



TOWN PLANNING REPORT

Use and development of the land for a Dwelling

2485 Ballan Road, Anakie

(Allot 88E Parish of Anakie)

Job No: 2622



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Planning Report for the Use and development of the land for a Dwelling .

2485 Ballan Road, Anakie (Allot 88E Parish of Anakie)

Project: 2688

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Introduction



Applicant	Natural Resource Link Pty Ltd
Proposal	Dwelling in farming Zone
Address	2485 Ballan Road, Anakie
Legal Description	Allot 88E Parish of Anakie
Zone	Farming Zone (FZ)
Overlays	Bushfire Management Overlay (BMO) Vegetative Protection Overlay Schedule 1 (VPO1) Road Significant Landscape Overlay Schedule 5 (SLO5) Part
Lot size	24.77 hectares
Responsible Authority	City of Greater Geelong

Natural Resource Link has been engaged by the owners to submit a Planning Permit Application.

Site Description

Property Characteristics

The site is an odd shape with access to the north (Ballan-Geelong Road) and the site is 61 A OR ad 34 P which equates to 24.77ha and requires a permit for the development of a dwelling. The land rises slightly from the access to the north to a broad crest mid-point where the soil becomes shallower. Then under the remnant area proceeds to markedly fall away to the southern extent.



Image.1 Halfway to the crest showing the slight rise on site from north to south.

This image shows the road constructed on site (part of the Durdiwarrah Road).



Image.2 The lower north area has areas where drainage is impeded as indicated by the vegetation.



Image.3 Lack of pasture cover near the crest

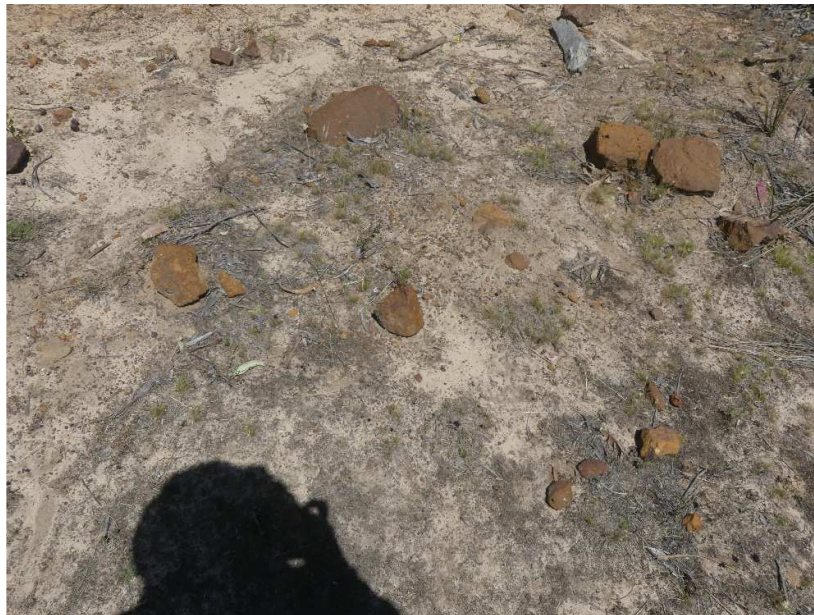


Image.4 Near dwelling area top of crest showing rock in the surface and lack of pasture cover



Image 5 remnant area recruiting back from a slash for fire safety



Image.6 Of slashed area and signs of soil movement from rainfall

The vegetation on site consists of a large patch to the south that is mapped to be EVC 20 Dry Heathy Forest and the open pastures as EVC 16 Lowland Forest.in the Central Victorian Uplands Bioregion (Source: Naturekit). The EVC's have the following Bioregional Conservation status of Least concern.



Image.7 In remnant area showing retained small logs



Image.8 Breakdown of Grasstree from Phytophthora infection.



Image 9. A group of unaffected Grass Trees on site



Image.10 Nearby lost Grass trees from Phytophthora infestation.



Image.11 Larger old growth trees in remnant area.



Image.12 Lomandra longifolia with Dandelion weed.

Locality Plan

Adjoining land use

The landscape is mixed has a mix use with grazing being the predominant land use and housing on the ridges with access to connective road networks.

Adjoining land use (Clause 02.03-4, Clause 14, Clause 35.07-6)

The landscape is mixed with grazing being the predominant land use around the site with a mix of residential living and cropping along with the National Park in the landscape.

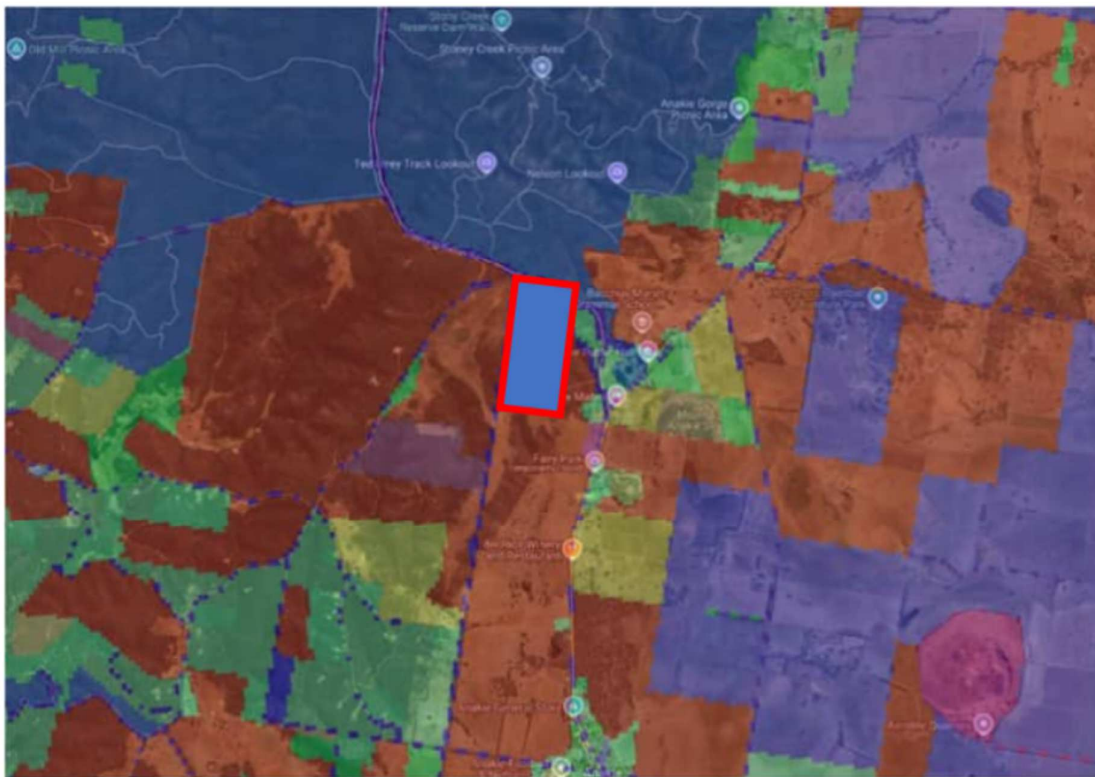


Image. 13 VLIUS (Oct 2018)(Source: Australian Collaborative Land Use and Management Program Partners Oct 2018)

The red is 3.2.0 Grazing on modified pastures (site as well)

Purple is 3.3.1 Dryland cropping

Gold is 3.4.9 Perennial-Horticulture Grapes

Green is 5.4.2 Rural Residential with agriculture.

Pink is 5.8.2 Quarry

Blue is 1.1.3 National Park

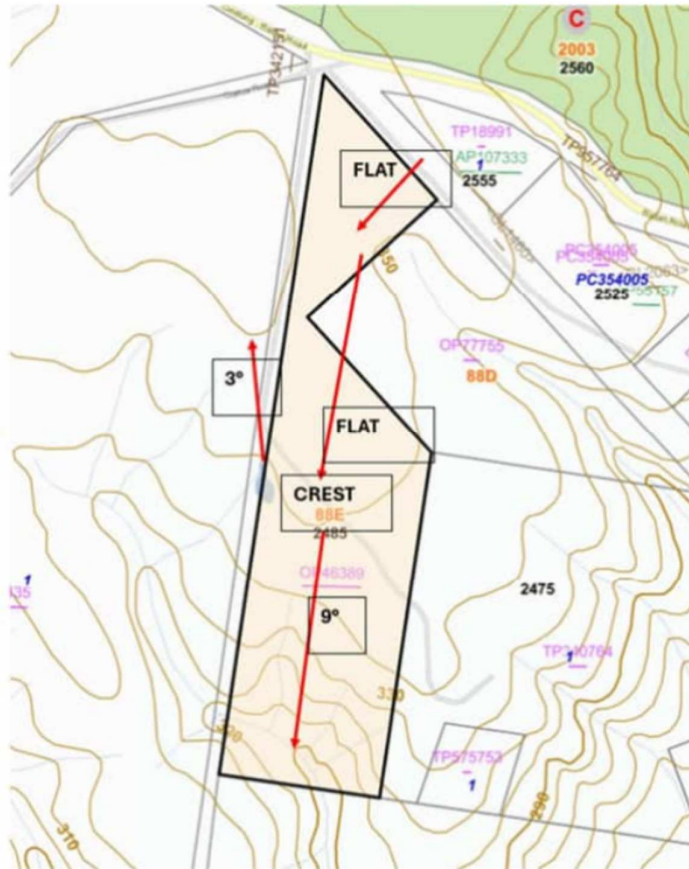


Image: 14 Slopes on the site (Adapted from Department of Transport and Planning, Version 2.5.1 10m contours)

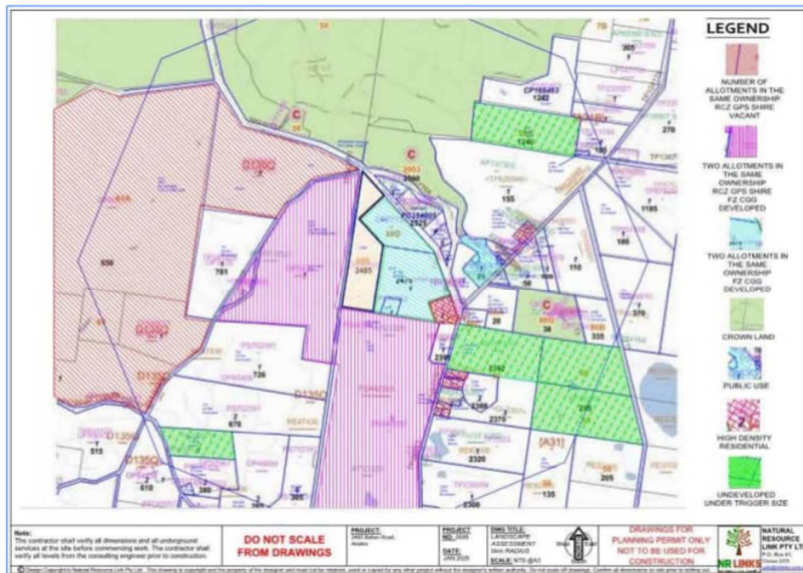


Image.15 Landscape land use plan

The adjacent properties are mostly developed out of the fifty properties, only six require a permit for a dwelling. The development is a mix of high-density residential lots under 2ha and developed lots with crown land. The density adjacent to the site are half large lots over 30ha and the others 3-4ha in size; this would deem the site to be in an area that has a high density of dwellings.

Amenity risk, measures and management

The proposed use is already a feature in the landscape and is unlikely to contribute to any detriment to existing uses. No large buildings or clearing of vegetation is proposed that would contribute to a change in the amenity; the siting cannot be viewed from the Ballan Road due to tree cover.

The house is a sympathetic single level house of a similar size to that existing in the landscape and will not change the amenity of the location.

Setbacks

The proposed dwelling has a front setback of 92m (West); the side setback to the north is 556m and to the south is 616m and to the rear (East) is 121.6m

The closest dwelling is not in the same ownership:

2475 Ballan Road (SE) is 434m

2525-2545 Ballan Road (NE) is 496m

Separation

Setbacks to sensitive use, such as high-density residential development (township), are 645m to the WSW from this site to the smaller residential lot.

Setbacks to adjacent properties

The proposed dwelling is well over 100m from any adjacent dwelling and achieves all setbacks in the scheme. The proposed dwelling is not located close to any sensitive use areas.

Development in the neighbourhood

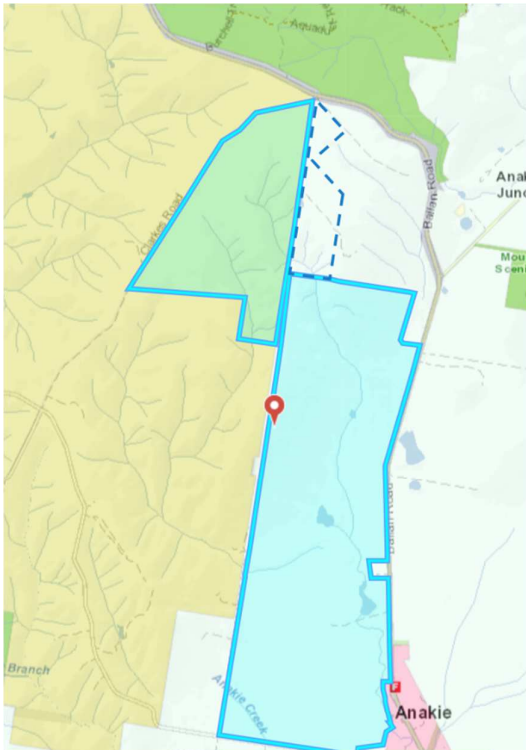


Image.16 2225-2385 Ballan Road, Anakie (4183ha)- Developed

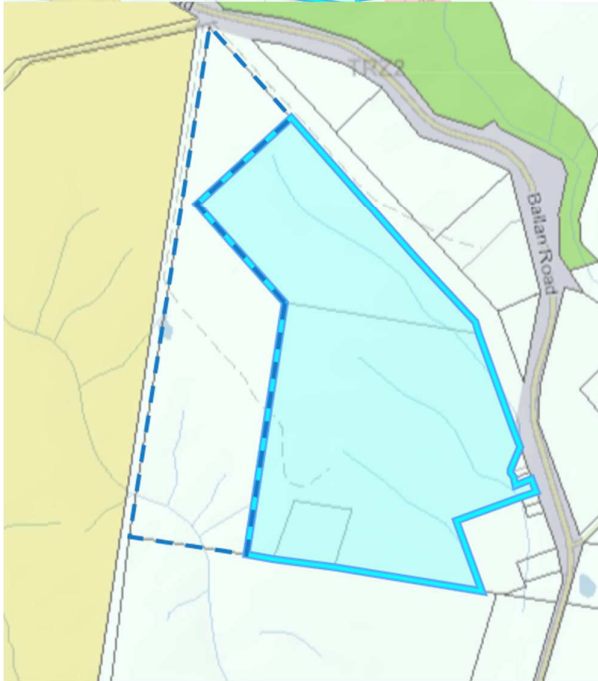


Image.17 2475 Ballan Road Anakie (47.4ha-Developed)

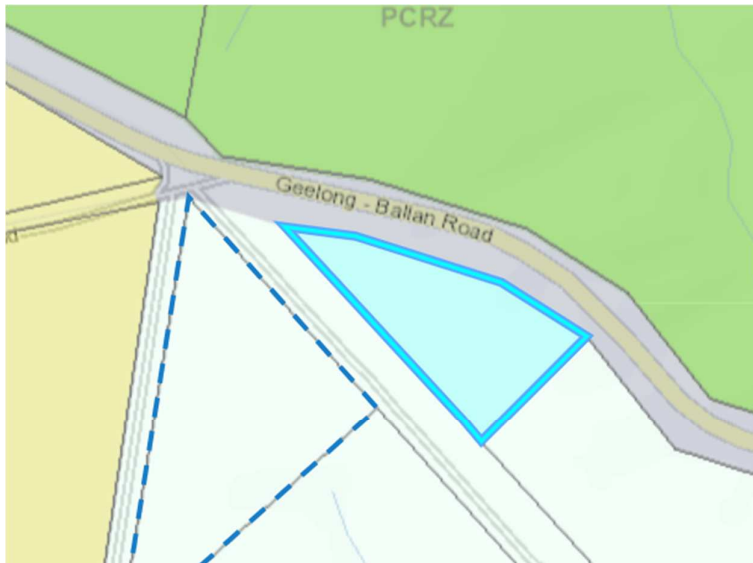


Image.18 2555 Ballan Road, Anakie
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Image 18 2525-2545 Ballan Road,
Anakie(6.09ha)-Developed



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Image.20 2495 Ballan Road, Anakie- PP-832-2018 Use and development for a dwelling and a shed in a Farming Zone (4 July 2022)

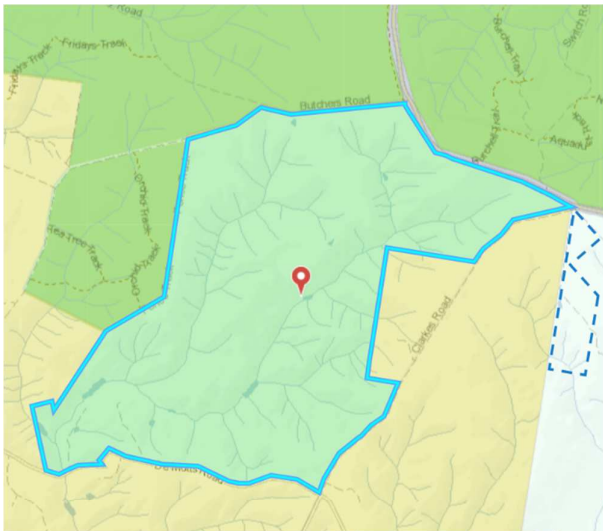


Image 21. 650 De Motts Road, Anakie (582.9ha) – Pending application P 25036 Received 8th April 2025 Use of development of 3 dwellings)

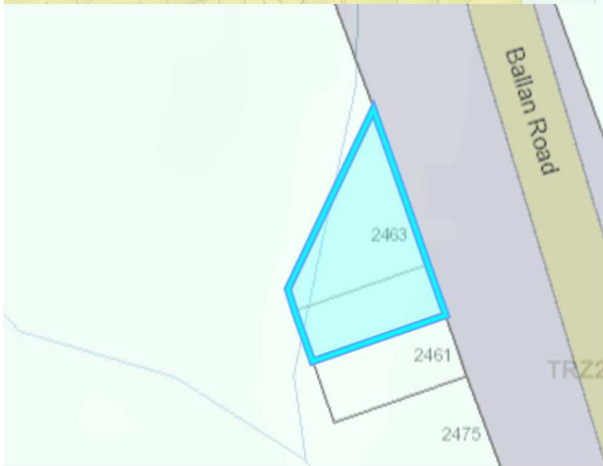


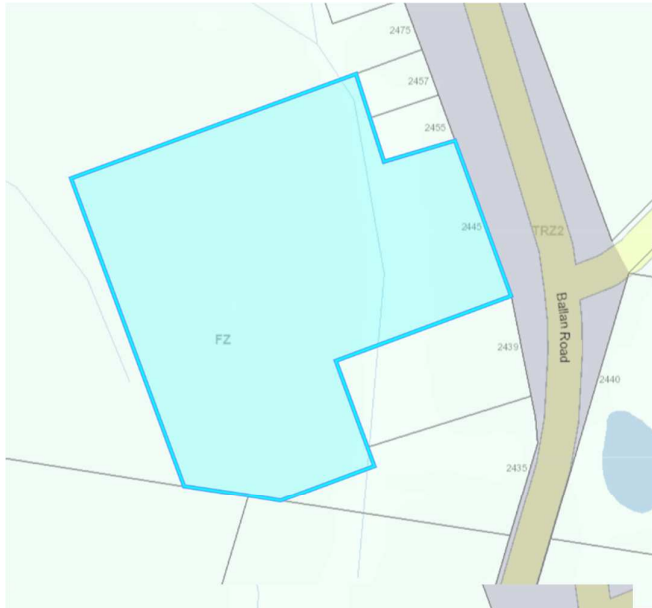
Image.22 2463 Ballan Road, Anakie (0.168ha)- developed



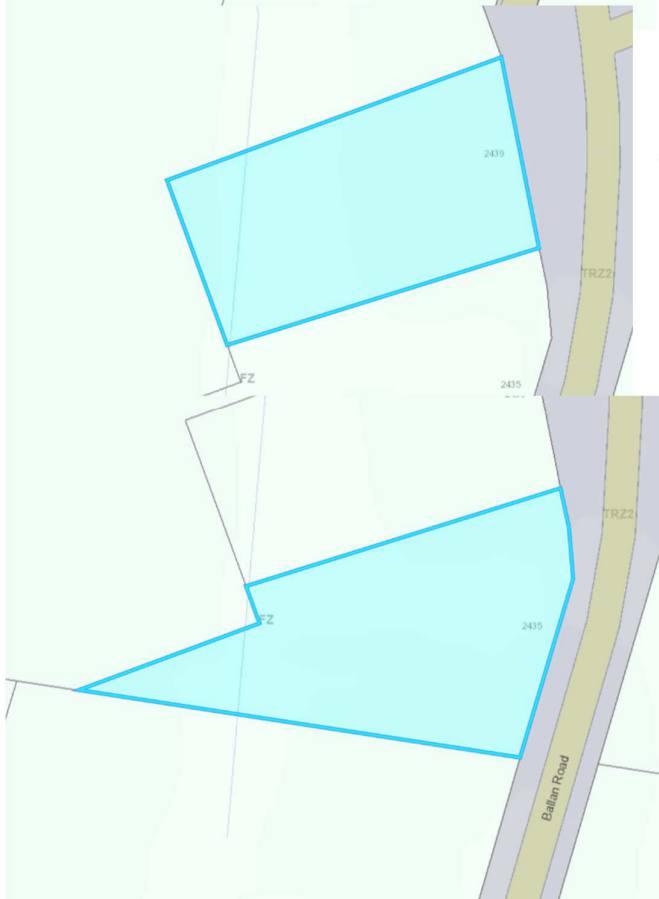
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*Image.24 2457 Ballan Road, Anakie (0.969ha) -
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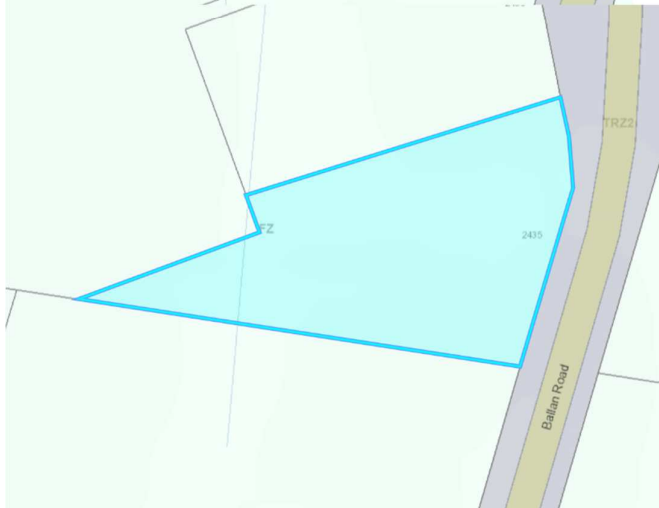
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Developed*



*Image.27 2439 Ballan Road, Anakie (0.4975ha) (Old
Church)*



*Image.28 2435 Ballan Road, Anakie (0.536ha)-
Developed*

The landscape is a mix of developed lots along the Ballan Road, Anakie, in the vicinity of the site, with some large parcels up to several hundred hectares in size. One lot to the west is not developed and is currently under review for a boundary realignment and subdivision with the council.

The remainder of the landscape is developed for grazing, featuring modified pastures and conservation areas (National Park) to the north, and rural residential areas without agriculture to the east. In landscapes that are moderately to highly modified with dwellings, the farming that can occur, albeit without reference to the soils and land capability, is limited due to the modification. Some forms of agriculture, such as cropping and spraying, along with small or intensive animal industries, often fail to avoid land use conflicts in areas like this. This proposal aims to maintain the area's amenity by continuing the status quo of sustainable grazing land use.

There are no potential foreseeable land use conflicts associated with the dwelling application, and the remainder of the site will continue to be used for Agricultural and Conservation purposes.

Proposal

The planning proposal is for a dwelling on an existing farm, whereby the house will enable the monitoring of high-value breeding stock for theft and animal health. In the past, there have been high losses due to predation and changes in climatic conditions at lambing. This allows for the productivity of the farm, and losses can be mitigated. However, more vigilance and a deterrent against theft on site are required. To meet federal, state, catchment, and local policies, the Farm Management aims to reduce the need for fertiliser, improve soil health, mitigate risks to soils such as compaction and low fertility, increase production by switching to quality breed stock rather than cross-bred stock, and build resilience against climate change. This also allows us to work with the Council to develop a strategy, if applicable, to reduce the spread of Phytophthora on-site.

Planning Policy Framework

Clause 11.03-5S Distinctive areas and landscapes

Objective

To recognise the importance of distinctive areas and landscapes to the people of Victoria and protect and enhance the valued attributes of identified or declared distinctive areas and landscapes.

Strategies

Recognise the unique features and special characteristics of these areas and landscapes.

Implement the strategic directions of approved Localised Planning Statements and Statements of Planning Policy.

Integrate policy development, implementation and decision-making for declared areas under Statements of Planning policy.

Recognise the important role these areas play in the state as tourist destinations.

Protect the identified key values and activities of these areas.

Enhance conservation of the environment, including the unique habitats, ecosystems and biodiversity of these areas.

Support use and development where it enhances the valued characteristics of these areas.

Avoid use and development that could undermine the long-term natural or non-urban use of land in these areas.

Protect areas that are important for food production.

Response: The dwelling is proposed behind existing roadside vegetation to minimise the impact on the landscape's amenity. The application will increase the biodiversity on site, which is at risk of modification from Phytophthora. The application not only protects agricultural soil but also demonstrates that with assistance from an Agronomist, the soil health can be improved.

Clause 11.03-6S Regional and local places

Objective

To facilitate integrated place-based planning.

Strategies

Integrate relevant planning considerations to provide specific direction for the planning of sites, places, neighbourhoods and towns.

Consider the distinctive characteristics and needs of regional and local places in planning for future land use and development.

Response: The distinct character of this area is a mix of residential areas, small lots with biodiversity, crown land (Public State Park), Conservation, and low-level grazing on lots with and without agricultural use. The proposed use is synonymous with the current use in the landscape and, as such, is unlikely to result in a change of amenity or result in land use conflicts.

Clause 12.0 Environmental and Landscape Values.

Planning should help to protect the health of ecological systems and the biodiversity they support (including ecosystems, habitats, species and genetic diversity) and conserve areas with identified environmental and landscape values.

Planning must implement environmental principles for ecologically sustainable development that have been established by international and national agreements. Foremost amongst the national agreements is the Intergovernmental Agreement on the Environment, which sets out key principles for environmental policy in Australia. Other agreements include the National Strategy for Ecologically Sustainable Development, National Greenhouse Strategy, the National Water Quality Management Strategy, Australia's Strategy for Nature 2019-2030, the National Forest Policy Statement and National Environment Protection Measures.

Planning should protect, restore and enhance sites and features of nature conservation, biodiversity, geological or landscape value.

Response: This application proposes a protection of biodiversity on site, along with an improvement to soils on site to increase viability and ensure that the use is within the capacity of the site.

Clause 12.01-1S Protection of biodiversity

Objective

To protect and enhance Victoria's biodiversity.

Strategies

Use biodiversity information to identify important areas of biodiversity, including key habitat for rare or threatened species and communities, and strategically valuable biodiversity sites.

Strategically plan for the protection and conservation of Victoria's important areas of biodiversity.

Ensure that decision making takes into account the impacts of land use and development on Victoria's biodiversity, including consideration of:

Cumulative impacts.

Fragmentation of habitat.

The spread of pest plants, animals and pathogens into natural ecosystems.

Avoid impacts of land use and development on important areas of biodiversity.

Consider impacts of any change in land use or development that may affect the biodiversity value of national parks and conservation reserves or nationally and internationally significant sites; including wetlands and wetland wildlife habitat designated under the Convention on Wetlands of International Importance (the Ramsar Convention) and sites utilised by species listed under the Japan-Australia Migratory Birds Agreement (JAMBA), the China-Australia Migratory Birds Agreement (CAMBA), or the Republic of Korea-Australia Migratory Bird Agreement (ROKAMBA).

Assist in the identification, protection and management of important areas of biodiversity.

Assist in the establishment, protection and re-establishment of links between important areas of biodiversity, including through a network of green spaces and large-scale native vegetation corridor projects.

Support land use and development that contributes to protecting and enhancing habitat for indigenous plants and animals in urban areas.

Response: The proposed use of fences restricts the conservation area to mitigate risk to biodiversity from stock and traffic, and notes that there are requirements to ensure that traffic (both unpowered and human) entering this area undergoes the appropriate sterilisation to minimise the spread of Phytophthora as much as possible.

Clause 12.01-1L Protection of biodiversity

Strategy

Ensure that land use and development enhance areas of native vegetation and other habitats.

Response: The proposed use of fences restricts the conservation area to mitigate risk to biodiversity from stock and traffic, and notes that there are requirements to ensure that traffic (both unpowered and human) entering this area undergoes the appropriate sterilisation to minimise the spread of Phytophthora as much as possible.

Clause 13.01-1S Natural hazards and climate change

Objective

To minimise the impacts of natural hazards and adapt to the impacts of climate change through risk-based planning-

Strategies

Respond to the risks associated with climate change in planning and management decision making processes.

Identify at risk areas using the best available data and climate change science.

Integrate strategic land use planning with emergency management decision making.

Direct population growth and development to low-risk locations.

Develop adaptation response strategies for existing settlements in risk areas to accommodate change over time.

Ensure planning controls allow for risk mitigation and climate change adaptation strategies to be implemented.

Site and design development to minimise risk to life, health, property, the natural environment and community infrastructure from natural hazards.

Policy guidelines

Consider as relevant:

- Climate change data and information maintained by the Department of Energy, Environment and Climate Action.
- Adaptation action plans prepared under Division 2 of Part 5 of the *Climate Change Act 2017*.

Response: Application demonstrates how the farm can ameliorate climate change risks and be more viable. The application considers that the dwelling be placed as far as possible from the National Park in the north, which is the highest risk in the landscape, and in easy access to Durdiwarrah Road for egress.

Clause 13.02-1S Bushfire planning

Policy application

This policy must be applied to all planning and decision making under the *Planning and Environment Act 1987* relating to land that is:

- Within a designated bushfire prone area.

- Subject to a Bushfire Management Overlay; or
- Proposed to be used or developed in a way that may create a bushfire hazard.

Objective

To strengthen the resilience of settlements and communities to bushfire through risk-based planning that prioritises the protection of human life.

Strategies

Protection of human life

Give priority to the protection of human life by:

- Prioritising the protection of human life over all other policy considerations.
- Directing population growth and development to low-risk locations and ensuring the availability of, and safe access to, areas where human life can be better protected from the effects of bushfire.
- Reducing the vulnerability of communities to bushfire through the consideration of bushfire risk in decision making at all stages of the planning process.

Response: The response to this is in the Bushfire Management Plan.

Clause 14.01-1L-1 Protection of agricultural land

Policy application

This policy applies to land within the Farming Zone.

Strategies

Identify areas of productive agricultural land, including land for primary production and intensive agriculture.

Consider state, regional and local, issues and characteristics when assessing agricultural quality and productivity.

Avoid permanent removal of productive agricultural land from the state's agricultural base without consideration of the economic importance of the land for the agricultural production and processing sectors.

Protect productive farmland that is of strategic significance in the local or regional context.

Protect productive agricultural land from unplanned loss due to permanent changes in land use.

Prevent inappropriately dispersed urban activities in rural areas.

Protect strategically important agricultural and primary production land from incompatible uses.

Limit new housing development in rural areas by:

Directing housing growth into existing settlements.

Discouraging development of isolated small lots in the rural zones from use for dwellings or other incompatible uses.

Encouraging consolidation of existing isolated small lots in rural zones.

Identify areas of productive agricultural land by consulting with the Department of Energy, Environment and Climate Action and using available information.

In considering a proposal to use, subdivide or develop agricultural land, consider the:

Desirability and impacts of removing the land from primary production, given its agricultural productivity.

Impacts on the continuation of primary production on adjacent land, with particular regard to land values and the viability of infrastructure for such production.

Compatibility between the proposed or likely development and the existing use of the surrounding land.

The potential impacts of land use and development on the spread of plant and animal pests from areas of known infestation into agricultural areas.

Land capability.

Avoid the subdivision of productive agricultural land to diminish the long-term productive capacity of the land.

Give priority to the re-structure of inappropriate subdivisions where they exist on productive agricultural land.

Balance the potential off-site effects of a use or development proposal (such as degradation of soil or water quality and land salinisation) against the benefits of the proposal.

Response: The dwelling is part of an existing farm business that requires the dwelling on-site to assist with breeding and monitoring of high-value stud sheep. The farm use is to be fully established on site when the dwelling is constructed.

Clause 14.01-1L-01 Discretionary uses in rural areas.

Policy application

This policy applies to the use or development of land in the Farming and Rural Conservation Zones other than agricultural, tourism, function centre or accommodation uses.

Objectives

To preserve the productive agricultural capacity of the land and where possible enhance the environmental condition of the land.

To maintain the landscape character of rural areas.

Strategy

Support discretionary uses where:

The intensity of the use will complement and support adjoining rural land uses.

Existing agricultural activity on adjoining land will not be compromised.

The scale of the development will complement and respect the rural landscape character.

The site has access to a constructed or sealed road that is capable of accommodating anticipated traffic levels.

The site has access to all necessary servicing infrastructure.

Policy guidelines

Consider as relevant:

- Whether buildings and structures have been designed or sited to be visually recessive and can blend into the surrounding landscape and natural environment through design, landscaping, materials and colours.
- Whether the environmental condition of the land could be enhanced by fencing off remnant vegetation and revegetating along waterways and in other strategic areas.
- Where infrastructure is required or needs upgrading, whether the landowner should meet all costs.

Policy documents

Consider as relevant:

- City of Greater Geelong Rural Land Use Strategy (Parsons Brinckerhoff, 2007)
- Managing Development in Rural Areas, Planning Policy Review (City of Greater Geelong, 2015)

Response: The application reviews the land's capacity, rather than simply stating that the soil is of low quality, and leaves it at that. A dwelling must show that there is an agricultural use and that there is a benefit either environmentally or to agriculture as part of the application. Both of these form part of this application.

Clause 14.01-1L-02 Dwellings and subdivision in farming areas

Policy application

This policy applies to land in the Farming and Rural Conservation Zones.

Objective

To ensure that the development of dwellings and excision of existing dwellings are consistent with the use of land for sustainable rural uses.

Strategies

Discourage house lot excisions.

Support the construction of a dwelling where:

The dwelling will not result in the property being removed from agricultural production and the primary use of the land will continue to be agriculture.

Existing agricultural activity on adjoining land will not be compromised.

The proportion of the property used for the dwelling and ancillary infrastructure is minimised and located on the area of lowest agricultural quality.

Policy guideline

Consider as relevant:

Proposed measures to preserve the productive capacity of the land and enhance its environmental condition, including:

Addressing pest plants and animals.

Managing land erosion.

Protecting remnant vegetation through fencing or other methods.

Revegetating strategic areas such as between remnant vegetation stands and along waterways.

Policy document

Consider as relevant:

- *City of Greater Geelong Rural Land Use Strategy* (Parsons Brinckerhoff, 2007)

Response: The dwelling is sited to achieve compliance not only to the Bushfire Overlay but is located on the crest where the soils are shown to be very shallow and are of the lowest capacity on site. The use proposed fences and restricts the conservation area to ameliorate risk to biodiversity by stock, traffic, and notes there are requirements to ensure that traffic (unpowered and human) entering this area undertake the appropriate sterilisation to ensure the spread of Phytophthora is reduced to as low as possible. The application responds to the applicable Rural Land Strategy near the conclusion of this report.

Clause 14.01-1L-2 Rural dwellings in the Farming Zone

Policy application

This policy applies to land within the Farming Zone.

Objective

To locate dwellings so that they do not compromise surrounding rural activities.

Response: The area has a moderate number of dwellings in the landscape that diminishes Agricultural use on site due to the potential for land use conflict for different uses. The quality of

the soils also diminishes this, and to be sustainable, the use must be within the capacity of the site and soils. The landscape has a high level of development, whereby this is the only lot that will trigger a permit that is not developed, and the use proposed is synonymous with the surrounding land use.

Clause 14.01-1S Protection of agricultural land

Objective

To protect the state's agricultural base by preserving productive farmland.

Strategies

Identify areas of productive agricultural land, including land for primary production and intensive agriculture.-

Response: The site is a Land Class 4, with the potential to rise to at least a Land Class 3 through soil and climate amelioration proposed in the Farm Management Plan. This site at present is not a Productive Agricultural soil, but can be more productive in the future.

Consider state, regional and local, issues and characteristics when assessing agricultural quality and productivity.-

Response: The application considers the location of this site to markets and Regional, Federal, local, and catchment issues pertaining to Agriculture are all considered.

Avoid permanent removal of productive agricultural land from the state's agricultural base without consideration of the economic importance of the land for the agricultural production and processing sectors.-

Response: No land of significance is proposed to be removed; only a small section of the site is proposed for a domestic area on the lowest value land on the site.

Protect productive farmland that is of strategic significance in the local or regional context-

Response: Not impacted but can be more productive and this has been quantified in the farm management report.

Protect productive agricultural land from unplanned loss due to permanent changes in land use.

Response: No land of significance is proposed to be removed; only a small section of the site is proposed for a domestic area.

Prevent inappropriately dispersed urban activities in rural areas-

Response: An application for a dwelling in a rural area is not for an agricultural use and is based on comprehensive and sustainable land management practices for conservation.

Protect strategically important agricultural and primary production land from incompatible uses-

Response: The Site is not strategically important, as it has low value for Agriculture and is only suited to grazing, which is characteristic of the landscape.

Limit new housing development in rural areas by:

Response: Not an application for a dwelling in a rural area. Cannot protect valuable stock and be more hands-on to avoid the loss at lambing if living remotely.

Directing housing growth into existing settlements.

Response: Not an application for a dwelling in a rural area.

Discouraging development of isolated small lots in the rural zones from use for dwellings or other incompatible uses.

Response: Lot is not isolated, and use is synonymous with the surrounding land use.

Encouraging consolidation of existing isolated small lots in rural zones

Response: The site is not considered to be a small lot, being 24.77ha in size.

Identify areas of productive agricultural land by consulting with the Department of Energy, Environment, and Climate Action and using available information.

Response: The Council has undertaken studies, and the area is not marked as containing productive agricultural soils.

In considering a proposal to use, subdivide or develop agricultural land, consider the:

Desirability and impacts of removing the land from primary production, given its agricultural productivity.

Response: No land of significance is proposed to be removed; only a small section of the site is proposed for a domestic area, which is the lowest agricultural value on the site.

Impacts on the continuation of primary production on adjacent land, with particular regard to land values and the viability of infrastructure for such production

Response: - House sited skillfully with other dwellings to avoid any potential land use conflict from an isolated dwelling in a farming area. The application does not pose an agricultural use that is different from what is in the landscape.

Compatibility between the proposed or likely development and the existing use of the surrounding land.

Response: - House sited skillfully with other dwellings to avoid any potential land use conflict from an isolated dwelling in a farming area. The application does not pose an agricultural use that differs from the existing landscape.

The potential impacts of land use and development on the spread of plant and animal pests from areas of known infestation into agricultural regions. -

Response: Lot is well-maintained for pest weeds and animals, and the only weeds were some minor infestations in the remnant area.

Land capability –

Response: The current capacity on site is quantified, and the report demonstrates how this can be improved to mitigate climate change and make the farm more viable.

Avoid the subdivision of productive agricultural land to diminish the long-term productive capacity of the land.

Response: Application poses no subdivision.

Give priority to the re-structure of inappropriate subdivisions where they exist on productive agricultural land.

Response: The site is only one lot and there are no opportunities to consolidate.

Balance the potential off-site effects of a use or development proposal (such as degradation of soil or water quality and land salinisation) against the benefits of the proposal.

Response: Application demonstrates how a farm can be more viable and ameliorate the effects of climate change, which is a best practice policy.

Clause 14.01-2S Sustainable agricultural land use

Objective

To encourage sustainable agricultural land use.

Strategies

Ensure agricultural and productive rural land use activities are managed to maintain the long-term sustainable use and management of existing natural resources.

Support the development of innovative and sustainable approaches to agricultural and associated rural land use practices.

Support adaptation of the agricultural sector to respond to the potential risks arising from climate change.

Encourage diversification and value-adding of agriculture through effective agricultural production and processing, rural industry and farm-related retailing.

Assist genuine farming enterprises to embrace opportunities and adjust flexibly to market changes.

Support agricultural investment through the protection and enhancement of appropriate infrastructure.

Facilitate ongoing productivity and investment in high value agriculture.

Facilitate the establishment and expansion of cattle feedlots, pig farms, poultry farms and other intensive animal industries in a manner consistent with orderly and proper planning and protection of the environment.

Ensure that the use and development of land for animal keeping or training is appropriately located and does not detrimentally impact the environment, the operation of surrounding land uses, and the amenity of the surrounding area.

Response: The application poses an increase in soil health, providing resilience against climate change, and promote the conservation management of remnant vegetation on the site. This is a notable achievement for the site.

Clause 15.01-6S Design for rural areas

Objective

To ensure development respects valued areas of rural character.

Strategies

Ensure that the siting, scale and appearance of development protects and enhances rural character.

Protect the visual amenity of valued rural landscapes and character areas along township approaches and sensitive tourist routes by ensuring new development is sympathetically located.

Site and design development to minimise visual impacts on surrounding natural scenery and landscape features including ridgelines, hill tops, waterways, lakes and wetlands.

Response: The siting will ensure that the dwelling is not near the road and will not impact the amenity of the area.

Encourage food, fibre and timber processing if it is related to the agricultural activity conducted on the land.

Response: Existing and proposed use is for production of meat sheep.

Zone

<p>Clause 35.07 FARMING ZONE</p> <p>Purpose</p> <p>To implement the Municipal Planning Strategy and the Planning Policy Framework</p> <p>To provide for the use of land for agriculture.</p> <p>To encourage the retention of productive agricultural land.</p> <p>To ensure that non-agricultural uses, including dwellings, do not adversely affect the use of land for agriculture.</p> <p>To encourage the retention of employment and population to support rural communities.</p> <p>To encourage use and development of land based on comprehensive and sustainable land management practices and infrastructure provision.</p> <p>To provide for the use and development of land for the specific purposes identified in a schedule to this zone.</p>	<p>The site currently has a farming business that is looking to diversify into a high-value stud meat sheep operation. The breeding and development of stock will increase the viability of the farm. The farmer also wanted to know how to mitigate the effects of climate change and improve soil health to increase his profits.</p> <p>No change to the agricultural use is proposed, and the dwelling will assist with onsite monitoring for breeding and ensuring stock is not stolen.</p> <p>The Farm Management Report is based on a comprehensive, sustainable outcome.</p>
<p>Clause 35.07-1 Table of Uses</p> <p>Refer to Clause 35.07 in the planning scheme for all table of uses requiring and not requiring a permit and prohibited buildings.</p>	<p>PERMIT TRIGGER (Dwelling)</p> <p>A permit is triggered.</p>
<p>Clause 35.07-2 Use of land for a dwelling</p>	<p>A permit is required to put a dwelling on site as the lot is under 70-ha.</p>

<p>A lot used for a dwelling, small second dwelling or rural worker accommodation must meet the following requirements:</p> <p>Access to the dwelling, small second dwelling or rural worker accommodation must be provided via an all-weather road with dimensions adequate to accommodate emergency vehicles.</p> <p>Each dwelling, small second dwelling or rural worker accommodation must be connected to reticulated sewerage, if available. If reticulated sewerage is not available all wastewater from each dwelling must be treated and retained within the lot in accordance with the requirements of the Environment Protection Regulations under the <i>Environment Protection Act 2017</i> for an on-site wastewater management system.</p> <p>The dwelling, small second dwelling or rural worker accommodation must be connected to a reticulated potable water supply or have an alternative potable water supply with adequate storage for domestic use as well as for fire fighting purposes.</p> <p>The dwelling, small second dwelling or rural worker accommodation must be connected to a reticulated electricity supply or have an alternative energy source.</p>	<p>The dwelling is accessed from a sealed road and has access to power along.</p> <p>The dwelling will require a septic tank for effluent and will rely on tank water.</p>
<p>Clause 35.07-5-Application requirements for dwellings</p> <p>An application to use a lot for a dwelling must be accompanied by a written statement which explains how the proposed dwelling responds to the decision guidelines for dwellings in the zone.</p>	<p>Each of the decision guidelines are addressed.</p>
<p>Clause 35.07-6 Decision guidelines</p>	

<p>Before deciding on an application to use or subdivide land, construct a building or construct or carry out works, in addition to the decision guidelines in Clause 65, the responsible authority must consider, as appropriate:</p> <p>General issues</p> <ul style="list-style-type: none"> - The Municipal Planning Strategy and the Planning Policy Framework. - Any Regional Catchment Strategy and associated plan applying to the land. - The capability of the land to accommodate the proposed use or development, including the disposal of effluent. - How the use or development relates to sustainable land management. - Whether the site is suitable for the use or development and whether the proposal is compatible with adjoining and nearby land uses. - How the use and development makes use of existing infrastructure and services. 	<p>The proposal is consistent with the requirements of the planning policy framework and the local planning policy as described in the body of the report.</p> <p>The proposal does seek a dwelling on site to enable more consistent monitoring and a permanent presence on site to deter theft of high quality breeding stock.</p> <p>The new lot will have direct access to a sealed road network.</p> <p>The Farm Management Report demonstrates how the farm can be more sustainable and overcome climate change risk.</p> <p>The farming use is existing and currently does not cause any land use conflicts. The proposed compost area has been placed as far as possible away from any dwelling. T</p>
<p>Agricultural issues</p> <ul style="list-style-type: none"> - Whether the use or development will support and enhance agricultural production. - Whether the use or development will adversely affect soil quality or permanently remove land from agricultural production. - The potential for the use or development to limit the operation and expansion of adjoining and nearby agricultural uses. - The capacity of the site to sustain the agricultural use. 	<p>The capacity of the farm has been quantified to ensure that a loss of productive soil is lost because of the dwelling.</p> <p>The site is close connection to the city of Ballarat and Geelong .</p> <p>The use does not cause any issue that will affect the soil in a detrimental way but demonstrates how the soil can be improved.</p>

<ul style="list-style-type: none"> - The agricultural qualities of the land, such as soil quality, access to water and access to rural infrastructure. - Any integrated land management plan prepared for the site. <p>Whether Rural worker accommodation is necessary having regard to:</p> <p>The nature and scale of the agricultural use.</p> <p>The accessibility to residential areas and existing accommodation, and the remoteness of the location.</p> <ul style="list-style-type: none"> - The duration of the use of the land for Rural worker accommodation 	<p>No land management is required for the site there is no erosion, salinity, weed or pest animal infestations and is only required for the remnant vegetation. It is a testament to the land owner that there were no signs of weeds in the farm area.</p>
<p>Accommodation issues</p> <ul style="list-style-type: none"> • Whether the dwelling will result in the loss or fragmentation of productive agricultural land. • Whether the dwelling will be adversely affected by agricultural activities on adjacent and nearby land due to dust, noise, odour, use of chemicals and farm machinery, traffic and hours of operation. • Whether the dwelling will adversely affect the operation and expansion of adjoining and nearby agricultural uses. • The potential for the proposal to lead to a concentration or proliferation of dwellings in the area and the impact of this on the use of the land for agriculture. • The potential for accommodation to be adversely affected by noise and shadow flicker impacts if it is located within one kilometre from the nearest title boundary of land subject to: <ul style="list-style-type: none"> ○ A permit for a wind energy facility; or ○ An application for a permit for a wind energy facility; or ○ An incorporated document approving a wind energy facility; or ○ A proposed wind energy facility for which an action has been taken under section 8(1), 8(2), 8(3) or 8(4) of the <i>Environment Effects Act 1978</i>. • The potential for accommodation to be adversely affected by vehicular traffic, noise, 	<p>The dwelling will not result a loss or fragmentation of productive land this has been quantified in the Farm Management Report.</p> <p>The dwelling is located away from the road to reduce the impact of the amenity in the area.</p> <p>Planning applications do not set a precedent only VCAT does this so this application cannot be used to support a further application on a site nearby.</p> <p>There are no windfarms and intensive farming within close proximity to the site.</p> <p>There are no mines within 500m of the site.</p>

<p>blasting, dust and vibration from an existing or proposed extractive industry operation if it is located within 500 metres from the nearest title boundary of land on which a work authority has been applied for or granted under the <i>Mineral Resources (Sustainable Development) Act 1990</i>.</p>	
<p>Environmental issues</p> <ul style="list-style-type: none"> • The impact of the proposal on the natural physical features and resources of the area, in particular on soil and water quality. • The impact of the use or development on the flora and fauna on the site and its surrounds. • The need to protect and enhance the biodiversity of the area, including the retention of vegetation and faunal habitat and the need to revegetate land including riparian buffers along waterways, gullies, ridgelines, property boundaries and saline discharge and recharge area. • The location of on-site effluent disposal areas to minimise the impact of nutrient loads on waterways and native vegetation. 	<p>Natural feature-soil is shown in the Farm Management Report how limitations to agriculture and risks from climate change can be ameliorated to increase viability and resilience.</p>
<p>Design and siting issues</p> <ul style="list-style-type: none"> • The need to locate buildings in one area to avoid any adverse impacts on surrounding agricultural uses and to minimise the loss of productive agricultural land. • The impact of the siting, design, height, bulk, colours and materials to be used, on the natural environment, major roads, vistas and water features and the measures to be undertaken to minimise any adverse impacts. • The impact on the character and appearance of the area or features of architectural, historic or scientific significance or of natural scenic beauty or importance. • The location and design of existing and proposed infrastructure including roads, gas, water, drainage, telecommunications and sewerage facilities. • Whether the use and development will require traffic management measures. • The need to locate and design buildings used for accommodation to avoid or reduce noise and shadow flicker impacts from the operation of a wind energy facility if it is located within one kilometre from the nearest title boundary of land subject to: <ul style="list-style-type: none"> ○ A permit for a wind energy facility; or ○ An application for a permit for a wind energy facility; or 	<p>The existing dwelling is synonymous with the amenity of the neighbourhood and will not result in a loss of productive agricultural soil. The dwelling will also have its own entrance to assist in Biosecurity. The dwelling will be screened from the road by existing roadside vegetation.</p>

<ul style="list-style-type: none"> ○ An incorporated document approving a wind energy facility; or ○ A proposed wind energy facility for which an action has been taken under section 8(1), 8(2), 8(3) or 8(4) of the <i>Environment Effects Act 1978</i>. • The need to locate and design buildings used for accommodation to avoid or reduce the impact from vehicular traffic, noise, blasting, dust and vibration from an existing or proposed extractive industry operation if it is located within 500 metres from the nearest title boundary of land on which a work authority has been applied for or granted under the <i>Mineral Resources (Sustainable Development) Act 1990</i>. 	
<p>Clause 35.07 Schedule-1.0</p> <p>Minimum area for a dwelling is 8oha in the Northern Rural area..</p> <p>Minimum setback from any road is 20m</p> <p>All other boundaries are 5m</p> <p>Minimum setback from any dwelling not in the same ownership is 100m</p>	<p>The dwelling being consistent with the amenity of the area is located 556m from the side setback to the north and setback from Durdidwarrah Road by 92m</p> <p>It is essential that the dwelling be located away from the highest risk in the landscape which is the National Park to the north of the site.</p>

Overlays

<p>Clause 42.02 VEGETATION PROTECTION OVERLAY</p> <p>Shown on the planning scheme map as VPO with a number.</p> <p>Purpose</p> <p>To implement the Municipal Planning Strategy and the Planning Policy Framework.</p> <p>To protect areas of significant vegetation.</p> <p>To ensure that development minimises loss of vegetation.</p> <p>To preserve existing trees and other vegetation.</p> <p>To recognise vegetation protection areas as locations of special significance, natural beauty, interest and importance.</p> <p>To maintain and enhance habitat and habitat corridors for indigenous fauna.</p> <p>To encourage the regeneration of native vegetation.</p>	<p>There is a VPO on the road network to the north extent of the site. There is an existing access along Durdiwarrah road and no removal of vegetation is triggered with this application.</p>
<p>Clause 43.02 Significant Overlay</p> <p>A permit is required to:</p> <ul style="list-style-type: none"> • Construct a building or construct or carry out works. This does not apply: <ul style="list-style-type: none"> ○ If a schedule to this overlay specifically states that a permit is not required. ○ To the conduct of agricultural activities including ploughing and fencing (but not the construction of dams) unless a specific requirement for that activity is specified in a schedule to this overlay. 	<p>The dwelling being consistent with the amenity of the area is located 556m from the side setback to the north and setback from Durdidwarrah Road by 92m</p> <p>No ploughing is part of the site as a non-till method is preferred with seed drilling for re seeding to protect the fragile soils. Fences are proposed to reduce paddock sizes to assist with strip grazing.</p>
<p>Clause 42.03 Decision guidelines</p>	

<p>Before deciding on an application, in addition to the decision guidelines in Clause 65, the responsible authority must consider, as appropriate:</p> <ul style="list-style-type: none"> • The Municipal Planning Strategy and the Planning Policy Framework. • The statement of the nature and key elements of the landscape and the landscape character objective contained in a schedule to this overlay. • The conservation and enhancement of the landscape values of the area. • The need to remove, destroy or lop vegetation to create a defensible space to reduce the risk of bushfire to life and property. • The impact of the proposed buildings and works on the landscape due to height, bulk, colour, general appearance or the need to remove vegetation. • The extent to which the buildings and works are designed to enhance or promote the landscape character objectives of the area. • The impact of buildings and works on significant views. • Any other matters specified in a schedule to this overlay. 	<p>The application meets applicable parts of the state and local policy and this has been responded to.</p> <p>Conservation is imperatively important for the long-term biodiversity on site with the remnant area under threat from Phytophthora.</p> <p>The loss of trees is minimised to a couple of trees for the defensible space which is weighed with the bushfire siting requirements and limiting the loss of agricultural soil.</p> <p>View of the dwelling is not able to be seen from the road due to the large amount of vegetation to the north and east of the site.</p>
<p>Schedule 5 to Clause 42.03 Significant Landscape Overlay</p> <p>Statement of nature and key elements of landscape</p> <p>The eastern edges of the Brisbane Ranges, including the Rowsley Scarp and its foothills, and the granitic and scoria Anakie Hills are visually prominent landscape features affording views of the plains to the east. These locations contain a mix of cleared land contrasted with substantial vegetation cover. The area has a high scenic quality and its visual exposure makes it susceptible to visual intrusion from inappropriate development.</p> <p>Landscape character objectives to be achieved</p> <p>To protect and enhance the visual and natural landscape values of the area.</p> <p>To maintain vegetation as an important element of the landscape.</p>	<p>The Brisbane Ranges is an area that is well known to be a problem for the virus Phytophthora and it imperative that this is practiced and the restrictions for this area are followed to reduce the risk of spread.</p> <p>The bulk of the development is all obscured from the road by the vegetation along the roadsides.</p>

<p>To protect the landscape from visual intrusion from inappropriate buildings and works and their siting, design and/or materials.</p> <p>To maintain the natural skyline of ridge and escarpment areas and avoid obtrusive building silhouettes.</p> <p>To encourage the siting, design and landscaping of buildings and works responsive to the landscape values of the area.</p>	
<p>Schedule 5 to Clause 42.03 Significant Landscape Overlay</p> <p>Decision guidelines</p> <p>The following decision guidelines apply to an application for a permit under Clause 42.03, in addition to those specified in Clause 42.03 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:</p> <ul style="list-style-type: none"> • The landscape values of the edges of the Brisbane Ranges and Anakie Hills. • The protection and appropriate enhancement of the landscape, having regard to: <ul style="list-style-type: none"> ○ Protecting landscape areas and vantage points of high quality. ○ The conservation of significant areas of natural vegetation and significant stands of trees. ○ The control of the density of buildings and subdivision in areas of scenic value. ○ Whether the siting, height, scale, materials and form of proposed buildings and works has been designed to have least visual effect on the landscape and scenic views of the Brisbane Ranges and Anakie Hills. ○ Whether approval of the proposed buildings and works is compatible with maintaining the visual and natural significance of the landscape. ○ The benefit of permit conditions requiring all building materials to be non-reflective and of colours which are complementary to those of the natural landscape. 	<p>The open area cannot be seen from the Ballan road and is totally obscured. The conservation area restricts entry and use in this area along with the best practice to limit the spread of Phytophthora.</p>

<ul style="list-style-type: none"> o The benefit of the conditions requiring the landscaping of buildings and works, while also having regard to the maintenance of existing viewlines. o The containment of extractive industries to ensure that development and subsequent reclamation are carried out without significant detriment to the recreational and scenic value of the surrounding area. o Whether an alternative site is available on the land for the proposed buildings and works that would better meet the landscape objectives of this schedule. 	
<p>Clause 44.06 BUSHFIRE MANAGEMENT OVERLAY</p> <p>Shown on the planning scheme map as BMO with a number (if shown).</p> <p>Purpose</p> <p>To implement the Municipal Planning Strategy and the Planning Policy Framework.</p> <p>To ensure that the development of land prioritises the protection of human life and strengthens community resilience to bushfire.</p> <p>To identify areas where the bushfire hazard warrants bushfire protection measures to be implemented.</p> <p>To ensure development is only permitted where the risk to life and property from bushfire can be reduced to an acceptable level.</p>	<p>The bushfire component is covered in the Bushfire Management Report.</p>

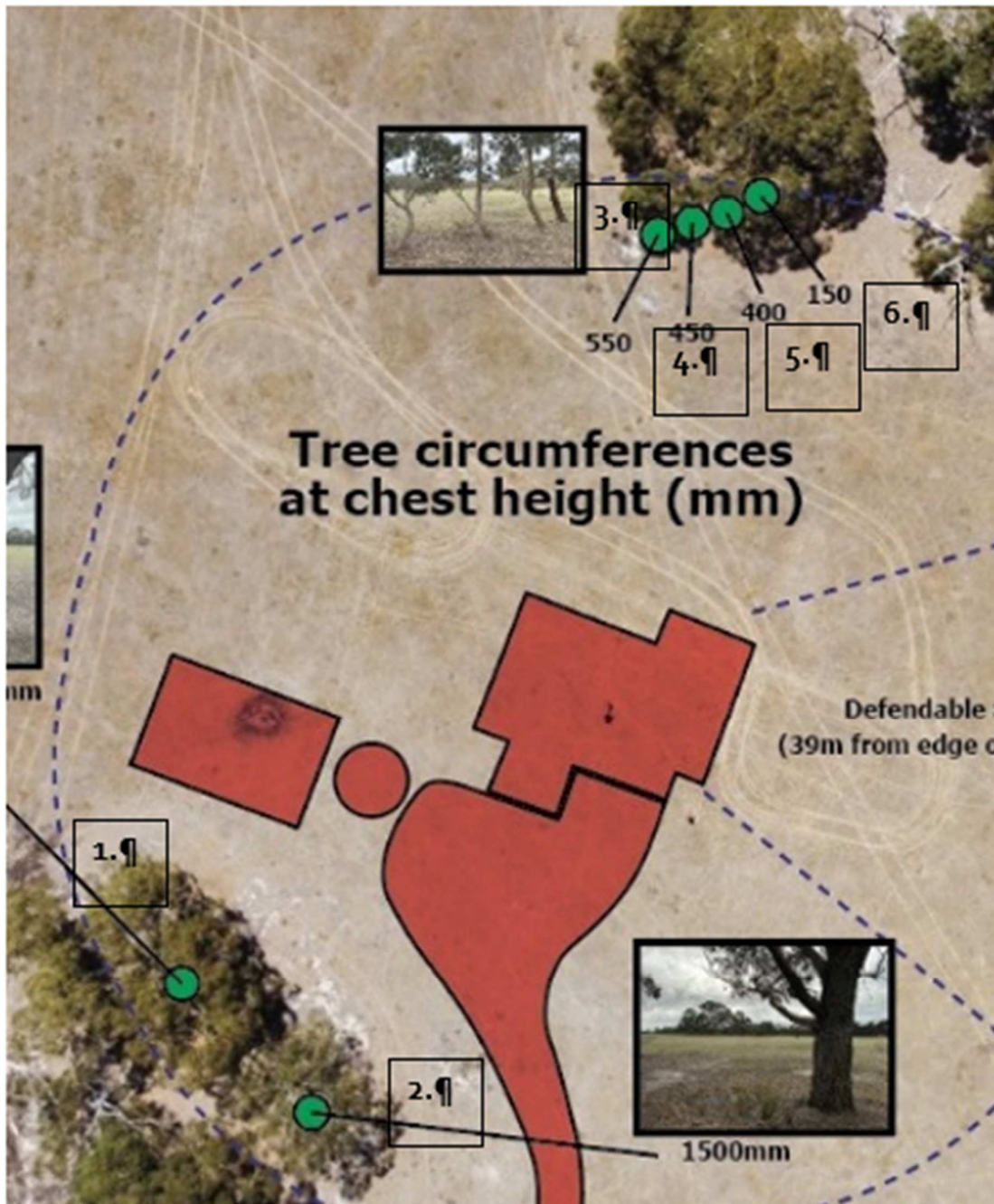


Image.30. Zoom in on tree details and numbering.

Actual removal is limited to a tree .1 a multi-stemmed tree with a circumference of 1.5m (dbh 47.7 cm).

The patch to the north of the defendable space has a patch of 4 younger trees with differing ages. The circumferences range from 150- 550 cm (47- 175 cm dbh), and the oldest one, Tree 3, will be retained, so Trees 4,5, and 6.



Image.31 and 32 Tree 1 (Left) Tree 2 (Right)

Tree 2 was selected to be retained as it has a similar DBH and has a healthy single stem and a good canopy. Tree 1 is buttressed and, as a scattered tree, is highly unstable in the long term; often splitting from high winds and storms.



Image 33. Trees on the northern edge of the defensible space.

The relevant EVC is EVC 16 Lowland Forest in the CVU Bioregion; a large tree is listed as having a circumference of 70cm (700mm); there are no large trees impacted for removal as they are all below the size of 700mm dbh.

If the defendable space were moved north to avoid trees 1 and 2, it would impact the patch shown below.

The actual removal is limited to 4 trees, and a report has not been completed, as any removal is exempt under Clause 52.12-5, which allows for an exemption to remove native vegetation for the purpose of creating defendable space. The site is zoned for farming and is under a Bushfire Management Overlay.

CLAUSE 65

The proposal responds positively to Clause 65 - Decision Guidelines by representing an orderly, sensible, and practical response to the development of land within a farming area.

The proposed dwelling meets the Policy and Local Framework and will not lead to a proliferation of new homes, as it will not set a precedent. The proposal aims to improve soil and does not involve the loss of productive agricultural land. The lot size is sufficient to contain effluent within the boundaries, and its existing placement is in keeping with the neighbourhood character.

The dwelling is situated on an existing farm and is not a rural house; therefore, it should be addressed on that basis, and the opportunity to become more viable should be supported.

Decision Guidelines – Clause 65.01 Approval of an application or plan	Comment
Any significant effects the environment, including the contamination of land, may have on the use or development.	The proposal poses no environmental risk to soils, and it offers improvements in soil health, agricultural viability, and biodiversity.
The orderly planning of the area.	The proposed dwelling will not detrimentally impact on the amenity of the surrounding area.
The effect on the environment, human health and amenity of the area	The proposal enables the Land Management Plan to identify risks to biodiversity and outlines how these risks are mitigated to reduce them to the lowest possible level.
Factors likely to cause or contribute to land degradation, salinity or reduce water quality	The proposal will not cause any risk factors but demonstrates how soil health, compaction, and climate change can be ameliorated. Use is within the capacity of the land and soil.
Whether the proposed development is designed to maintain or improve the	The new dwelling will require a stormwater assessment in accordance with Melbourne Water

quality of stormwater within and exiting the site.	guidelines, and collection will be achieved via a tank or rain garden, etc.
The extent and character of native vegetation and the likelihood of its destruction.	Four trees are to be removed for defensible space, which cannot be avoided anymore due to the Bushfire risk and siting on the lowest-value soils.
Whether native vegetation is to be or can be protected, planted or allowed to regenerate.	Native vegetation removal can be offset with more planting as long as the fire risk is well below that of a BAL of 12.5
The degree of flood, erosion or fire hazard associated with the location of the land and the use, development or management of the land so as to minimise any such hazard.	All bushfire issues covered in the Bushfire Management Report.
The adequacy of loading and unloading facilities and any associated amenity, traffic flow and road safety impacts	The farm has an existing access for trucks and machinery along Durdiwarrah road.

Response to Rural Land use Strategy May 2007

"The City has cautiously exercised discretion in terms of granting planning permits for new houses in the rural areas. The City has sought to ensure that any residential development in the rural areas is closely linked to supporting and sustaining agricultural uses".

Response: It is essential that this report demonstrates how it reduces any land use conflicts, poses a use that is not only synonymous with the current land use but is also consistent with the capacity of the site and soils. It has not taken advantage of the low value to argue for a dwelling and poses an increase to soil health over time and resilience to climate change.

"Most importantly, the environmental assets must be protected and the condition of the natural resource base enhanced, and the unique and valuable landscapes preserved."

Response: This is essential in farming areas, as patches of remnant vegetation serve as a habitat for birds that prey on pests in these areas. Modified patches can be used to shelter stock and mitigate the stress caused by climate change. The siting will not impact the amenity, as the site cannot be seen from the Ballan Road at any time, and it responds to the bushfire objectives.

"It should be recognised that where a planning permit is required for a dwelling in the Rural or Farming Zone, the onus is on the applicant to make a case to Council that the dwelling will not result in a change of land use to residential and that the dwelling is required for the farming operation. Although the viability of the proposed farming operation is one consideration in terms of determining the likelihood of the land use remaining farming, it should not be the sole consideration. It should also be recognised that part-time agriculture or agriculture that is not the primary source of income for the household can still be the primary land use."

Response: The site should be developed in line with the submitted Farm/Land Management report, which ensures that restrictions on areas are implemented and that an Agronomist oversees the increase in soil over time. These restrictions for the conservation areas need to be noted on the title with reference to the LMP/FMP to ensure that future land owners are aware of their responsibilities and how to achieve a high level of improvements that are required to ensure that biodiversity impacts are reduced and that soils are protected and enhanced for their agricultural capacity. An application for a lifestyle block would not undertake this work and would be seen as a deterrent; however, it is a valuable tool to ensure that the land remains farmed into the future. The owners want to undertake agricultural use and were unaware of the risk to biodiversity. They have been given tools in the FMP/LMP to ensure the appropriate sterilization is undertaken when entering the site, as well as guidance on identifying issues and the importance of containment. A well-constructed response to improve the land not only for agriculture by also biodiversity can be used well to enforced an also educate the land owner and should propose overall benefits to the community, environmental issues, economic issues and this is the validation to ensure that is this is linked to the title that it ensures that any ownership change is also educated and know the responsibilities. This is a not a requirement that is accepted of an application for a lifestyle site.

"Agricultural capability assessment offers a means to consider the quality of land for soil-based agriculture, and its productive potential. As a planning tool, land capability does offer an effective indication of the importance of land resources for agriculture in specific areas."

Response: This must be quantified and not just someone's personal opinion. This application quantified this not only in relation to Rowe et al. (1981) but also in relation to the flow chart that forms part of the peri-urban areas of Melbourne, within which this site is located. However, it should not be used to grant a dwelling on this basis alone, but does allow for improvement and responds to whether the site is a productive or strategically important site for agriculture.

"The Draft guidelines state the following principles for identification of what is productive agricultural land. Productive agrarian land generally has one or more of the following characteristics:

- A present pattern of subdivision favourable for sustainable agricultural production • Can be used for a variety of agricultural pursuits
- Suitable soil type
- Suitable climatic conditions
- Suitable agricultural infrastructure, in particular irrigation and drainage systems. Of importance are the basic physical characteristics of climate and soil type. Issues such as tenure and infrastructure may change to support agricultural use in the future."

Response: This must be quantified and not just someone's personal opinion. This application quantified this not only in relation to Rowe et al. (1981) but also in relation to the flow chart that forms part of the peri-urban areas of Melbourne, within which this site is located. Although it should not be used to grant a dwelling solely on this basis, it does allow for improvement. It responds to whether the site is a productive or strategically important site for agriculture.

"Planning should encourage sustainable agriculture and support and assist the development of innovative approaches to sustainable practices."

Response: We have limited land available for agriculture, and some sites have high capacity, while others offer differing opportunities with potable water. Applications like this one should demonstrate (best practice) how there is a sustainable improvement that can be achieved so that our farm land is in all land classes managed sustainably, mainly to provide resilience against climate change.

"Most of the land within the municipality is of Class 3 capability, or moderate agricultural quality. This means it is generally suited to grazing but is unsuitable for cropping or horticulture.- appendix,4 "

Response: This must be quantified and not just someone's personal opinion. This application quantified this not only in relation to Rowe et al. (1981) but also in relation to the flow chart that forms part of the peri-urban areas of Melbourne, within which this site is located. Although it should not be used to grant a dwelling solely on this basis, it does allow for improvement. It determines whether the site is productive or strategically important for agriculture.

"In considering a proposal to subdivide or develop agricultural land, the following factors must be considered:

- The desirability and impacts of removing the land from primary production, given its agricultural productivity.
- The impacts of the proposed subdivision or development on the continuation of primary production on adjacent land, with particular regard to land values and to the viability of infrastructure for such production.
- The compatibility between the proposed or likely development and the existing uses of the surrounding land.
- Assessment of the land capability."

Response: This must be quantified and not just someone's personal opinion. This application quantified this not only in relation to Rowe et al. (1981) but also in relation to the flow chart that forms part of the peri-urban areas of Melbourne, within which this site is located. However, it should not be used to grant a dwelling on this basis alone, but does allow for improvement and responds to whether the site is a productive or strategically important site for agriculture. We have limited land available for agriculture, and some sites have high capacity, while others offer differing opportunities with potable water. Applications like this one should demonstrate (best practice) how there is a sustainable improvement that can be achieved so that our farm land is in all land classes managed sustainably, mainly to provide resilience against climate change.

This application is achievable with minimal input from an Agronomist who is familiar with sustainable agriculture techniques and the use is within the site's and soil's capacity, and a use that is in harmony with the landscape.

Applicable VCAT decisions

Jordan V Baw Baw 2024

"diminishes the importance of 'need' in this assessment. Prior to 2013, a decision maker had to consider if a dwelling was 'reasonably required for the operation of the agricultural activity conducted on the land'. Since that time, the decision maker must consider if a dwelling will 'support and enhance agricultural production'. This change of emphasis is significant."

"However, the most telling factor in my assessment is that the site and the immediately surrounding properties have already been removed from broadacre farming and several are being used for dwellings associated with small-scale agricultural production."

"In terms of other decision guidelines of the Zone that are relevant to my assessment, I find that the use of the site for a dwelling will have little impact on the use of the site for agricultural production. The dwelling will occupy a small area relative to the size of the site."

Welsh V Indigo 2009

"1. The local policy also discourages the proliferation of dwellings in farming areas. However, this has already occurred in the immediate vicinity. I find that the proposed dwelling will be absorbed in this existing proliferation, and that this is acceptable."

"It may also have improved environmental outcomes through the planting of vegetation and other land management practices."

Gordon V Indigo 2016

"However, contextually it is relevant to have regard to the pattern of development and nature of surrounding land uses. The loss of this land from productive agriculture is not fatal to this application because of the realities of its size and setting. That is not to suggest that it would not be possible for the land to contribute to productive pursuits, such as being part of another/existing venture. Rather, the loss in this context is acceptable."

"I also consider that the presence of a permanent dwelling on the review site may actually lead to an opportunity for improved land management practices to occur, which may actually increase the future agricultural production of the land, if a genuine agricultural pursuit were intended."

"The fact that the review site has been purchased by someone who now wishes to construct a dwelling on it, does not mean that the majority of the site cannot continue to be used in some form of agricultural pursuit. Indeed, the majority of the site could continue to contribute to the

agricultural production of this precinct, including through the grazing of sheep, as intended by Mr. Gordon. "

Parry V Moorabool 2014

"1. It is self-evident that it is not necessary for a dwelling to be essential or required in supporting agricultural production (although that would be a relevant factor should it be the case in a specific proposal). Rather, the decision guidelines are seeking to demonstrate how a dwelling supports and enhances agricultural production."

1. "This permit application has positive, neutral, and negative outcomes when assessed against the matters within the Scheme, taking into account the submissions presented. Consequently, there is a need to weigh and balance the outcomes to form a view on whether an acceptable outcome has been achieved. This is sought by Clause 10.04, where it states:... responsible authorities should endeavour to integrate the range of policies relevant to the issues to be determined and balance conflicting objectives in favour of net community benefit and sustainable development for the benefit of present and future generations."

McDonald v Hepburn 2018

"The dwelling is unlikely to inhibit the expansion of adjoining and nearby agricultural uses due to the small lot settlement pattern of surrounding lots."

Marone V Bass Coast 2024

"The area taken up by the dwelling and surrounds, including the onsite wastewater disposal system, will result in the loss of a small area of agricultural land. I find that this reduction in farming area does not warrant the refusal of a permit. As discussed above, a domestic envelope could be included on the plans to be endorsed in the permit."

"1. I accept that providing a house on the site will provide convenience to the applicant in undertaking both existing and proposed land uses as part of a mixed-use enterprise. It will enable greater 'hands-on' management of the proposed livestock, especially during breeding times and of the existing farming uses. The question is whether this benefit to the owners outweighs the potential disbenefits of establishing a house on a small rural lot, in this specific location. "

"I have been persuaded that a dwelling will support the current and expanded agricultural use of the land. The proposal is within the capacity of this small allotment, which has the potential to provide an alternative and more intensive land use given the quality of the land."

Azzopardi V Macedon Ranges 2020

"The dwelling will not have any significant impact on the agricultural activities of adjacent or nearby land, nor should it affect the expansion of any adjoining or nearby agricultural uses. Land use in this area is predominantly grazing."

"The farm management plan proposes that a significant investment in the agricultural capability of the land is required to be implemented through the permit conditions."

Strachan V La Trobe 2025

"Support the use and development of land for a dwelling only if: No detriment is likely to result to adjoining agricultural activities. It will result in improved land management, rehabilitation for conservation purposes, or improvements to degraded land. For a proposed dwelling required in association with improved land management or conservation outcome, a section 173 agreement under the Act to ensure an environmental management or rehabilitation plan is enacted in perpetuity."

"The farm size is almost irrelevant; the quality of the farm management matters, and it isn't easy to achieve that remotely, and in this area, where there are few other accommodation options available anyway."

Nicholls V Starthbogie 2024

"From an agricultural productivity perspective, the farm management plan has classified the land as land use capability Class 4: Low capacity to resist land disturbance, such as cultivation. Production levels can be achieved with specialist management, such as improved pasture establishment using minimum tillage techniques. Recommended for low disturbance agriculture such as grazing, perennial horticulture, or nature conservation and other non-agricultural land uses. The land is suited to the land uses proposed, and they are an optimal choice for ensuring agricultural productivity."

"An important element of policy is whether the dwelling will constrain or conflict with nearby agricultural uses. This is largely a landscape of grazing (beef production) which as a use is relatively benign in terms of amenity impact. "

CONCLUSION

The application is consistent with a best practice outcome for Regenerative Farming, which not only assists with sustainability but also viability. The report is heavily grounded in scientific research, on-site testing, and observations, and is not merely the author's personal opinion. The house is legitimately required to ensure that there is more close monitoring of animal health and at birthing, and that quality breeding stock is safe from theft on site. It costs a lot of time and money to source stock, and it can be removed from sites where there is a lack of dwellings, which often serves as a deterrent to thieves.

The landscape has a high level of development along Ballan Road, and most owners are farmers who respect keeping their domestic animals controlled, resulting in land use conflicts. Machinery is a part of this farm, and like the surrounding lots, this also occurs on those sites. Farmers know they have a right to farm and understand that, at times, there will be a need to use machinery into the night. This machinery and stock supplies are to be housed in the proposed agricultural shed.

The application does not merely state that the soil is unproductive but also notes that the dwelling does not trigger a loss. Instead, this report and the farmer sought to increase the site's viability through changes to farming practices.

This outcome enables best practice, sustainable Agricultural use on site, which will increase soil health over time. The change in stock, along with the pasture improvements, will facilitate a more viable business. This is viewed overall as a positive planning outcome, as it provides for an increase in food production, enhances soil health, mitigates climate change impacts, improves agricultural viability, and protects biodiversity. Therefore, it should be supported by the council.

Appendix.1 Certificate of Title and Title Plan

REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

VOLUME 07206 FOLIO 138

Security no : 124121371351W
Produced 21/01/2025 03:46 PM

CROWN GRANT

LAND DESCRIPTION

Crown Allotment 88E Parish of Anakie.

REGISTERED PROPRIETOR

Estate Fee Simple
Sole Proprietor

MARTIN SHAMUS JAMES of 2 BRICKWELL PLACE CORIO VIC 3214
AY628044X 25/11/2024

ENCUMBRANCES, CAVEATS AND NOTICES

Any crown grant reservations exceptions conditions limitations and powers noted on the plan or imaged folio set out under DIAGRAM LOCATION below. For details of any other encumbrances see the plan or imaged folio set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE TP610321Q FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NUMBER		STATUS	DATE
AY612455P (E)	CONV PCT & NOM ECT TO LC	Completed	20/11/2024
AY628044X (E)	TRANSFER	Registered	25/11/2024

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 2485 BALLAN ROAD ANAKIE VIC 3213

ADMINISTRATIVE NOTICES

NIL

eCT Control 19292B HERITAGE CAMEO CONVEYANCING
Effective from 25/11/2024

DOCUMENT END



Imaged Document Cover Sheet

The document following this cover sheet is an imaged document supplied by LANDATA®, Secure Electronic Registries Victoria.

Document Type	Plan
Document Identification	TP610321Q
Number of Pages (excluding this cover sheet)	2
Document Assembled	21/01/2025 15:46

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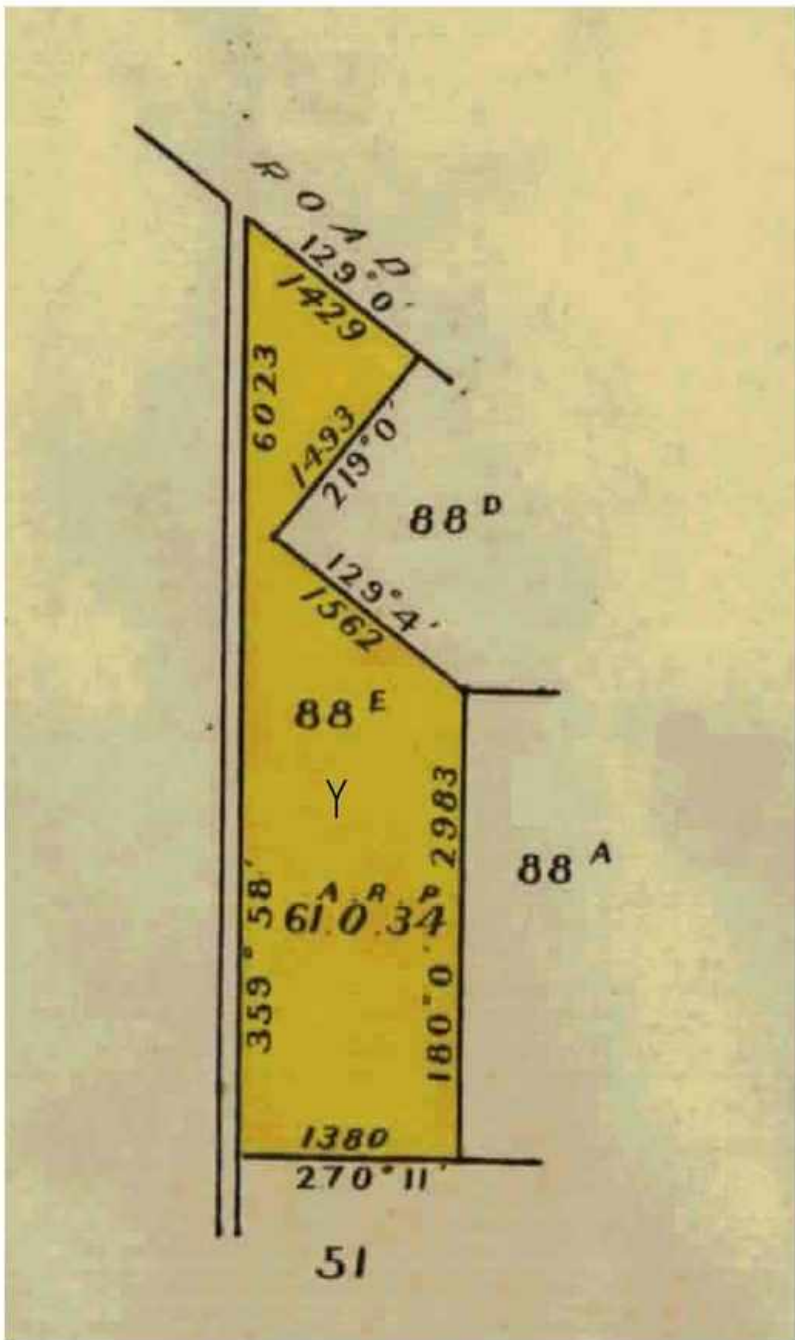
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The document is invalid if this cover sheet is removed or altered.

TITLE PLAN		EDITION 1	TP 610321Q
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<p>Location of Land</p> <p>Parish: ANAKIE Township: Section: Crown Allotment: 88E Crown Portion:</p> <p>Last Plan Reference: Derived From: VOL 7206 FOL 138 Depth Limitation: 50 FEET</p>	<p style="text-align: center;">Notations</p> <p>SUBJECT TO THE RESERVATIONS EXCEPTIONS CONDITIONS AND POWERS CONTAINED IN CROWN GRANT VOL. 7206 FOL. 138 AND NOTED ON SHEET 2 OF THIS PLAN</p> <p>ANY REFERENCE TO MAP IN THE TEXT MEANS THE DIAGRAM SHOWN ON THIS TITLE PLAN</p>
--	--

<p>Description of Land / Easement Information</p>	<p>THIS PLAN HAS BEEN PREPARED FOR THE LAND REGISTRY, LAND VICTORIA, FOR TITLE DIAGRAM PURPOSES AS PART OF THE LAND TITLES AUTOMATION PROJECT</p> <p>COMPILED: 23/08/2000 VERIFIED: AK</p>
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COLOUR CODE
 Y = YELLOW

TITLE PLAN		TP 610321Q
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**LAND DESCRIPTION INCLUDING RESERVATIONS EXCEPTIONS
CONDITIONS AND POWERS SHOWN ON THE CROWN GRANT**

III THAT PIECE OF LAND in the said State containing

sixty-one acres and thirty-four perches more or less being Allotment eighty-eight^E in the Parish of Anakie
County of Grant

delineated with the measurements and abutments thereof in the map drawn in the margin of these presents and therein colored yellow PROVIDED nevertheless that the grantee shall be entitled to sink wells for water and to the use and enjoyment of any wells or springs of water upon or within the boundaries of the said land for any and for all purposes as though she held the land without limitation as to depth EXCEPTING nevertheless unto Us Our heirs and successors all gold and silver and minerals as defined in the *Mines Act 1928* in upon or under or within the boundaries of the land hereby granted AND reserving to Us Our heirs and successors free liberty and authority for Us Our heirs and successors and Our and their licensees agents and servants at any time or times hereafter to enter upon the said land and to search and mine therein for gold silver and minerals as aforesaid and to extract and remove therefrom any such gold silver and minerals and to search for and work dispose of and carry away the said gold silver and minerals lying in upon or under the land hereby granted and for the purposes aforesaid to sink shafts make drives erect machinery and to carry on any works and do any other things which may be necessary or usual in mining and with all other incidents that are necessary to be used for the getting of the said gold silver and minerals and the working of all mines seams lodes and deposits containing such gold silver and minerals in upon or under the land hereby granted AND ALSO reserving to Us Our heirs and successors—

- (i) all petroleum as defined in the *Mines (Petroleum) Act 1935* on or below the surface of the said land and
- (ii) the right of access for the purpose of searching for and for the operations of obtaining such petroleum in any part or parts of the said land and
- (iii) rights of way for access and for pipe-lines and other purposes necessary for obtaining and conveying such petroleum in the event of such petroleum being obtained in any part or parts of the said land.

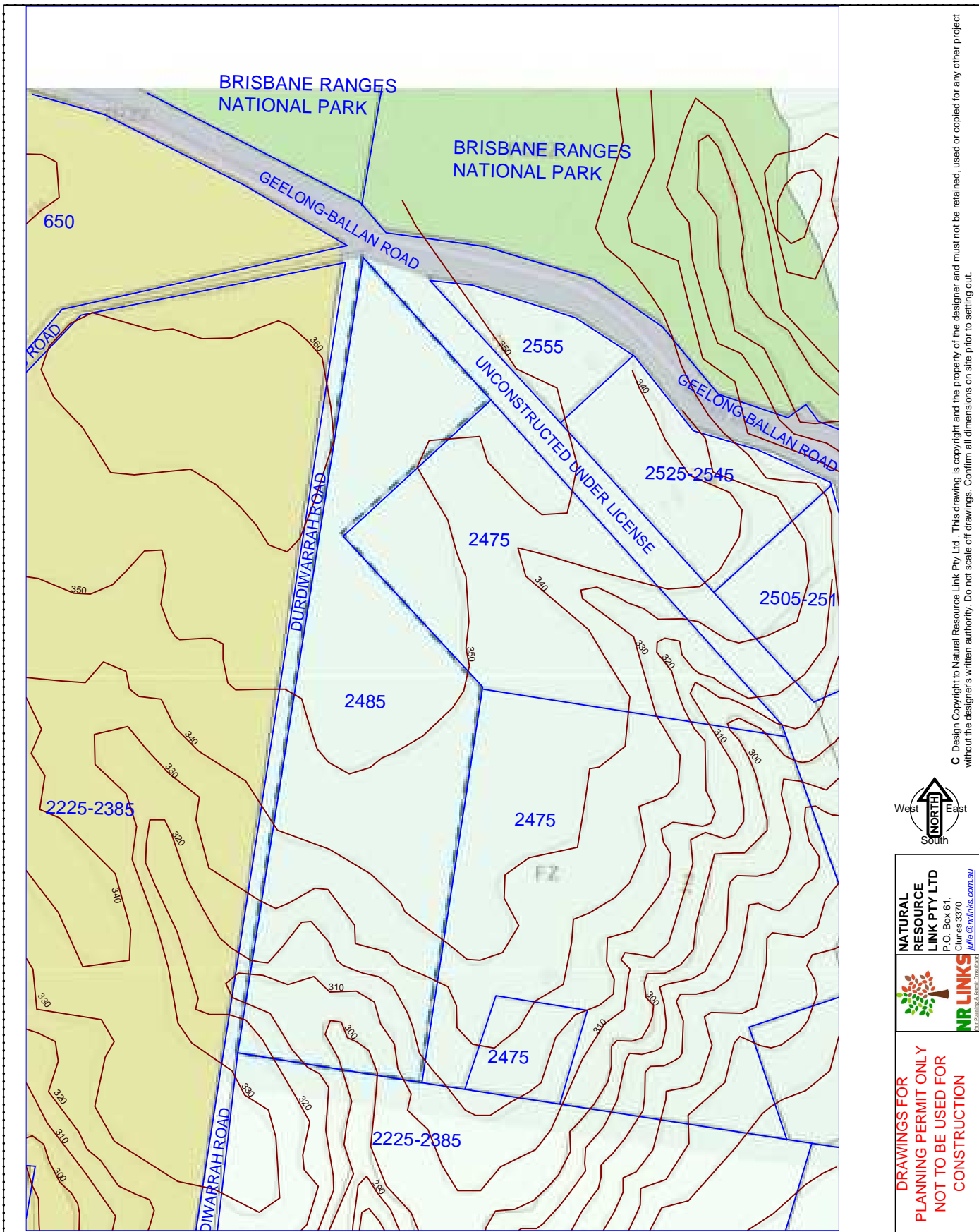
PROVIDED ALWAYS that the said land is and shall be subject to be resumed for mining purposes under Section 168 of the *Land Act 1928*.

AND PROVIDED also that the said land is and shall be subject to the right of any person being the holder of a miner's right or of a mining lease or mineral lease under the *Mines Act 1928* or any corresponding previous enactment to enter therein and to mine for gold silver or minerals within the meaning of the said Act and to erect and occupy mining plant or machinery thereon in the same manner and under the same conditions and provisions as those to which such person would for the time being be entitled to mine for gold and silver in and upon Crown lands PROVIDED that compensation shall be paid to the said

GRANTEE

her executors administrators assigns or transferees by such person for surface damages to be done to such land by reason of mining thereon such compensation to be determined as provided for the time being by law and the payment thereof to be a condition precedent to such right of entry.

Appendix.2 Plan of Existing Conditions / Site Plan



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NATURAL RESOURCE LINK PTY LTD
 P.O. Box 61,
 Clunes 3370
info@nrlinks.com.au

**DRAWINGS FOR
 PLANNING PERMIT ONLY
 NOT TO BE USED FOR
 CONSTRUCTION**

Note:
 The contractor shall verify all dimensions and all underground services at the site before commencing work. The contractor shall verify all levels from the consulting engineer prior to construction.

**DO NOT SCALE
 FROM DRAWINGS**

PROJECT:
 2485 Ballan Road,
 Anakie

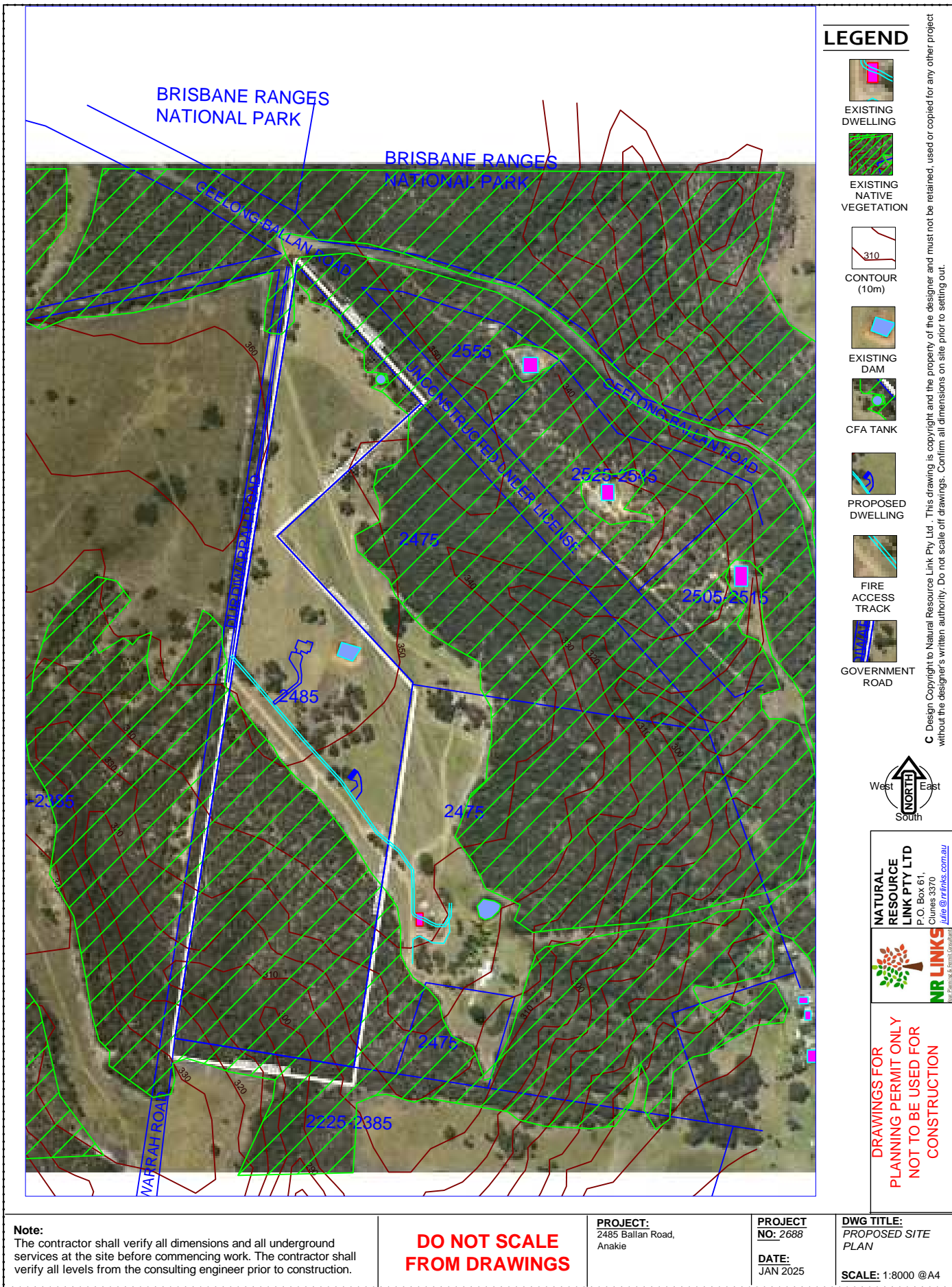
PROJECT NO: 2688

DATE:
 JAN 2025

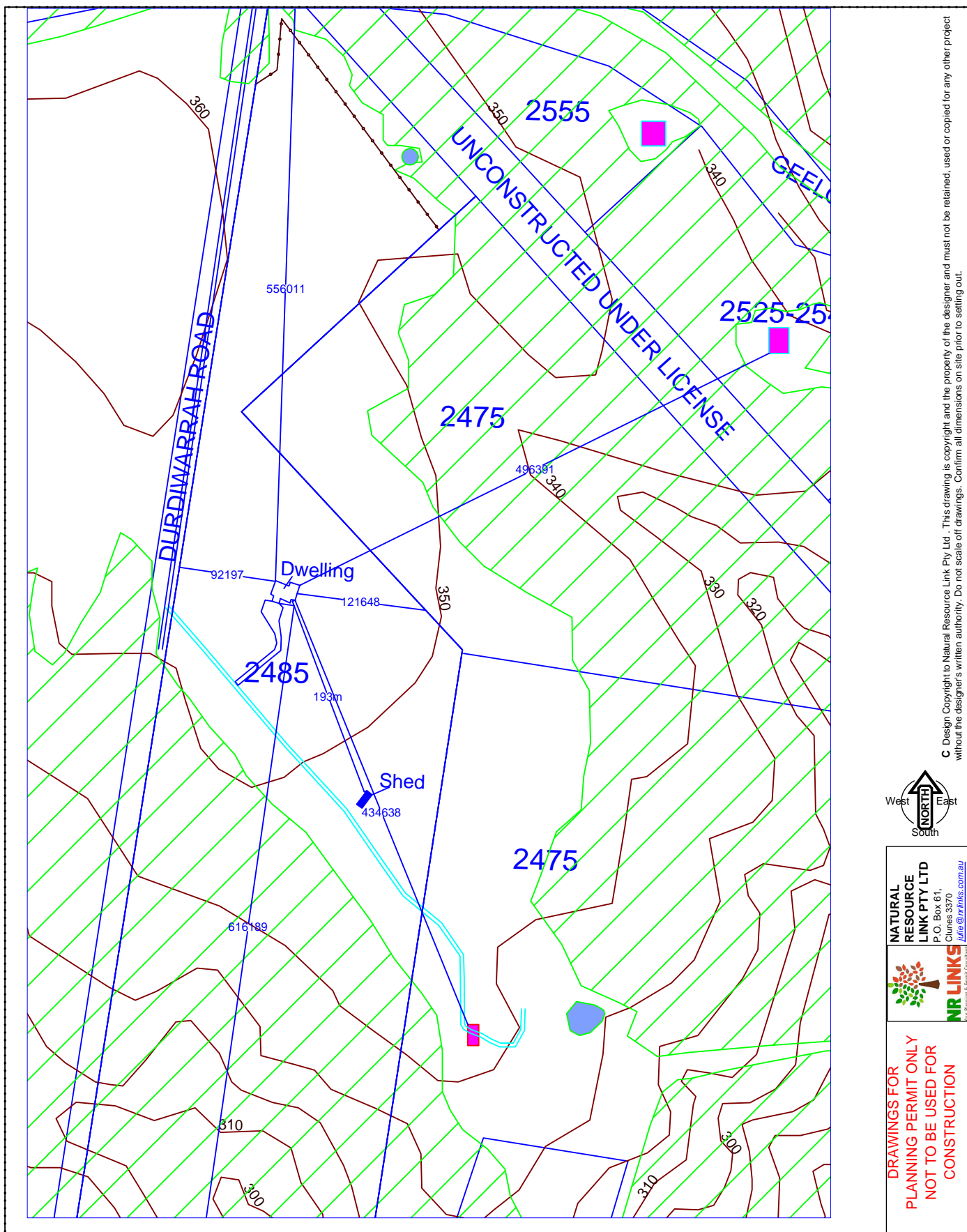
DWG TITLE:
 EXISTING SITE PLAN

SCALE: 1:8000 @A4

Appendix.3 Proposed Plan



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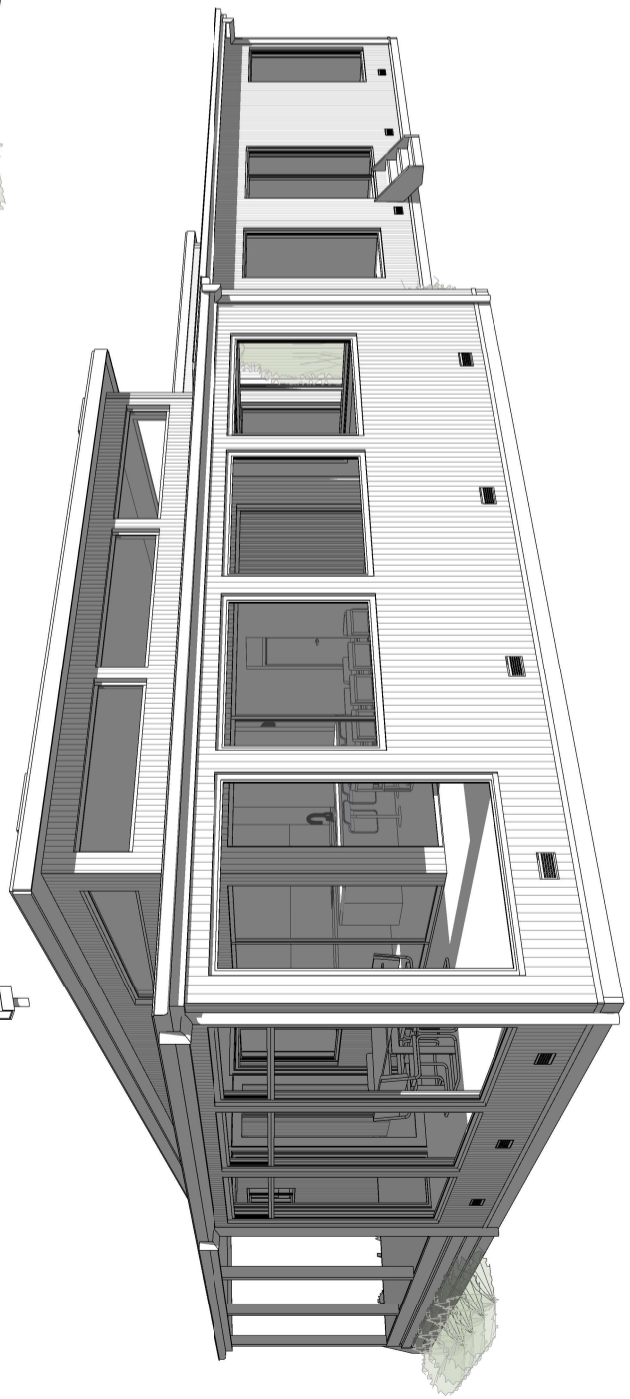
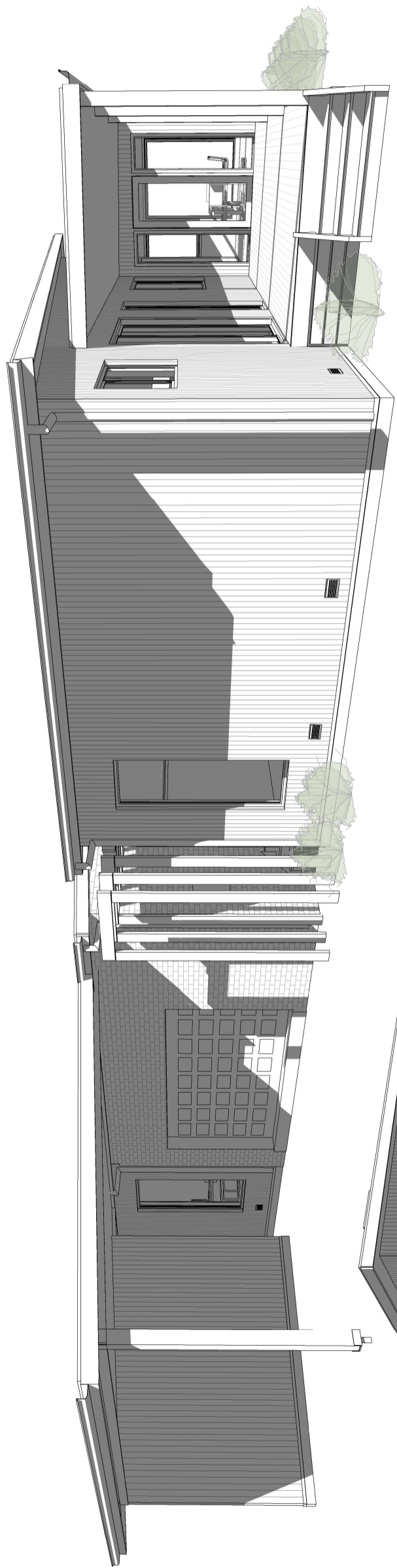
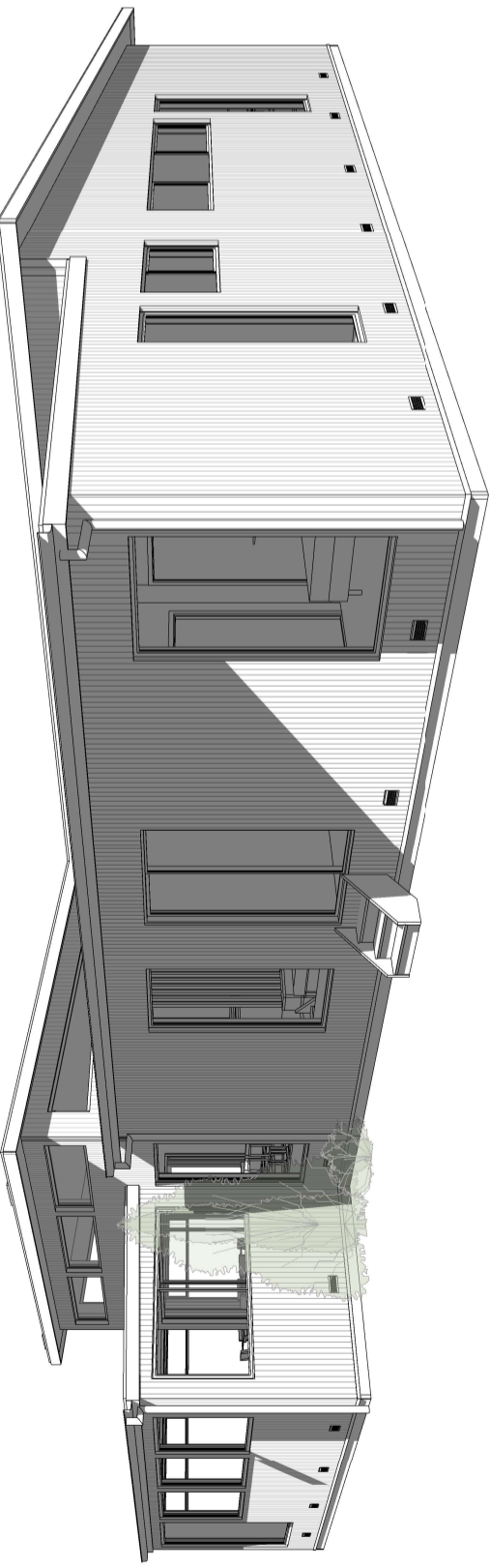
Note:
 The contractor shall verify all dimensions and all underground services at the site before commencing work. The contractor shall verify all levels from the consulting engineer prior to construction.

**DO NOT SCALE
 FROM DRAWINGS**

PROJECT:
 2485 Ballan Road,
 Anakie

PROJECT NO: 2688
DATE:
 JAN 2025

DWG TITLE:
 PROPOSED
 DEVELOPMENT
 DIMENSION PLAN
SCALE: 1:5000 @A4



SHEET SCHEDULE	
SK01	Cover Sheet
SK02	Proposed Locality Plan
SK03	Preliminary Site Plan
SK04	Preliminary Ground Floor Plan
SK05	Elevations
SK06	Elevations

NOTE: ALL 3D VIEWS ARE FOR ILLUSTRATIVE PURPOSES ONLY.

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THIS IS SHEET No. SK01 OF 6 REFERRED TO IN THE CONTRACT

OWNER

OWNER

DATE



BUILDER: Harper Homes Building Services Pty Ltd.
 ABN: 60 609 000 000
 PH / FAX: Ph: 5255 3556
 REG: DBU 170866 CDB-JJ 50474
 OFFICE: Unit 2/6-8 Simlair St. OCEAN GROVE, VIC. 3226

TOWNPLANNING

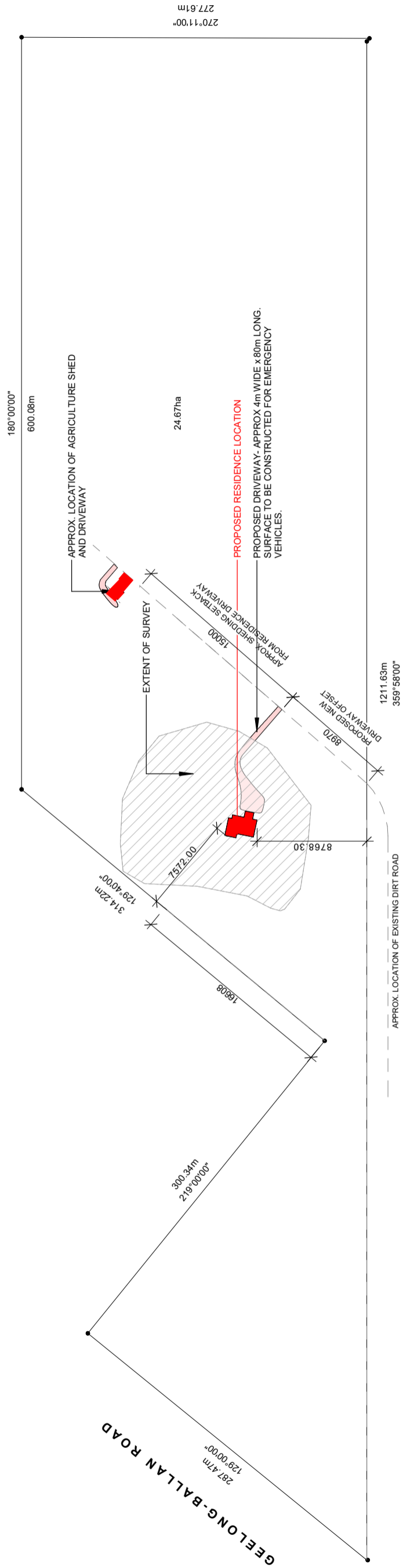
CLIENT NAME:	James, M
PROJECT ADDRESS:	Proposed New Residence Lot 88E, No. 2485 Ballan Road Anakie, Vic, 3213
DESIGN:	CUSTOM
VERSION:	v1.3
ISSUE DATE	29/08/2025
DRAWN BY:	rs
SCALE:	

PROPOSED NEW SINGLE STOREY RESIDENCE

Lot 88E, No. 2485 Ballan Road, Anakie, Vic, 3213

James, M

A- SK01



GRAVEL DRIVEWAY

PROPOSED LOCALITY PLAN

1 : 350

GENERAL NOTES

- ALL WORK TO CONFORM WITH THE REQUIREMENTS OF THE BCA'S AND ALL RELEVANT AUSTRALIAN STANDARD CODES AND LOCAL AUTHORITIES.
- DRAWINGS TO BE READ IN CONJUNCTION WITH OTHER RELATED DRAWINGS AND DIMENSIONS TO BE SITE VERIFIED PRIOR TO THE COMMENCEMENT OF ANY WORKS.
- FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALE DIMENSIONS SHOWN ARE IN MILLIMETRES UNLESS INDICATED OTHERWISE.
- ALL GLAZING TO BE IN ACCORDANCE WITH CURRENT AUSTRALIAN STANDARDS AS-1288 2006.
- EXCAVATIONS FOR FOOTINGS, SEWERAGE AND DRAINAGE ETC TO BE LAID IN ACCORDANCE WITH CONTROLLING AUTHORITIES REQUIREMENTS.
- STRUCTURAL TIMBER FRAMING TO COMPLY WITH TIMBER FRAMING SPECIFICATIONS AS-1684 AND COMPLY TO ENGINEERING SPECIFICATIONS AND COMPUTATIONS.
- ALL LIFELINES AND OPENING STUDS TO COMPLY WITH AS-1684 SPECIFICATIONS AND COMPUTATIONS.
- DISCHARGE STORMWATER TO APPROVED LEGAL POINT OF DISCHARGE (POD).
- IF APPLICABLE - POSITION OF GAS METER TO BE DETERMINED BY GAS AUTHORITY.
- FINAL POSITION OF SKYLIGHTS, EVAPORATIVE COOLING UNITS AND SOLAR PANELS TO BE DETERMINED ON SITE SUBJECT TO TRUSS FRAMING LAYOUT. POSITION CAN ONLY BE DETERMINED ONCE TRUSSES ERECTED ON SITE.
- FINAL POSITION OF CONDENSERS TO BE DETERMINED BY INSTALLER ON SITE.

STORMWATER DRAINAGE NOTES:

- PROVIDE 100mm DIA PVC STORMWATER PIPE WITH MAX FALL OF 1:100.
- STORMWATER DRAIN LAYOUT IS INDICATIVE ONLY AND WILL BE LAID AT THE DRAINER'S DISCRETION.
- PROVIDE SELECTED DOWNPIPES AT 12.0m MAXIMUM CENTRES AS PER NCC REQUIREMENTS.
- INDICATIVE ONLY. FINAL POSITIONS TO BE DETERMINED ON SITE BY ROOF PLUMBER.
- GES TO BE 100mm MINIMUM OFFSET FROM BUILDING.
- GE RISER TO BE LOCATED NEXT TO HOT WATER TANK & CONDENSOR UNITS FOR OVERFLOW & UNDER ALL EXTERNAL GARDEN TAPS ATTACHED TO WALLS

LEGEND:

- DP
- DPS
- RWH
- 100mm Ø STORMWATER PIPE
- - - APPROX. GAS LINE LOCATION. TBC ON SITE
- DENOTES DOWNPIPE
- DENOTES DOWNPIPE WITH SPREADER
- DENOTES RAINWATER HEAD WITH DP
- DENOTES DOWNPIPE WITH METER BOX
- DENOTES 100mm Ø GRATED ENTRY POINT. POSITION AND QUANTITY OF GE'S MAY VARY ON SITE.
- PROPOSED SITE BIN & TOILET LOCATION
- PROPOSED RETAINING WALL LOCATION AS PER ENGINEER'S DESIGN & SPECIFICATION.

STARTING POINT FOR ALL ON SITE MEASUREMENTS

METER BOX

DENOTES 100mm Ø GRATED ENTRY POINT. POSITION AND QUANTITY OF GE'S MAY VARY ON SITE.

PROPOSED SITE BIN & TOILET LOCATION

PROPOSED RETAINING WALL LOCATION AS PER ENGINEER'S DESIGN & SPECIFICATION.

SOIL CLASSIFICATION TO AS2270 - 2011
CLASS H1
REFER TO SOIL REPORT PREPARED BY: SIRHAN ANDERSON CONSULTANTS
REPORT NO. 246350 DATED: 3.02.25

BUSHFIRE ATTACK LEVEL (BAL)
BAL - 29
REFER TO BMD REPORT BY NRI LINKS PTY LTD
REPORT NO.000000 DATED:05.05.00



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BUILDER: Hopper Homes Building Services Pty Ltd.
ABN: 41 0246975831
PH / FAX: 03 5247 6656
REG: DBU 1778656 CDB-UJ50474
OFFICE: Unit 2/6-8 Sinclair St OCEAN GROVE, VIC. 3226

TOWNPLANNING

CLIENT NAME: James, M

PROJECT ADDRESS:
Proposed New Residence
Lot 88E, No. 2485 Ballan Road
Anakie, Vic, 3213

DESIGN: CUSTOM

VERSION: V1.3

ISSUE DATE: 29/08/2025

DRAWN BY: fs

SCALE: As indicated

THIS IS SHEET No. SK02 OF 6 REFERRED TO IN THE CONTRACT

OWNER

OWNER

DATE

A-

SK02

FLOOR AREAS:

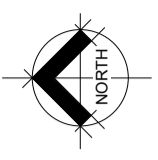
GROUND FLOOR:	221.88m ²
GARAGE:	51.46m ²
PORCH:	2.87m ²
TOTAL:	276.21m ²

ALFRESCO:

DECKING:	37.92m ²
TOTAL:	20.80m ²

SITE AREAS:

SITE AREA:	246424.4m ²
BUILDING FOOTPRINT AREA:	314.13m ²
BUILDING SITE COVERAGE (%):	00.13%
PRIVATE OPEN SPACE:	246110.27m ²
PERMEABLE SURFACE AREA:	246110.27m ²



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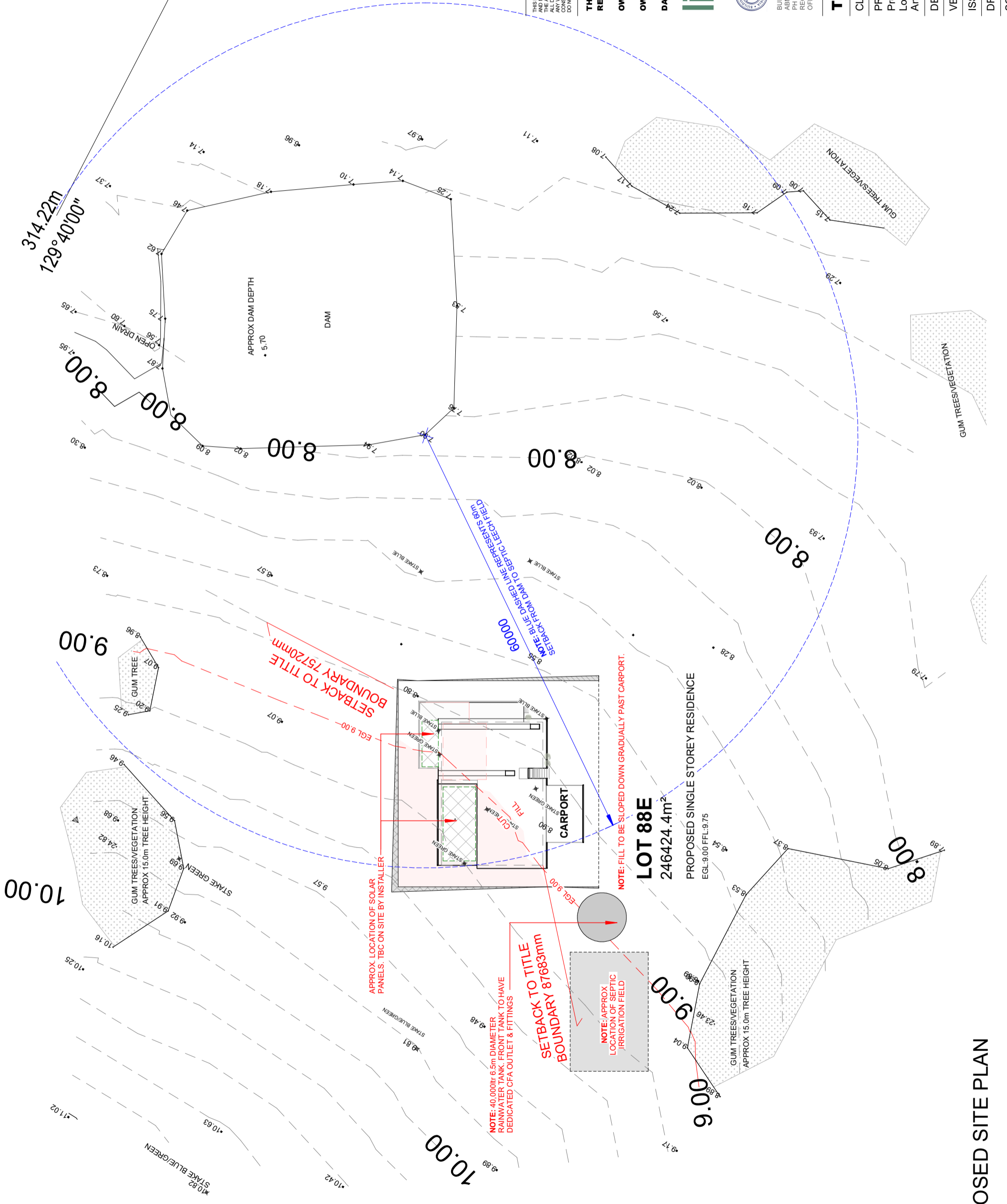
OWNER _____
OWNER _____
DATE _____



BUILDER: Hopper Homes Building Services Pty Ltd.
 ABN: 62 600 000 000
 PH / FAX: PH: 5255 3556
 REG.: DBU 179866 CDB-U 50474
 OFFICE: Unit 2/6-8 Simlair St. OCEAN GROVE, VIC. 3226

TOWNPLANNING

CLIENT NAME:	James, M
PROJECT ADDRESS:	Proposed New Residence Lot 88E, No. 2485 Ballan Road Anakie, Vic, 3213
DESIGN:	CUSTOM
VERSION:	v1.3
ISSUE DATE:	29/08/2025
DRAWN BY:	rs
SCALE:	As indicated



PROPOSED SITE PLAN
1 : 500

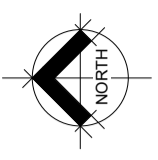
ALL FIXTURES AND FITTINGS USED THROUGHOUT THIS SET OF DRAWINGS ARE FOR ILLUSTRATIVE PURPOSES ONLY. REFER TO RELEVANT CURRENT SPECIFICATION DOCUMENT FOR ALL STANDARD INCLUSIONS.

ALL INTERNAL DOORS TO HAVE A NOMINAL HEAD HEIGHT OF 2040mm FROM FINISHED FLOOR LEVEL UNLESS NOTED OTHERWISE.

FLOOR AREAS:
 GROUND FLOOR: 221.88m²
 GARAGE: 51.46m²
 PORCH: 2.87m²
TOTAL: 276.21m²
 29.73sq

ALFRESCO: 37.92m²
 20.80m²

SITE AREAS:
 SITE AREA: 2464.24 4m²
 BUILDING FOOTPRINT AREA: 314.13m²
 BUILDING SITE COVERAGE (%): 12.75%
 PRIVATE OPEN SPACE: 2461.10 27m²
 PERMEABLE SURFACE AREA: 2461.10 27m²



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THIS IS SHEET No. SK04 OF 6 REFERRED TO IN THE CONTRACT

OWNER
OWNER
DATE

livegreen HOMES



BUILDER: Hopper Homes Building Services Pty Ltd.
 ABN: 62 600 000 000
 PH / FAX: Ph: 5255 3556
 REG.: DBU 170866 CDB-U 510474
 OFFICE: Unit 2/6-8 Simlair St. OCEAN GROVE, VIC. 3226

TOWNPLANNING

CLIENT NAME: James, M

PROJECT ADDRESS:
 Proposed New Residence
 Lot 88E, No. 2485 Ballan Road
 Anakie, Vic, 3213

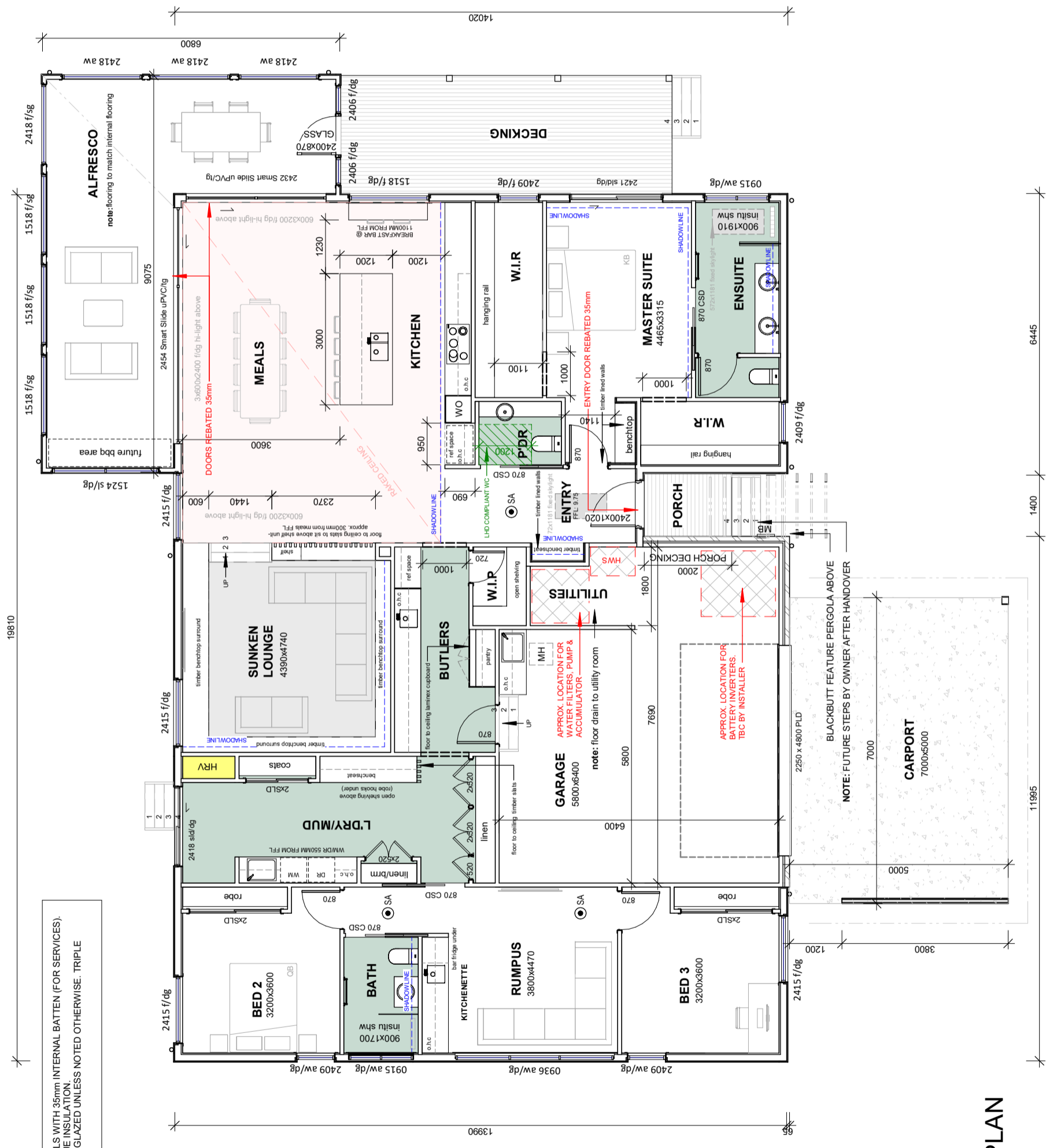
DESIGN: CUSTOM

VERSION: v1.3

ISSUE DATE: 29/08/2025

DRAWN BY: RS

SCALE: 1 : 100



NOTE: 140mm THK EXTERNAL STUD WALLS WITH 35mm INTERNAL BATTEN (FOR SERVICES). STUD SIZE ALLOWS FOR HIGHER R VALUE INSULATION. ALL WINDOWS & DOORS TO BE DOUBLE GLAZED UNLESS NOTED OTHERWISE. TRIPLE GLAZING TO ALFRESCO DOORS

EXTENT OF RAKED CEILING

PROPOSED GF PLAN
 1 : 100

GENERAL NOTES

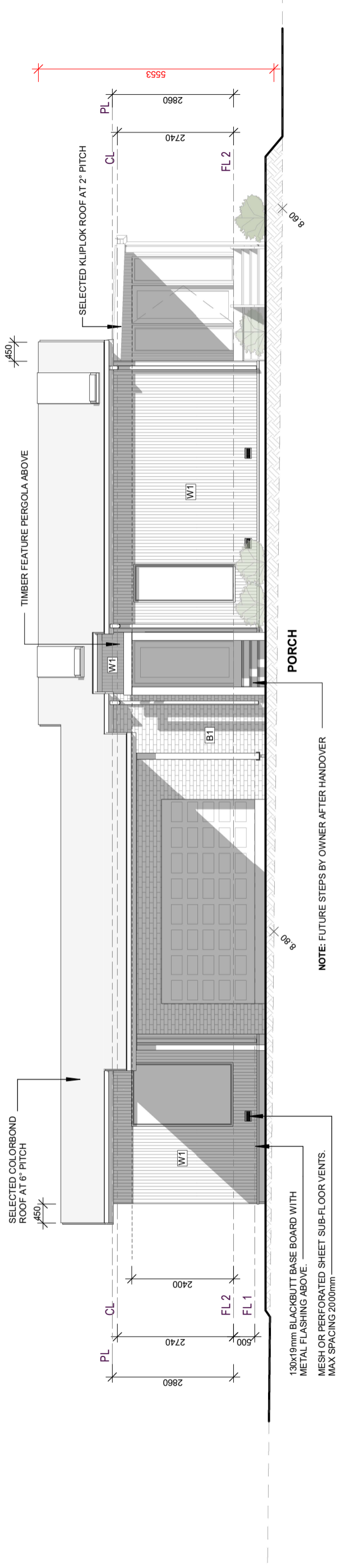
- NOTES:** IF APPLICABLE, POSITIONS OF GAS METER TO BE DETERMINED BY GAS AUTHORITY
- DIMENSION NOTES:** ALL DIMENSIONS ARE TO STUD WALL ONLY. ALLOW 75mm NOM. FOR FOAM BOARD THICKNESS AND 20mm FOR BATTEN PRIOR TO CONSTRUCTION. ALL DIMENSIONS TO BE CHECKED ON SITE
- FLOOR PLAN NOTES:** LEVELS INDICATED ON PLAN AND ELEVATIONS ARE FINISHED LEVELS RELATIVE TO THE LEVELS INDICATED ON THE SITE. REFER ENGINEERING DOCUMENTATION FOR CUT LEVELS DEPENDANT ON FLOOR STRUCTURE.

- RANGEHOOD VENTILATION NOTE:** NON RECIRCULATING RANGEHOODS TO BE DUCTED TO THE ATMOSPHERE VIA AN EXTERNAL FLUE UNLESS NOTED OTHERWISE ON PLANS.
- DISCHARGE OF EXHAUST FANS:** EXHAUST FANS TO BE DISCHARGED TO THE ATMOSPHERE VIA DUCTS TO THE OUTDOOR AIR OR ROOF SPACE WITH EVENLY DISTRIBUTED VENTILATION OPENINGS TO THE OUTDOOR AIR AS PER NCC2019 3.8.7.3. MINIMUM FLOW RATES OF EXHAUST SYSTEMS - 25 US BATHROOM & W.C.S., 40 US KITCHEN & LAUNDRIES.
- STAIR CONSTRUCTION AS BCA 3.9.1.1:** TREADS MUST HAVE A SURFACE WITH A SLIP RESISTANCE CLASSIFICATION AS BCA 2015 TABLE 3.9.1.1

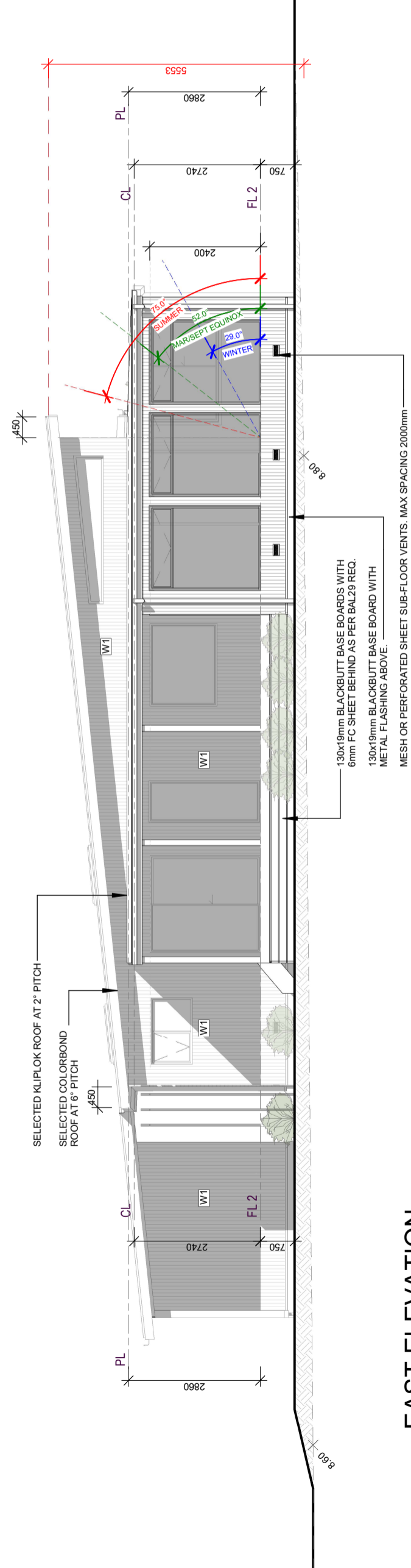
- ENERGY RATING NOTES:**
 - MINIMUM R6.0 INSULATION BATTIS TO CEILING SPACE & ANTI CON 60 TO ROOF SPACE. EXTERNAL WALL INSULATION TO BE A MINIMUM OF R2.5 INSULATION BATTIS & WALLS WRAPPED WITH VAPOUR PERMEABLE WALL WRAPPING
 - R2.5 INSULATION BATTIS TO INTERNAL WALLS OF GARAGE
 - R2.5 SOUND SCREEN INSULATION BATTIS TO SUB FLOOR SPACE. (WHERE APPLICABLE)
 - ALL WINDOW FRAMES SHALL BE ALUMINIUM IMPROVED DOUBLE GLAZED TO SANITARY FLUSH SYSTEM
 - WEATHER SEAL ALL EXTERNAL DOORS
 - ALL CEILING MOUNTED EXHAUST FANS TO BE SEALED.
 - DRAFT SEAL ALL BUILDING GAPS AND CRACKS
 - SEE MATTERS COMPLIANCE THERMAL PERFORMANCE CERTIFICATE FOR RATING DETAILS

SOIL CLASSIFICATION TO AS2870 - 2011
CLASS H1
 REFER TO SOIL REPORT PREPARED BY:
 SIMON ANDERSON CONSULTANTS
 REPORT NO. 256950 DATED: 3.02.25

BUSHFIRE ATTACK LEVEL (BAL)
BAL - 29
 REFER TO BMD REPORT BY NBLINKS
 PTY LTD
 REPORT NO. 000000 DATED 00.00.00



SOUTH ELEVATION
1 : 100



EAST ELEVATION
1 : 100

NOTE: EXHAUST FANS AND RANGEHOODS TO BE DISCHARGED EXTERNALLY
ALL WINDOWS WITHIN A LINE AND PRIME LINE CLAD WALL TO HAVE A PICTURE FRAMING TO WINDOW SURROUNDS
FINISHED CEILING LEVELS
CEILING HEIGHT 2400MM = 2440MM PITCHING HEIGHT
CEILING HEIGHT 2500MM = 2590MM PITCHING HEIGHT
CEILING HEIGHT 2700MM = 2740MM PITCHING HEIGHT
MEASUREMENTS ALLOW FOR CEILING BATTENS AND PLASTERBOARD.
SOLAR HWS PANELS. LOCATION TBC BY INSTALLER ON SITE TO ENSURE MAXIMUM SOLAR EXPOSURE

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THIS IS SHEET No. SK05 OF 6 REFERRED TO IN THE CONTRACT

OWNER
OWNER
DATE



BUILDER: Hopper Homes Building Services Pty Ltd.
ABN: 16 111 900 165
PHY / FAX: Ph: 5255 3556
REG.: DBU 170866 CDB-JJ 50474
OFFICE: Unit 2/6-8 Simlair St. OCEAN GROVE, VIC. 3226

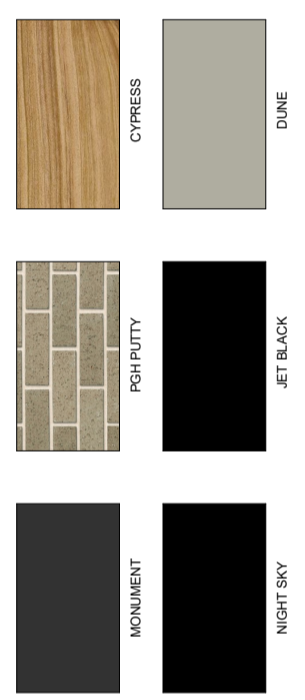
TOWNPLANNING

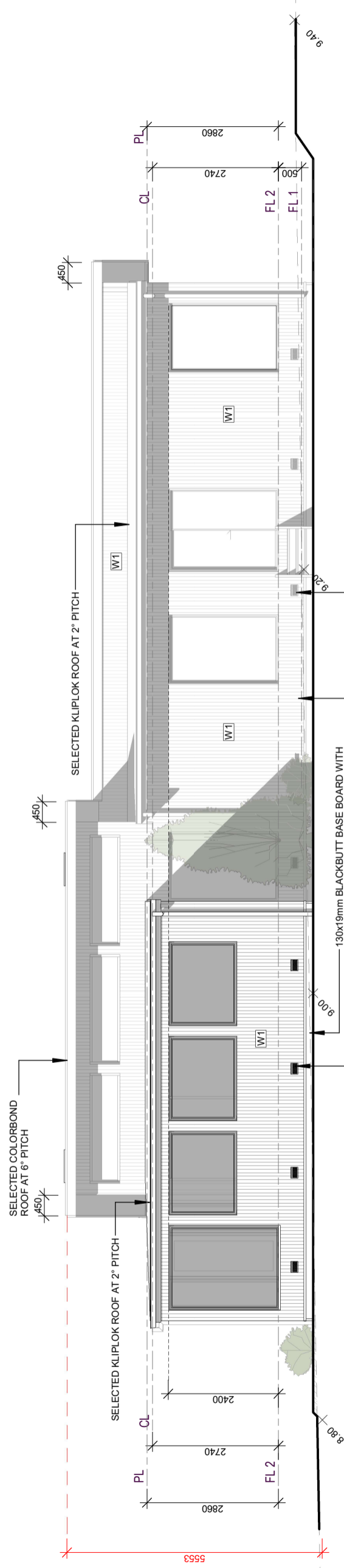
CLIENT NAME: James, M
PROJECT ADDRESS: Proposed New Residence Lot 88E, No. 2485 Ballan Road Anakie, Vic, 3213
DESIGN: CUSTOM
VERSION: V1.3
ISSUE DATE: 29/08/2025
DRAWN BY: RS
SCALE: 1 : 100

FINISHES SCHEDULE

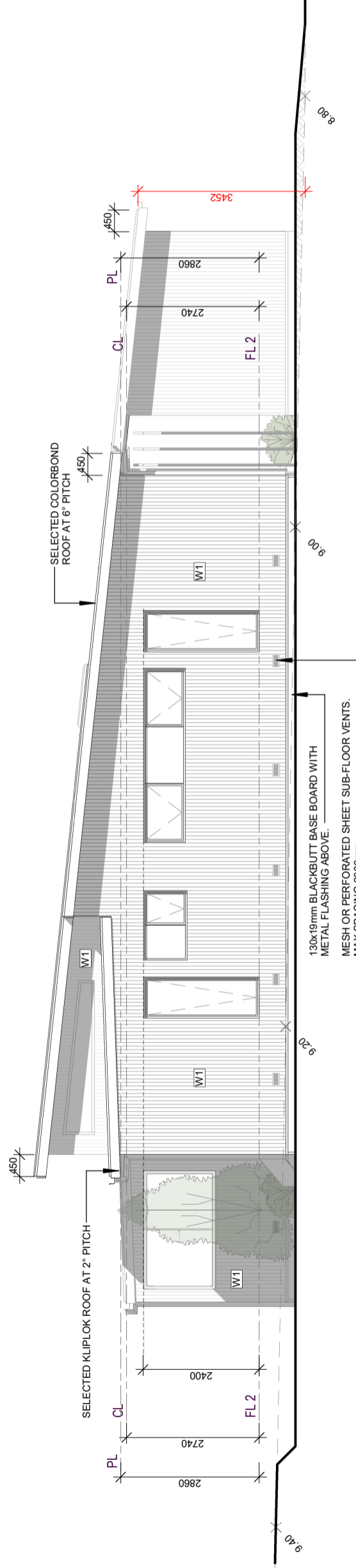
	FACE BRICKWORK: PUTTY (PGH CHARACTER)	ROOFING: COLORBOND CLASSIC 'NIGHT SKY'	FRONT VEHICLE GARAGE DOOR: STEEL-LINE PANELIFT HERITAGE PROFILE 2250 X 4800mm - DUNE
	WEATHERTEX - WEATHERTEX WEATHERGROOVE WOODSMAN 75MM COLORBOND 'MONUMENT' FSA FIRECOAT EXTERIOR (PRE COAT)	FASCIA: COLORBOND CONTEMPORARY 'MONUMENT'	LAUNDRY & SIDE DOOR: UPVC FRAMED, GLASS SLIDING DOOR UPVC JET BLACK
		GUTTERS: COLORBOND CLASSIC 'NIGHT SKY'	TIMBER POSTS: CYPRESS POST DAR 140X140MM ALFRESCO POSTS. CYPRESS 190X42 DAR OPEN PERGOLA (INCLUDING POSTS) TO FRONT PORCH
		DOWNPIPES: 90mm Ø PVC - COLORBOND CONTEMPORARY 'MONUMENT'	METER BOX: MONUMENT
		WINDOW FRAMES: UPVC - JET BLACK. DOUBLE GLAZED. TRIPLE GLAZED TO ALFRESCO	RAINWATER TANK: N/A
		ENTRY DOOR: UPVC FULL GLASS HINGED DOOR 2340 X 1020 UPVC JET BLACK	

DIMENSION NOTES:
ALL DIMENSIONS ARE TO STUD WALL ONLY. ALLOW 75mm NOM. FOR FOAM BOARD THICKNESS WHERE REQUIRED. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO CONSTRUCTION.
FLOOR PLAN NOTES:
LEVELS INDICATED ON PLAN AND ELEVATIONS ARE FINISHED LEVELS RELATIVE TO THE LEVELS INDICATED ON THE SITE PLAN. REFER ENGINEERS DOCUMENTATION FOR CUT LEVELS DEPENDANT ON FLOOR STRUCTURE.
WINDOWS & DOORS NOTE:
ALL EXTERNAL WINDOWS AND DOORS TO HAVE A NOMINAL HEAD HEIGHT OF 2145mm FROM FFL UNLESS NOTED OTHERWISE.





NORTH ELEVATION
1 : 100



WEST ELEVATION
1 : 100

NOTE: EXHAUST FANS AND RANGEHOODS TO BE DISCHARGED EXTERNALLY
ALL WINDOWS WITHIN A LINE AND PRIMELINE CLAD WALL TO HAVE A PICTURE FRAMING TO WINDOW SURROUNDS
FINISHED CEILING LEVELS
CEILING HEIGHT 2400MM = 2440MM PITCHING HEIGHT
CEILING HEIGHT 2550MM = 2590MM PITCHING HEIGHT
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MEASUREMENTS ALLOW FOR CEILING BATTENS AND PLASTERBOARD.
SOLAR HWS PANELS. LOCATION TBC BY INSTALLER ON SITE TO ENSURE MAXIMUM SOLAR EXPOSURE

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THIS IS SHEET No. SK006 OF 6 REFERRED TO IN THE CONTRACT

OWNER
OWNER
DATE



BUILDER: Harper Homes Building Services Pty Ltd.
ABN: 16 629 000 000
PH / FAX: Ph: 5255 3556
REG.: DBU 170866 CDB-JJ 50474
OFFICE: Unit 2/6-8 Simlair St. OCEAN GROVE, VIC. 3226

TOWNPLANNING

CLIENT NAME: James, M

PROJECT ADDRESS:

Proposed New Residence
Lot 88E, No. 2485 Ballan Road
Anakie, Vic, 3213

DESIGN: CUSTOM

VERSION: V1.3

ISSUE DATE: 29/08/2025

DRAWN BY: RS

SCALE: 1 : 100

DIMENSION NOTES:

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FLOOR PLAN NOTES:

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WINDOWS & DOORS NOTE:

ALL EXTERNAL WINDOWS AND DOORS TO HAVE A NOMINAL HEAD HEIGHT OF 2145mm FROM FFL UNLESS NOTED OTHERWISE.



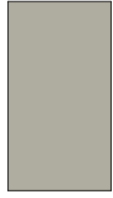
CYPRESS



PGH PUTTY



MONUMENT



DUNE



JET BLACK



NIGHT SKY

FINISHES SCHEDULE

	FACE BRICKWORK: PUTTY (PGH CHARACTER)	ROOFING: COLORBOND CLASSIC 'NIGHT SKY'	COLORBOND CLASSIC 'NIGHT SKY'	FRONT VEHICLE GARAGE DOOR: STEEL-LINE PANELIFT HERITAGE PROFILE	2250 x 4800mm - DUNE
	WEATHEREX - WEATHEREX WEATHERGROOVE WOODSMAN 75MM COLORBOND 'MONUMENT' FSA FIRECOAT EXTERIOR (PRE COAT)	FASCIA: COLORBOND CONTEMPORARY 'MONUMENT'	COLORBOND CONTEMPORARY 'MONUMENT'	LAUNDRY & SIDE DOOR: UPVC FRAMED, GLASS SLIDING DOOR UPVC JET BLACK	
		GUTTERS: COLORBOND CLASSIC 'NIGHT SKY'	COLORBOND CLASSIC 'NIGHT SKY'	TIMBER POSTS: CYPRESS POST DAR 140X140MM ALFRESCO POSTS.	
		DOWNPIPES: 90mm Ø PVC - COLORBOND CONTEMPORARY 'MONUMENT'	90mm Ø PVC - COLORBOND CONTEMPORARY 'MONUMENT'	CYPRESS 180X42 DAR OPEN PERGOLA (INCLUDING POSTS) TO FRONT PORCH	
		WINDOW FRAMES: UPVC - JET BLACK, DOUBLE GLAZED, TRIPLE GLAZED TO ALFRESCO	UPVC - JET BLACK, DOUBLE GLAZED, TRIPLE GLAZED TO ALFRESCO	METER BOX: MONUMENT	
		ENTRY DOOR: UPVC FULL GLASS HINGED DOOR 2340 X 1020 UPVC JET BLACK	UPVC FULL GLASS HINGED DOOR 2340 X 1020 UPVC JET BLACK	RAINWATER TANK: N/A	

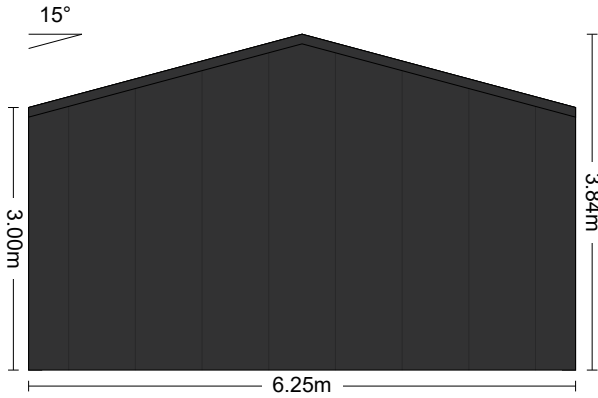


ShedBoss Ballarat

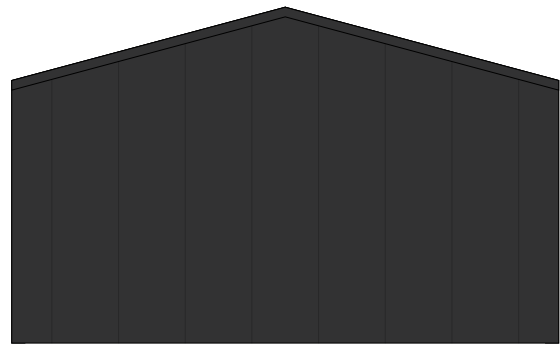
ABN: 55 638 984 713 Phone: 0438 360 409
Address: 21 Albert Street Fax: 03 53 364 700
Sebastopol VIC 3356 Lic No: CDBL-54479
Email: sales@shedbossballarat.com.au
Web: shedboss.com.au/ballarat/

Quotation

No: **433389**
Date: 24/07/2025
Valid: 7 Days

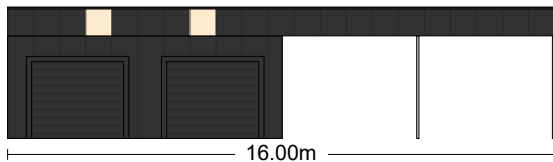


NORTH ELEVATION



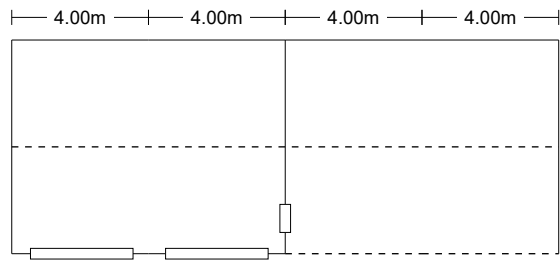
REAR VIEW

SOUTH ELEVATION

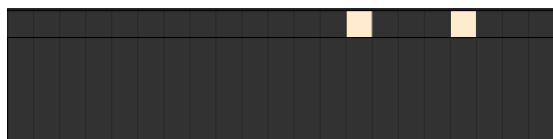


FRONT ELEVATION

EAST ELEVATION



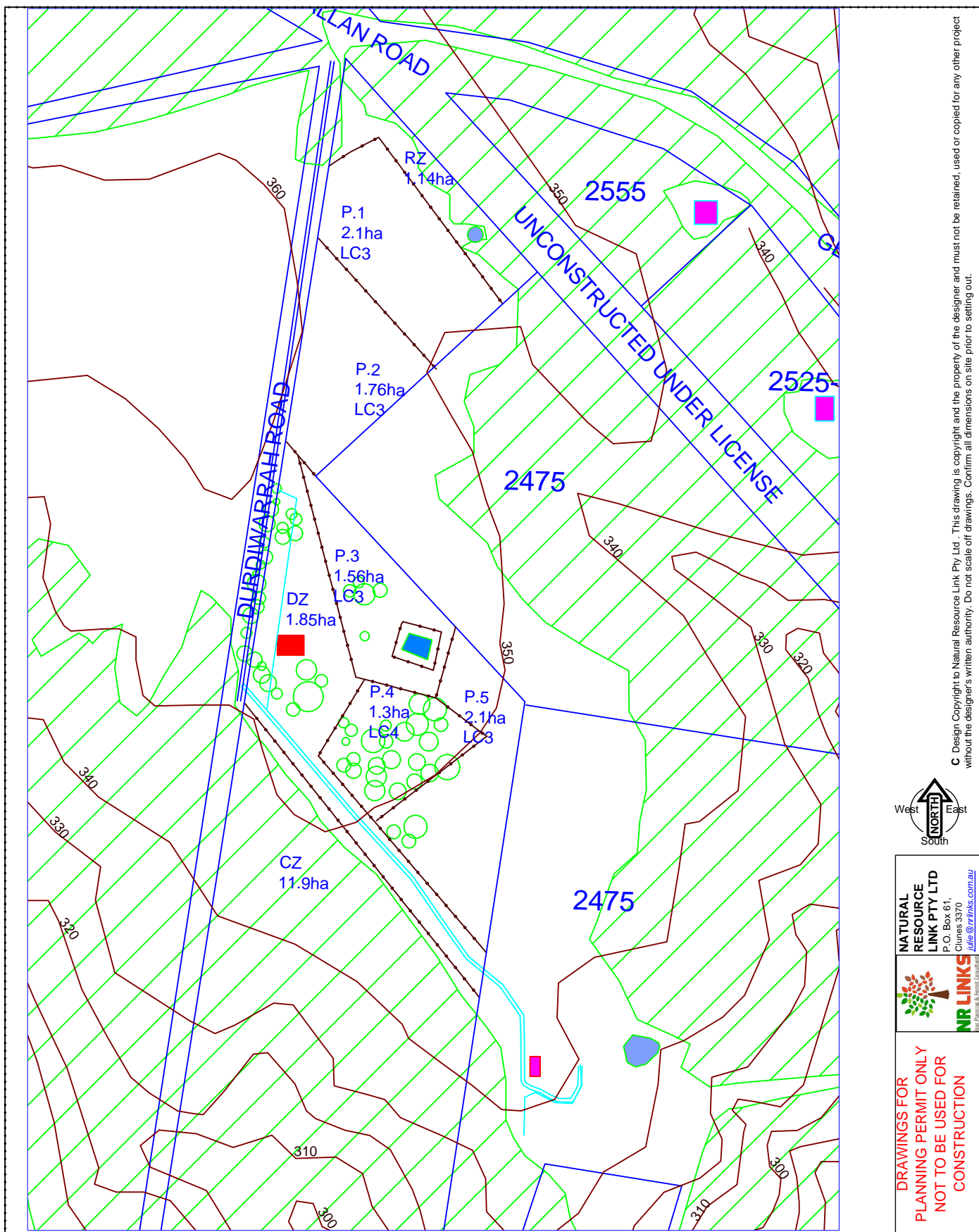
PLAN VIEW



REAR ELEVATION

WEST ELEVATION

Appendix.4 Proposed Farm Management Plans



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Note:
 The contractor shall verify all dimensions and all underground services at the site before commencing work. The contractor shall verify all levels from the consulting engineer prior to construction.

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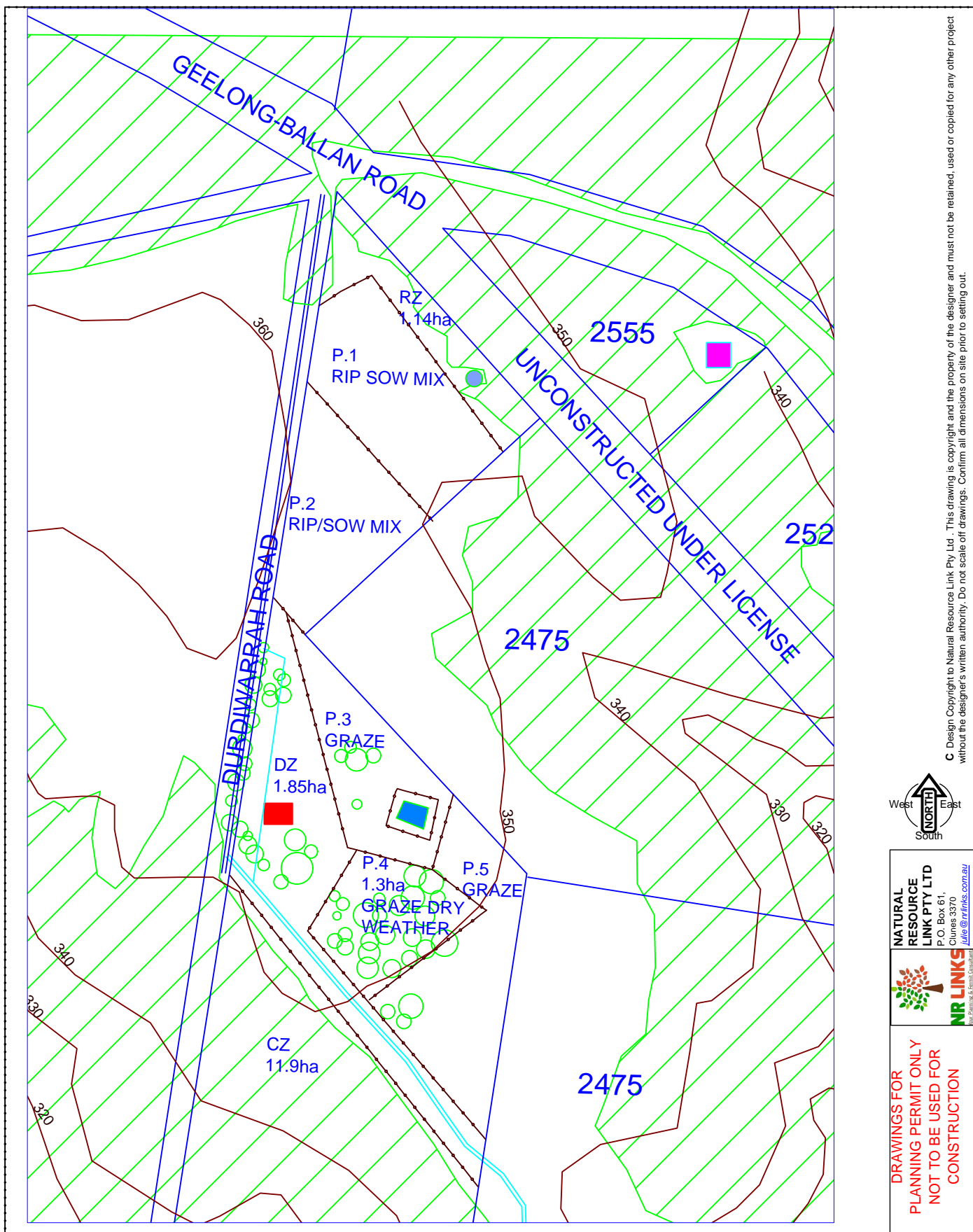
PROJECT:
 2485 Ballan Road,
 Anakie

PROJECT NO: 2688

DATE:
 JAN 2025

DWG TITLE:
 PROPOSED FARM
 MANAGEMENT
 PLAN

SCALE: 1:8000 @A4



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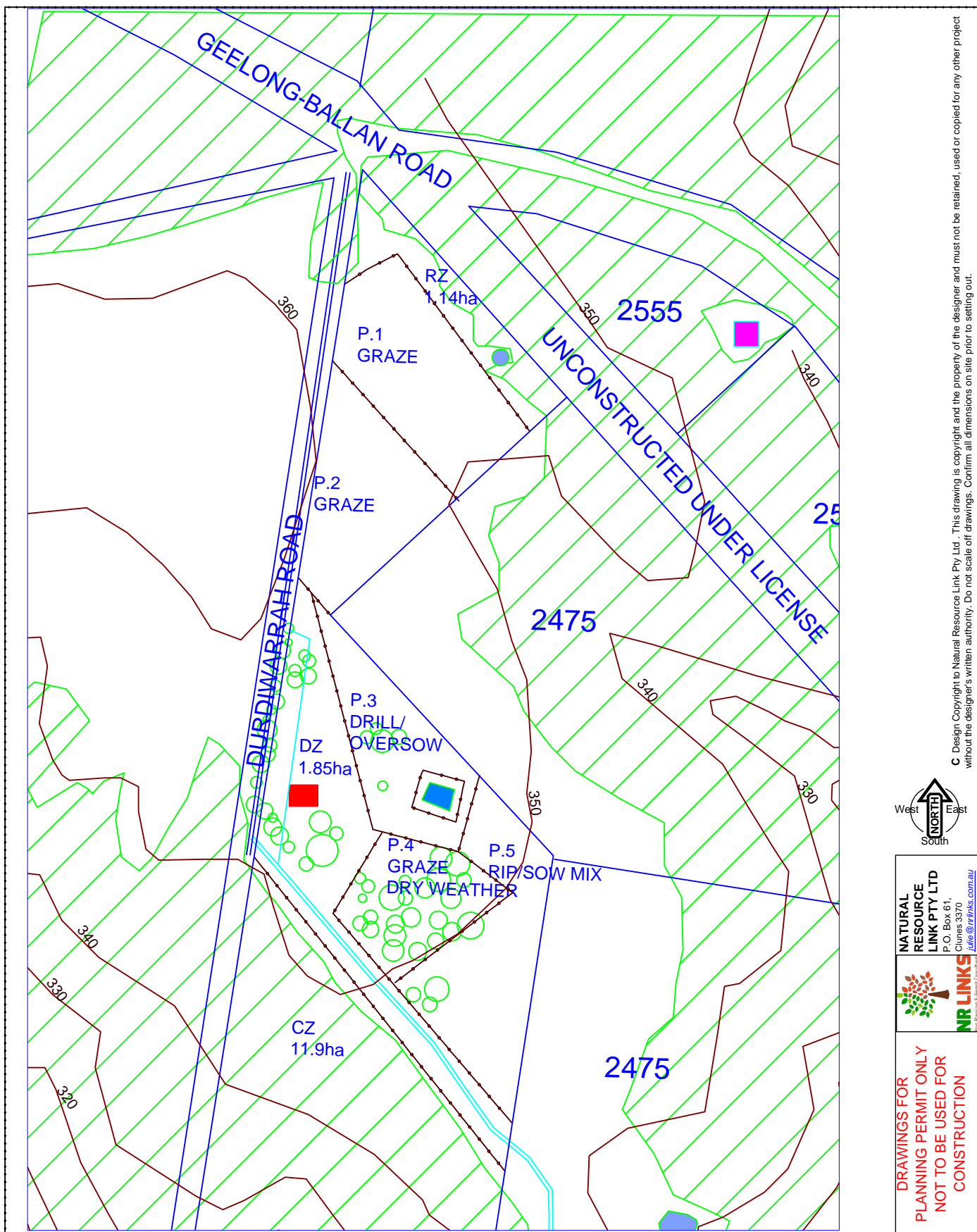
Note:
 The contractor shall verify all dimensions and all underground services at the site before commencing work. The contractor shall verify all levels from the consulting engineer prior to construction.

**DO NOT SCALE
 FROM DRAWINGS**

PROJECT:
 2485 Ballan Road,
 Anakie

PROJECT NO: 2688
DATE:
 JAN 2025

DWG TITLE:
 PROPOSED FARM
 MANAGEMENT
 PLAN-YR. 1
SCALE: 1:5000 @A4



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 CONSTRUCTION**

Note:
 The contractor shall verify all dimensions and all underground services at the site before commencing work. The contractor shall verify all levels from the consulting engineer prior to construction.

**DO NOT SCALE
 FROM DRAWINGS**

PROJECT:
 2485 Ballan Road,
 Anakie

PROJECT NO: 2688
DATE:
 JAN 2025

DWG TITLE:
 PROPOSED FARM
 MANAGEMENT
 PLAN-YR.2
SCALE: 1:5000 @A4

Appendix.5 Bushfire Management Plan



BUSHFIRE MANAGEMENT PLAN (BMP)
SCALE NTS @A3

- a) Defendable Space
Vegetation (and other flammable materials) will be modified and managed as defendable space for a distance of 39m around the proposed building/or to the property boundary, in accordance with the following requirements:
- Grass must be short cropped and maintained during the declared fire danger period.
 - All leaves and vegetation debris must be removed at regular intervals during the declared fire danger period.
 - Within 10 metres of a building, flammable objects must not be located close to the vulnerable parts of the building.
 - Plants greater than 10 centimetres in height must not be placed within 3m of a window or glass feature of the building.
 - Shrubs must not be located under the canopy of trees.
 - Individual and clumps of shrubs must not exceed 5 sq. metres in area and must be separated by at least 5 metres.
 - Trees must not overhang or touch any elements of the building.
 - The canopy of trees must be separated by at least 5 metres.
 - There must be a clearance of at least 2 metres between the lowest tree branches and ground level.
- b) Construction Standard
The dwelling will be designed and constructed a minimum Bushfire Attack Level of BAL - 29.

- c) Water Supply
10,000 litres of effective water supply will be provided for fire fighting purposes which meets the following requirements:
- Be stored in an above ground water tank constructed of concrete or metal.
 - Have all fixed above ground water pipes and fittings required for firefighting purposes, made of corrosion resistant metal.
 - Include a separate outlet for occupant use.
 - Be readily identifiable from the building or appropriate identification signage to the satisfaction of the relevant fire authority.
 - Be located within 60 metres of the outer edge of the approved building.
 - The outlets of the water tank must be within 4 metres of the accessway and unobstructed.
 - Incorporate a separate ball or gate valve (British Standard Pipe (BSP) 65 millimetre) and coupling (64 millimetre CFA 3 thread per inch male fitting).
 - Any pipework and fittings must be a minimum of 65 millimetres (excluding the CFA coupling)

- d) Access
Access for fire fighting purposes will be provided which meets the following requirements:
- All weather construction.
 - Provide a minimum trafficable width of 3.5 metres
 - Be clear of encroachments for at least 0.5 metre on each side and at least 4 metres vertically.
 - Curves must have a minimum inner radius of 10m.
 - The average grade must be no more than 1 in 7 (14.4 per cent) (8.1 degrees) with a maximum of no more than 1 in 5 (20 per cent) (11.3 degrees) for no more than 50m.
 - Dips must have no more than a 1 in 8 (12.5 per cent) (7.1 degrees) entry and exit angle.
 - Incorporate a turning area for fire fighting vehicles close to the building by one of the following:
 - A turning circle with a minimum radius of eight metres.
 - A driveway encircling the dwelling
 - The provision of vehicle turning heads – such as a T or Y head – which meets the specification of Austroad Design for an 8.8 metre Service Vehicle.
 - Incorporate passing bays, at least every 200m which must be at least 20 metres long and have a minimum trafficable width of 6 metres.