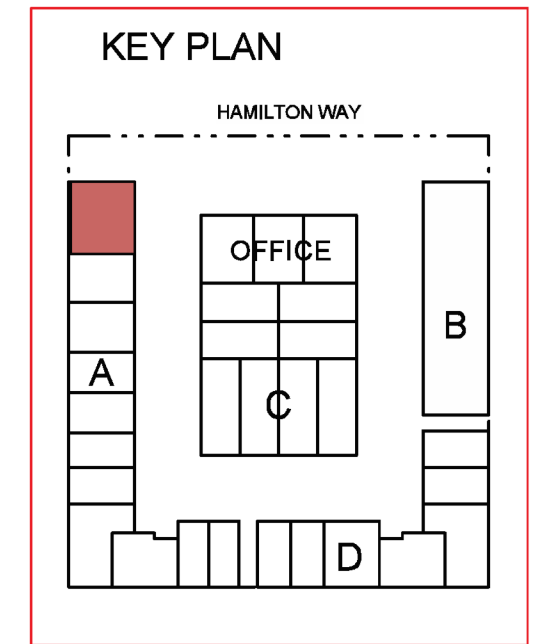
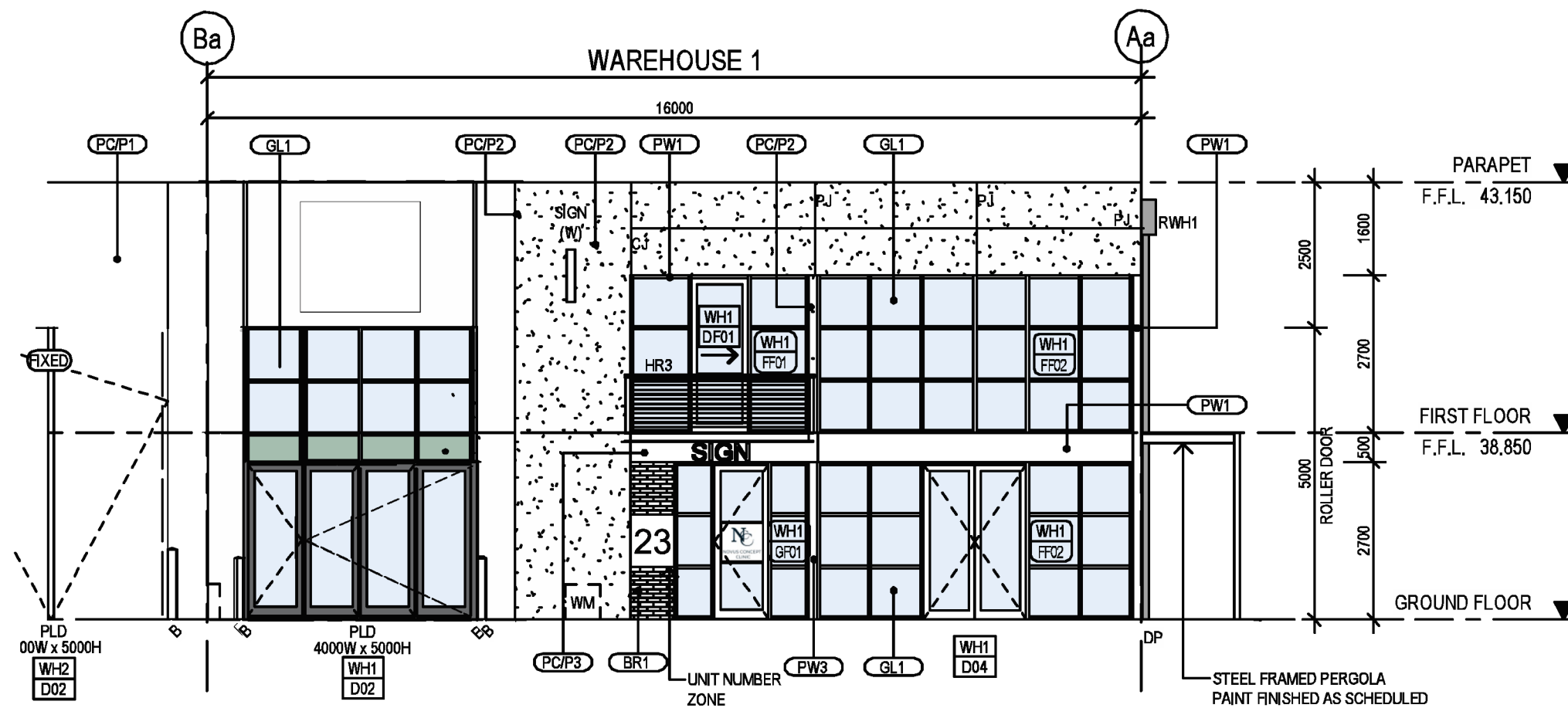
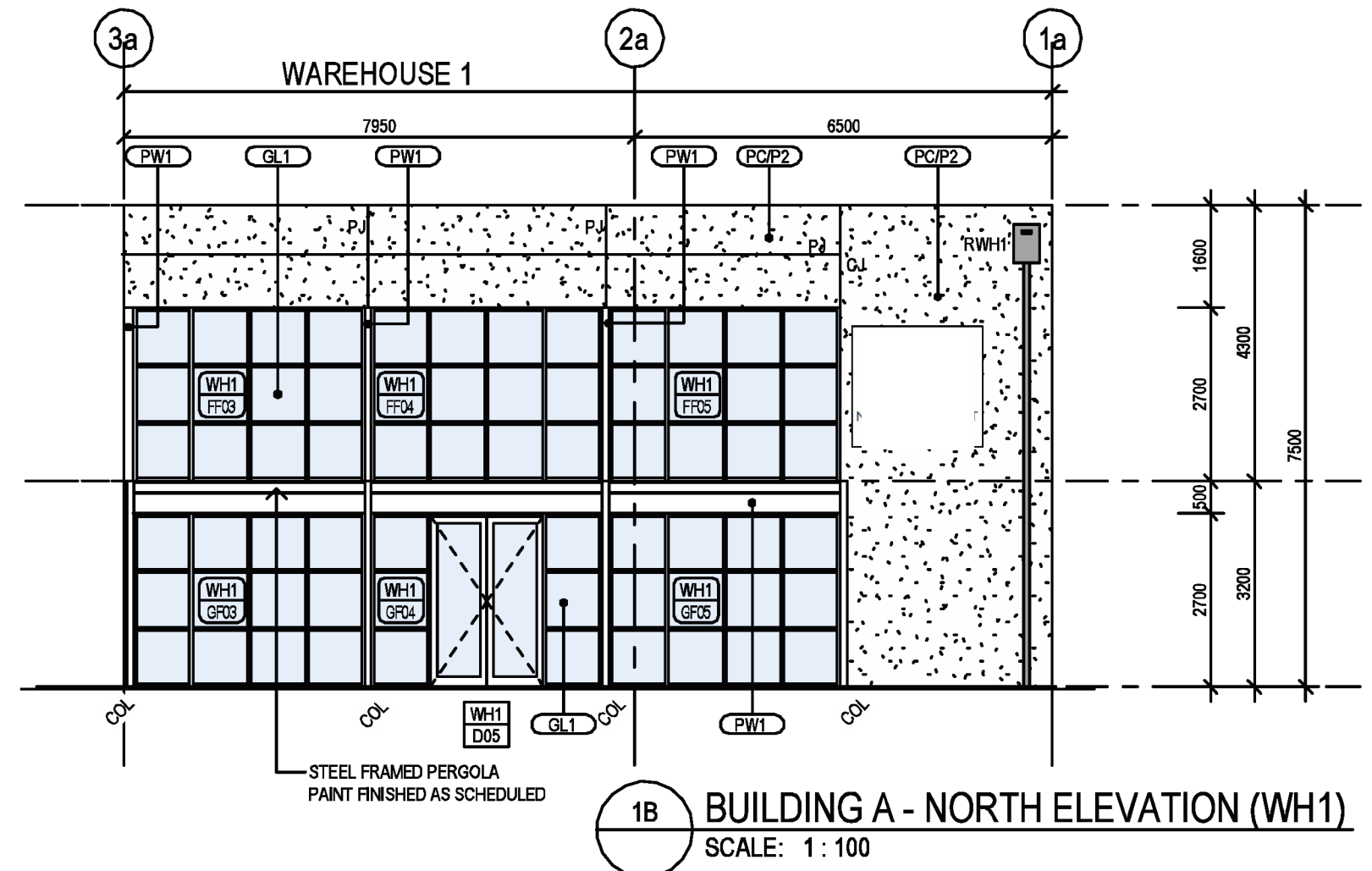




3B BUILDING A - EAST ELEVATION
A501 SCALE: 1 : 100



1B BUILDING A - NORTH ELEVATION (WH1)
SCALE: 1 : 100

WAREHOUSE 1

TENANCY 23

235-265 Hamilton Highway Fyansford

Medical rooms at Ware House 1 235-265 Hamilton Highway Fyansford Usage & Waver of Carpark

Amendments		
Drawn	Date	March 2026
Brendan Henry	Issue	

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Formal Submission:

Clinic

Concept Clinic Overview

Clinic are small Practice that provides General Practitioner smedical service for women and children .
(Womens Health , ADHD , weight management , Fit and young population)
Telehealth and Pathology

Therapy Purpose

Purpose and intended usage of medical rooms is to service: local community and provide general medical help to women and children
Typical patient sessions are 30 minutes in duration and 2-3 patients at a time and are by appointment only.
Theater rooms are for small operations that can be performed by Medical practitioner with assistance from nurse
Client Demographic: 0-85 years of age. Typically one on one with Doctor (GP) with children supported by a parent/guardian.
30 % of appointments are telehealth

Staff on site / Facility Features

The medical team
One General practitioner , Nurse and Receptionist
with another Part Time General Practitioner / Specialist / Pathologist
So will be 4 Staff maximum at once

Number of consults per day

Appointment only operation
Typical consultation times of 20 - 40 minutes
30 % of appointments are telehealth (so no parking required)
Maximum 2 - 3 patients on site at one time
Four staff maximum on site
Elderly requiring disabled Parking 1 - 2 per week
Pathology has one staff between 9am and 1pm weekdays
(Pathology services are limited to specimen collection only and do not involve laboratory processing or testing on site)

Operating Hours

Operating hours: General Practitioner 8:30am-4:30pm, Monday to Friday,
Operating hours: Pathology 9am-1pm, Monday to Friday,
Closed Weekends
Closed for public holidays.

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Medical rooms at Ware House 1
235-265 Hamilton Highway Fyansford
Usage & Waver of Carparks

Amendments			
Drawn Brendan Henry	Date March 2026 Issue A	Scale 1 :100 A3	

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PLANNING PROPERTY REPORT

From www.planning.vic.gov.au at 18 August 2025 09:22 AM

PROPERTY DETAILS

Address:	235-255 HAMILTON HIGHWAY FYANSFORD 3218
Lot and Plan Number:	Lot 1 TP538241
Standard Parcel Identifier (SPI):	1\TP538241
Local Government Area (Council):	GREATER GEELONG www.geelongaustralia.com.au
Council Property Number:	298202
Planning Scheme:	Greater Geelong Planning Scheme - Greater Geelong
Directory Reference:	Melway 450 H2

UTILITIES

Rural Water Corporation:	Southern Rural Water
Urban Water Corporation:	Barwon Water
Melbourne Water:	Outside drainage boundary
Power Distributor:	POWERCOR

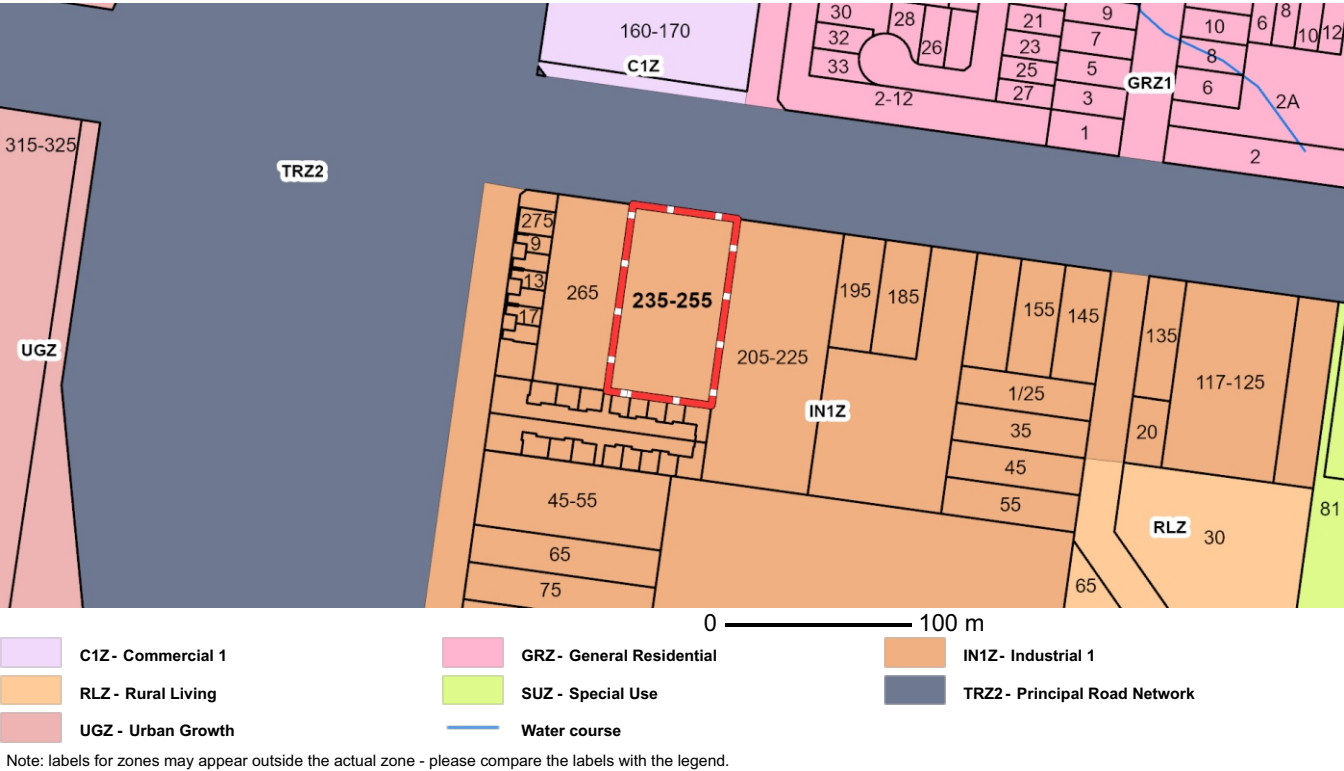
STATE ELECTORATES

Legislative Council:	WESTERN VICTORIA
Legislative Assembly:	GEELONG
Registered Aboriginal Party:	Wadawurrung Traditional Owners Aboriginal Corporation
Fire Authority:	Country Fire Authority

[View location in VicPlan](#)

Planning Zones

[INDUSTRIAL 1 ZONE \(IN1Z\)](#)
[SCHEDULE TO THE INDUSTRIAL 1 ZONE \(IN1Z\)](#)



33.01 INDUSTRIAL 1 ZONE
Shown on the planning scheme map as IN1Z.
Purpose
To implement the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.
To provide for manufacturing industry, the storage and distribution of goods and associated uses in a manner which does not affect the safety and amenity of local communities.

33.01-1 Table of uses

Section 2 - Permit required

Use	Condition
Education centre	Must not be a primary or secondary school.
Leisure and recreation (other than Informal outdoor recreation)	
Materials recycling	The land must be at least 30 metres from land (not a road) which is in an Activity Centre Zone, Capital City Zone, Commercial 1 Zone, Docklands Zone, residential zone or Rural Living Zone or land used for a hospital, an education centre or a corrective institution or land in a Public Acquisition Overlay to be acquired for a hospital, an education centre or a corrective institution.
Office Medical Rooms	The leasable floor area must not exceed the amount specified in the schedule to this zone.
Place of assembly (other than Carnival, Cinema based entertainment facility and Circus)	
Restricted retail premises	
Retail premises (other than Shop and Take away food premises)	
Sex services premises	
Transfer station (other than Automated collection point and Container deposit scheme centre)	The land must be at least 30 metres from land (not a road) which is in an Activity Centre Zone, Capital City Zone, Commercial 1 Zone, Docklands Zone, residential zone or Rural Living Zone or land used for a hospital, an education centre a corrective institution or land in a Public Acquisition Overlay to be acquired for a hospital, an education centre or a corrective institution.
Utility installation (other than Minor utility installation and Telecommunications facility).	Any gas holder, or sewerage or refuse treatment or disposal works, must be at least 30 metres from land (not a road) which is in an Activity Centre Zone, Capital City Zone, Commercial 1 Zone, Docklands Zone, residential zone or Rural Living Zone, land used for a hospital, an education centre or a corrective institution or land in a Public Acquisition Overlay to be acquired for a hospital, an education centre or a corrective institution.
Any other use not in Section 1 or 3	

Medical rooms at Ware House 1
235-265 Hamilton Highway Fyansford
Usage & Waver of Carparks

Amendments		
Drawn Brendan Henry	Date Issue	March 2026

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A cover letter which explains how the business will operate. For example, you should outline the following:	Refer Page 2 for Cover Letter
* What activities will be conducted within the building and on the site, including how the activities relate to each other, ie are they separate business or part of one business.	Application is for usage to use warehouse as Medical rooms for for people who are needing 1 on 1 health care and being a location where available for women and children can see General Practitioner by appointment during the day. General practitioner provides service and 30% of appointment by telehealth.
* The maximum number of people who are likely to attend the site at any one time, including staff.	The amount of staff is 4 with amount of participants using facilities 2 being part time or limited hours Open mezzanine space will be used for staff kitchen ,Dining and Lounge with office where can do book work etc.
* Operating hours.	Operating hours: 8.30am-4:30pm, Monday to Friday, closed weekends & public holidays.
* How waste will be managed.	General waste will be delt with as per original planning permit with bins collected by council Medical waste will be collected privately
* When and where goods will be loaded and unloaded	Not Applicable
* How access to the site will work (ie can customers enter from the front and back)	Customers will enter via entry doors from front of building
* How you will manage noise to the adjoining properties	Noise will not be a factor as only noise maybe some back ground music otherwise will be quiet office.
* Details of any buildings, works proposed	No external works are proposed kitchen & toilets will be available within building.
* Details of any signage proposed, including how the sign is illuminated (internally, externally, electronic, etc).	No illuminated signage is proposed to outside of building
* You should also provide Council written justification as to why you believe the proposal is appropriate for this location and will not impact the amenity of the nearby residents. The justification should have reference to the following zones, overlays, policies and provisions that are listed above.	The office is a small business and location is close to fyansford community, The office is a base and when clients arrive its only a small number that will not cause any traffic or noise problems , The residential area of Fyansford is located on opposite side of Hamilton Highway. The site is also accessed off a service road that will not cause any impact to traffic on highway. The usage proposed is an allowable use in the IN1Z overlay and all other overlays are covered in the original approved planning permit
* A car parking demand assessment which demonstrates the demand for parking generated by the use is reasonable and will not impact the amenity and operation of surrounding businesses. You may need to engage an external third party for this process. Plans	In the initial subdivision and construction of warehouses ,warehouse 1 required 4.6 carparks as a warehouse there were 100 carparks, with changing some of the smaller warehouses to not have loading docks allows for 2 extra parking spaces each , giving a 26% increase in parking spaces available to a total of 127 spaces on site (including disabled parking spaces) a lot of these warehouses would only use 2 spaces if not parking inside and for limited hours during daytime and on weekends when Medical Rooms would be closed. The extra carparks would increase the amount of spaces for warehouse 1 to 7 spaces and with regulations saying need 14 the Business would apply to waver half of these carparks as an extra 1 space would not be a problem especially when business appointments are 30 % Telehealth most 2 staff being part time or reduced open hours (Pathology)
* A site plan which includes: * Existing and proposed buildings * Parking and access areas * Layout of adjoining properties	See attached Plans
* A floor plan which includes: * Various uses proposed associated with the use. * Any noise mitigation measures and noise sources (like external speakers etc)	See attached Plans No external speakers are proposed
If buildings and works are proposed:	See attached Plans
* The floor plan should also include details of the buildings and works proposed. Each new building should be dimensioned include setbacks from boundaries.	See attached Plans showing internal works only (offices and mezzanine level)
* An elevation should be submitted showing the proposed buildings and works. These should also be dimensioned, showing the heights, locations of any windows and details of any external materials.	See attached Plans Building is existing , no external works are proposed
If signage is proposed exceeding 8sqm:	Vinyl cut signage (non illuminated) to identify business would be placed on class windows or doors that will be less than 8 sq m

Medical rooms at Ware House 1 235-265 Hamilton Highway Fyansford Usage & Waver of Carpark

Amendments	
Drawn	Date
Brendan Henry	March 2026
Issue	

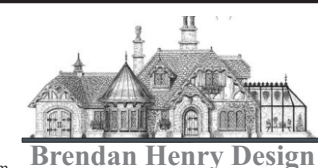
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Response to Industrial Zone (IN1Z)

Objective	Response
33.01-2 Use of land Application requirements An application to use land for an industry or warehouse must be accompanied by the following information, as appropriate: ☐ The purpose of the use and the types of processes to be utilised. ☐ The type and quantity of goods to be stored, processed or produced. ☐ How land not required for immediate use is to be maintained. ☐ Whether a Works Approval or Waste Discharge Licence is required from the Environment Protection Authority. ☐ Whether a notification under the Occupational Health and Safety (Major Hazard Facilities) Regulations 2000 is required, a licence under the Dangerous Goods Act 1985 is required, or a fire protection quantity under the Dangerous Goods (Storage and Handling) Regulations 2000 is exceeded. ☐ The likely effects, if any, on the neighbourhood, including: ☐ Noise levels. ☐ Air-borne emissions. ☐ Emissions to land or water. ☐ Traffic, including the hours of delivery and despatch. ☐ Light spill or glare.	Application is for usage as (Medical) offices, a base for small business that provides 1 on 1 General Practitioner (Doctor) service and treatment for women and children , (Womens Health, ADHD, Weight Management Fit and young population. 30% of work is Telehealth calls There will be no goods stored or processed on site. The existing warehouse has been developed and landscaped with sealed drive and line marked carparking .The application is for usage and there is no change to the building outside or inside floor area. There will be no waste discharge Licence required The proposed development will be up to standards with safety requirements regarding fire emergency lighting bollards protecting exits from being blocked, (disabled signage rails for toilets and proper line marked carparking are existing). No dangerous goods are proposed to be stored in this building. The current Planning Permit use of the land is a storage warehouse office building and Café, with applications in for other small business usage Hours of usage 8:30 am till 4:30 ;pm Monday to Friday and closed weekends & public holidays The Offices are not big and do not require large demand on services and will have no emissions and impact on surrounding land There will be no light spill or glare and no emissions to land or water
33.01-3 Subdivision Permit requirement A permit is required to subdivide land. Exemption from notice and review An application is exempt from the notice requirements of Section 52(1)(a), (b) and (d), the decision requirements of Section 64(1), (2) and (3) and the review rights of Section 82(1) of the Act. This exemption does not apply to land within 30 metres of land (not a road) which is in a residential zone or land used for a hospital or an education centre or land in a Public Acquisition Overlay to be acquired for a hospital or an education centre	Application is for usage Building and Works , and reduction of Number of Carparks required , no subdivision
33.01-4 Buildings and works Permit requirement A permit is required to construct a building or construct or carry out works. This does not apply to: ☐ A building or works which rearrange, alter or renew plant if the area or height of the plant is not increased. ☐ A building or works which are used for crop raising, extensive animal husbandry or informal outdoor recreation. ☐ A rainwater tank with a capacity of more than 4500 litres if the following requirements are met: ☐ The rainwater tank is not located within the building's setback from a street (other than a lane). ☐ The rainwater tank is no higher than the existing building on the site. ☐ The rainwater tank is not located in an area that is provided for car parking, loading, unloading or accessway	The Application is for usage as building is existing Carparking and Landscaping is existing under Main Planning Permit Building has been built to current suit people with disabilities and Disabled regulations Rainwater retention systems are existing and not part of this application There is a rainwater tank inside building. not part of this application

43.02 DESIGN AND DEVELOPMENT OVERLAY

Shown on the planning scheme map as DDO with a number.

Purpose

To implement the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.

To identify areas which are affected by specific requirements relating to the design and built form of new development.

Response to DDO20

Objective	Response
43.02-1 Design objectives A schedule to this overlay must contain a statement of the design objectives to be achieved for the area affected by the schedule.	Not applicable to application as warehouse is existing and not external works are proposed.
43.02-2 Buildings and works Permit requirement A permit is required to: ☐ Construct a building or construct or carry out works. ☐ If a schedule to this overlay specifically states that a permit is not required. ☐ To the construction of an outdoor swimming pool associated with a dwelling unless a specific requirement for this matter is specified in a schedule to this overlay. ☐ Construct a fence if specified in a schedule to this overlay. Buildings and works must be constructed in accordance with any requirements in a schedule to this overlay. A schedule may include requirements relating to: ☐ Building setbacks. ☐ Building height. ☐ Plot ratio. ☐ Landscaping. ☐ Any other requirements relating to the design or built form of new development. A permit may be granted to construct a building or construct or carry out works which are not in accordance with any requirement in a schedule to this overlay, unless the schedule specifies otherwise.	Not applicable to application as warehouse is existing and not external works are proposed.
43.02-3 Subdivision Permit requirement A permit is required to subdivide land. This does not apply if a schedule to this overlay specifically states that a permit is not Required. Subdivision must occur in accordance with any lot size or other requirement specified in a schedule to this overlay. A permit may be granted to subdivide land which is not in accordance with any lot size or other requirement in a schedule to this overlay, unless the schedule specifies otherwise.	Not applicable to application as warehouse is existing and subdivision has already been done.
43.02-4 Advertising signs Advertising sign controls are at Clause 52.05 unless otherwise specified in a schedule to this overlay	Signage will be less than 8 sq m and be just on glass doors and windows non illuminated vinyl cut letters & numbers with logo (design still to be confirmed)

Medical rooms at Ware House 1

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Usage & Waver of Carparks

Amendments

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Response to DDO20

Objective	Response
Site Layout & Design ☐ The front setback of new buildings should be consistent with the setbacks of existing buildings in the area and should be set aside for landscaping and car parking. ☐ Buildings should address the street frontage by including the following elements in the Design; ☐ Front facades that include design elements that add visual interest. ☐ Locating office components in a visible location at the front of the building. ☐ Incorporating facades that address both frontages where the site is located on a Corner	Site Layout & Design The building is existing and there will be no changes externally
Car parking and Access ☐ Car parking should be provided at the front of the site. ☐ All vehicle crossings, accessways and parking areas should be sealed with an all weather Coat. ☐ Lighting should be provided to car parking areas where required. ☐ If more than 10 car spaces are provided the design should incorporate landscaped island beds to break up the hard surface area and improve visual amenity	Carparking is existing with disabled carparking

Objective	Response
52.06 CAR PARKING Purpose To ensure that car parking is provided in accordance with the State Planning Policy Framework and Local Planning Policy Framework. To ensure the provision of an appropriate number of car parking spaces having regard to the demand likely to be generated, the activities on the land and the nature of the locality. To support sustainable transport alternatives to the motor car. To promote the efficient use of car parking spaces through the consolidation of car parking Facilities. To ensure that car parking does not adversely affect the amenity of the locality. To ensure that the design and location of car parking is of a high standard, creates a safe environment for users and enables easy and efficient use. 52.06-5 Number of car parking spaces required under Table 1 Table 1 of this clause sets out the car parking requirement that applies to a use listed in the Table. A car parking requirement in Table 1 may be calculated as either: ☐ a number of car parking spaces; or ☐ a percentage of the total site area that must be set aside for car parking.	In the initial subdivision and construction of warehouses ,warehouse 1 required 4.6 carparks as a warehouse there were 100 carparks, with changing some of the smaller warehouses to not have loading docks allows for 2 extra parking spaces each , giving a 26% increase in parking spaces available to a total of 127 spaces on site (including disabled parking spaces) a lot of these warehouses would only use 2 spaces if not parking inside and for limited hours during daytime and on weekends when Medical Rooms would be closed. The extra carparks would increase the amount of spaces for warehouse 1 to 7 spaces and with regulations saying need 14 the Business would apply to waver half of these carparks as an extra 1 space would not be a problem especially when business appointments are 30 % Telehealth most 2 staff being part time or reduced open hours (Pathology)
52.07 LOADING AND UNLOADING OF VEHICLES Purpose To set aside land for loading and unloading commercial vehicles to prevent loss of amenity and adverse effect on traffic flow and road safety. Requirements to be met No building or works may be constructed for the manufacture, servicing, storage or sale of goods or materials unless: ☐ Space is provided on the land for loading and unloading vehicles as specified in the table below. ☐ The driveway to the loading bay is at least 3.6 metres wide. If a driveway changes direction or intersects another driveway, the internal radius at the change of direction or intersection must be at least 6 metres. ☐ The road that provides access to the loading bay is at least 3.6 metres wide. A permit may be granted to reduce or waive these requirements if either: ☐ The land area is insufficient. ☐ Adequate provision is made for loading and unloading vehicles to the satisfaction of the responsible authority	52.07 The proposed use of the building will not require anything to be loaded or unloaded and will have no impact on street

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BUILDINGS AND WORKS IN A ZONE (EXCEPT A RURAL ZONE)

Information requirements

An application must be accompanied by the following information as appropriate:

▪ A copy of title for the subject land and a copy of any registered restrictive covenant.	Attached
▪ A description of the use of the land and the proposed buildings and works.	Attached
▪ A layout plan, drawn to scale and fully dimensioned showing:	Attached
– The boundaries and dimensions of the site.	Attached
– Adjoining roads.	Attached
– The location, height and use of buildings and works on adjoining land.	Not Applicable
– Relevant ground levels.	Not Applicable
– Any contaminated soils and filled areas, where known.	Not Applicable
– The layout of existing and proposed buildings and works.	Proposed Attached
– All existing and proposed driveways, car parking, bicycle parking and loading areas.	Attached
– Existing and proposed landscape areas.	Attached
– All external storage and waste treatment areas.	Not Applicable
– The location of easements and services.	Not Applicable
▪ Elevation drawings to scale showing the height, colour and materials of all proposed buildings and works.	Attached Existing not changing
▪ A photograph of the building or area affected by the proposal.	Not Applicable
▪ A written statement describing the proposal and if relevant:	Attached
– The built form and character of adjoining and nearby buildings.	Not Applicable
– The heritage character of any adjoining heritage places.	Not Applicable
– Ground floor street frontages, including visual impacts and pedestrian safety.	Attached
▪ A written statement describing whether the proposed buildings and works meet:	Not Applicable
– The number of car parking spaces required under Clause 52.06 or in the schedule to Clause 45.09.	Attached
– Any development requirement specified in the zone or the schedule to the zone.	Not Applicable
▪ Any relevant requirement in an approved development plan or incorporated plan for the land.	Not Applicable
▪ Any other information specified in the schedule to the zone.	Not Applicable
▪ For land in a residential zone, a written statement, plan or diagram showing how the proposal meets:	
– The requirements in the following standards of Clause 54:	
– A10 Side and rear setbacks.	
– A11 Walls on boundaries.	
– A12 Daylight to existing windows.	
– A13 North-facing windows.	
– A14 Overshadowing open space.	Not Applicable

– A15 Overlooking.

Not Applicable

If a schedule to the zone specifies a requirement of a standard different from a requirement set out in the Clause 54 standard the schedule to the zone applies.

Not Applicable

Decision guidelines

In assessing an application the responsible authority must consider as appropriate:

▪ Whether the proposal is consistent with any relevant urban design and built form policy set out in the scheme.	Existing building
▪ Whether the movement of pedestrians and cyclists, and vehicles providing for supplies and waste removal are appropriately accommodated.	They have been accommodated in original development permit
▪ Whether the design complements the built form of the surrounding properties and the streetscape, including the conservation of buildings, the design of verandahs, access from the street front, protecting active frontages to pedestrian areas, the treatment of the fronts and backs of buildings and their appurtenances, illumination of buildings or their immediate spaces and the landscaping of land adjoining a road.	Existing building
▪ Whether the land and building have availability of and connection to services.	Existing building
▪ Whether the proposed development adversely impacts the amenity of the land and the locality including existing dwellings on adjoining sites.	Existing building
▪ Whether the proposed development appropriately provides for landscaping.	Existing
▪ Whether the proposed development adversely affects solar access to existing open spaces and public places.	Existing building
▪ Whether the proposal meets the car parking requirements specified in Clause 52.06 or in the schedule to the Parking Overlay.	There are more carparks available than required for industrial estate
▪ Whether the proposal meets the maximum building height specified in the schedule to the zone.	Existing building
▪ Whether the proposal meets any relevant requirements specified in the zone or the schedule to the zone.	Existing building
▪ Whether the proposal is consistent with any relevant approved development plan or incorporated plan.	Existing building
▪ The objectives set out in the schedule to the zone.	Application is for usage as a medical office
▪ Whether the proposal provides adequate vehicle loading and unloading facilities.	Not applicable
▪ For land in a residential zone:	
– Whether the proposed development is consistent with any neighbourhood character objectives set out in the schedule to the zone.	
– Whether the development is compatible with residential use.	
– The scale and intensity of the development.	
– The design, height, setback and appearance of the proposed buildings and works.	
Not Applicable not in a residential zone	

Medical rooms at Ware House 1
235-265 Hamilton Highway Fyansford
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Amendments		
Drawn Brendan Henry	Date Issue	March 2026 A

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Site Plan

Fire Services Plan

Car Parking

NOTES: SITE PLAN

BUILDER TO CONFIRM ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF ANY PART OF THE WORKS.

MAXIMUM 190mm STEP TO ALL EXIT DOORS. PROVIDE EVEN TRANSITION BETWEEN INTERNAL & EXTERNAL LEVELS AT MAIN ENTRY DOORS.

FIRE EXTINGUISHER TO BE BETWEEN 2 & 20m FROM THE ELECTRICAL SWITCHBOARD - FINAL LOCATION OF SWITCHBOARD TO BE DETERMINED ONSITE BY CERTIFIED CONTRACTOR.

NOTES: REQUIRED FIRE SERVICES

SERVICE PENETRATIONS THROUGH ANY FIRE ISOLATED SHAFTS / WALLS TO BE PROVIDED WITH FIRE DAMPERS / COLLARS / PILLOWS IN ACCORDANCE WITH BCA REQUIREMENTS.

WHERE SMOKE DETECTORS ARE REQUIRED TO BE INSTALLED MUST BE IN ACCORDANCE WITH AS-1670.1. NOTE THAT SMOKE DETECTORS SHALL NOT BE PROVIDED WHERE NORMAL AMBIENT CONDITIONS ARE LIKELY TO RAISE SPURIOUS ALARMS.

WHERE THERMAL DETECTORS ARE REQUIRED TO BE INSTALLED MUST BE IN ACCORDANCE WITH AS-1670.1 CONNECTED BACK TO THE COMMON AREA FIRE DETECTION SYSTEM AT THE F.I.P.

ALL FIRE DOORS OPENING INTO AN EGRESS PATH ARE TO BE SELF CLOSING AND FITTED WITH MEDIUM TEMPERATURE & HIGH TEMPERATURE INTUMESCENT SMOKE SEALS.

SERVICES DOORS WITHIN THE PATH OF TRAVEL TO A REQUIRED EXIT SHALL BE MADE FROM NON-COMBUSTIBLE MATERIALS AND MUST BE FITTED WITH SMOKE SEALS.

EVACUATION PLANS AND FIRE ORDERS SHALL BE POSTED WITHIN THE BUILDING, DETAILING THE LOCATION OF EXITS, EXTINGUISHING EQUIPMENT, ASSEMBLY AREAS AND PROCEDURES TO BE FOLLOWED WHEN AN ALARM IS RAISED, THESE SHALL BE IN ACCORDANCE WITH BCA REQUIREMENTS.

ALL HAZARDOUS/ DANGEROUS GOODS WILL BE STORED IN ACCORDANCE WITH THE RELEVANT STATE LEGISLATIVE AND OCCUPATIONAL HEALTH AND SAFETY REQUIREMENTS.

AIR HANDLING UNITS SHALL BE INTERFACED TO AUTOMATICALLY SHUTDOWN UPON ACTIVATION OF THE FIRE DETECTION SYSTEM

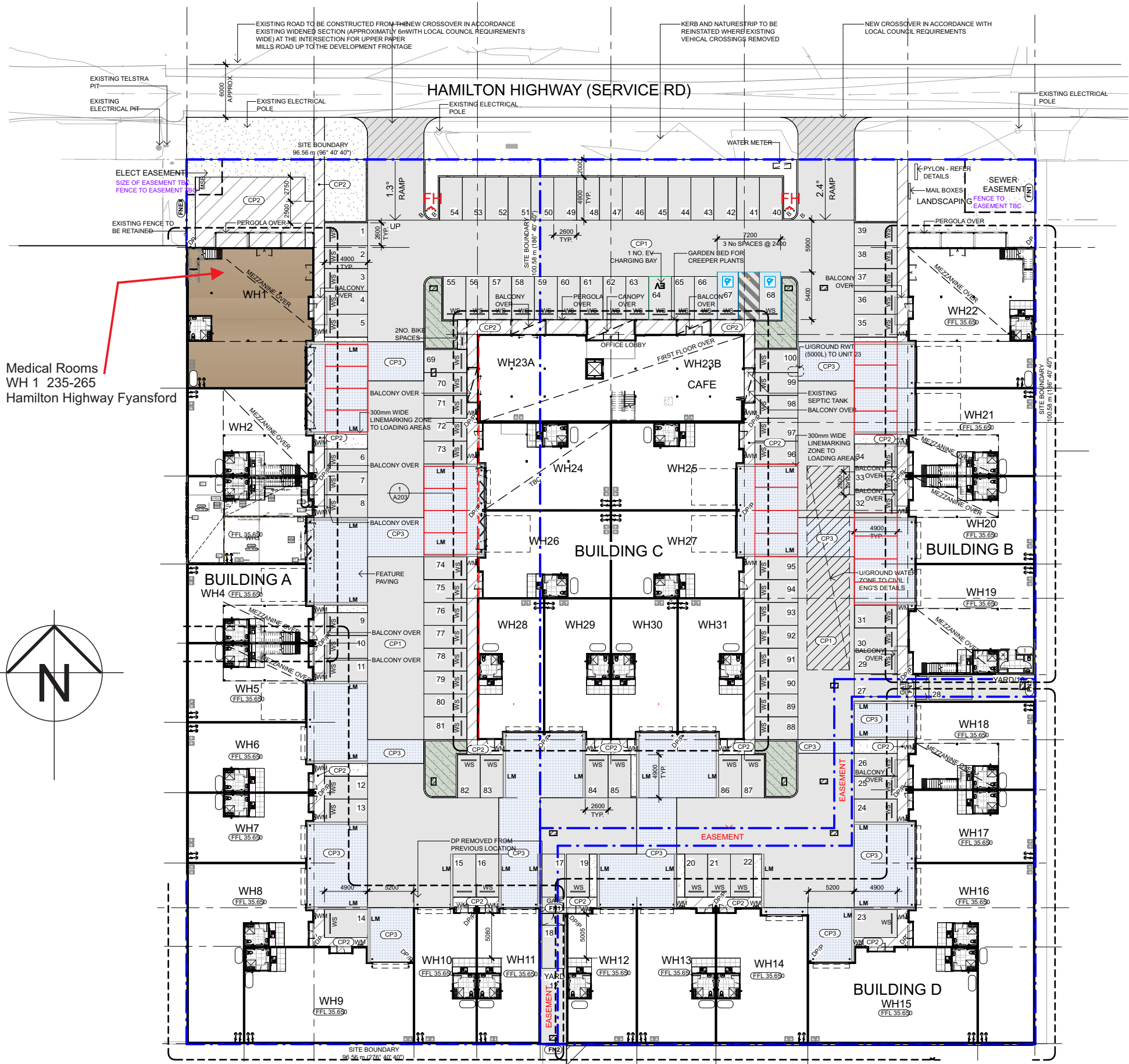
NOTES: DESCRIPTION OF WORKS

- REFER TO BUILDING SURVEYOR ASSESSMENT BY 'WESTSIDE.' CONSULTING BUILDING SURVEYORS' & FIRE ENGINEERING REPORT / ASSESSMENT BY 'DDEG' PROJECT No. 221731-F REV 1 (Dated 17/12/2024) FOR ALL FIRE RATINGS.

INCLUSIVE OF ALTERNATIVE SOLUTIONS ABOVE BASIC BCA REQUIREMENTS AS NOTED.

- RISE IN STOREYS - 2. TYPE '7b' CONSTRUCTION:
- GROUND FLOOR CARPARK - CLASS 7a
- LEVEL 1 TO LEVEL 2 OFFICE - CLASS 5

- REFER TO MELBOURNE SUSTAINABILITY CONSULTANTS ASSESSMENT FOR RELEVANT ENERGY EFFICIENCY REPORT



Extra carparks where roller doors are being replaced with bi-fold doors and loading docks not required

Medical rooms at Warehouse 1
235-265 Hamilton Highway Fyansford
Usage & Waiver of Carparks

Amendments

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Brendan Henry

Date
June

Scale
1:500

Scale
1:500

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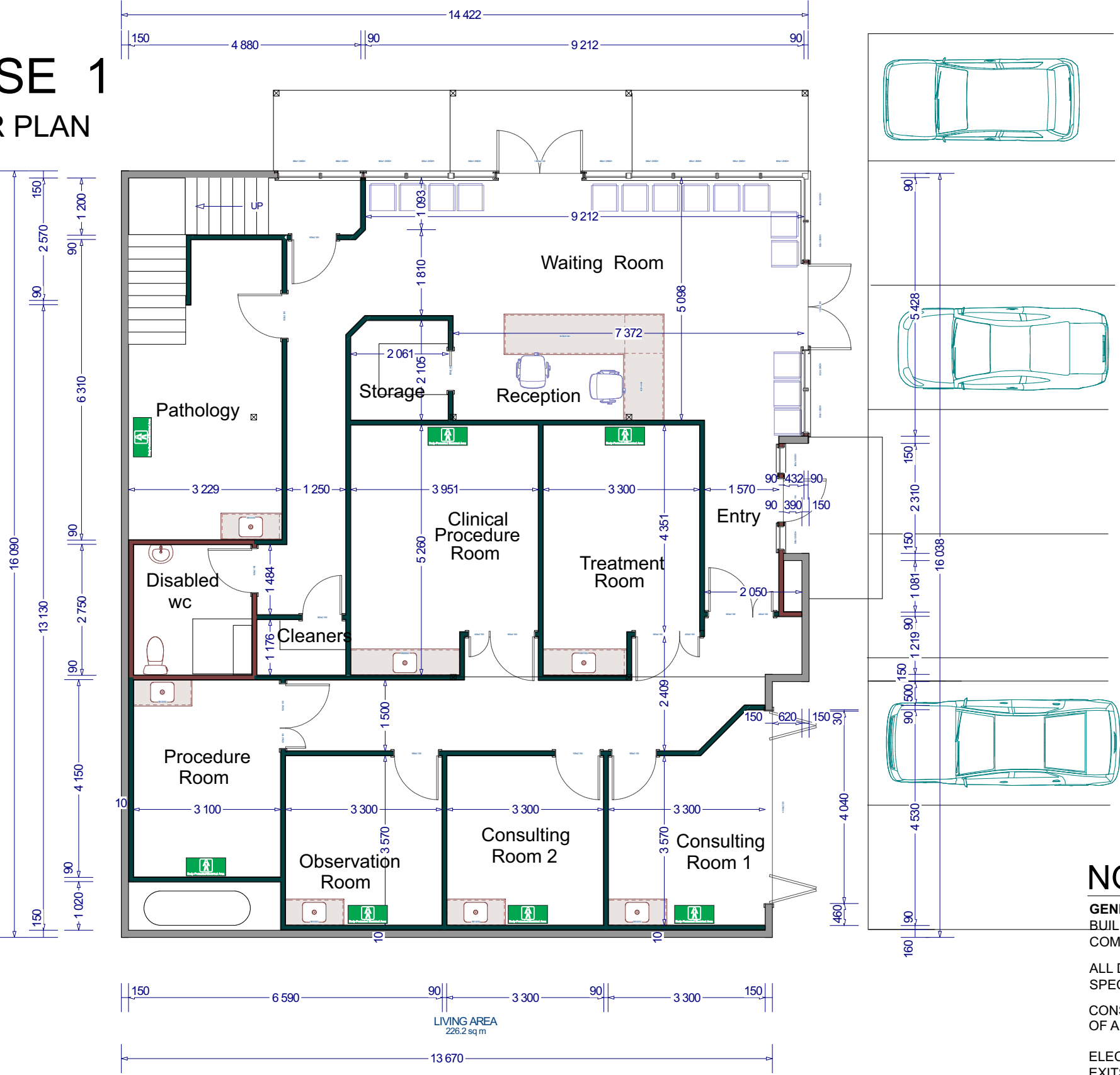
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Sheet number

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WAREHOUSE 1
GROUND FLOOR PLAN



LEGEND: FLOOR PLAN

- FIRE HOSE REEL TO COMPLY WITH AS-2441 - REFER TO CONSULTANTS DRAWINGS FOR LOCATIONS, DETAILS & SPECIFICATIONS
- FIRE HYDRANT TO COMPLY WITH AS-2441 AND AS-2419 - REFER TO CONSULTANTS DRAWINGS FOR LOCATIONS, DETAILS & SPECIFICATIONS
NOTE: EXTERNAL HYDRANTS SHALL BE ACCESSIBLE AND PROVIDED WITH CLEARANCES IN ACCORDANCE WITH AS-2419.1 AND LOCATED WHERE THEY ARE NOT OBSTRUCTED BY PARKING OR LOADING AND UNLOADING OF VEHICLES AND ARE PROTECTED FROM DAMAGE WHERE NECESSARY
- FIRE EXTINGUISHER TO COMPLY WITH AS-2444
- SWITCHBOARD - REFER TO ENG' S DOCUMENTATION
- FINISHED FLOOR LEVEL INDICATION.
- PROTECTIVE BOLLARD, TYPE AS SCHEDULED
- COLUMN TO STRUCTURAL ENGINEERS DETAILS
- PLYWOOD DUST COVER AS DETAILED
- DOWNPIPE - REFER TO ROOF PLAN
- GALVANISED MILD STEEL DOWNPIPE PROTECTOR
- HANDRAIL - REFER DETAILS, TYPE AS SCHEDULED
- ROLLER SHUTTER DOOR
- PANEL LIFT-UP DOOR
- TACTILE INDICATORS TO AS-1428

NOTES: FLOOR PLAN

- GENERAL**
BUILDER TO CONFIRM ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF ANY PART OF THE WORKS.
- ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE SPECIFICATION AND SCHEDULES.
- CONSULT ARCHITECT ON ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF ANY PART OF THE WORKS.
- ELECTRICAL SWITCHBOARDS LOCATED IN THE PATH OF TRAVEL AND EXITS TO BE ENCLOSED IN METAL OR OTHER INCOMBUSTIBLE CABINETS WITH SMOKE PROOF DOORS.
- NEATLY FILL PENETRATIONS TO ELECTRICAL WIRINGS THROUGH ELECTRICAL SWITCHBOARDS.
- NON SLIP FINISHES TO BE PROVIDED TO ALL STEPS, RAMPS, LANDINGS AND WET AREAS.



1 BUILDING A PART GROUND FLOOR PLAN
A100 SCALE: 1 : 100

Medical rooms at Ware House 1
235-265 Hamilton Highway Fyansford
Usage & Waver of Carparks

Amendments

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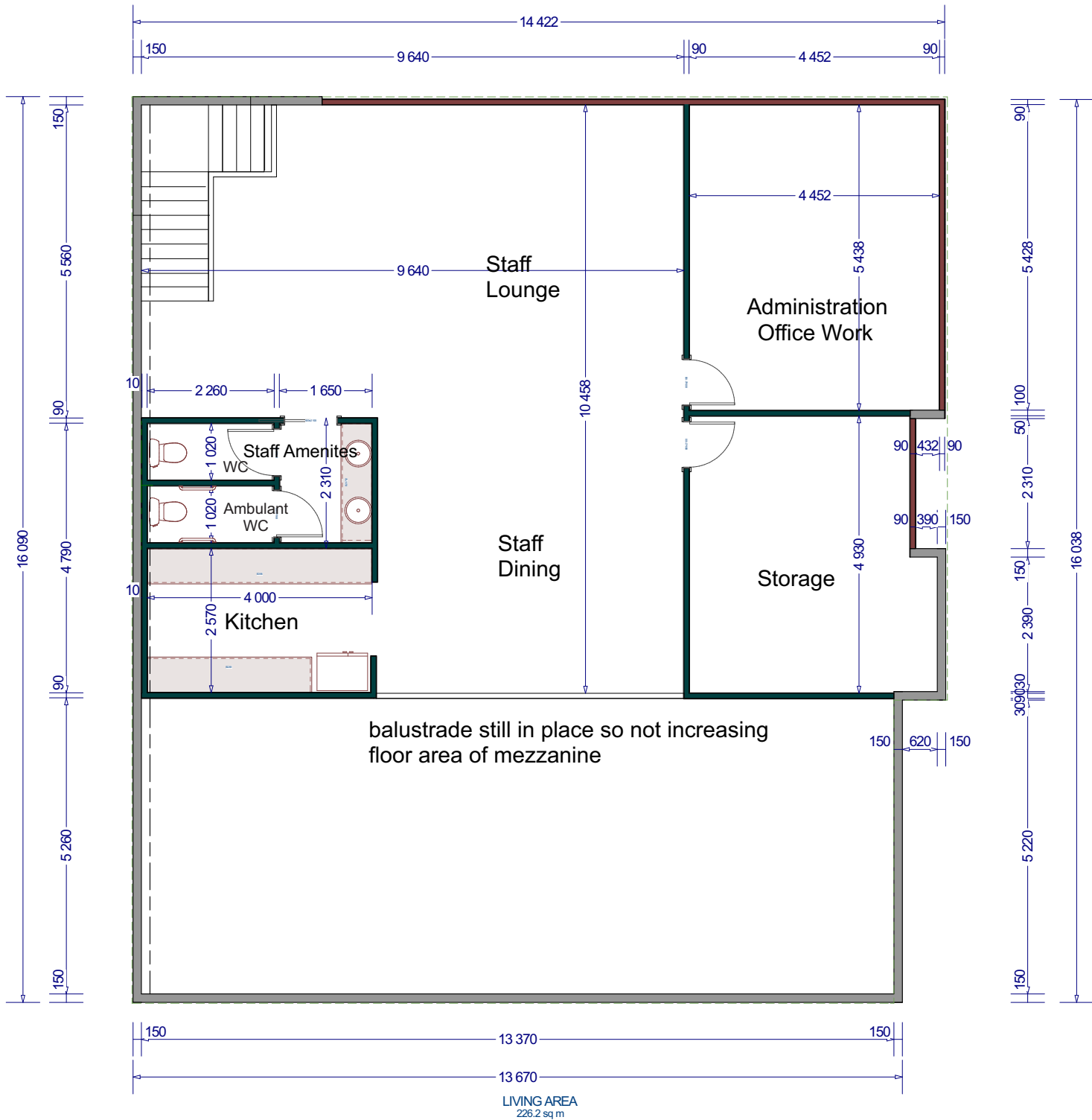
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Sheet number
9 of 21

WAREHOUSE 1

FIRST FLOOR PLAN



LEGEND: FLOOR PLAN

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- FIRE EXTINGUISHER TO COMPLY WITH AS-2444
- SWITCHBOARD - REFER TO ENG'S DOCUMENTATION
- FINISHED FLOOR LEVEL INDICATION.
- PROTECTIVE BOLLARD, TYPE AS SCHEDULED
- COLUMN TO STRUCTURAL ENGINEERS DETAILS
- PLYWOOD DUST COVER AS DETAILED
- DOWNPIPE - REFER TO ROOF PLAN
- GALVANISED MILD STEEL DOWNPIPE PROTECTOR
- HANDRAIL - REFER DETAILS, TYPE AS SCHEDULED
- ROLLER SHUTTER DOOR
- PANEL LIFT-UP DOOR
- TACTILE INDICATORS TO AS-1428

NOTES: FLOOR PLAN

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- NON SLIP FINISHES TO BE PROVIDED TO ALL STEPS, RAMPS, LANDINGS AND WET AREAS.

2 BUILDING A PART FIRST FOOR PLAN
SCALE: 1 : 100

Medical rooms at Ware House 1
235-265 Hamilton Highway Fyansford
Usage & Waver of Carpark

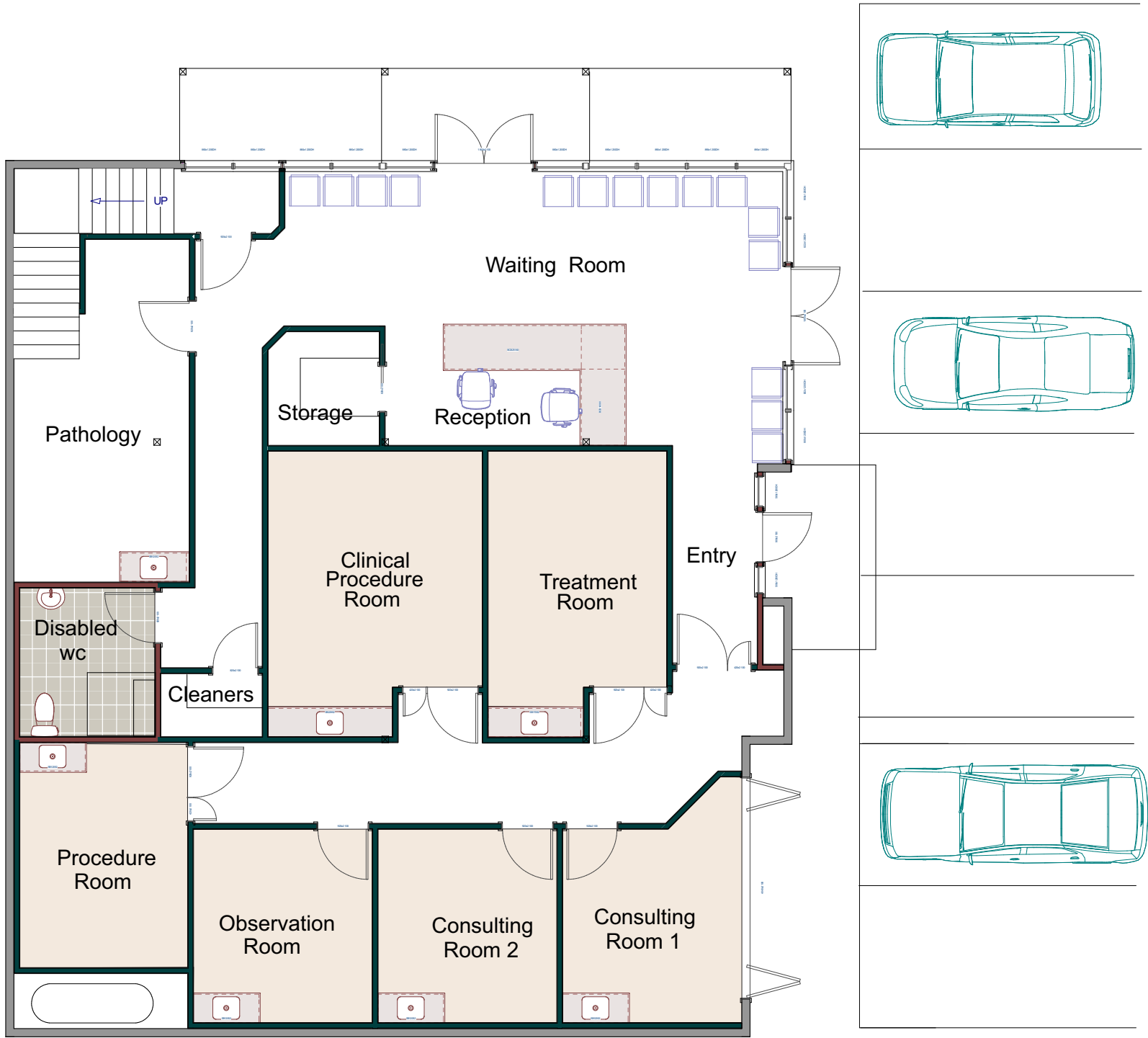
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Drawn	Date	March 2026
Brendan Henry	Issue	

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LEGEND: FLOOR PLAN

- FHR** FIRE HOSE REEL TO COMPLY WITH AS-2441 - REFER TO CONSULTANTS DRAWINGS FOR LOCATIONS, DETAILS & SPECIFICATIONS
- FH** FIRE HYDRANT TO COMPLY WITH AS-2441 AND AS-2419 - REFER TO CONSULTANTS DRAWINGS FOR LOCATIONS, DETAILS & SPECIFICATIONS
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- FE** FIRE EXTINGUISHER TO COMPLY WITH AS-2444
- SB** SWITCHBOARD - REFER TO ENG' S DOCUMENTATION
- FELXXXX** FINISHED FLOOR LEVEL INDICATION.
- Bxx** PROTECTIVE BOLLARD, TYPE AS SCHEDULED
- COL** COLUMN TO STRUCTURAL ENGINEERS DETAILS
- DCR** PLYWOOD DUST COVER AS DETAILED
- DP** DOWNPIPE - REFER TO ROOF PLAN
- DPIP** GALVANISED MILD STEEL DOWNPIPE PROTECTOR
- HRxx** HANDRAIL - REFER DETAILS, TYPE AS SCHEDULED
- RSD** ROLLER SHUTTER DOOR
- PLD** PANEL LIFT-UP DOOR
- TT** TACTILE INDICATORS TO AS-1428

Floor finishes

- Structural Sheet Floor
Option Carpeted
- Warehouse floor
(Concrete)
- Ceramic Tiles
- Commercial grade
non porous floor finish
suitable for healthcare
use

WINDOWS
HUMAN IMPACT MINIMUM SAFETY REQUIREMENTS
Glazing to windows where the sill is less than 500mm above floor level should be glazed as follows;
-Up to 0.3m sq minimum 4mm annealed glass.
-Between 0.3m sq and 2m sq minimum 5mm annealed glass.
-Larger areas to be safety glass in accordance with Part 3.6 of the NCC Volume 2 2022

DOORS
HUMAN IMPACT MINIMUM SAFETY REQUIREMENTS
Glazing to doors and side panels should be as follows;
-Up to 0.1m sq minimum 3mm annealed glass
-Between 0.1m sq and 0.3m sq minimum 4mm annealed glass.
-Between 0.3m sq and 0.5m sq minimum 5mm annealed glass.
-Larger areas to be safety glass in accordance with Part 3.6 of the NCC Volume 2 2022

Ventilation
NCC Volume 2 , 3.8.7.3 requires that the minium flow rates for the sanitary area or bathroom is 25L/s
All exhaust fans for ,bathrooms and sanitary areas (wc) to be ducted thru roof space to outside open air , and where have no natural ventilation via window or external door to be switched with light.
Internal lighting to bathrooms and passages to be on an timer to switch off automatically

Ground Floor
Floor Coverings Plan

Medical rooms at Ware House 1
235-265 Hamilton Highway Fyansford
Usage & Waver of Carparks

Amendments

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Brendan Henry Design

Sheet number
11 of 21

LEGEND:

FLOOR PLAN

- FHR



FIRE HOSE REEL TO COMPLY WITH AS-2441 - REFER TO CONSULTANTS DRAWINGS FOR LOCATIONS, DETAILS & SPECIFICATIONS
- FH



FIRE HYDRANT TO COMPLY WITH AS-2441 AND AS-2419 - REFER TO CONSULTANTS DRAWINGS FOR LOCATIONS, DETAILS & SPECIFICATIONS
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- FE



FIRE EXTINGUISHER TO COMPLY WITH AS-2444
- SB



SWITCHBOARD - REFER TO ENG' S DOCUMENTATION
- FELXXXX



FINISHED FLOOR LEVEL INDICATION.
- Bxx



PROTECTIVE BOLLARD, TYPE AS SCHEDULED
- COL



COLUMN TO STRUCTURAL ENGINEERS DETAILS
- DCR



PLYWOOD DUST COVER AS DETAILED
- DP



DOWNPIPE - REFER TO ROOF PLAN
- DPIP



GALVANISED MILD STEEL DOWNPIPE PROTECTOR
- HRxx



HANDRAIL - REFER DETAILS, TYPE AS SCHEDULED
- RSD



ROLLER SHUTTER DOOR
- PLD



PANEL LIFT-UP DOOR
- TT

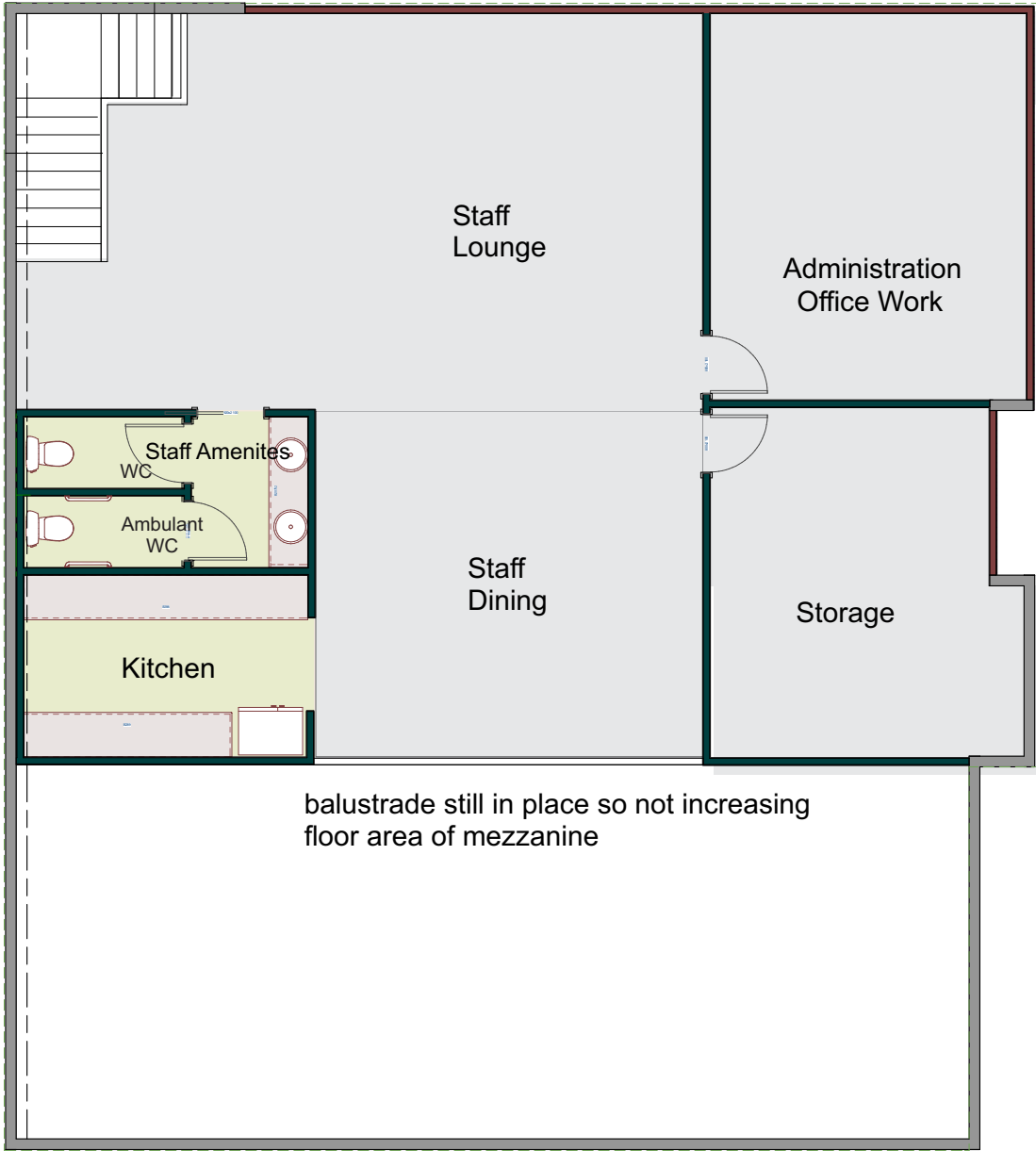


TACTILE INDICATORS TO AS-1428

WINDOWS
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Glazing to doors and side panels should be as follows;
-Up to 0.1m sq minimum 3mm annealed glass
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NCC Volume 2 , 3.8.7.3 requires that the minium flow rates for the sanitary area or bathroom is 25L/s
All exhaust fans for ,bathrooms and sanitary areas (wc) to be ducted thru roof space to outside open air , and where have no natural ventilation via window or external door to be switched with light.
Internal lighting to bathrooms and passages to be on an timer to switch off automatically



LIVING AREA
226.2 sq m

First Floor

Floor Coverings Plan

- Floor finishes
- 

Structural Sheet Floor
Option Carpet
- 

Warehouse floor
(Concrete)
- 

Ceramic Tiles
- 

Hybrid or Vinyl
Commercial Flooring

Medical rooms at Ware House 1
235-265 Hamilton Highway Fyansford
Usage & Waver of Carparks

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Sheet number

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NOTES: REFLECTED CEILING PLAN

EXIT SIGNS & EMERGENCY LIGHTS TO COMPLY WITH AS-2293.
ARTIFICIAL LIGHTING TO COMPLY WITH AS-1680.

MOISTURE RESISTANT PLASTERBOARD TO ALL WET AREAS.

REFER TO ELECTRICAL, MECHANICAL & HYDRAULIC SERVICE DWG'S FOR ALL SERVICE'S DETAILS.

PROVIDE ACCESS PANELS FOR MECHANICAL AND ELECTRICAL SERVICES TO PLASTERBOARD CEILINGS, REFER TO SERVICE ENGINEERS DRAWINGS FOR REQUIREMENTS.

PROVIDE SQUARE SET CORNICE TO ALL FLUSH PLASTERBOARD CEILING - WALL & COLUMN JUNCTIONS.

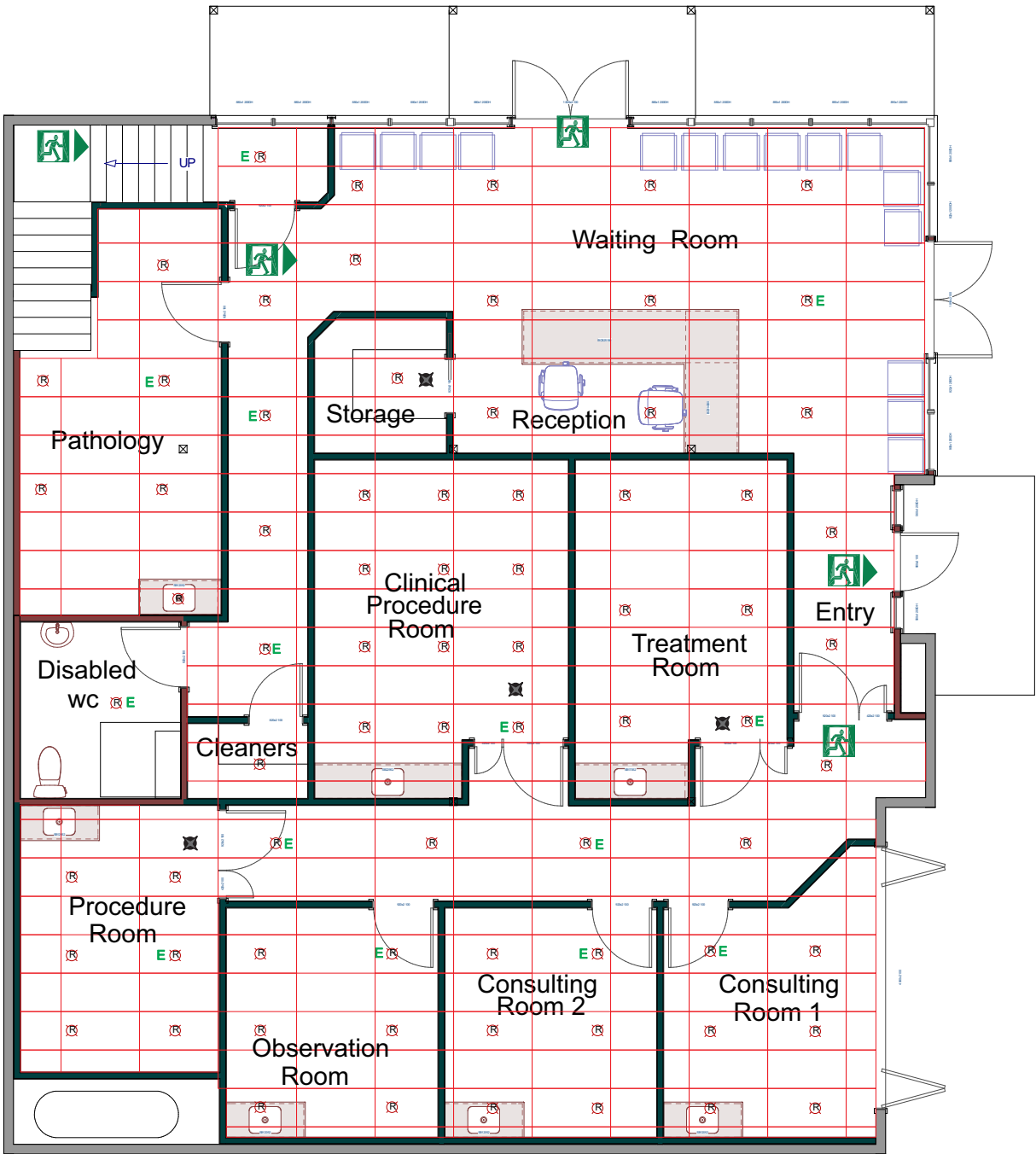
SHADOWLINE OR LONGLEG WALL ANGLES TO ALL WALL, COLUMN JUNCTIONS.
SUSPENSION SYSTEM TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATION WITH THE SPANS OF THE MAIN & CROSS TEES NOT EXCEEDING THEIR DESIGN REQUIREMENTS.

ALL TENANCY WALLS TO AMENITIES AND FOYER INCLUDING TENANCY DIVIDING WALLS TO BE TO UNDERSIDE OF FLOOR SLAB OR ROOF STRUCTURE OVER WITH INSULATION AND ACOUSTIC AS SPECIFIED. (PROVIDE DEFLECTION HEAD)

DRY WALL SYSTEMS, INCLUDING CONTROL JOINTS (EXPANSION JOINTS) SHALL BE COMPLETE PROPRIETARY SYSTEMS, IN ACCORDANCE WITH PRODUCT DATA AND THE RELEVANT STANDARDS. CONSTRUCT CONTROL JOINTS TO PLASTERBOARD SHEETING USING A SUITABLE PROPRIETARY SYSTEM, RONDO OR SIMILAR APPROVED. INSTALL STOPPING BEADS BOTH SIDES AND REQUIRED JOINT FILLERS & INSERTS. CONTROL JOINTS IN FINISHED WORK SHALL EXTEND FULL DEPTH TO BASE-BUILDING AND SUBSTRATES AND SHALL COINCIDE WITH JOINTS IN BASE-BUILDING AND SUBSTRATES.

FOR CONTROL JOINT LOCATION AND FREQUENCY REFER TO PRODUCT MANUFACTURERS RECOMMENDATIONS. TYPICALLY FOR INTERNAL WALLS WITH PLASTERBOARD OUTER LAYER, 12M MAXIMUM CENTRES; AT JUNCTIONS WITH OTHER BUILDING ELEMENTS; AT CHANGES OF LINING MATERIAL; AT CHANGES OF STRUCTURAL SUPPORT SYSTEMS; AT EACH STOREY OR RISE OF STUDS.

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	SAL Coolum Plus Recessed Downlights 9 Watt
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	SAL T Bar LED Lighting Panel 30 Watt
	SAL Ecoline MK II 40 Watt Light Fitting
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel
	Air Conditioning Ceiling vent
	Existing LED Warehouse lighting
	Auto light sensor



Lighting Control

Attached is the 2x levels plans for the sensor marked in black circles with an X through them.
On ground level the Entry foyer, stairwell and open storage lighting will be activated when the alarm system is disarmed and turned off when the alarm system is armed to ensure lighting when occupied.
On ground level the 2x toilets will have light switches
On the first floor the High bays will be switched
On the first floor the hallway & stairwell lighting will be activated when the alarm system is disarmed and turned off when the alarm system is armed to ensure lighting when occupied.
On the first floor the toilet will have a light switch.

Ventilation

NCC Volume 2 , 3.8.7.3 requires that the minium flow rates for the sanitary area or bathroom is 25L/s
All exhaust fans for ,bathrooms and sanitary areas (wc) to be ducted thru roof space to outside open air , and where have no natural ventilation via window or external door to be switched with light.
Internal lighting to bathrooms and passages to be on an timer to switch off automatically

Ground Floor Reflected Ceiling Plan

Medical rooms at Ware House 1
235-265 Hamilton Highway Fyansford
Usage & Waver of Carparks

Amendments	
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Sheet number
13 of 21

NOTES: REFLECTED CEILING PLAN

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ARTIFICIAL LIGHTING TO COMPLY WITH AS-1680.

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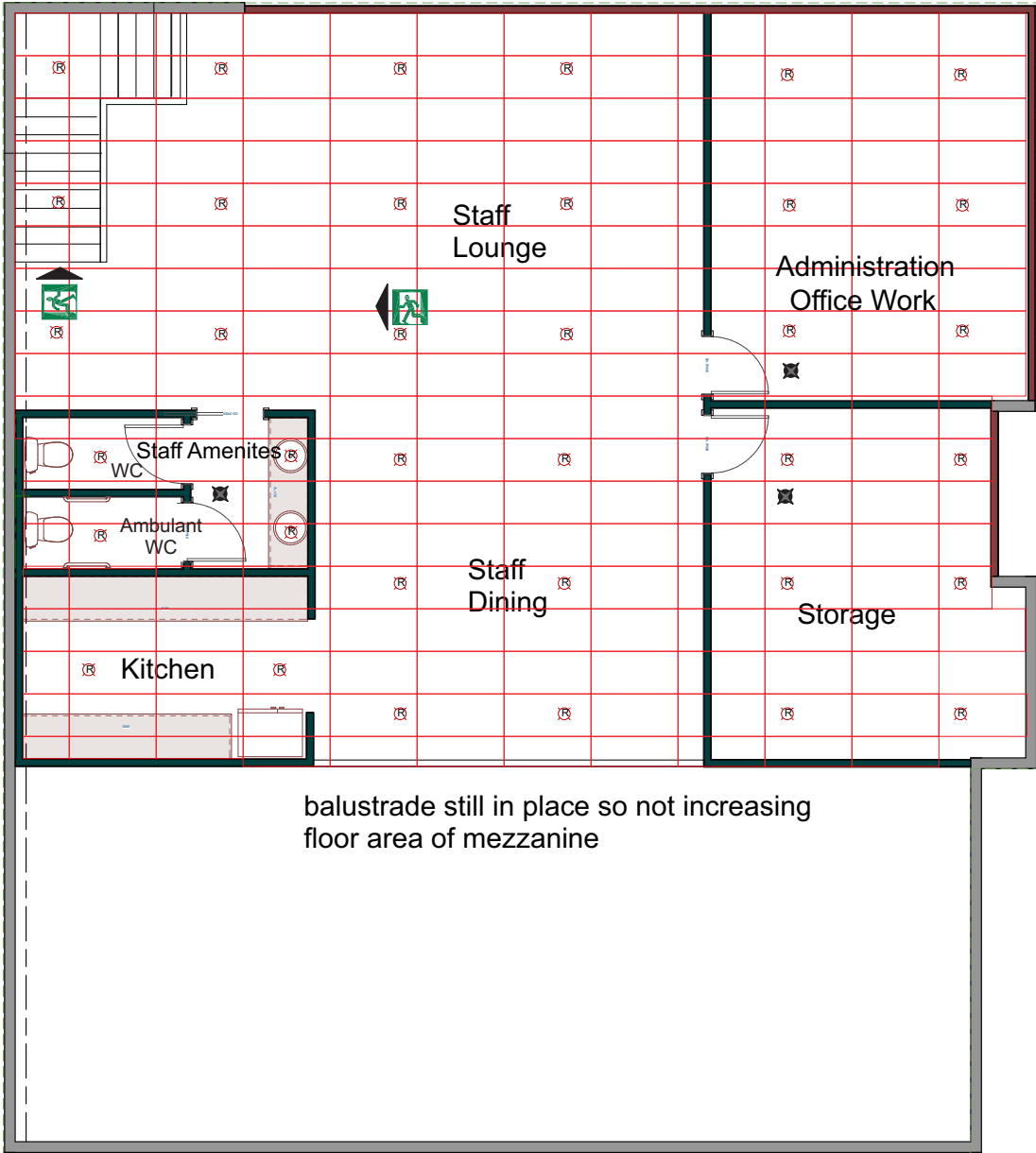
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	Speakers: Ceiling Mounted, Wall Mounted
	Data Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel
	Air Conditioning Ceiling vent
	Existing LED Warehouse lighting
	Auto light sensor



LIVING AREA
226.2 sq m

First Floor Reflected Ceiling Plan

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Medical rooms at Ware House 1
235-265 Hamilton Highway Fyansford
Usage & Waver of Carparks

Amendments	
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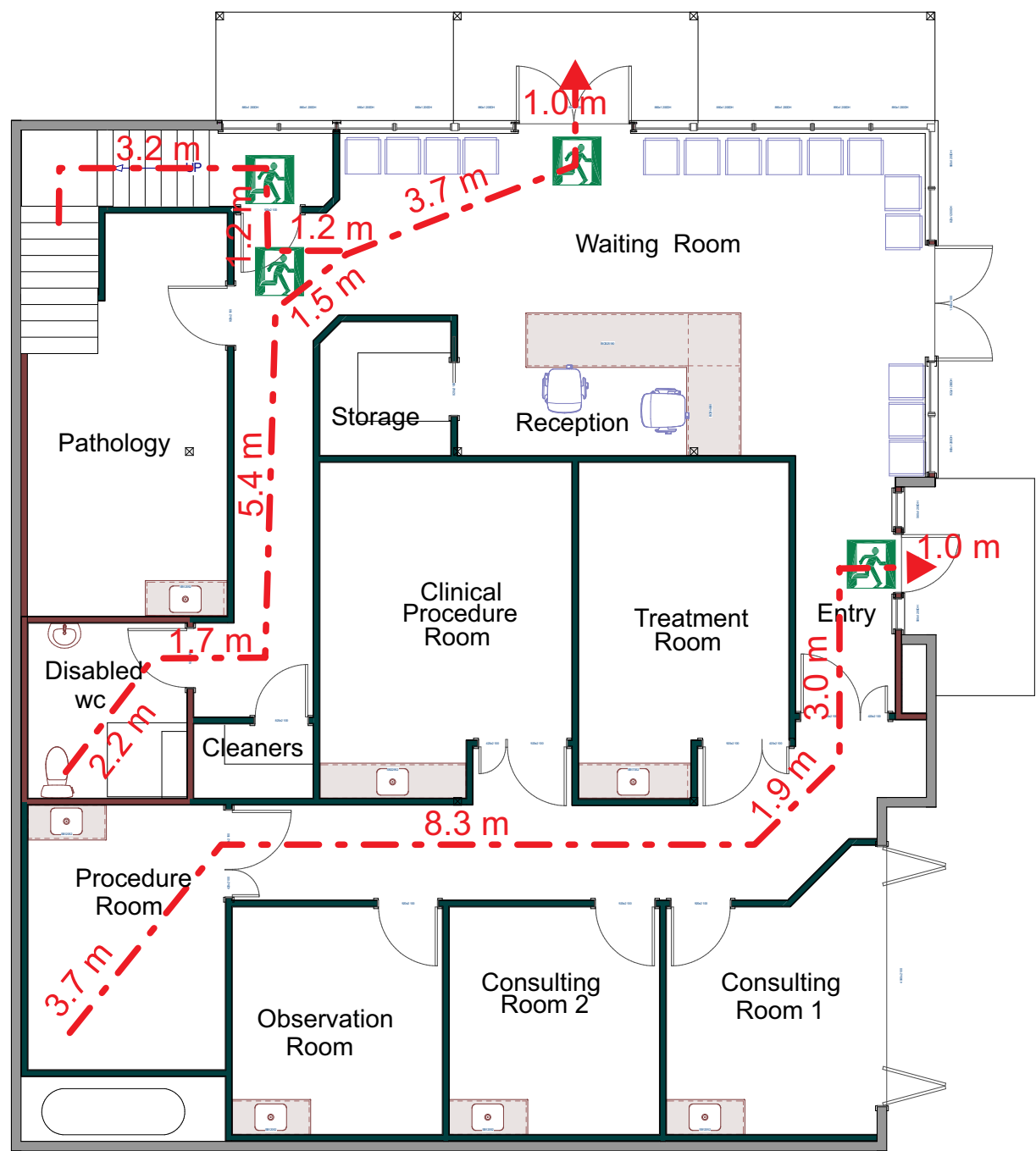
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Sheet number

14 of 21



LEGEND.



FIRE EXTINGUISHER
FIRE EXTINGUISHER TO BE BETWEEN 2 & 20m FROM THE ELECTRICAL SWITCHBOARD - FINAL LOCATION OF SWITCHBOARD TO BE DETERMINED ONSITE BY CERTIFIED CONTRACTOR.

PORTABLE FIRE EXTINGUISHERS TO COMPLY WITH AS-2444. PROVIDE 2A 20B (E) DRY CHEMICAL FIRE EXTINGUISHER ADJACENT TO EACH ELECTRICAL SWITCHBOARD.

FIRE HOSE AND HYDRANT INSTALLATIONS TO COMPLY WITH AS-2441 AND AS-2419.

FIRE INDICES OF MATERIALS, LININGS AND SURFACES TO COMPLY WITH SPECS C1.10 OF THE BCA.

First Floor path of Travel to Emergency Exit Plan

EXITS
ALL EXIT DOORS AND DOORS IN THE PATH OF TRAVEL TO EXITS ARE TO BE CAPABLE OF BEING OPENED AT ALL TIMES FROM THE SIDE FACING A PERSON SEEKING EGRESS FROM THE BUILDING WITH A SINGLE HANDED DOWNWARD OR PUSHING ACTION ON A SINGLE DEVICE WITHOUT THE USE OF A KEY AND LOCATED BETWEEN 900 AND 1100 ABOVE FLOOR LEVEL IN ACCORDANCE WITH THE BCA

Distance of path of travel
Class 5, 6, 7, 8 or 9 buildings — Subject to (d), (e) and (f)—

(i) no point on a floor must be more than 20 m from an exit, or a point from which travel in different directions to 2 exits is available, in which case the maximum distance to one of those exits must not exceed 40 m; and

(ii) in a Class 5 or 6 building, the distance to a single exit serving a storey at the level of access to a road or open space may be increased to 30 m.

Ground Floor Fire Services Plan

Medical rooms at Ware House 1
235-265 Hamilton Highway Fyansford
Usage & Waver of Carparks

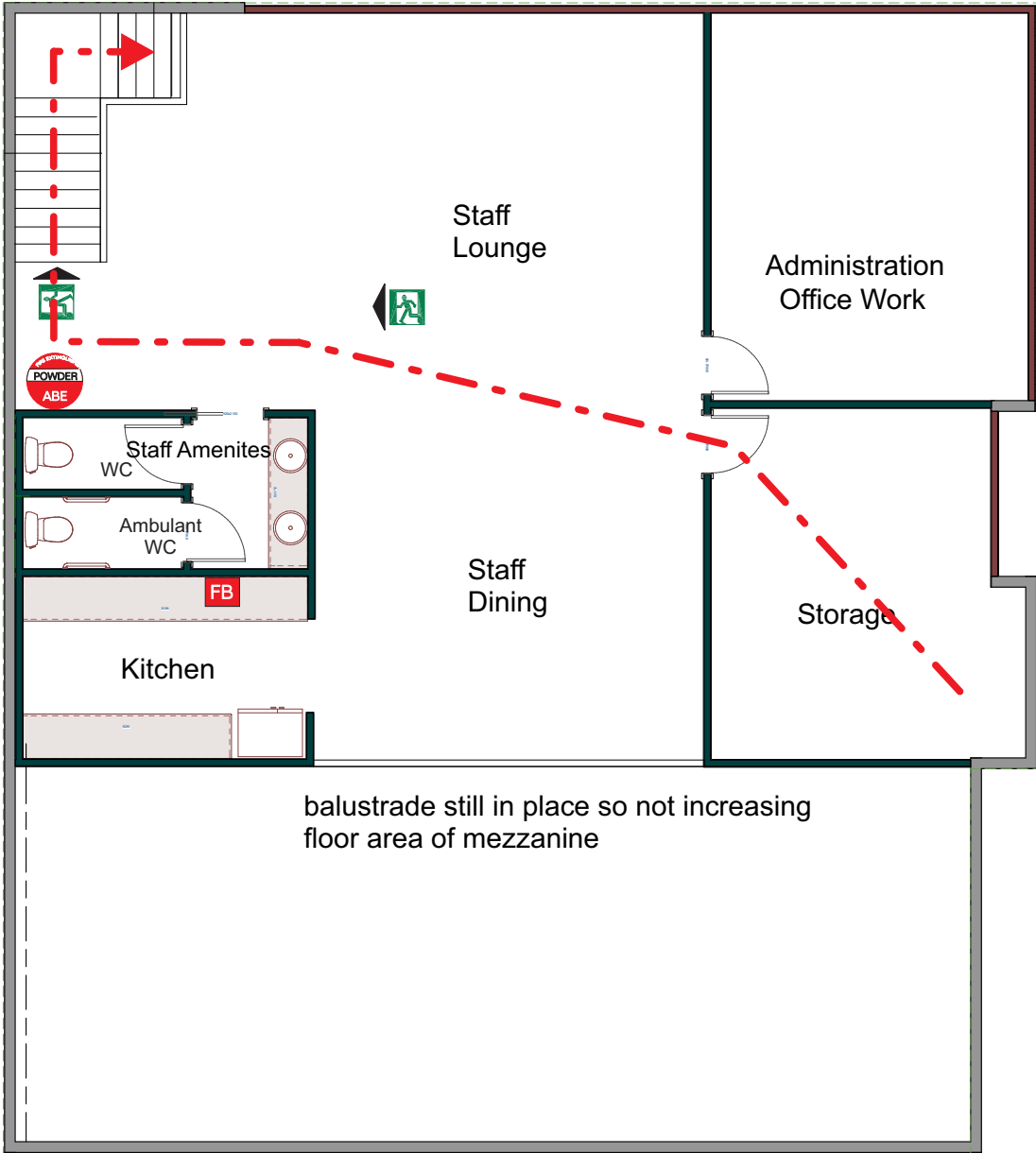
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LIVING AREA
226.2 sq m

First Floor Fire Services Plan

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Medical rooms at Ware House 1
235-265 Hamilton Highway Fyansford
Usage & Waver of Carpark

Amendments	

Drawn Brendan Henry	Date March 2026
Issue A	

Scale 1:100 A3

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Sheet number

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LEGEND.



FIRE EXTINGUISHER
FIRE EXTINGUISHER TO BE BETWEEN 2 & 20m FROM THE ELECTRICAL SWITCHBOARD - FINAL LOCATION OF SWITCHBOARD TO BE DETERMINED ONSITE BY CERTIFIED CONTRACTOR.

PORTABLE FIRE EXTINGUISHERS TO COMPLY WITH AS-2444. PROVIDE 2A 20B (E) DRY CHEMICAL FIRE EXTINGUISHER ADJACENT TO EACH ELECTRICAL SWITCHBOARD.

FIRE HOSE AND HYDRANT INSTALLATIONS TO COMPLY WITH AS-2441 AND AS-2419.

FIRE INDICES OF MATERIALS, LININGS AND SURFACES TO COMPLY WITH SPECS C1.10 OF THE BCA.

First Floor path of Travel to Emergency Exit Plan

EXITS
ALL EXIT DOORS AND DOORS IN THE PATH OF TRAVEL TO EXITS ARE TO BE CAPABLE OF BEING OPENED AT ALL TIMES FROM THE SIDE FACING A PERSON SEEKING EGRESS FROM THE BUILDING WITH A SINGLE HANDED DOWNWARD OR PUSHING ACTION ON A SINGLE DEVICE WITHOUT THE USE OF A KEY AND LOCATED BETWEEN 900 AND 1100 ABOVE FLOOR LEVEL IN ACCORDANCE WITH THE BCA

Distance of path of travel

Class 5, 6, 7, 8 or 9 buildings — Subject to (d), (e) and (f)—

- (i) no point on a floor must be more than 20 m from an exit, or a point from which travel in different directions to 2 exits is available, in which case the maximum distance to one of those exits must not exceed 40 m; and
- (ii) in a Class 5 or 6 building, the distance to a single exit serving a storey at the level of access to a road or open space may be increased to 30 m.

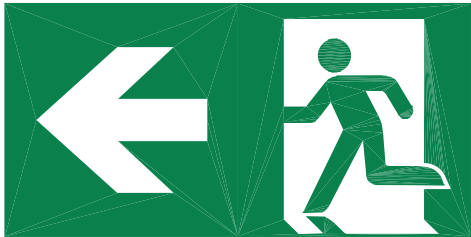
Emergency lighting and Disabled Signage

59

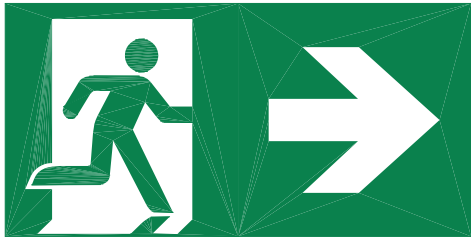
AS 2293.1—2005



(a) Straight on from here
(Refer to paragraph D3.3)

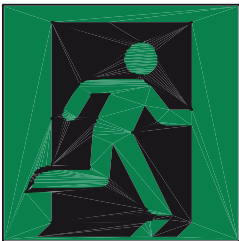


(b) Left from here



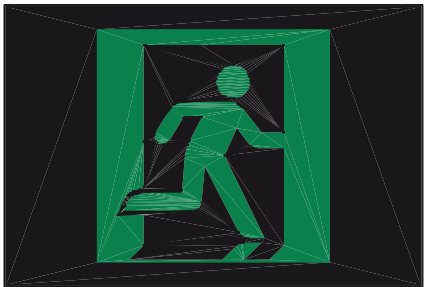
(c) Right from here

FIGURE D3 FORMATS AND MEANINGS OF PICTORIAL ELEMENTS



(a) No additional background

LEGEND:
= Opaque background
(Dark colour preferred)



(b) With additional background

8.2 Symbols indicating access for people with disabilities

8.2.1 International symbol of access

The form of the international symbol of access shall be as follows:

- (a) The symbol of access shall consist of two elements: a stylized figure in a wheelchair pointing to the right on a plain square background.
- (b) The proportional layout of the symbol of access shall be in accordance with Figure 10.
- (c) The colour of the Figure shall be white on a blue background in accordance with Figure 11. The blue shall be B21, ultramarine, of AS 2700, or similar.
- (d) For signs indicating the direction to a facility, an arrow shall be used in combination with the international symbol of access.

NOTE: Signs identifying a facility may be used either with or without directional arrows.



NOTE: Some black and white printers might produce a poor representation of this figure.

FIGURE D4 EXAMPLES OF COMPLYING 'LOW ILLUMINANCE' EXIT SIGN

D3.5 Colours

D3.5.1 General

For all types of sign, the colour of any additional background shall be identical to that of the background within the pictorial element/s.

D3.5.2 Standard internally illuminated exit signs

The green and the white portions of the face of a self illuminated exit sign shall lie within the areas defined by the chromaticity coordinates for the colours green and white respectively specified in ISO 3864-1 for ordinary, luminescent, retro reflecting or combined materials and transilluminated safety signs as applicable.

D3.5.3 Low illuminance area exit signs

The symbols on the face of a low illuminance self illuminated sign shall be green as per the requirements specified in Paragraph D3.2.

www.standards.org.au

Standards Australia

Medical rooms at Ware House 1
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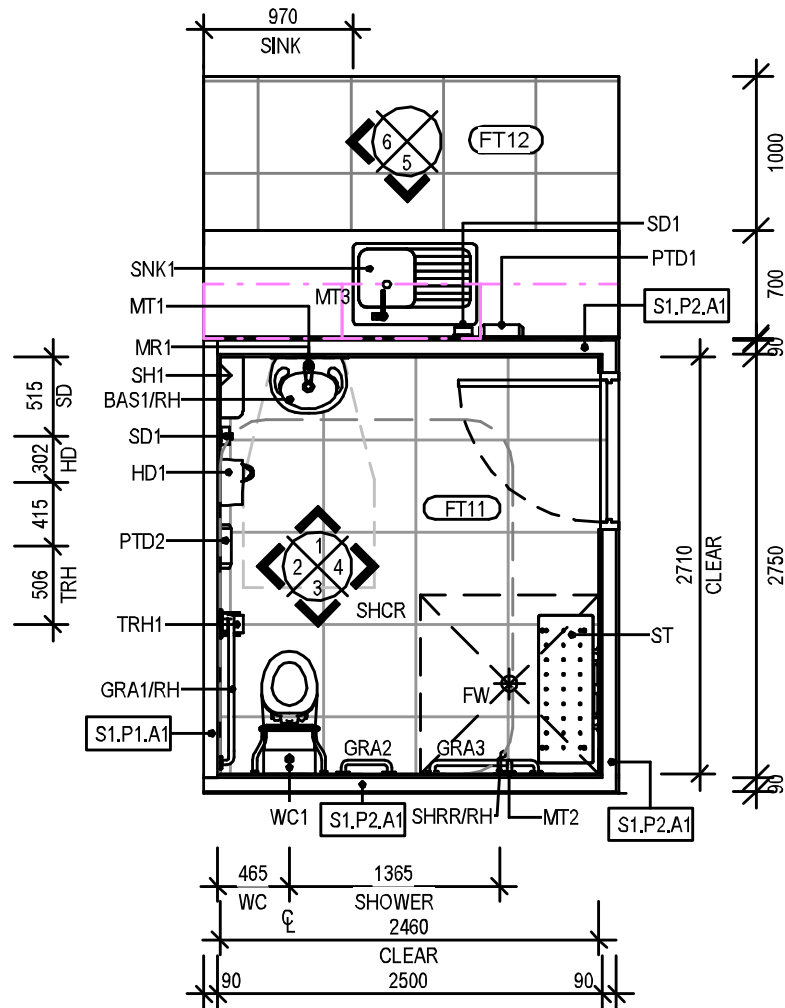
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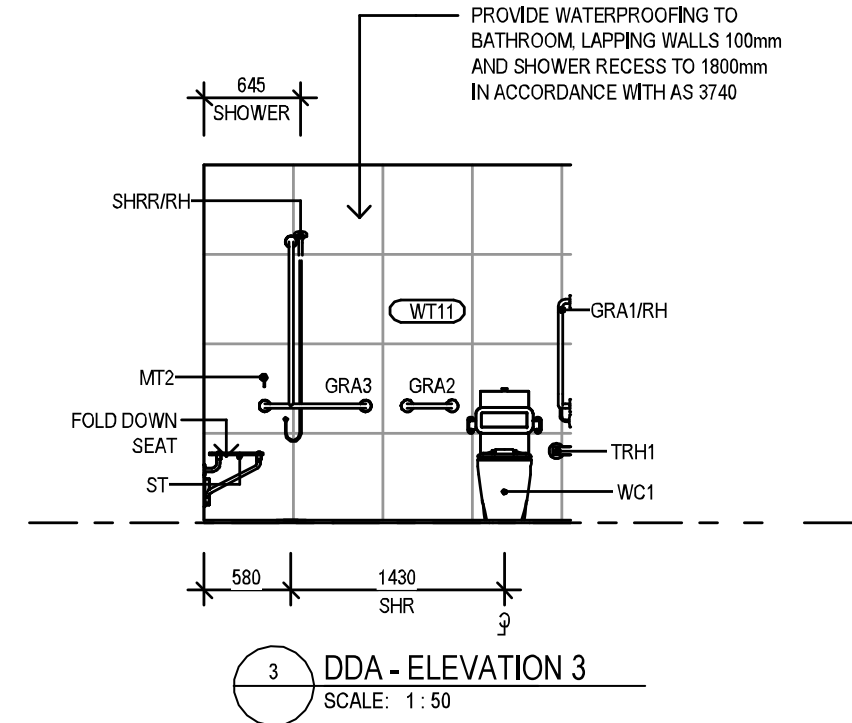


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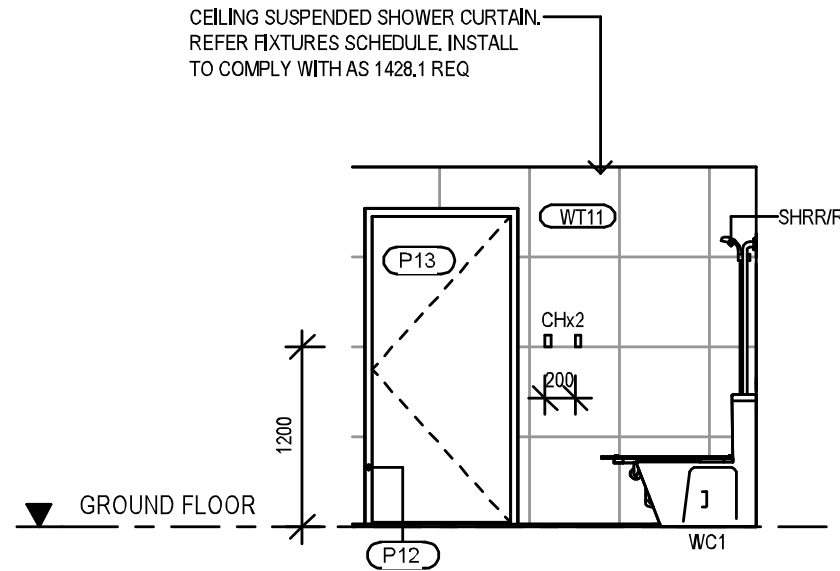
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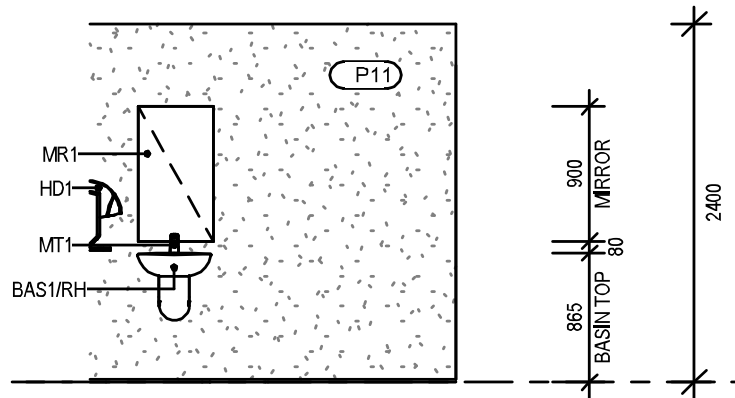
AM01 TYPICAL LAYOUT - UNISEX DDA COMPLIANT BATHROOM
SCALE: 1:50



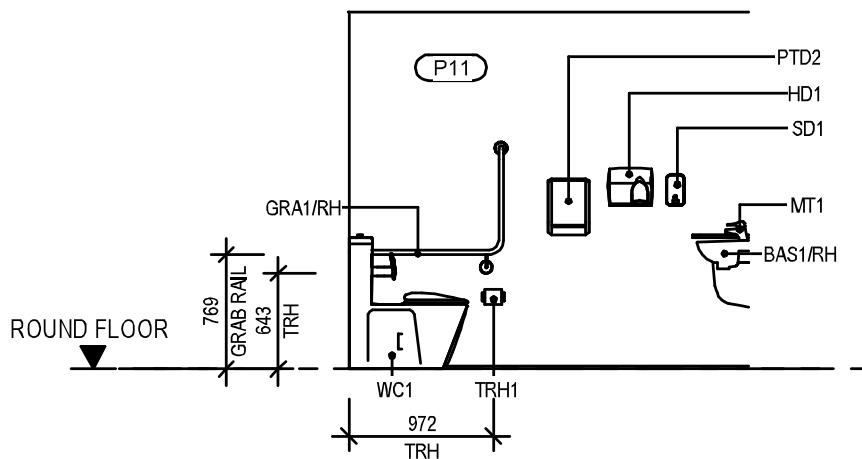
3 DDA - ELEVATION 3
SCALE: 1:50



4 DDA - ELEVATION 4
SCALE: 1:50



1 DDA - ELEVATION 1
SCALE: 1:50



2 DDA - ELEVATION 2
SCALE: 1:50

LEGEND: AMENITIES / JOINERY

- (ADJ) ADJUSTABLE SHELF
- (BAS) BASIN
- (BRD) BACKREST TO DISABLED TOILET
- (CH) COAT HOOK
- (DR) DRAWER
- (FP) FIXED PANEL
- (FW) FLOOR WASTE
- (GRA) GRAB RAILS
- (HD) HAND DRYER
- (MR) MIRROR - WALL MOUNTED
- (MT) MIXER TAP
- (PTD) PAPER TOWEL DISPENSER
- (SD) SOAP DISPENSER
- (SH) SHELF
- (SHH) SHOWER HEAD
- (SHR) SHOWER
- (SHRR) SHOWER RAIL AND ROSE
- (SHRL) SHOWER RAIL
- (SKT) SINK / TROUGH
- (ST) SHOWER SEAT
- (TRH) TOILET ROLL HOLDER
- (WC) TOILET SEAT & CISTERN

LEGEND: INTERNAL FINISHES

- (BTxx) BENCH TOP, TYPE AS SCHEDULED
- (AMxx) LAMINATE, TYPE AS SCHEDULED
- (MRxx) MIRROR, TYPE AS SCHEDULED
- (Pxx) PAINT FINISH, TYPE AS SCHEDULED
- (PB) PLASTERBOARD
- (SK) SKIRTING
- (TBxx) TIMBER FINISH, TYPE AS SCHEDULED
- (WTxx) WALL TILE FINISH, TYPE AS SCHEDULED

BUILDER TO CONFIRM ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF ANY PART OF THE WORKS.

WALL SETOUT DIMENSIONS ARE TAKEN BETWEEN STRUCTURAL ELEMENTS EXCLUSIVE OF ALL FINISHES UNLESS NOTED OTHERWISE

FIGURED DIMENSIONS TAKE PRECEDENCE. DO NOT SCALE FROM THE DRAWING.

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SHOP DRAWINGS TO BE SUBMITTED TO THE ARCHITECT AS PER THE CLIENT / ARCHITECTURAL AGREEMENT FOR REVIEW PRIOR TO COMMENCEMENT ON ANY FABRICATED WORKS.

NOTES: AMENITIES / JOINERY

GENERAL

DISABLED TOILET INSTALLATION TO COMPLY WITH ALL ASPECTS OF AS-1428.1.

WHERE SHOWERS ARE PROVIDED WITH GLASS SCREENS, ENSURE SCREENS ARE GRADE 'A' SAFETY GLASS IN ACCORDANCE WITH AS-1288.

ALL DOORS TO FULLY ENCLOSED SANITARY COMPARTMENTS MUST BE READILY REMOVABLE FROM THE OUTSIDE OF THE COMPARTMENT IF THEY OPEN INWARDS AND THE NEAREST PART OF THE DOORWAY IS WITHIN 1200mm OF THE PAN.

PROVIDE MOISTURE RESISTANT PLASTERBOARD TO ALL WET AREAS.

SILICONE SEAL VANITY/TILE JUNCTIONS, FLOOR/WALL JUNCTIONS AND TILE/CEILING JUNCTIONS.

TYPICALLY PROVIDE ACOUSTIC INSULATION TO ALL AMENITY WALLS.

ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO FABRICATION.

SILICONE SEAL ALL WALL / JOINERY JUNCTIONS IN COLOUR AS SELECTED.

INSTALL DOOR STOPS AND COAT HOOKS TO ALL CUBICLE DOORS

ENSURE 92mm STUD WALL BEHIND PAPER TOWEL DISPENSERS

CARPENTER TO CO-ORDINATE LOCATION OF TIMBER NOGGINGS & STUDS WITH PLUMBER & ELECTRICIAN TO ENABLE FIXING OF WALL MOUNTED FIXTURES & FITTINGS

PROVIDE NATURAL ANODISED ALUMINIUM ANGLE TRIMS TO ALL EXTERNAL TILED CORNERS. TILER TO USE THICK BED MORTAR SO THAT TRIMS ALIGN WITH TILE EDGE

WET SEAL ALL FLOORS TO AMENITIES

ALL DIMENSIONS TAKEN FROM FINISHED FLOOR LEVEL (FFL)

JOINERY

CONTRACTOR TO CHECK DIMENSIONS OF ALL EQUIPMENT PRIOR TO MANUFACTURE AND INSTALLATION

CONTRACTOR TO PROVIDE ALL CUT OUTS FOR APPLIANCES & FITTINGS

PROVIDE ADEQUATE VENTILATION AND CABLE ACCESS TO ALL BUILT IN ELECTRICAL UNITS. REFER TO MANUFACTURERS MANUALS

SUPPLY AND INSTALL ALL LUGS, SLEEVES, SCREWS, DOOR STOPS AND OTHER FIXINGS AS REQUIRED TO COMPLETE THE JOB

JOINER TO PROVIDE CABLE TRAYS & CABLE RETICULATION SYSTEMS

ALLOW FOR 2no. HINGES PER DOOR FOR UNDER BENCH AND OVERHEAD CUPBOARD DOORS, AND 3 - 4no. HINGES TO EACH DOOR OVER 2100mm HIGH

ALL FIXED PANELS TO HAVE CONCEALED FIXINGS

DRAWER RUNNERS SHALL BE FULLY CONCEALED, FULL EXTENSION METAL RUNNERS, HAFELE OR EQUAL SOFT-CLOSE ROLLER GLIDES TO SUIT SIZE AND WEIGHT OF DRAWER AND CONTENT

NOTE: ALL DIMENSION GIVEN HERE ARE SHOWN FOR SETOUT OF STUD FRAMING & FIXTURE SETOUT FROM FRAMING

NOTE: REFER TO A950 FOR FIXTURES & FITTINGS SETOUT TO AS-1428.1 - 2009

Medical rooms at Ware House 1
235-265 Hamilton Highway Fyansford
Usage & Waver of Carpark

Amendments

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Date: March 2026
Issue: 1
Scale: 1:100 A3

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Sheet number

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Ambulant Toilets and rails

16 SANITARY COMPARTMENT FOR PEOPLE WITH AMBULANT DISABILITIES

16.1 General

Sanitary compartment for people with ambulant disabilities shall be in accordance with Figures 53(A) and 53(B).

16.2 Grabrails

Grabrails shall be installed in accordance with Clause 17 and Figure 53(A).

16.3 Doors

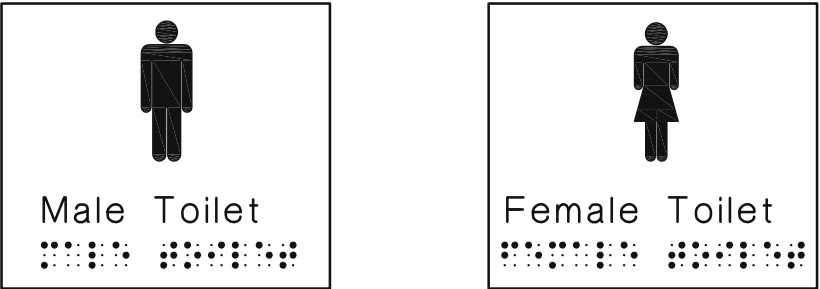
Doors to sanitary compartments for people with ambulant disabilities shall have openings with a minimum clear width of 700 mm, and shall comply with Figure 53(B).

Doors shall be provided with an in-use indicator and a bolt or catch. Where a snib catch is used, the snib handle shall have a minimum length of 45 mm from the centre of the spindle. In an emergency, the latch mechanism shall be openable from the outside.

16.4 Signage

Sanitary compartment for people with ambulant disabilities shall be identified by symbol or words, as specified in Clause 8.

FIGURE 9 (in part) MODULAR FORM OF SIGNS

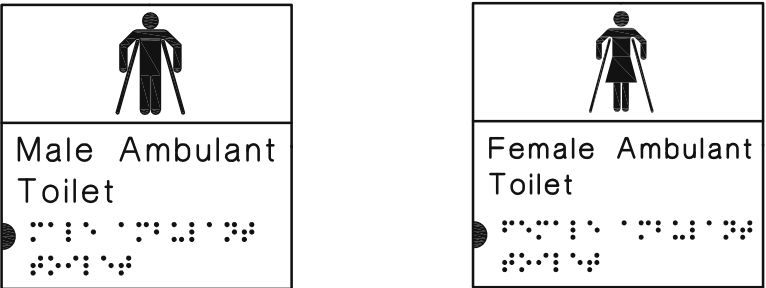


(b) Example of identification signs for male and female toilets

NOTES:

- 1 Visual message: The signs display male toilet and female toilet.
- 2 Minimum required raised tactile message: 'Male Toilet', 'Female Toilet' in raised tactile print and symbols.
- 3 Minimum required Braille message: 'Male Toilet', 'Female Toilet'.

FIGURE 9 (in part) MODULAR FORM OF SIGNS



(c) Example of identification signs for ambulant accessible male and female toilets

NOTES:

- 1 Visual message: The signs display ambulant accessible male and female toilets.
- 2 Minimum required raised tactile message: 'Ambulant Male Toilet', 'Ambulant Female Toilet' in raised tactile print and symbols.
- 3 Minimum required Braille message: 'Male Ambulant Toilet', 'Female Ambulant Toilet'.

16.5 Coat hook

A coat hook shall be provided within the sanitary compartment and at a height between 1350 mm to 1500 mm from the floor.

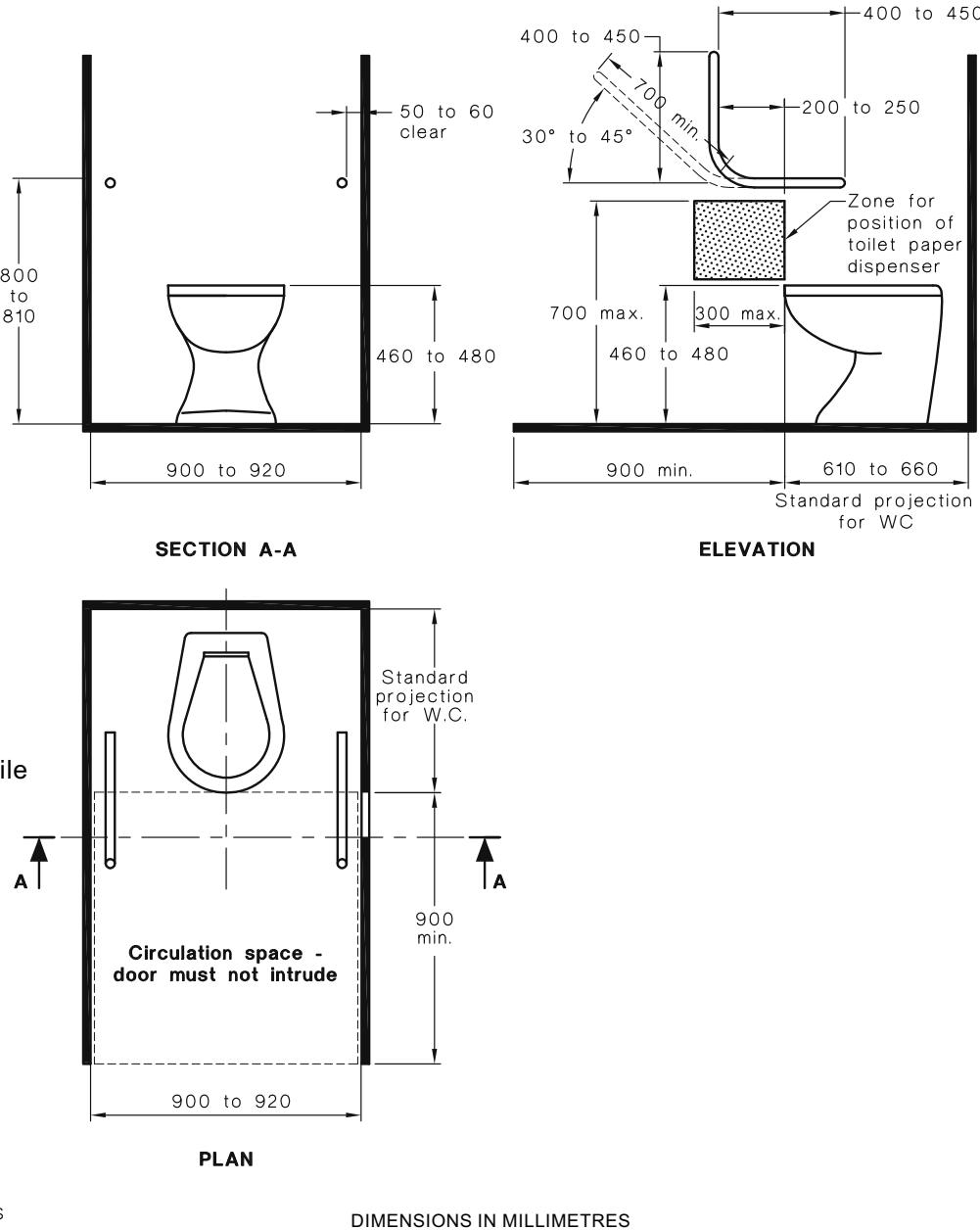


FIGURE 53(A) SANITARY COMPARTMENT FOR PEOPLE WITH AMBULANT DISABILITIES—PLAN AND ELEVATION

NOTES:

AS-1428.1 - 2009

ACCESSIBLE TOILET

SEAT & FLUSHING CONTROL:

... HAVE A MINIMUM LUMINANCE CONTRAST OF 30% WITH THE BACKGROUND.

SOAP DISPENSERS, PAPER TOWEL DISPENSERS / BIN & HAND DRYERS

...FITTINGS SHALL NOT INTRUDE INTO BASIN CIRCULATION SPACE AND SHALL BE OPERABLE BY ONE HAND, AND SHALL BE INSTALLED WITH THE HEIGHT OF THEIR OPERATIVE COMPONENT OF OUTLET NOT LESS THAN 900mm AND NOT MORE THAN 1100mm ABOVE THE PLAN OF THE FINISHED FLOOR, AND NO CLOSER THAN 500mm FROM AN INTERNAL CORNER.

SHOWER

SHOWER RECESSES AND THE CIRCULATION SPACE FOR EACH SHOWER RECESS FROM THE FINISHED FLOOR TO A HEIGHT IF NOT LESS THAN 900mm SHALL BE AS SHOWN. GRABRAILS, SHOWER HOSE FITTINGS; TAPS SOAP HOLDER AND THE FOLDING SEAT ARE THE ONLY FIXTURES PERMITTED IN THESE SPACES. IF TWO OR MORE SHOWERS RECESSES ARE PROVIDED, AT LEAST ONE SHALL BE IF THE OPPOSITE HAND.

COAT HOOK:

NOT LESS THAN TWO CLOTHES-HANGING DEVICES SHALL BE FITTED OUTSIDE THE SHOWER RECESS AS INDICATED.

AMBULANT TOILET

DOORS:

DOORS TO SANITARY COMPARTMENTS SHALL HAVE OPENINGS WITH A MINIMUM CLEAR WIDTH OF 700mm.

SIGNAGE:

SANITARY COMPARTMENT SHALL BE IDENTIFIED BY SYMBOL OR WORDS AS SPECIFIED.

COAT HOOK:

A COAT HOOK SHALL BE PROVIDED WITHIN THE SANITARY COMPARTMENT AND AT A HEIGHT BETWEEN 1350mm AND 1500mm FROM THE FLOOR.

SIGNAGE

BRAILLE AND TACTILE SIGN:

BRAILLE AND TACTILE COMPONENTS OF A SIGN MUST BE LOCATED NOT LESS THAN 1200mm AND NOT HIGHER THAN 1600mm ABOVE THE FLOOR OR GROUND SURFACE

SIGNS WITH SINGLE LINES OF CHARACTERS MUST HAVE THE LINE OF TACTILE CHARACTERS NOT LESS THAN 1250mm AND NOT HIGHER THAN 1350mm ABOVE THE FINISHED FLOOR OR GROUND SURFACE.

SIGNS MUST BE LOCATED ON THE WALL ON THE LATCH SIDE IF THE DOOR WITH THE LEADING EDGE OF THE SIGN LOCATED BETWEEN 50mm AND 300mm FROM ARCHITRAVE, IF NOT POSSIBLE, THE SIGN MAY BE PLACED ON THE DOOR ITSELF

NOTE: GRABRAILS TO BE FIXED TO STUD WALLS OR DOUBLE PARTITION WALLS ONLY.

NOTE: ALL DIMENSIONS GIVEN HERE ARE TO FINISHED SURFACES TO MEET REQUIREMENTS OF AS-1428.1 - 2009

NOTE: REFER TO AMENITIES FLOOR PLANS FOR SETOUT OF FIXTURES TO STUD FRAMING.

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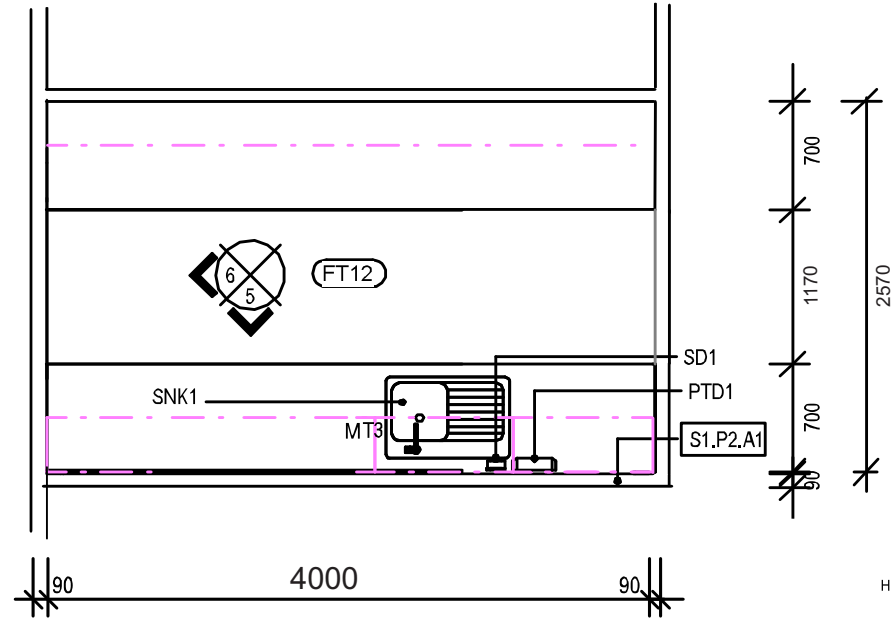
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KITCHEN LAYOUT
SCALE: 1:50

LEGEND: AMENITIES / JOINERY

- (ADJ) ADJUSTABLE SHELF
- (BAS) BASIN
- (BRD) BACKREST TO DISABLED TOILET
- (CH) COAT HOOK
- (DR) DRAWER
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LEGEND: INTERNAL FINISHES

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- (LAMxx) LAMINATE, TYPE AS SCHEDULED
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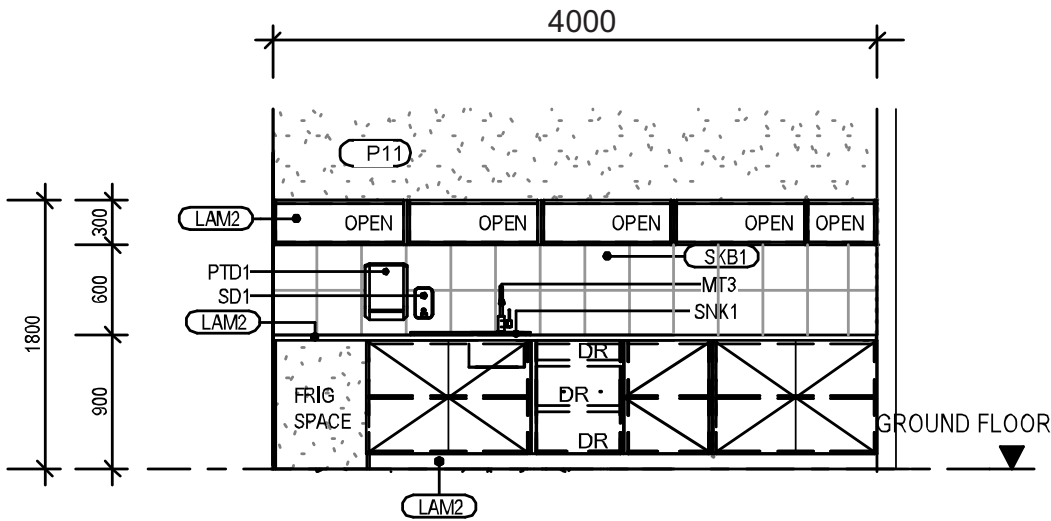
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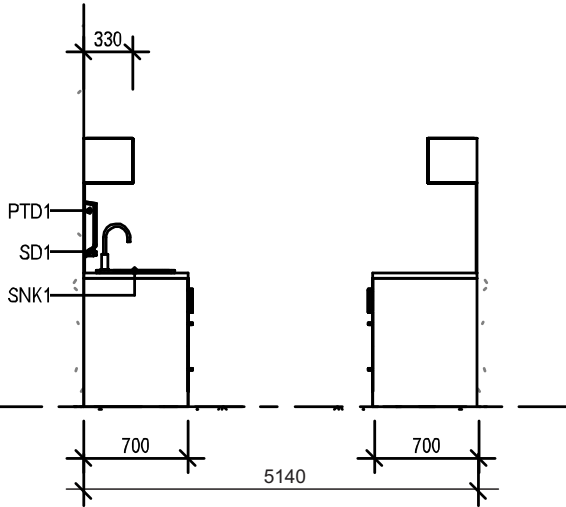
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NOTE: REFER TO A950 FOR FIXTURES & FITTINGS SETOUT TO AS-1428.1 - 2009



Kitchen Bench Section
SCALE: 1:50

Kitchen Bench Elevation
SCALE: 1:50



50mm SET DOWN IN SLAB TO ALL AMENITIES, REFER TO CSO PLANS AND STRUCTURAL ENGINEERS DRAWINGS

PROVIDE WATERPROOFING TO BATHROOM, LAPPING WALLS 100mm AND SHOWER RECESS TO 1800mm IN ACCORDANCE WITH AS 3740

VENTILATION TO UNISEX DDA COMPLIANT BATHROOM TO BE AS NOMINATED BY MECHANICAL ENGINEER

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