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PLANNING REPORT

RE-SUBDIVISION

1-29 & 31-69 SOHO ROAD, DRYSDALE

30 JUNE 2026

1. OVERVIEW

NovoPlanning lodges this application for the re-subdivision of the land at 1-29 and 31-69 Soho Road, Drysdale.

The subject site is located at 1-29 and 31-69 Soho Road, Drysdale. The land is zoned Farming Zone in the Greater Geelong Planning Scheme. The land is also partially affected by a Heritage Overlay (HO80) and Significant Landscape Overlay – Schedule 13 (SLO13). The site is also located within a Bushfire Prone Area.

The proposed subdivision applies to two existing lots, and each lot has a dwelling. It is proposed to increase the lot area of 1-29 Soho Road to 25.7ha and reduce the area of 31-69 Soho Road to 3.1ha.

The proposal to increase the area of 1-29 Soho Road would increase the farming productivity of this lot. Some agriculture activities would still be supported at 31-69 Soho Road.

A planning permit is required under Clause 35.07 'Farming Zone' to subdivide the land. No buildings and works are proposed.

2. PROPOSAL

The application seeks to re-subdivide two existing lots which include existing dwellings. The proposal is to create two lots – Lot 1 to be 25.7ha and Lot 2 to be 3.1ha.



Figure 1 – Proposed Subdivision

Refer to Attachment 1 – Plans

3. SITE & LOCALITY CONTEXT

The title particulars are 1-29 Soho Road, Drysdale, Lot 1 PS916460 and 31-69 Soho Road, Drysdale Lot 2 PS916460. There are no restrictions on the title and both properties are in the same ownership.

Refer to Attachment 2 – Title

The subject site is located on the south-eastern corner of Murradoc Road and Soho Road, Drysdale. The surrounding land is zoned Farming Zone. Murradoc Road is zoned Transport 2 Zone. The access to both properties is via Soho Road, a Council-managed road. Murradoc Road is a two-way single lane arterial road (C125) managed by the Head, Transport for Victoria and Soho Road is a council-managed gravel road. Murradoc Road and Soho Road is managed by a 'Stop' sign intersection.

Soho Estate at 1-29 Soho Road is a 15.5ha with the heritage-listed 'Soho' dwelling centrally located on the land. The principal entrance to the site is to the north, however there is a second entrance/ exit to the south. The site includes several outbuildings. An equestrian building is located to the eastern part of the site.

Part of the land is affected by a Heritage Overlay (HO80) which is a 'C Listed - Local Significance' on the local heritage register.

'Soho' at Drysdale was erected in 1883-84 for Samuel Lees to designs prepared by Watts and Jackson architects. This large single storey weatherboard clad timber framed villa is a typically planned late Victorian ear residence with a axial plan and flouting window bays. The essential Victorian character is retained bust cast iron decoration and other alterations have reduced the integrity of the place.

31-69 Soho Road is occupied by a detached dwelling and is 13.3ha.

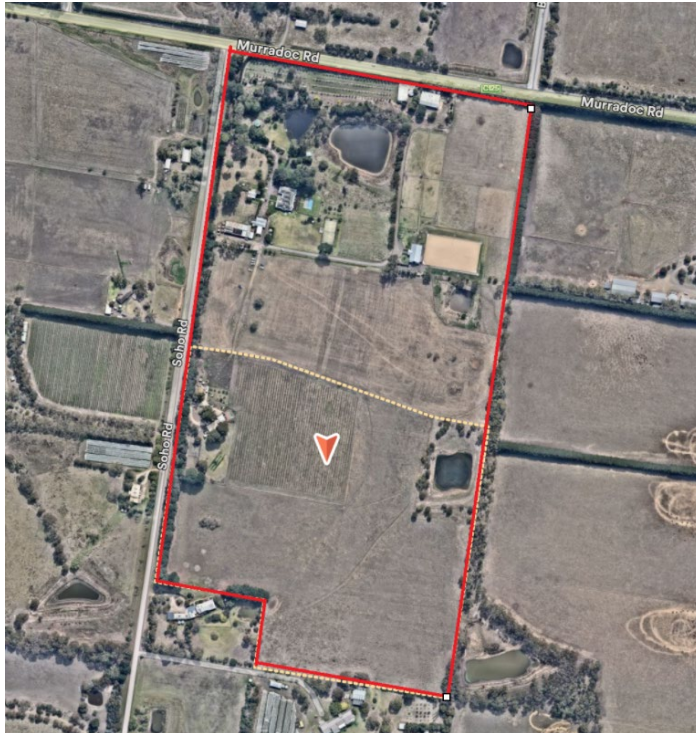


Figure 2 – Subject Site (Source NearMap)

4. PLANNING POLICIES

The use of the land is consistent with the objectives of the Principal and Local Planning Policies in the Greater Geelong Planning Scheme.

The following policies are relevant to this application:

Clause 11.01-1R 'Geelong (G21)' supports the sustainable development of the G21 Region, which includes the City of Greater Geelong. The policy supports the agricultural sector and also the diversification of the economy.

Response

Soho Estate is an established agricultural operation and the subdivision will support the ongoing agricultural viability of the land.

Clause 14.01 'Agriculture' aims to protect agricultural land.

Response

The proposed use will support the current agricultural use of the land. The proposed subdivision will improve the agricultural activities through the reconfiguration of the lots. A Farm Management Plan support the future farming operation.

5. PLANNING PROVISIONS

The subject site is zoned Farming Zone in the Greater Geelong Planning Scheme. The land at 1-29 Soho Road is also partially affected by a Heritage Overlay (HO80) and Significant Landscape Overlay – Schedule 13 (SLO13). SLO13 also applies to part of 31-69 Soho Road. 1-29 Soho Road is adjacent to the Transport 2 Zone (TRZ2).

Farming Zone



Figure 3 – Zone

Pursuant to the provisions of the Farming Zone, a planning permit is required for the subdivision of the land. The objectives of the zone are:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To provide for the use of land for agriculture.
- To encourage the retention of productive agricultural land.
- To ensure that non-agricultural uses, including dwellings, do not adversely affect the use of land for agriculture.
- To encourage the retention of employment and population to support rural communities.

- To encourage use and development of land based on comprehensive and sustainable land management practices and infrastructure provision.
- To provide for the use and development of land for the specific purposes identified in a schedule to this zone.

Pursuant to Clause 35.07-3, a permit is required to subdivide land subject. The proposed lots will be less than 30ha which is the minimum lot size in the Schedule to the Farming Zone, however the following requirements are met which allow for consideration for smaller lot sizes:

- the subdivision is to create a lot for an existing dwelling. The subdivision must be a two lot subdivision; and
- The subdivision is the re-subdivision of existing lots and the number of lots is not increased.

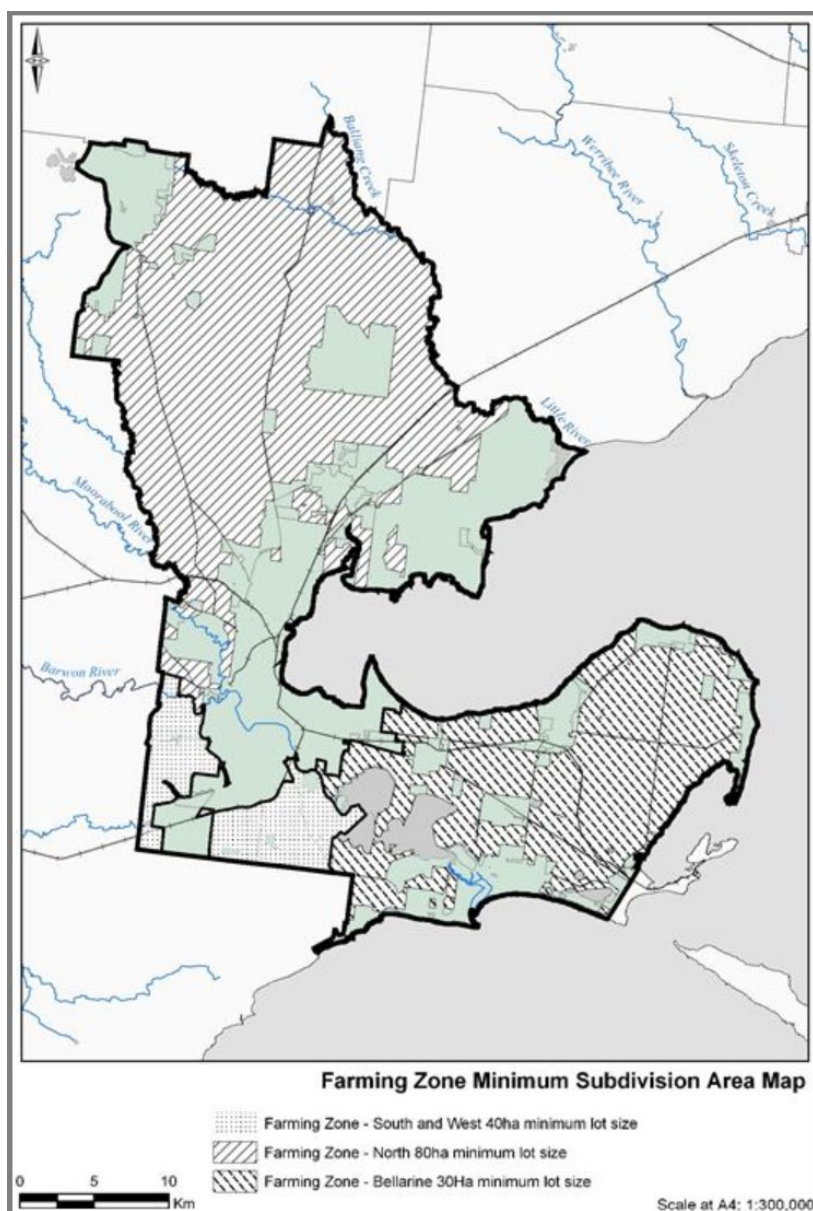


Figure 4 – Schedule of the Farming Zone

Heritage Overlay

The subject land is partially located in the Heritage Overlay (HO80). A permit is also required to subdivide land in the Farming Zone. HO80 will be retained and will form part of the larger lot.

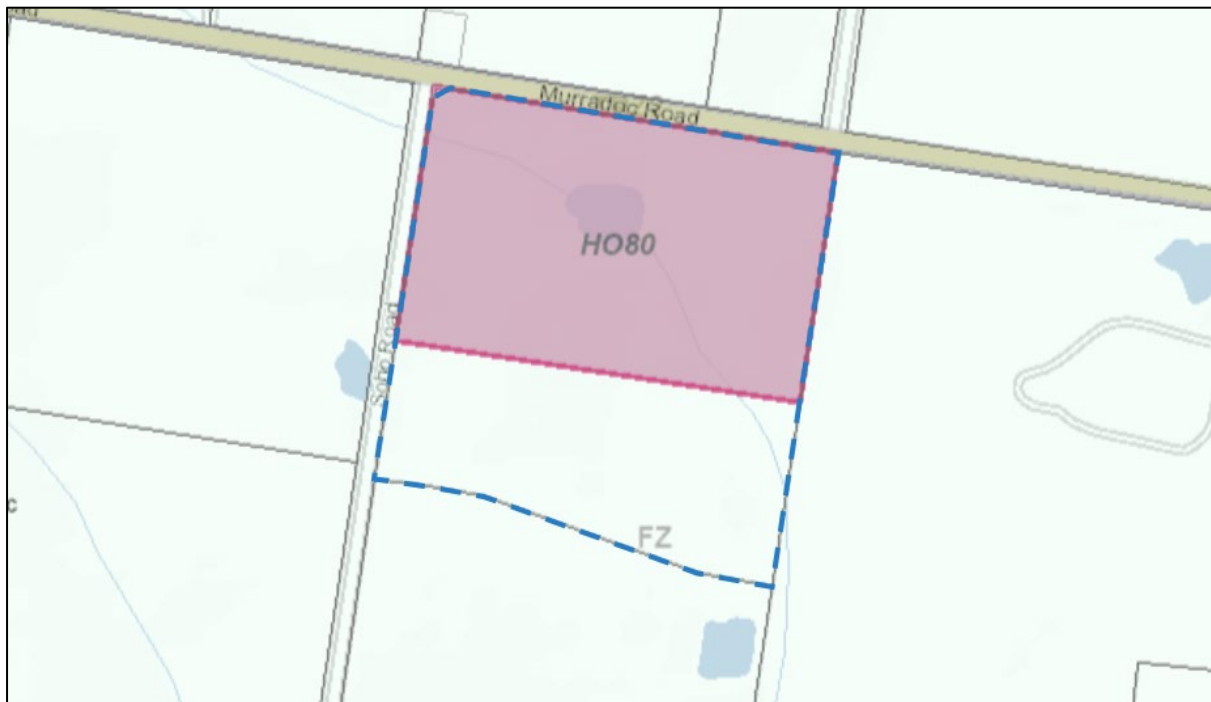


Figure 4 – Heritage Overlay

Significant Landscape Overlay – Schedule 13 (SLO13)

Part of the land is located in the SLO13, however a permit is not required for subdivision.



Figure 5 – SLO13

Particular Provisions

Clause 52.29 'Land Adjacent to Principal Road Network' applies however the proposal will not create or alter access to the TRZ2 road.

6. ASSESSMENT

Planning Assessment

The proposal implements key policy and zone objectives in the Greater Geelong Planning Scheme. The proposal seeks to re-subdivide the existing lots to increase the size of 1-29 Soho Road. Each lot has an existing dwelling with independent access and services. Importantly, the proposal will not impact on the heritage integrity of Soho Estate.

The proposal meets the requirements of Clause 35.07-3:

- the subdivision is to create a lot for an existing dwelling. The subdivision must be a two lot subdivision; and
- The subdivision is the re-subdivision of existing lots and the number of lots is not increased

The objectives of the Farming Zone are to provide for the use of land for agriculture and encourage the retention of productive agricultural land. A Farm Management Plan prepared by Enprove supports this application. Refer to Attachment 3 – Farm Management Plan.

1-29 Soho Road

The proposed agricultural improvement includes reinvigoration grapevines and development of an additional vine area, allowing 50% more vines. The farm will also accommodate greater number of beef cattle. The proposal will allow for a consolidation of the farming activities on one title. The farming activities include the existing equine facilities and olive grove.

31-69 Soho Road holds the Bellarine Peninsula's oldest Pinot and Chardonnay grapevines, a partially refurbished dwelling and underused and underimproved grazing paddocks. It is proposed to include the vineyard in 1-29 Soho Road which aligns with the heritage values of this property.

A proposal Farm Management Plan provide details of the intensification agricultural activities.

31-69 Soho Road

31-69 Soho Road farming activities could include small vineyard, horticulture and equine management.

Map 3: Proposed Farm Map:



Figure 6 – Farm Management Plan

7. CONCLUSION

The proposal meets the policies and objectives of the Greater Geelong Planning and requested that proposed subdivision is supported. The proposal will support the agricultural use of the land and not compromise the future farming operations in the area.