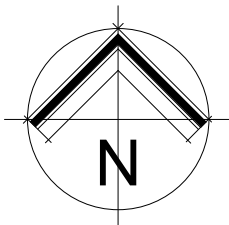


PROJECT:

PROPOSED ALTERATIONS

SITE ADDRESS:

108 Swanston St, GEELONG



LOCALITY PLAN

1 : 1000

PROPOSAL:

PROPOSED ALTERATIONS

FOR; PAUL

ADDRESS:

108 Swanston St,
GEELONG 3220

REVISION:

16-06-26 PRELIMINARY TP
06-08-26 GARAGE FRONT CHANGE

DRAWN:

DATE:

DWG NO:

JA

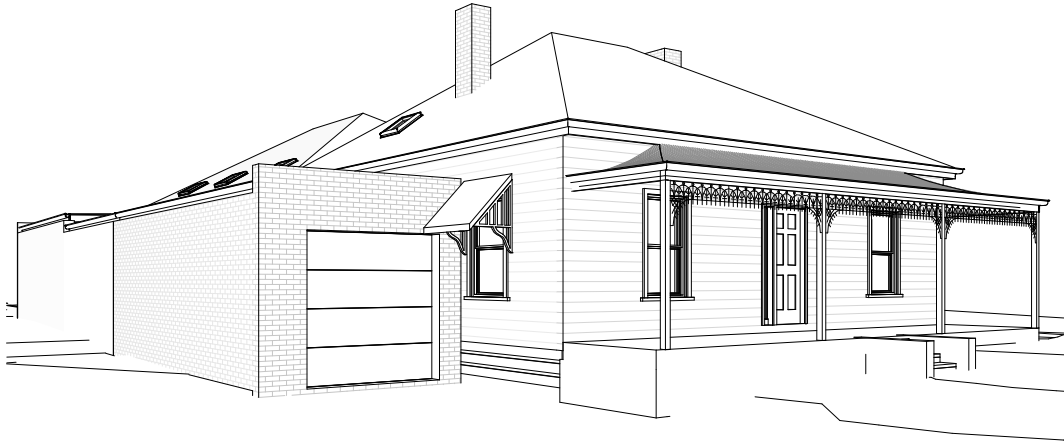
16-06-26

TP0.0

SCALE As indicated PRINTED ON A3 SHEET

Sheet List - Town Planning	
Sheet Number	Sheet Name
TP0.0	COVER PAGE
TP1.0	SITE ANALYSIS PLAN
TP1.1	DESIGN RESPONSE PLAN
TP2.0	SITE CONTEXT PLAN
TP2.1	GARDEN AREA PLAN
TP3.0	EXISTING FLOOR PLAN
TP3.1	EXISTING ELEVATIONS
TP3.2	DEMOLITION PLAN
TP4.0	PROPOSED FLOOR PLAN
TP4.1	ELEVATIONS
TP4.2	ELEVATIONS
TP5.0	SHADOW DIAGRAMS

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SITE ANALYSIS PLAN

1 : 500

PROPOSAL:
PROPOSED ALTERATIONS

FOR; PAUL

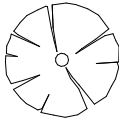
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REVISION:
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06-08-26 GARAGE FRONT CHANGE

DRAWN: DATE: DWG NO:
JA 16-06-26 TP1.0

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- LEGEND
- A. Existing Single Storey Dwellings
 - B. Existing Double Storey Dwellings
 - C. Proposed Dwelling Extension
 - D. Car Accommodation
 - E. Vacant Site
 - 1. Adjoining Private Open Space
 - 2. Proposed Private Open Space
 - 3. Vehicular Site Entry



Existing Trees



950m to Bus Stop
850m to Train Station
1.4km to GMHBA Stadium



800m to Barwon Health Hospital
1.2km to Geelong High School
1.7km to Eastern Beach Reserve

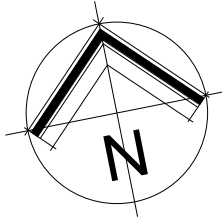


550m to Hopetoun Park
700m to Bus Stop
1.0km to Normanby Street Preschool



850m to George Tricky Playground
3.9km to Barwon Valley Golf Club

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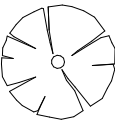
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LEGEND

- A. Existing Single Storey Dwellings
- B. Existing Double Storey Dwellings
- C. Proposed Dwelling Extension
- D. Car Accommodation
- E. Vacant Site
- 1. Adjoining Private Open Space
- 2. Proposed Private Open Space
- 3. Vehicular Site Entry



Existing Trees



950m to Bus Stop
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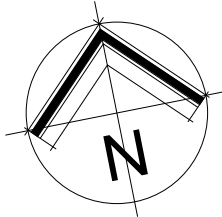


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DESIGN RESPONSE PLAN

1 : 500

PROPOSAL:
PROPOSED ALTERATIONS
FOR; PAUL

ADDRESS:
108 Swanston St,
GEELONG 3220

REVISION:
16-06-26 PRELIMINARY TP
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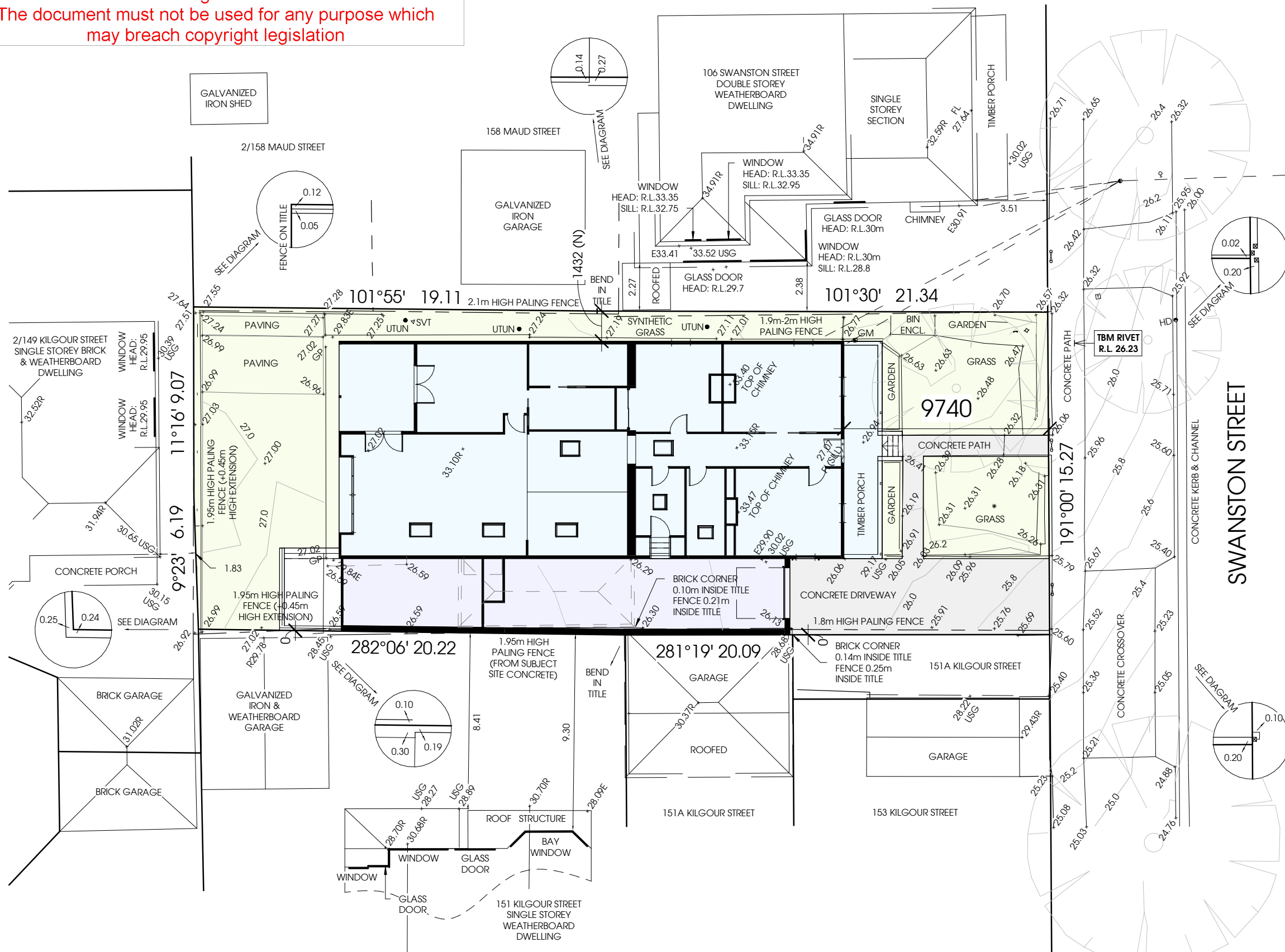
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PROPERTY DETAILS
Address: 108 SWANSTON STREET, GEELONG 3220
Lot and Plan Number: More than one parcel
Standard Parcel Identifier (SPI): More than one parcel
Local Government Area (Council): GREATER GEELONG
Council Property Number: 218233
Planning Scheme: Greater Geelong
Directory Reference: Melway 401 K9

Planning Zone Summary
Planning Zone: GENERAL RESIDENTIAL ZONE
Planning Overlays: - SCHEDULE 5 (GRZ5)
- DESIGN AND DEVELOPMENT OVERLAY
- SCHEDULE 36 (DDO36)
- HERITAGE OVERLAY
- SCHEDULE (HO1641)

Site Area: 619 m²
Existing Dwelling Area: 213.12 m²
Existing Verandah Area: 18.52 m²
Existing Alfresco Area: 15.12 m²
Proposed Extension Area: 15.65 m²
Proposed Gym Area: 26.65 m²
Proposed Garage Area: 48.80 m²

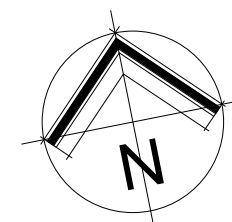
Dwelling Surface Area: 337.86 m²
Building Site Coverage: 54.58 %
Paved Area: 58.77 m²
Total Hard Surface Area: 396.63 m²

Permeable Surface Area: 222.37 m²
Permeable Surface Coverage: 35.92 %

LEGEND:
A Proposed Dwelling
1 Private Open Sapce
2 Driveway
3 Drying / Service Yard

MINIMUM PARKING REQUIREMENTS
Parking ① 6000 X 3500
Parking ② 4900 X 2600

FLOOR LEVEL SCHEDULE		
	CUT RL	FFL
EXISTING GARAGE FLOOR	/	26.52
EXISTING GROUND FLOOR	/	27.07
PROPOSED GARAGE FLOOR	25.95	26.20
PROPOSED GYM FLOOR	25.95	26.20



SITE CONTEXT PLAN

1 : 200

PROPOSAL:
PROPOSED ALTERATIONS
FOR; PAUL

ADDRESS:
108 Swanston St,
GEELONG 3220

REVISION:
16-06-26 PRELIMINARY TP
06-08-26 GARAGE FRONT CHANGE

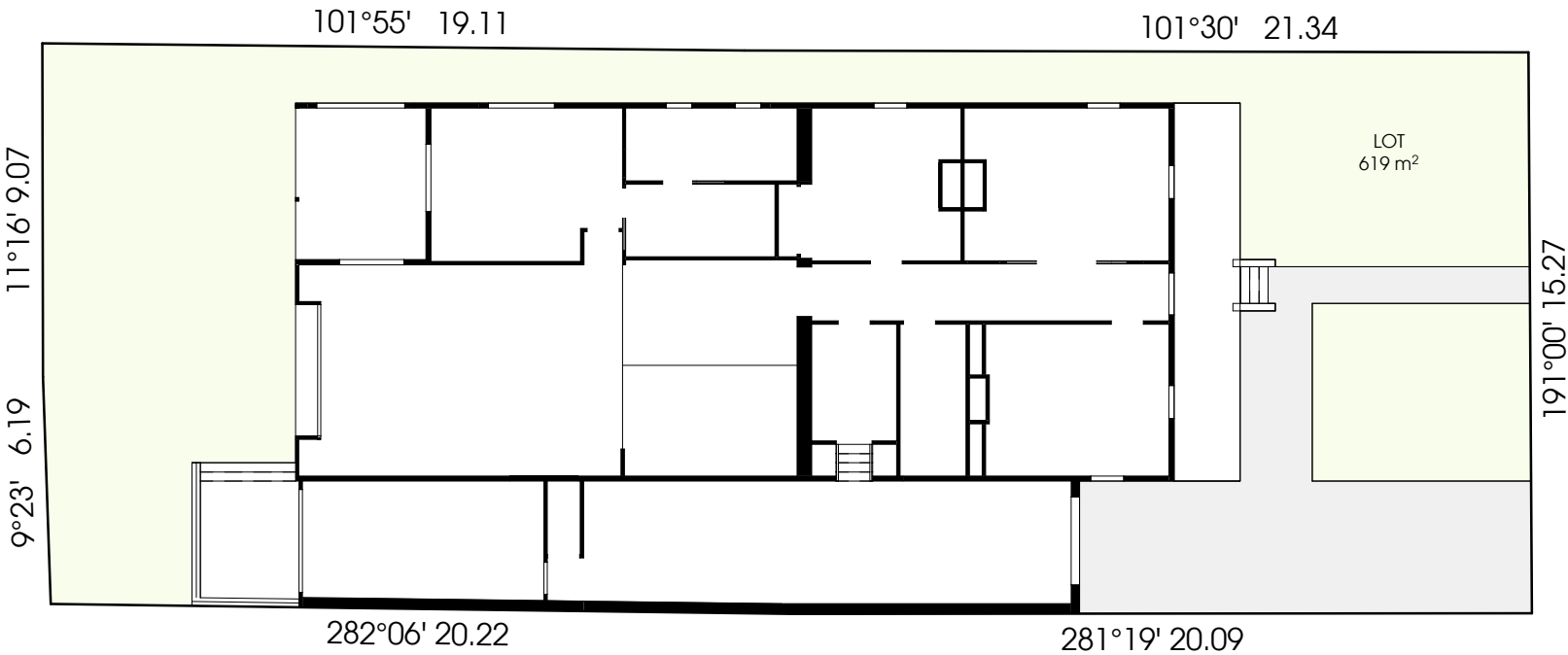
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DWG NO: TP2.0

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-  DENOTES DWELLING FLOOR AREA
-  DENOTES GARDEN AREA
-  DENOTES EXCLUDED AREAS

MANDATORY MINIMUM 'GARDEN AREA'	
LOT SIZE	MIN. PERCENTAGE OF A LOT SET ASIDE AS GARDEN AREA
501 - 650 sqm	30%

SITE AREA;	619 m²
Required Garden Area;	185.70 m²
Proposed Garden Area;	205.11 m²

Any area on a lot with a minimum dimension of 1 metre that does not include:

a) a dwelling or residential building, except for:

- an eave, fascia or gutter that does not exceed a total width of 600mm;
- a pergola;
- unroofed terraces, patios, decks, steps or landings less than 800mm in height;
- a basement that does not project above ground level;
- any outbuilding that does not exceed a gross floor area of 10 square metres; and
- domestic services normal to a dwelling or residential building;

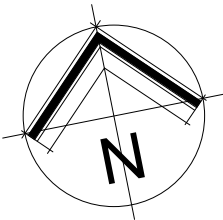
b) a driveway; or

c) an area set aside for car parking.

GARDEN AREA PLAN

1 : 200

PROPOSAL:	ADDRESS:	REVISION:
PROPOSED ALTERATIONS	108 Swanston St, GEELONG 3220	16-06-26 PRELIMINARY TP 06-08-26 GARAGE FRONT CHANGE
FOR; PAUL		



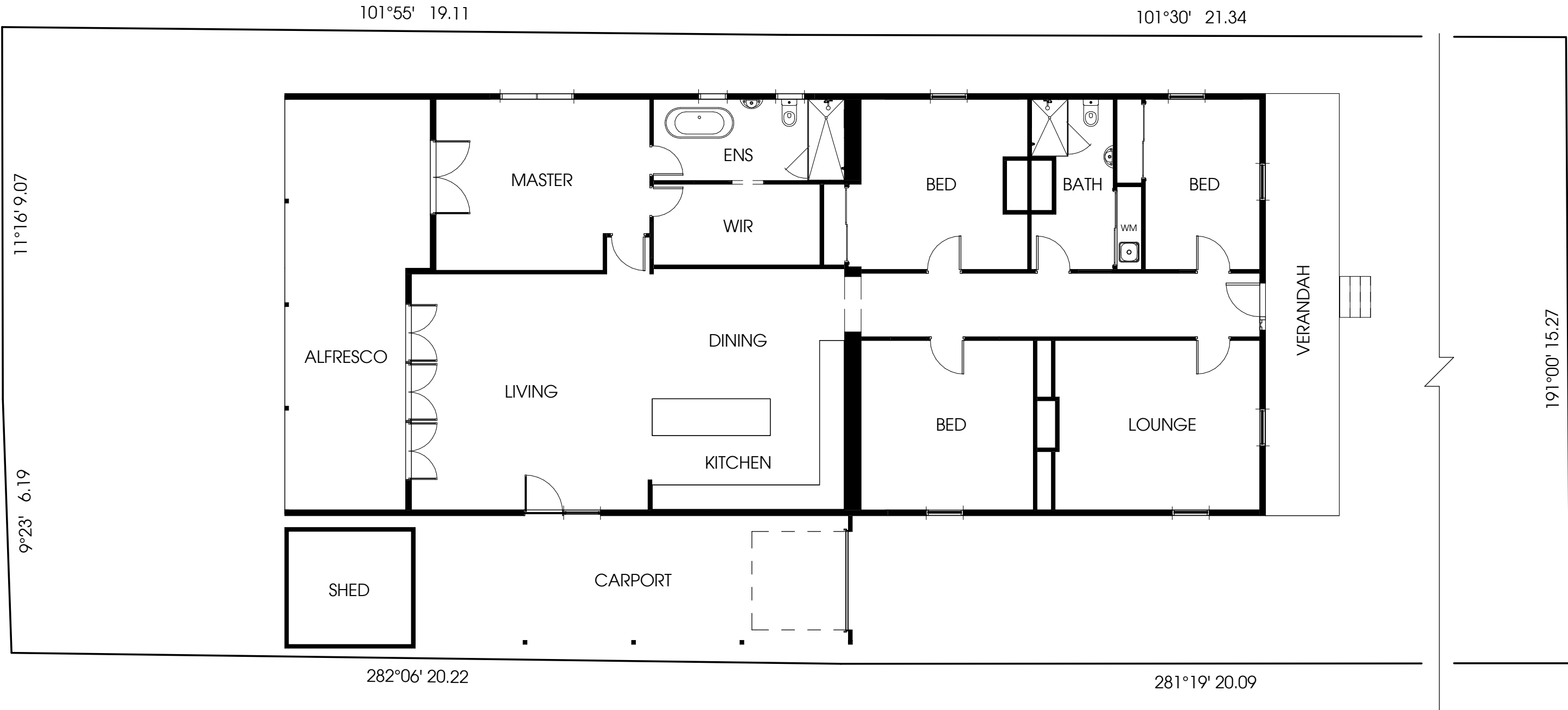
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	Area	Squares
Existing Carport Area	25.14 m²	2.71
Existing Dwelling Area	213.12 m²	22.94
Existing Outdoor Area	32.91 m²	3.54
Existing Shed Area	9.35 m²	1.01
Existing Verandah Area	18.52 m²	1.99
	299.05 m²	32.19

EXISTING FLOOR PLAN

1 : 100

PROPOSAL:
PROPOSED ALTERATIONS
FOR; PAUL

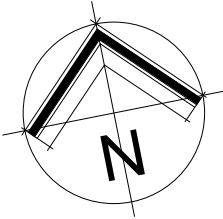
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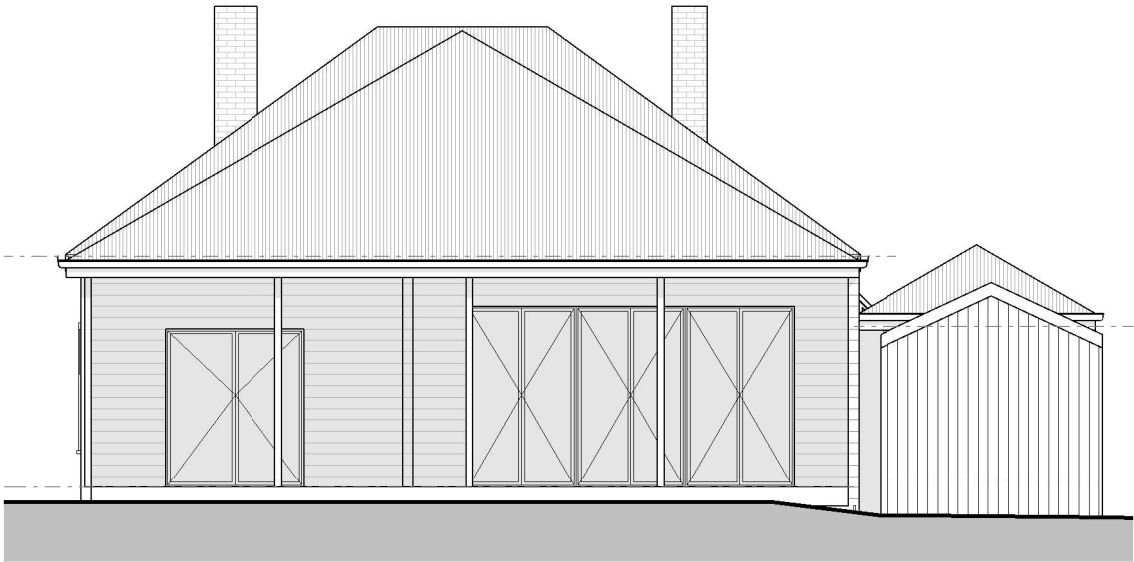
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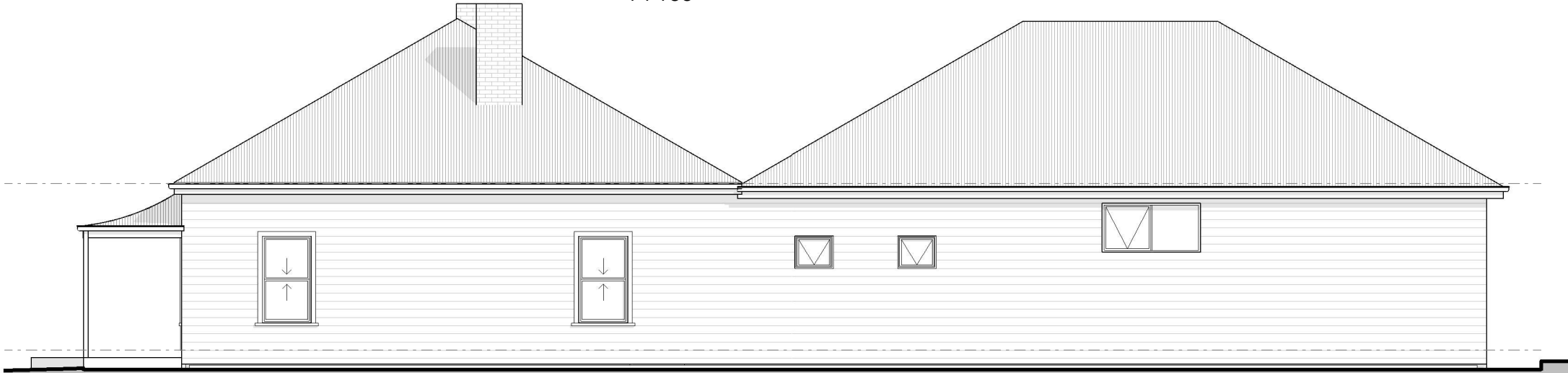
EXISTING EAST ELEVATION

1 : 100



EXISTING WEST ELEVATION

1 : 100



EXISTING NORTH ELEVATION

1 : 100

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EXISTING SOUTH ELEVATION

1 : 100

PROPOSAL:
PROPOSED ALTERATIONS

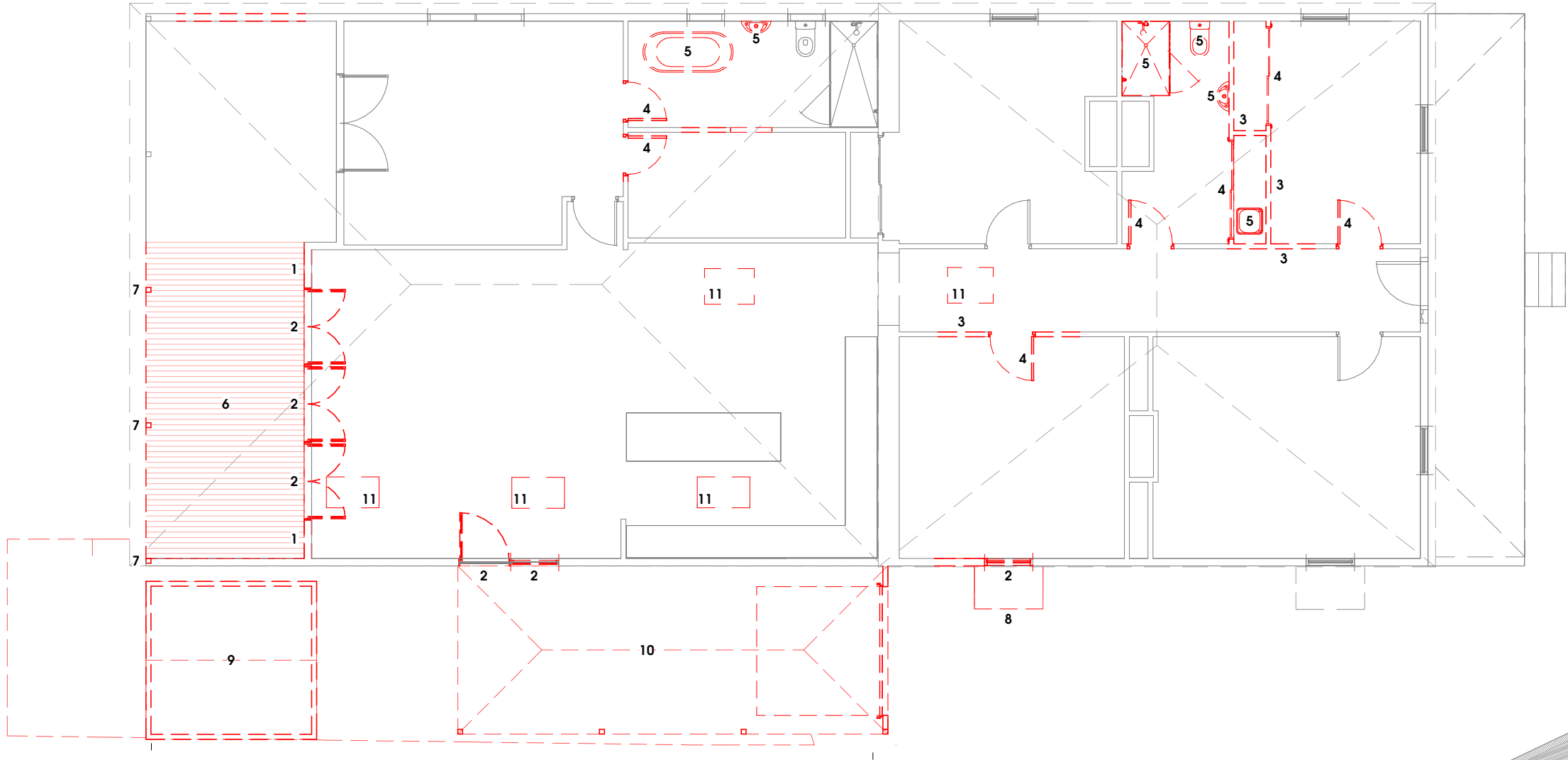
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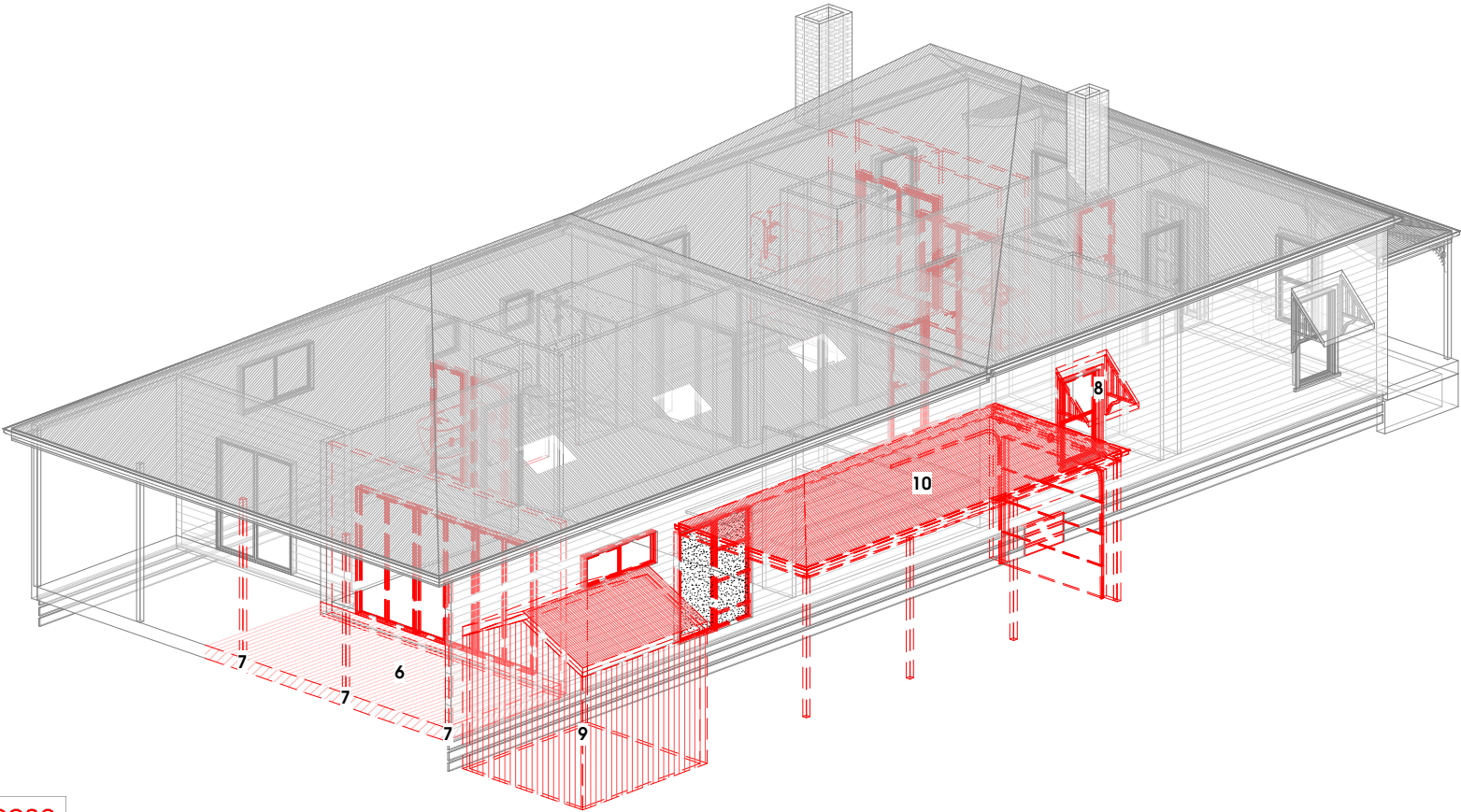


1. DEMOLISH EXTERNAL WALL WHERE REQUIRED & MAKE GOOD TO ALL ADJACENT SURFACES.
2. REMOVE EXISTING WINDOWS & DEMOLISH EXTERNAL WALL WHERE REQUIRED MAKE GOOD TO ALL ADJACENT SURFACES.
3. DEMOLISH EXISTING INTERNAL WALLS WHERE SHOWN & MAKE GOOD TO ALL ADJACENT SURFACES.
4. REMOVE EXISTING INTERNAL DOORS WHERE SHOWN & MAKE GOOD TO ALL ADJACENT SURFACES.
5. REMOVE EXISTING JOINERY & FIXTURES & MAKE GOOD TO ALL ADJACENT SURFACES.
6. DEMOLISH PART OD EXISTING DECKING & MAKE GOOD TO ALL ADJACENT SURFACES.
7. REMOVE EXISTING POST.
8. DEMOLISH PART OF EXISTING ROOFING & ROOFING STRUCTURE. MAKE GOOD TO ALL ADJACENT SURFACES.
9. DEMOLISH EXISTING SHED.
10. DEMOLISH EXISTING CARPORT.
11. RECTANGULAR PORTION OF ROOF TO ALLOW FOR SKYLIGHT.

Demolition Method Statement

- Disconnect all services, power, water, gas etc.
- Locate stormwater and sewer drains and seal at points of discharge.
- Protect adjoining property
- Provide temporary wall bracing where required.
- Remove tiled roof ,Fascia ,Gutter and down pipes (where required)
- Remove any internal linings.
- Remove loose or attached fittings and built-in fixtures, internally and externally.
- Remove brick work from the top course of bricks down (where required)
- Place bricks in building skip that is provided
- Clean up site.
- Fill in excavations.
- Check for any hazards.
- Clean site entry points and infrastructure where necessary.
- Retained fabric will be safeguarded during demolition and construction (structurally propped, weatherproofed and not damaged)

— DENOTES EXISTING WALLS
- - - DENOTES WALLS TO BE DEMOLISHED



DEMOLITION PLAN

1 : 100

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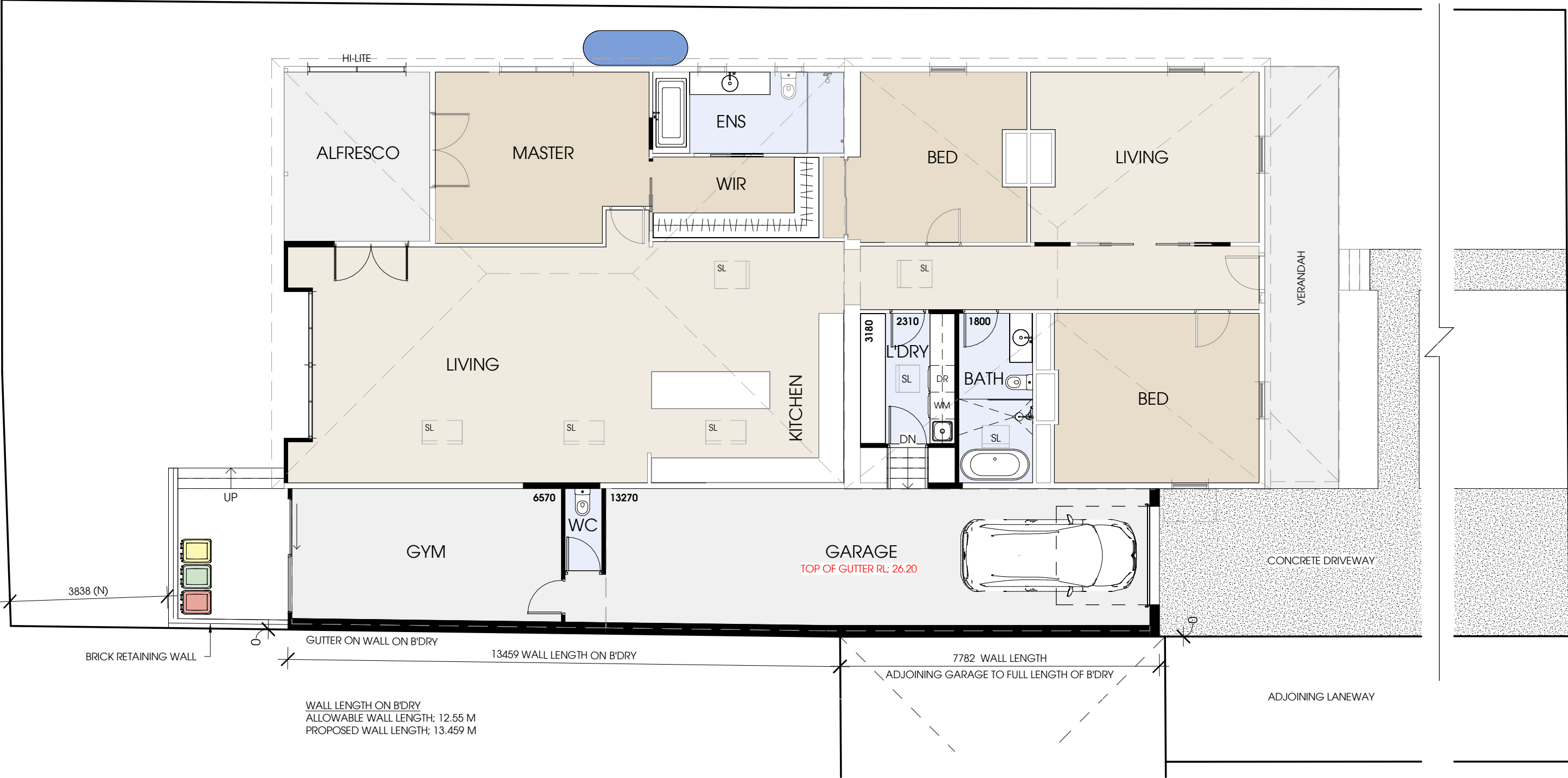
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	Area	Squares
Existing Alfresco Area	15.12 m²	1.63
Existing Dwelling Area	213.12 m²	22.94
Existing Verandah Area	18.52 m²	1.99
Proposed Extension Area	15.65 m²	1.68
Proposed Garage Area	48.80 m²	5.25
Proposed Gym Area	26.65 m²	2.87
	337.87 m²	36.37

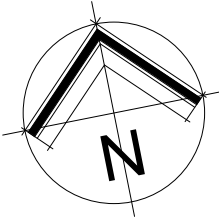
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PROPOSED FLOOR PLAN
1 : 100

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Table with 3 columns: DRAWN, DATE, DWG NO. Row 1: JA, 16-06-26, TP4.0.

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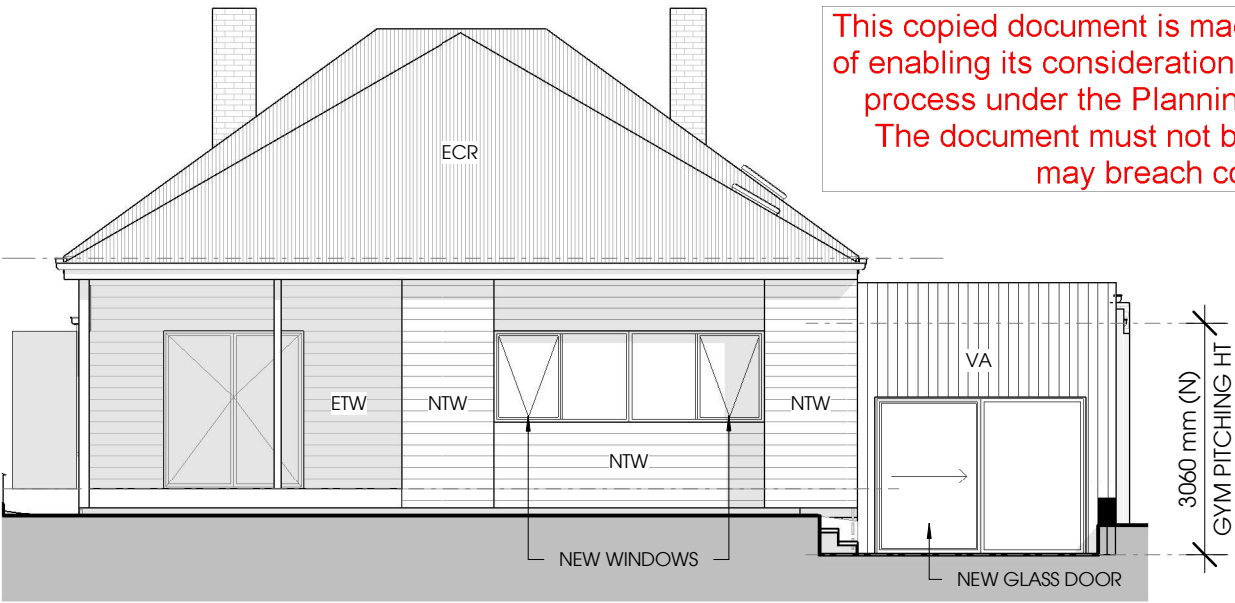
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PROPOSED EAST ELEVATION

1 : 100



PROPOSED WEST ELEVATION

1 : 100



PROPOSED NORTH ELEVATION

1 : 100

MATERIAL SCHEDULE:

ETW	EXISTING TIMBER WEATHERBOARDS
NTW	NEW TIMBER WEATHERBOARDS TO MATCH EXISTING
VA	NEW VERTICAL AXON
ECR	EXISTING COLORBOND ROOFING
BW	BRICKWORK ON B'DRY
NBW	NEW "RED" BRICKWORK

PROPOSAL:
PROPOSED ALTERATIONS
FOR; PAUL

ADDRESS:
108 Swanston St,
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REVISION:
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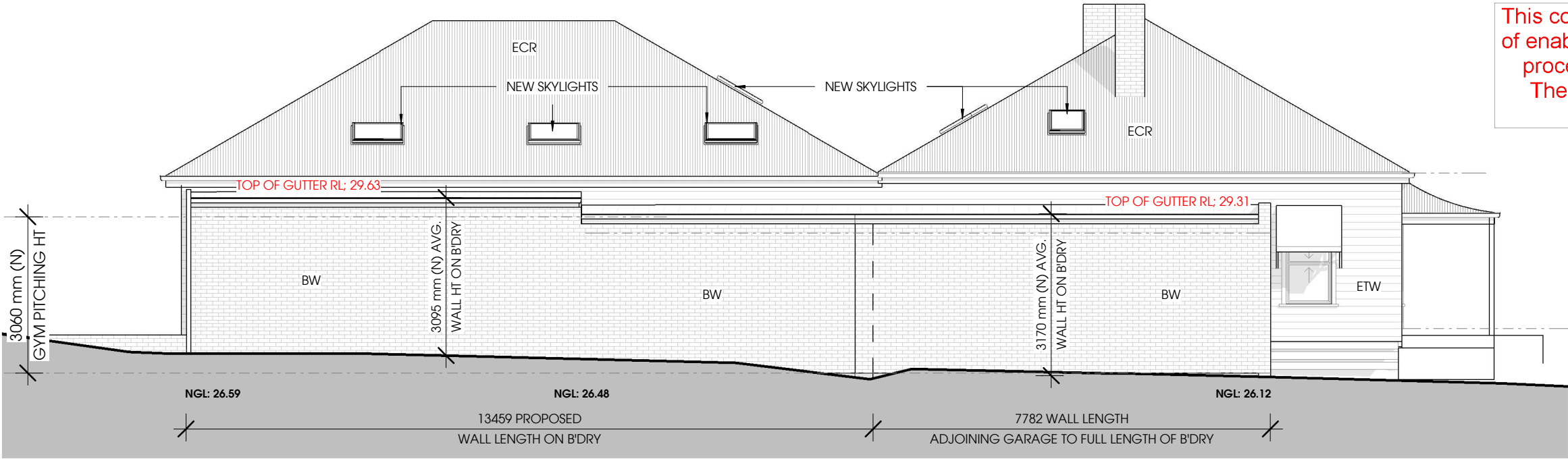
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PROPOSED SOUTH ELEVATION

1 : 100

MATERIAL SCHEDULE:

ETW	EXISTING TIMBER WEATHERBOARDS
NTW	NEW TIMBER WEATHERBOARDS TO MATCH EXISTING
VA	NEW VERTICAL AXON
ECR	EXISTING COLORBOND ROOFING
BW	BRICKWORK ON B'DRY
NBW	NEW "RED" BRICKWORK

PROPOSAL:
PROPOSED ALTERATIONS

FOR; PAUL

ADDRESS:
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REVISION:
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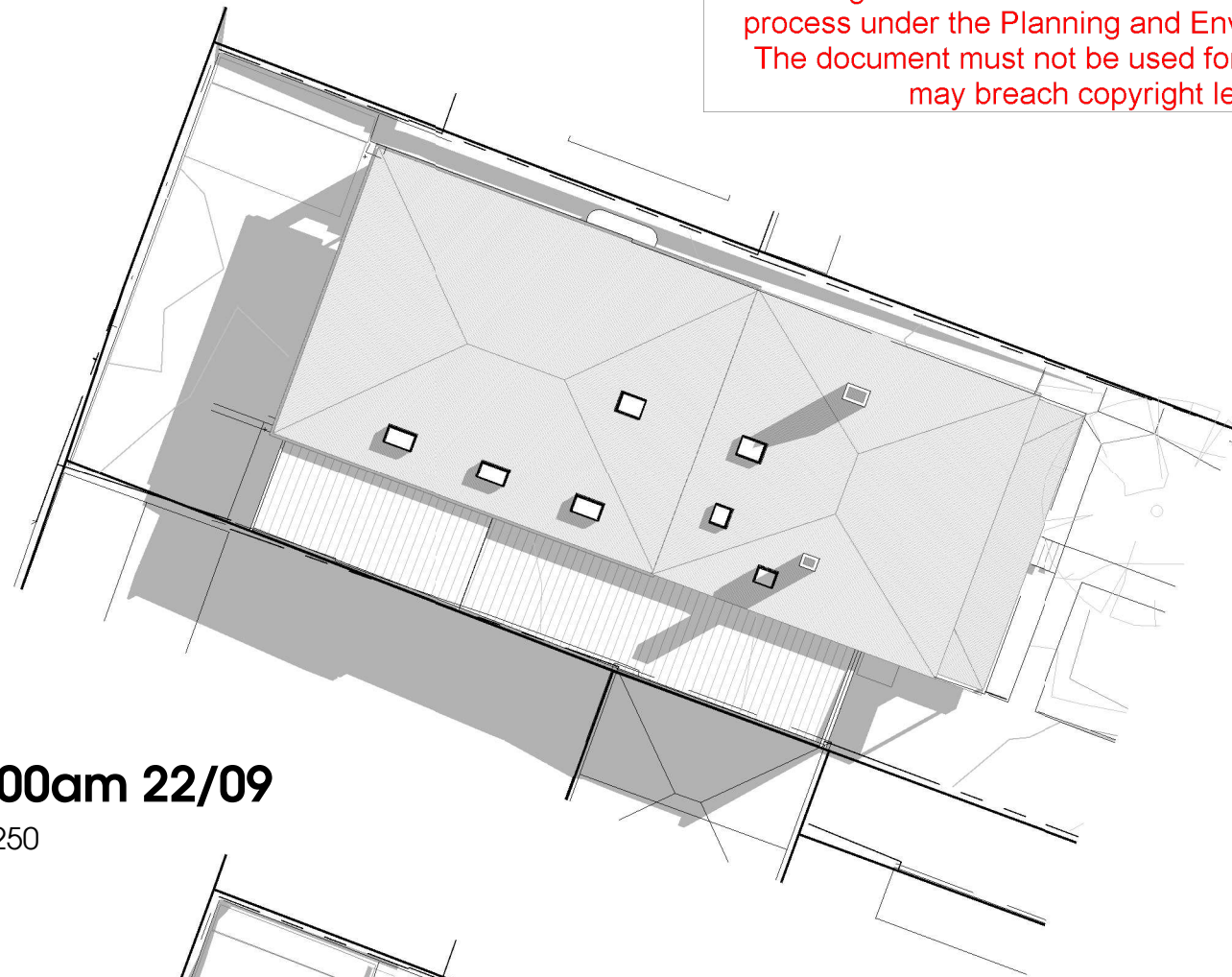
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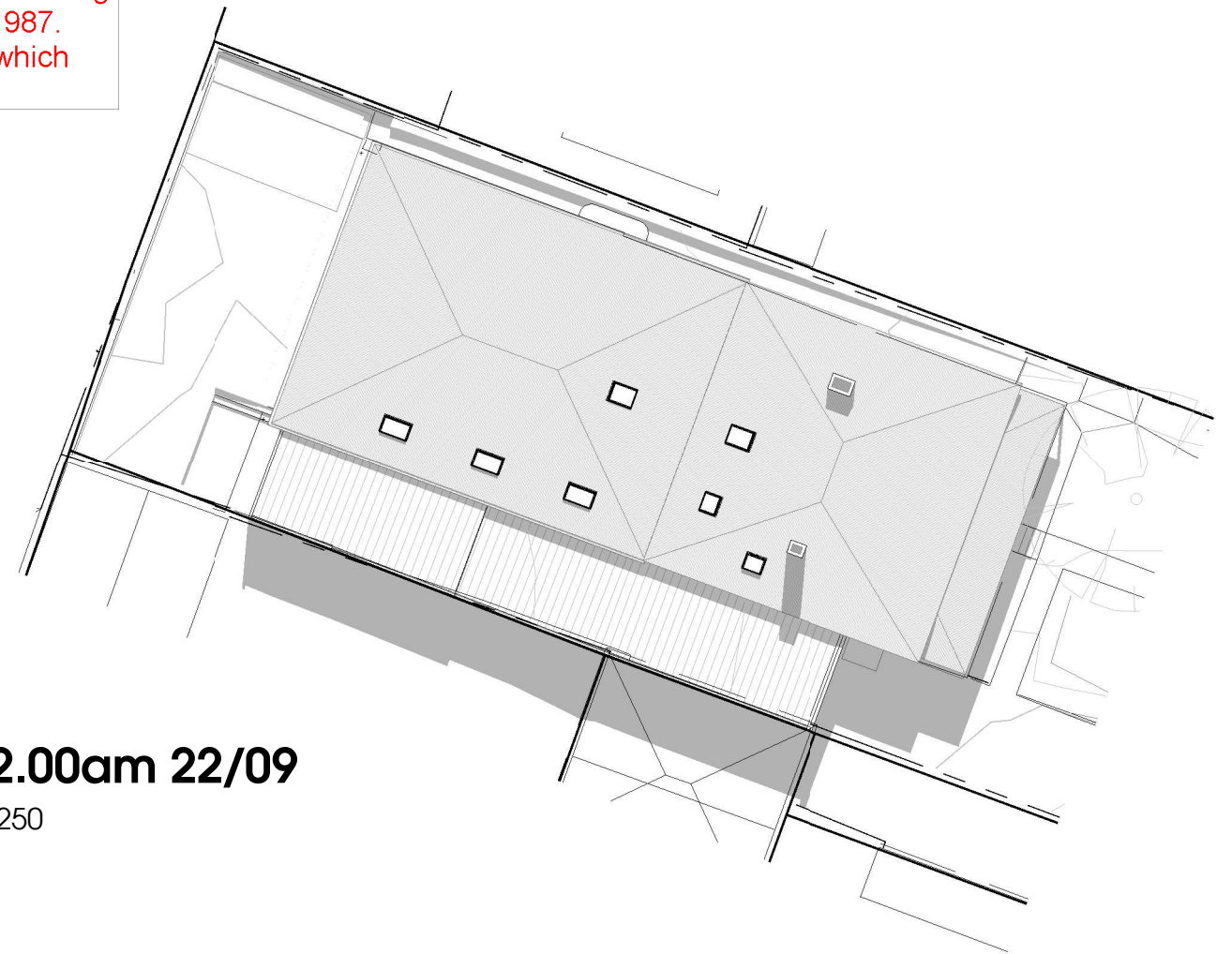
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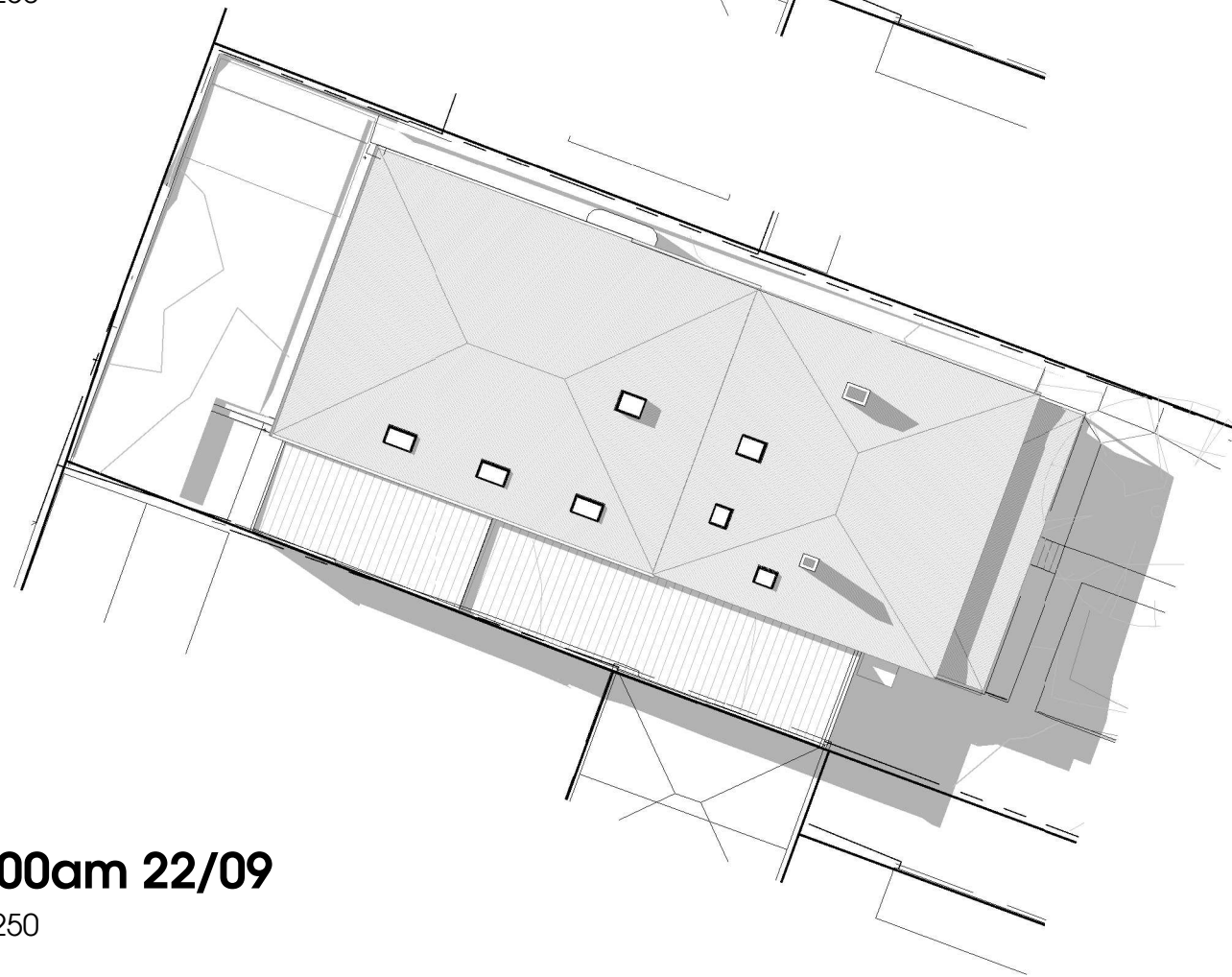
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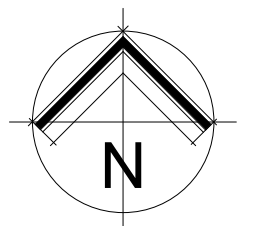
12.00am 22/09

1 : 250



3.00am 22/09

1 : 250



PROPOSAL:
PROPOSED ALTERATIONS

FOR; PAUL

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