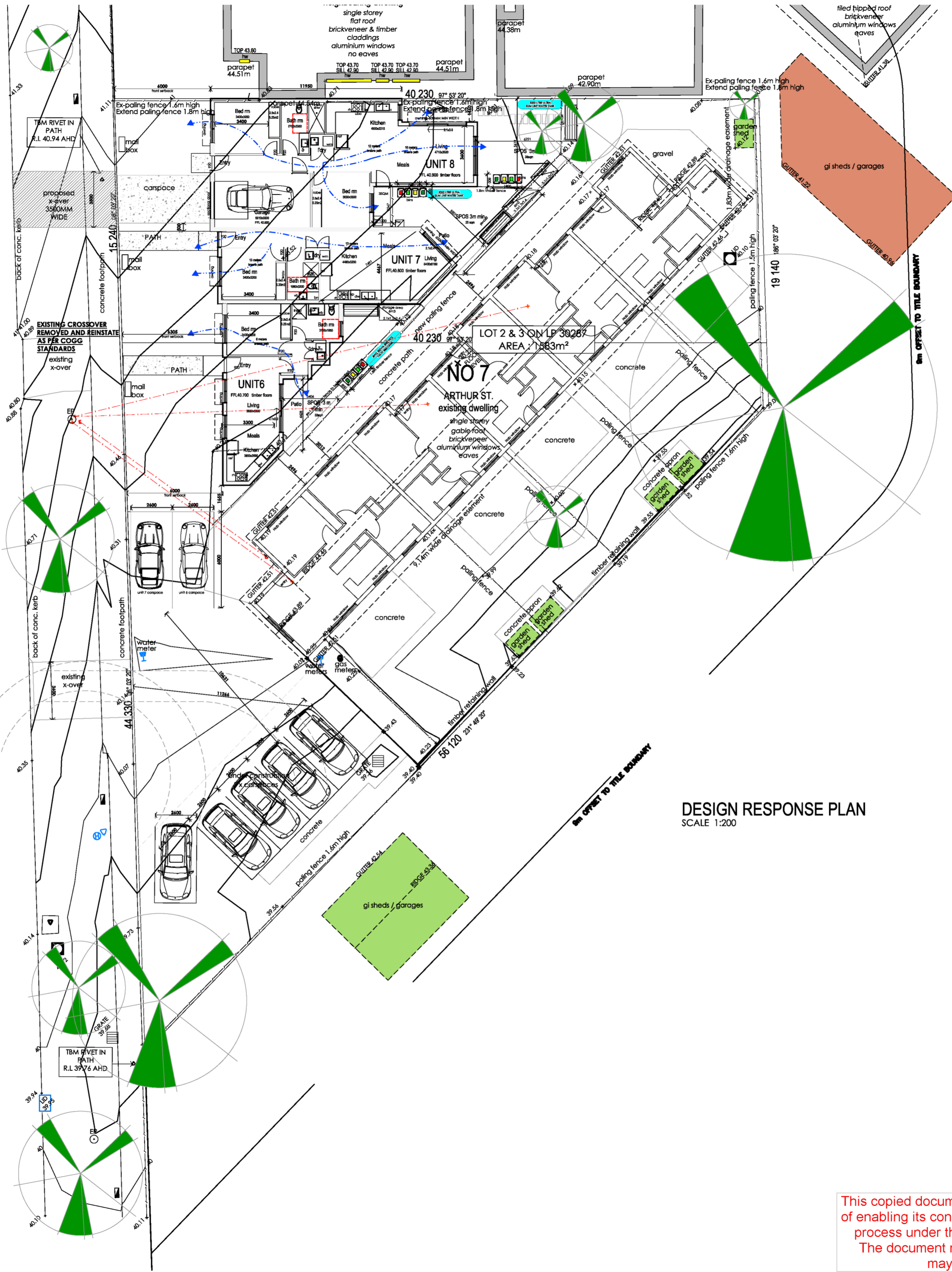
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Common Property	00.0 m ²	

LEGEND: Design Response

A	SUBJECT SITE AREA: 1583.0 m ²
B	STREET SETBACK Unit 6 - 5.590m, Unit 7 - 5.770m, Unit 8 - 6.000m
C	ADJOINING PRIVATE OPEN SPACE TO BE PROTECTED
D	3200 mm MAX. HEIGHT OF WALLS ON BOUNDARIES (N/A)
E	SERVICE AREAS
F	PRIVATE OPEN SPACE - exceeds 40m ² (Min.)
G	SECLUDED PRIVATE OPEN SPACE - exceeds 25m ² (Min.)
H	PROPOSED LANDSCAPING - SEE SHEET 15
I	CARPORT
J	NORTH FACING LIVING ROOM WINDOWS
K	ENTRY VISIBLE FROM STREET
L	EXISTING CROSS OVER
M	PROPOSED CROSS OVER
N	ARROW SHOWS SCHOOL NEARBY
BUILDING HEIGHT: U6 - 3.960m, U7 - 4.053m, U8 - 4.407m	
SITE COVERAGE - 32.50%	
SITE PERMEABILITY - 54.60 % permeable	
WALL ON BOUNDARIES - 11.950M	
U6	SIDE SETBACK: 1.860m FRONT SETBACK: 5.590m
U7	SIDE SETBACK: 1.990m FRONT SETBACK: 5.770m, First Floor - 2.400m
U8	SIDE SETBACK: 1.560m FRONT SETBACK: 6.000m
NORTH FACING WINDOWS - Allow for sufficient daylight	
OVERLOOKING - Not applicable	
OVERSHADOWING - Refer to sheets 10, 11 & 12	

ARTHUR STREET



DESIGN RESPONSE PLAN
SCALE 1:200

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Common Property	00.0 m ²	

PRELIMINARY
not to be used for construction

client approval signature:

stage:
PLANNING

project:
UNIT DEVELOPMENT

site address:
**7 ARTHUR STREET
HAMLYN HEIGHTS**

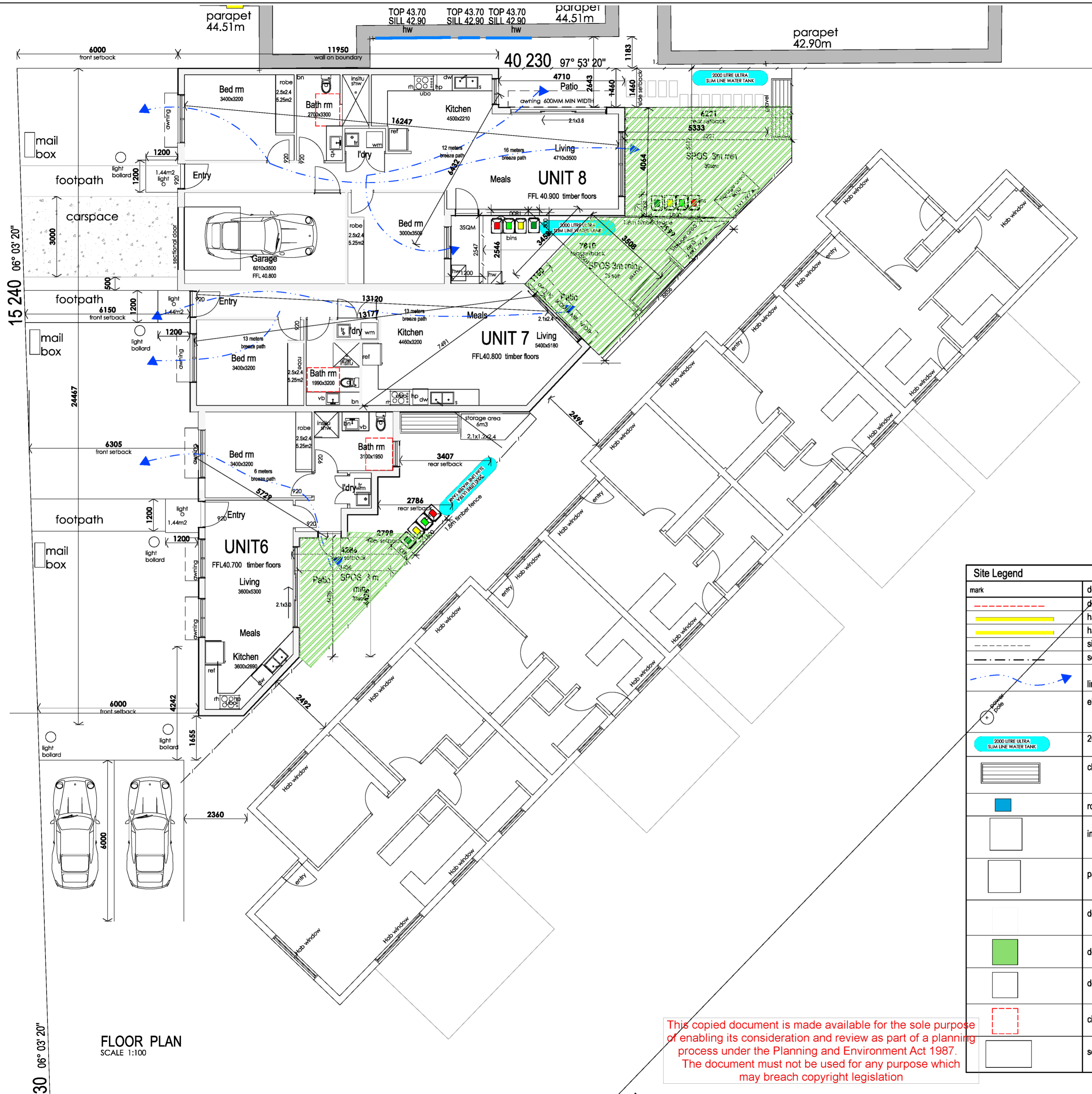
client:

drawing title:
DESIGN RESPONSE

date:	16/03/2026	drawn:	TPP
scale:	1:100	checked:	TP
sheet no:	03 of 10		

file no: **251963** rev no: **A**

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FLOOR PLAN
SCALE 1:100

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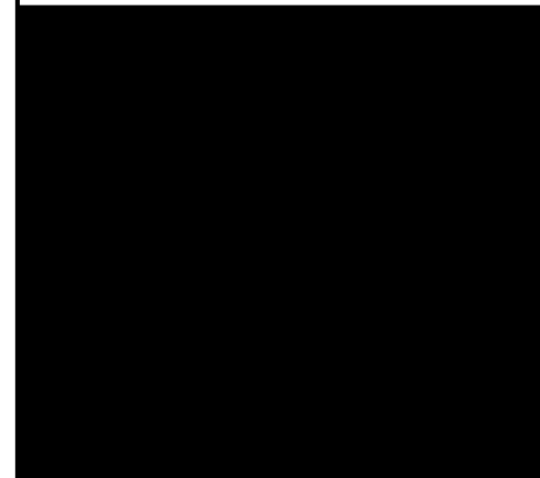
mark	description	abbreviations
---	démolished walls	dw
—	habitable windows	hb
—	habitable windows north	nhb
- - -	site boundary	
- - -	sewer	
→	line of cross ventilation	
⊕	electrical power pole	
○	2000 Lt slim line water tank	Wt
—	clothes line	
■	roof catchment area m2	
□	impervious concrete area	
□	paved area	
□	denotes dwelling outline	
■	denotes garden area	
□	denotes exclusion area	
□	circulation space 1m	
□	solar panel	

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stage:

PLANNING



site address:

7 ARTHUR STREET
HAMLYN HEIGHTS

client:

drawing title:
FLOOR PLAN

date:	16/03/2026	drawn:	TPP
scale:	1:100	checked:	TP
sheet no:	04 of 10	rev no:	

file no: 251963 rev no: A

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mark	description	abbreviations
---	demolished walls	dw
▬	habitable windows	hb
▬	habitable windows north	nhb
---	site boundary	
---	sewer	
→	line of cross ventilation	
⊕	electrical power pole	
2000 LITRE ULTRA SLIM LINE WATER TANK	2000 lt slim line water tank	Wt
▬	clothes line	
■	roof catchment area m2	
□	impervious concrete area	
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□	solar panel	



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PROPOSED ROOF PLAN
SCALE 1:100

PRELIMINARY
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client approval signature:

stage:
PLANNING

project:
UNIT DEVELOPMENT

site address:
**7 ARTHUR STREET
HAMLYN HEIGHTS**

client:

drawing title:
ROOF PLAN

date:	16/03/2026	drawn:	TPP
scale:	1:100	checked:	TP
sheet no:	05 of 10		

file no: **251963** rev no: **A**

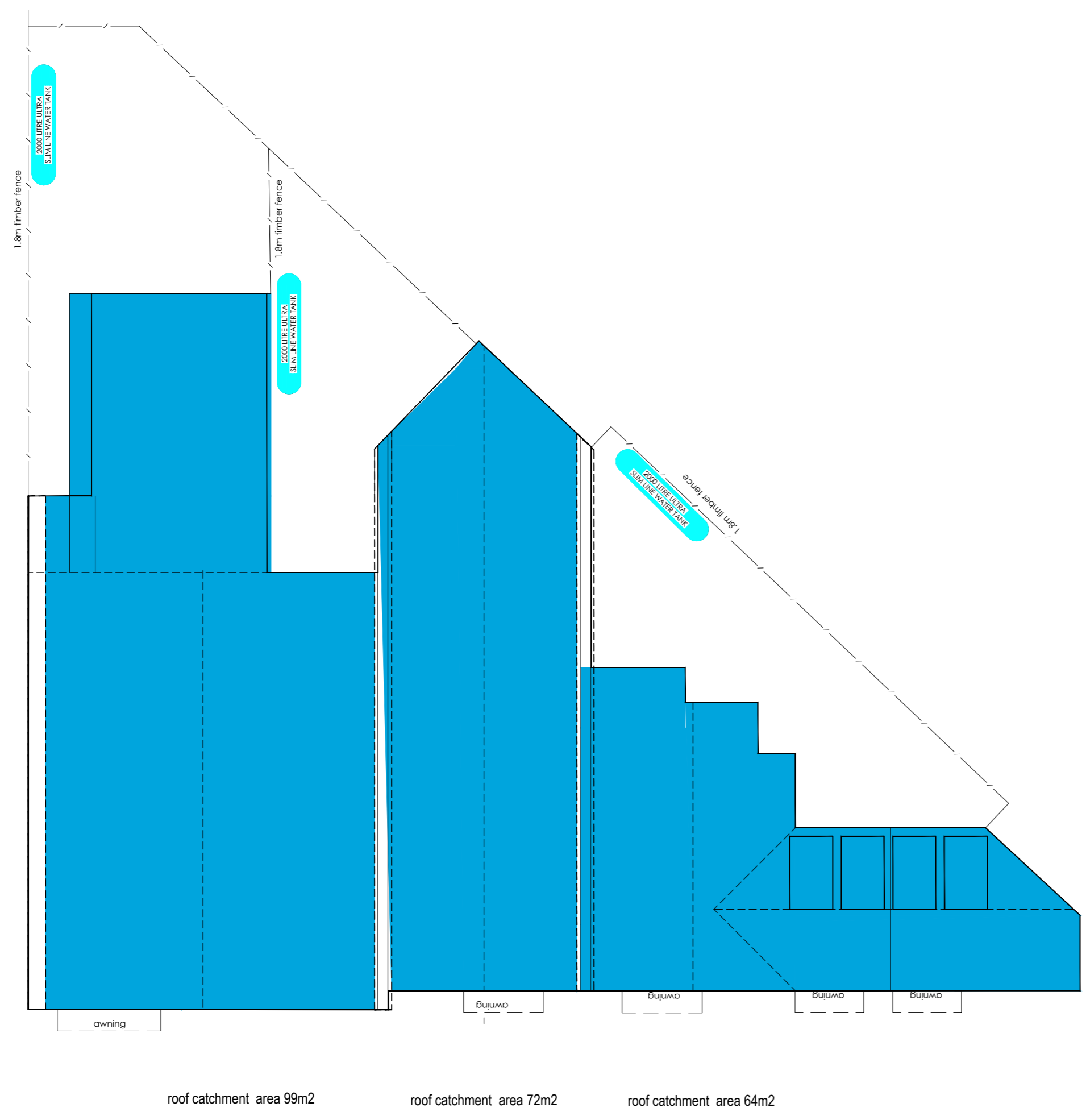
44 330 06° 03' 20"

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Site Legend		
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- - - - -	site boundary	
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PROPOSED CATCHMENT PLAN
SCALE 1:100

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client approval signature:

stage:
PLANNING

designed by:
suite 3/133 SHANNON AVE
MANIFOLD HEIGHTS VIC 3218
PH: 5221 6613
FAX: 5221 6614
e mail: tonypreiato@pipeline.com.au

tonypreiato
ASSOCIATES
building designers

project:
UNIT DEVELOPMENT

site address:
**7 ARTHUR STREET
HAMLYN HEIGHTS**

client:

drawing title:
CATCHMENT

date:	16/ 03 / 2026	drawn:	TPP
scale:	1:100	checked:	TP
sheet no:	06 of 10		

file no: **251963** rev no: **A**

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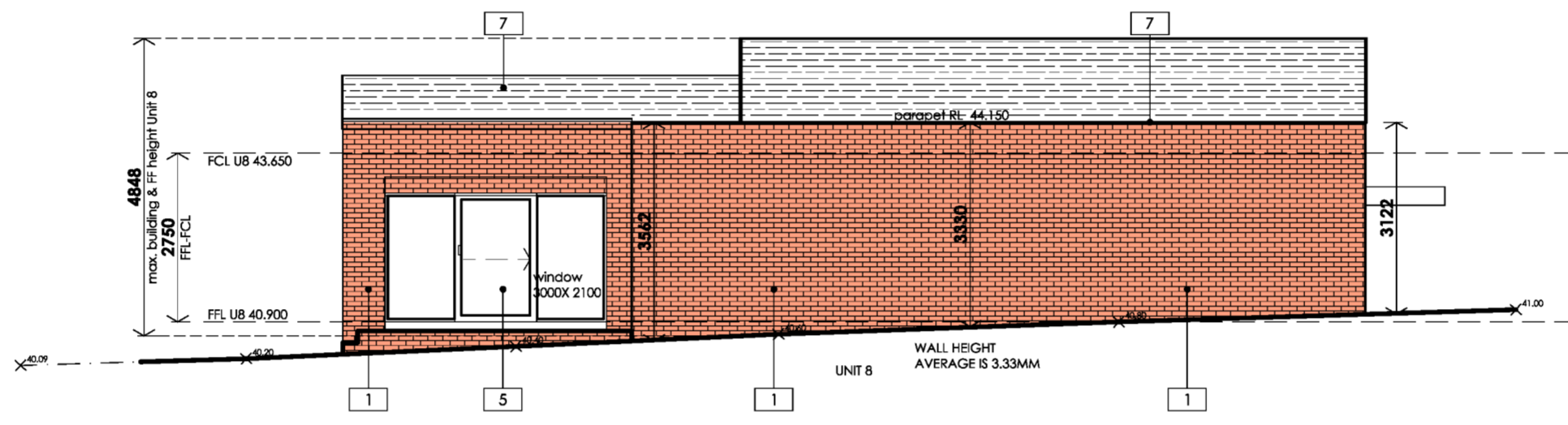
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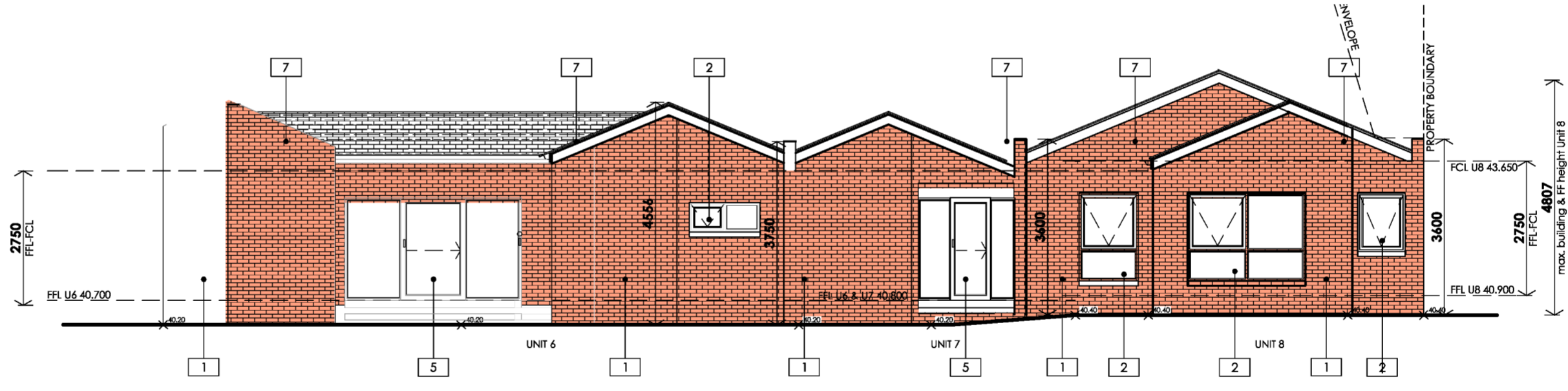


PROPOSED WEST ELEVATION
SCALE 1:100

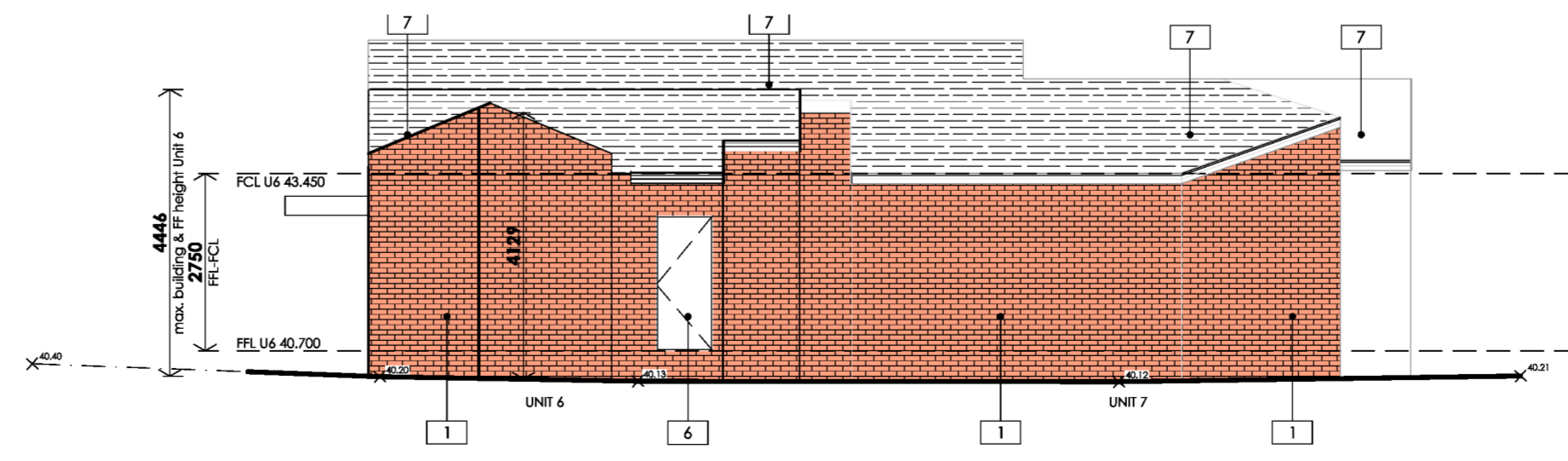
DESCRIPTION	CODE	MATERIAL	COLOR	SAMPLE
FACE BRICKWORK	1	AUSTRALBRICKS - REMASTERED WEATHERED RED BLEND	RED BLEND	
ALUMINIUM FRAMED AWNING WINDOWS	2	POWDER COATED ALUMINIUM	DOVER WHITE	
FIBRE CEMENT PANEL CLADDING	3	JAMES HARDIE FINE TEXTURE CLADDING	NATURAL	
RENDERED LIGHT WEIGHT CLADDING	4	COLOURED RENDER DULUX	SIGNATURE GREY	
ALUMINIUM FRAMED SLIDING DOORS	5	POWDER COATED ALUMINIUM	DOVER WHITE	
SOLID TIMBER FRONT, LAUNDRY, BALCONY	6	TIMBER PAINTED	REDWOOD FOREST	
CORRUGATED IRON SHEET ROOFING @ 22.5° PITCH	7	COLORBOND SHEET ROOFING	MONUMENT	
WINDOW AWNING	8	COLORBOND WINDOW AWNINGS	DOVER WHITE	



PROPOSED NORTH ELEVATION
SCALE 1:100



PROPOSED EAST ELEVATION
SCALE 1:100



PROPOSED SOUTH ELEVATION
SCALE 1:100

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site address:
**7 ARTHUR STREET
HAMLYN HEIGHTS**

client:

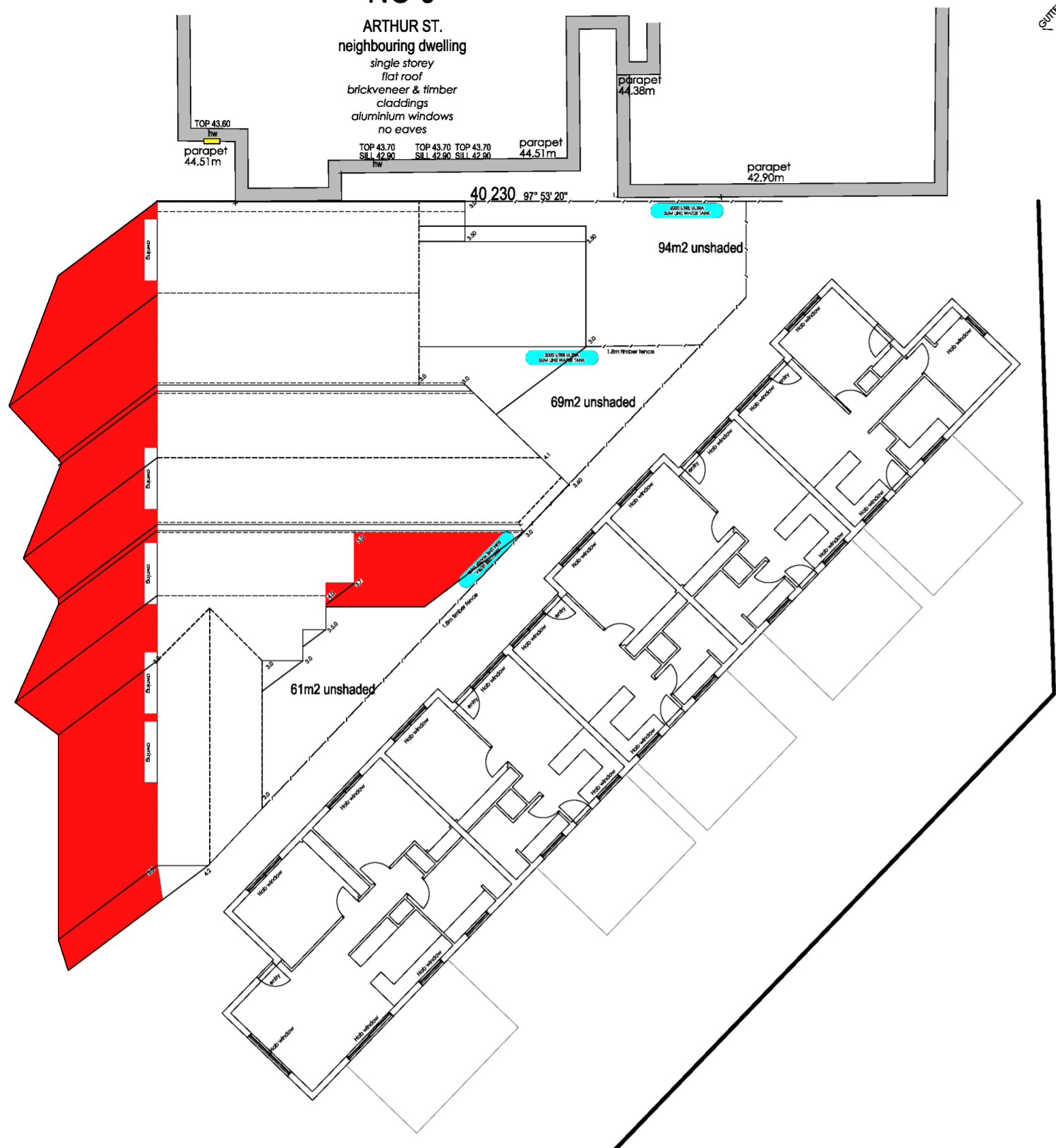
drawing title:
ELEVATIONS

date:	16/03/2026	drawn:	TPP
scale:	1:100	checked:	TP
sheet no:	07 of 10		

file no: **251963** rev no: **A**

NO 9

ARTHUR ST.
neighbouring dwelling
single storey
flat roof
brick veneer & timber
claddings
aluminium windows
no eaves



9AM SHADOW
SCALE 1:200

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NO 9

ARTHUR ST.
neighbouring dwelling
single storey
flat roof
brick veneer & timber
claddings
aluminium windows
no eaves



12 NOON SHADOW
SCALE 1:200

NO 9

ARTHUR ST.
neighbouring dwelling
single storey
flat roof
brick veneer & timber
claddings
aluminium windows
no eaves



3 PM SHADOW
SCALE 1:200

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date commenced:	XX / XX / 2020			
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rev	date	drw	chk	description
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PROPOSED AREA SCHEDULE

EXISTING UNIT		
Existing Unit Floor	267.03 m ²	28.74 sq
Existing Pergola	97.95 m ²	10.54 sq
SUB TOTAL AREA	364.98 m²	39.28 sq
UNIT 6		
Ground Floor	55.9 m ²	6.02sq
Patio	5.36 m ²	0.57 sq
SUB TOTAL AREA	61.26 m²	
UNIT 7		
Ground Floor	69.47 m ²	7.48 sq
Patio	5.27 m ²	0.56 sq
SUB TOTAL AREA	74.74 m²	
UNIT 8		
Ground Floor	111.11 m ²	11.97 sq
Patio	7.34 m ²	0.79 sq
SUB TOTAL AREA	118.45 m²	
TOTAL BUILDING AREA	521.48m²	
Site Area	1582.35 m ²	
Site Coverage (60% max.)	514.54 m ²	32.5 %
Permeability (20% min.)	605.00 m ²	38 %
Garden Area (35% min.)	684.39 m ²	43.25 %
Common Property	00.0 m ²	

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project:
UNIT DEVELOPMENT

site address:
**7 ARTHUR STREET
HAMLYN HEIGHTS**

client:

drawing title:
SHADOWS

	date: 16/ 03 / 2026	drawn: TPP
	scale: 1:200	checked: TP
	sheet no: 08 of 10	

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Celtis occidentalis (CO) Hackberry

Allocasuarina Verticillata (AV) Black Sheoake



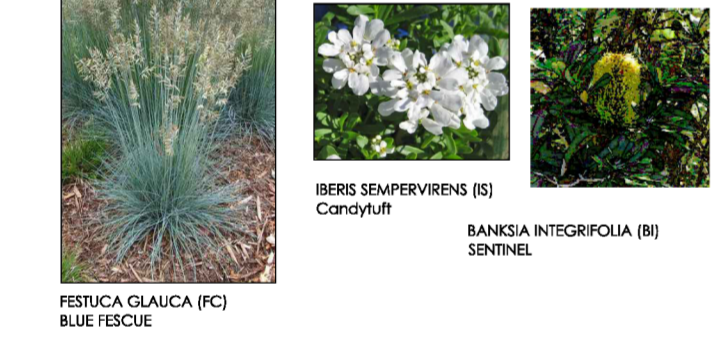
GREVILLEA BANKSII (GB) Grevillea Robyn Gordon

ANIGOZANTHOS 'Bush Ranger' (AN) Kangaroo Paw



PATERSONIA OCCIDENTALIS (RF) COMMON RICE FLOWER

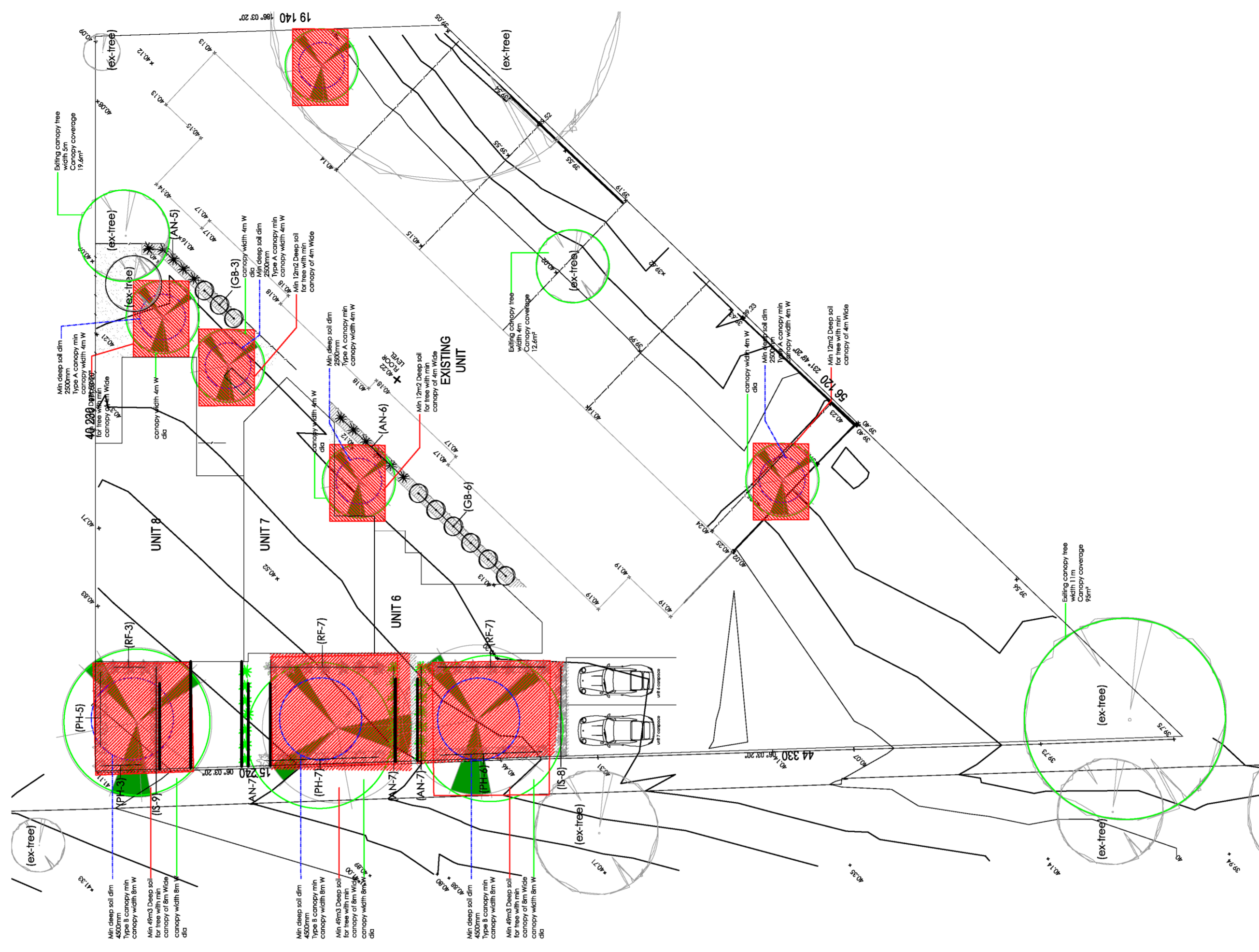
PHORMIUM (PH) Maori Sunrise



FESTUCA GLAUCA (FC) BLUE FESCUE

IBERIS SEMPERVIRENS (IS) Candytuft

BANKSIA INTEGRIFOLIA (BI) SENTINEL



PROPOSED LANDSCAPE PLAN
SCALE 1:200

Canopy Tree
7 Arthur St Hamlyn Heights 1583 m²
Canopy tree Requirement = 20% 316.6 m²

Total Existing Canopy Trees: 127.2 m²

Designated Canopy Trees:
UNIT 6
Proposed Canopy Area = 62.90 m²
UNIT 7
Proposed Canopy Area = 62.90 m²
UNIT 8
Proposed Canopy Area = 62.90 m²
COMMON AREA
Proposed Canopy Area = 12.60 m²

Total Canopy Trees Area **328.5m²**

Design Complies with Requirement

- Proposed Pavers**
300x900 concrete pavers
- Proposed Pavers**
300x600 concrete pavers
- Proposed Sand Surface**
Compacted Granitic sand 50mm thick
- Proposed Grass Surface**
Tall Fescue grass seed sown into 50mm selected topsoil over subsoil cultivated to 200mm
- Proposed Concrete**
100mm depth coloured or exposed aggregate concrete driveway.
- Proposed woodmulch surface**
75 mm deep selected wood mulch over 100mm deep Garden Blend loam laid over subsoil cultivated to 200 mm depth.

SPECIFICATION	BOTANICAL NAME	COMMON NAME	MATURE SIZE	QUANTITY REQUIRED	HEIGHT OF TREE (METERS)	AREA OF DEEP SOIL (METERS)	TREE IN DEEP SOIL SOIL VOLUME M3	SOIL PLAN DIMENSION (METERS)
	Allocasuarina Verticillata (AV)	Black Sheoake	6.0m - HIGH x 4.0m WIDE	4	A	6	15	1.2
	Celtis occidentalis (CO)	Hackberry	8.0m HIGH x 8.0m WIDE	3	B	8	26	1.2
	Grevillea Banksii (GB)	Grevillea Robyn Gordon	2.0m HIGH x 1.5m WIDE	9				
	Iberis Sempervirens (IS)	Candytuft	0.3m HIGH x 0.5m WIDE	17				
	Anigozanthos 'Bush Ranger' (AN)	Kangaroo Paw	1.0m HIGH x 1.0m WIDE	32				
	Patersonia Occidentalis (RF)	COMMON RICE FLOWER	4.1m HIGH x 4m WIDE	17				
	Phormium (PH)	Maori Sunrise	1.0m HIGH x 1.0m WIDE	21				

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**7 ARTHUR STREET
HAMLYN HEIGHTS**

client:

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LANDSCAPE

date:	16/03/2026	drawn:	TPP
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sheet no:	09 of 10		

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Common Property	00.0 m ²	

Garden Areas

7 ARTHUR STREET HAMLYN HEIGHTS 1583 m²
Garden Requirement = 35% 554.05 m²

Design Garden Areas:

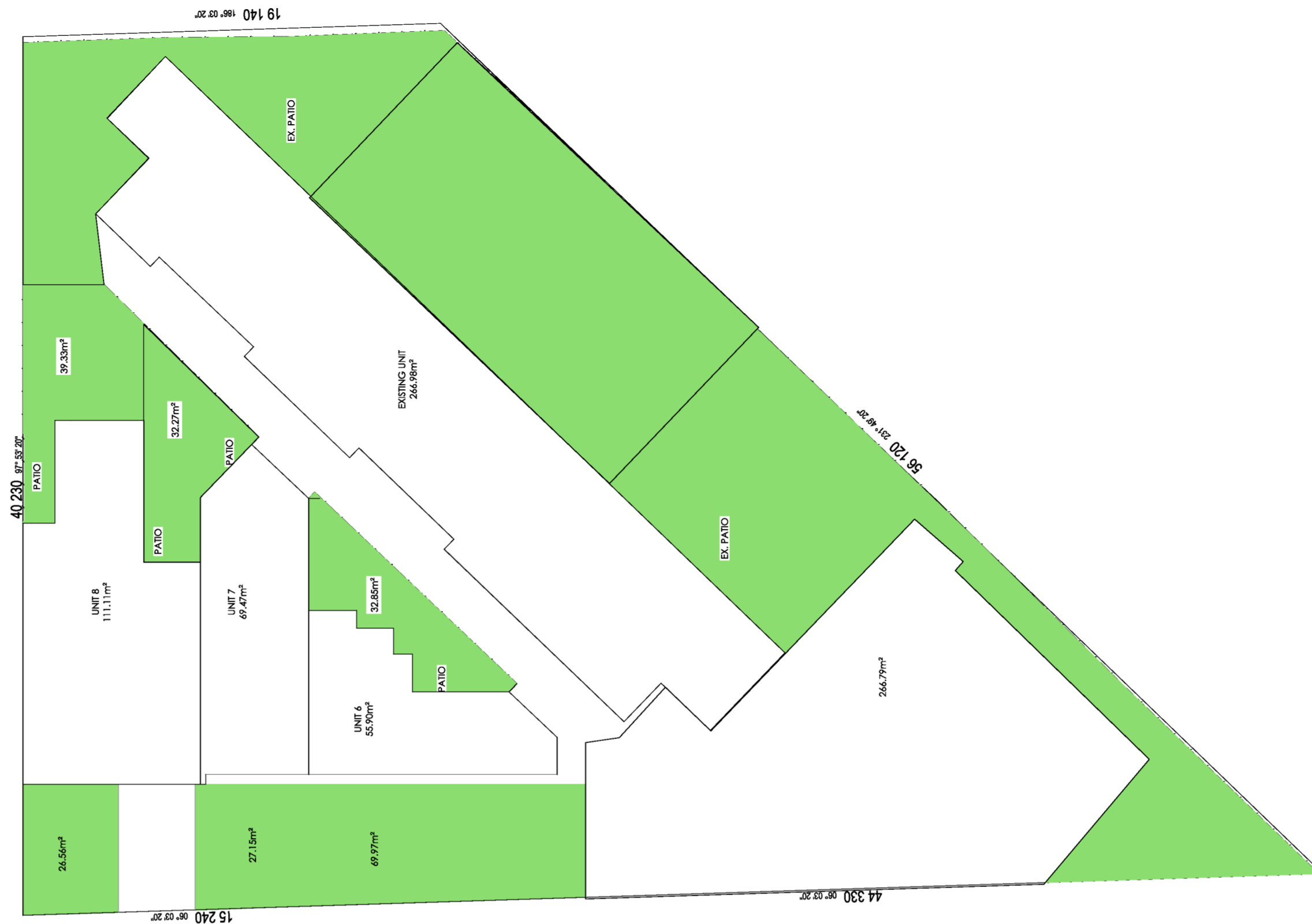
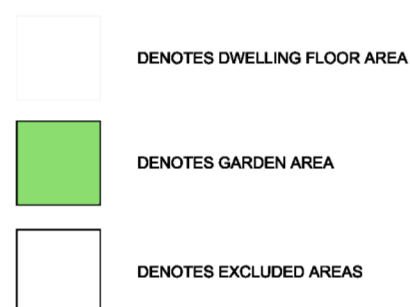
UNIT 6	102.82 m ²
UNIT 7	59.42 m ²
UNIT 8	65.89 m ²
EXISTING	760.79 m ²

Total Garden Area **989.03m²**

Design Complies with Garden Requirement

Min garden areas
Lot size approx 1583 = 35%
Min dimension of 1 meter dose not include

- dwelling or residential building
- eaves greater than 600mm
- pergola
- un roof terraces
- basement
- out building not exceeding 10sqm
- driveway



PROPOSED GARDEN AREA
SCALE 1:200

PERMEABILITY Areas

7 ARTHUR STREET HAMLYN HEIGHTS

site

1583 m²

20% -

316.7m2

DRIVEWAYS, PATHS

70M2

ROOF, IMPERVIOUS AREA PROPOSED

269.00 m²

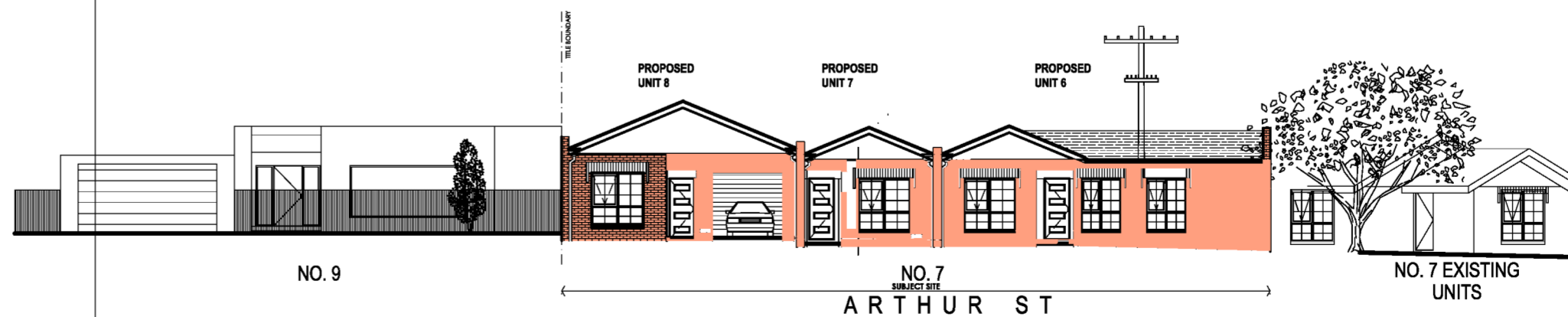
EXISTING ROOF

266.00m2

total

605m2

38%



PROPOSED STREETSCAPE
SCALE 1:200

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GARDEN AREA

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