

Chamberlain
Architecture
& Interiors



TOWN PLANNING REPORT

Urban Context, Site Analysis and Design Response

prepared for

site address 118 Skene Street, Newtown VIC 3220

municipality City of Greater Geelong

date August 2026

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1.0 PROJECT SUMMARY

1.1 PROJECT DESCRIPTION

The subject site is located at 118 Skene Street, Newtown, within the City of Greater Geelong. The site a 575sqm site on a corner allotment, addressing Skene Street to the south and Cumberland Street to the west, and is located within a Neighbourhood Residential Zone – Schedule 2 (NRZ2), the Eyre Heritage Area (Heritage Overlay HO1917) and a Special Building Overlay (SBO) associated with flood risk.

The existing dwelling is a single-storey brick house with a tiled roof with a double garage accessed off Skene Street. The dwelling is not identified as individually significant and is considered non-contributory to the Eyre Heritage Area.

This application proposes the full demolition of the existing dwelling and garage, and the construction of a new two-storey single dwelling, together with associated landscaping, fencing, a relocated crossover to Cumberland Street, and a swimming pool.

The proposed design has been carefully considered in response to the heritage character of the Eyre Heritage Area and the flood characteristics of the Special Building Overlay. It presents a contemporary interpretation of the surrounding neighbourhood character.

Proposal	Demolition of existing house and proposed new double storey dwelling, fences, pool and relocated crossover.
Planning controls	Neighbourhood Residential Zone, Schedule 2 (NRZ2) Heritage Overlay (HO1917) SBO Special Building Overlay
Planning Permit triggers	Heritage Overlay (HO1917) <i>To demolish or remove a building & to construct or carry out works</i> SBO Special Building Overlay <i>To construct a building or carry out works</i>
Client	
Council	City of Greater Geelong
Total Lot Area	575 m ²
Bushfire	The land is not located in a Bushfire Prone Area.
Flood Prone	The land is designated flood prone.
Aboriginal Cultural Heritage	The subject site is not located within an area of Aboriginal Cultural Heritage Sensitivity.
Architect	Chamberlain Architecture & Interiors

1.2 SITE DESCRIPTION AND BOUNDARIES

The site is corner allotment with frontage to Skene Street (south) of approximately 20.75m and frontage to Cumberland Street (west) of approximately 28.13m. The site shares its northern boundary with No. 7 Cumberland Street and its eastern boundary with No. 114 Skene Street. The eastern (side) boundary runs for approximately 27.3m and the rear (north) boundary for approximately 20.81m.

The site falls gently from the higher southern (Skene Street) boundary toward the lower northern boundary.

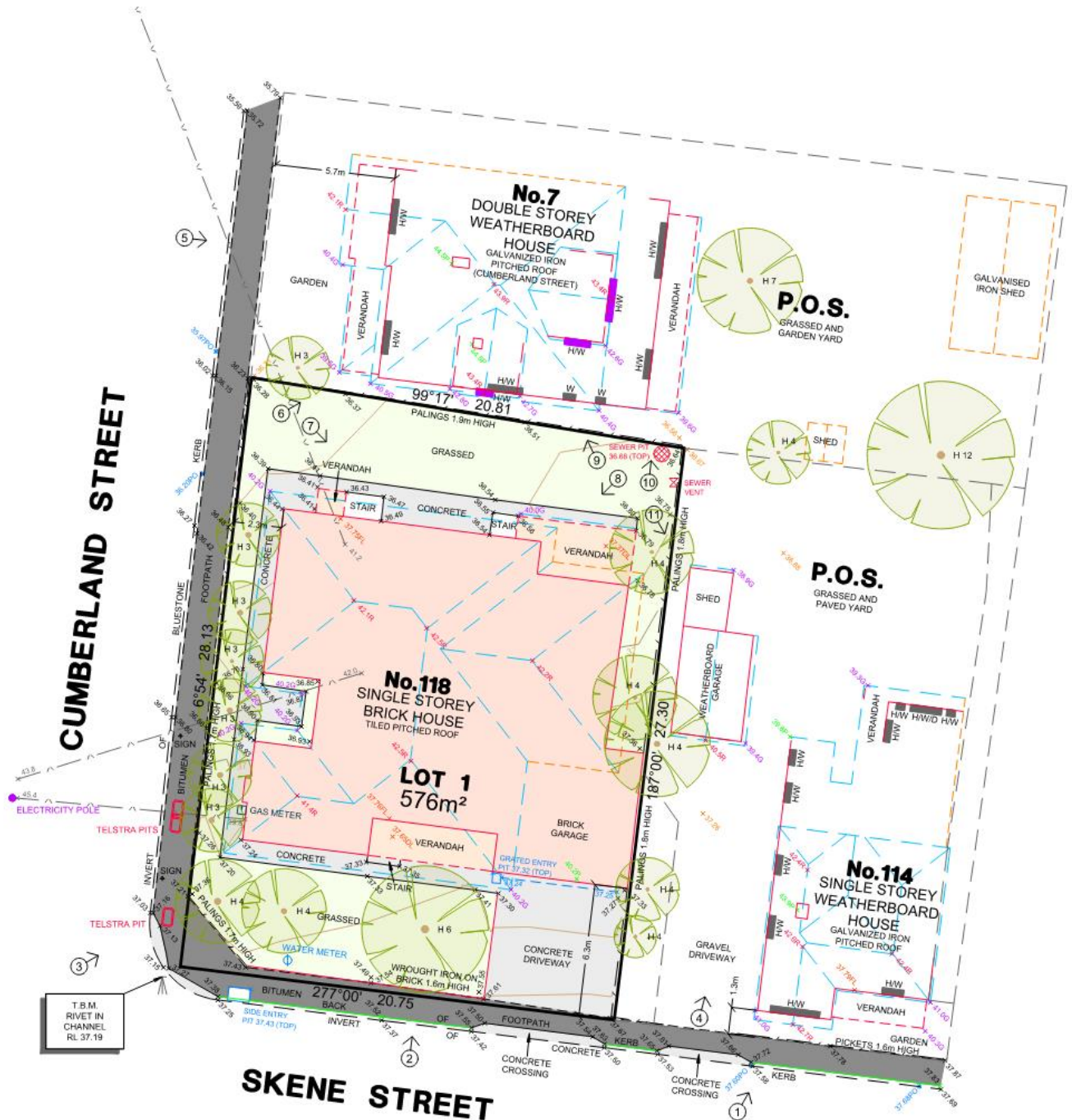


Figure 1 — Survey Plan (extract from JCA Features & Levels Survey)

2.0 SITE ANALYSIS

2.1 ZONING AND OVERLAYS

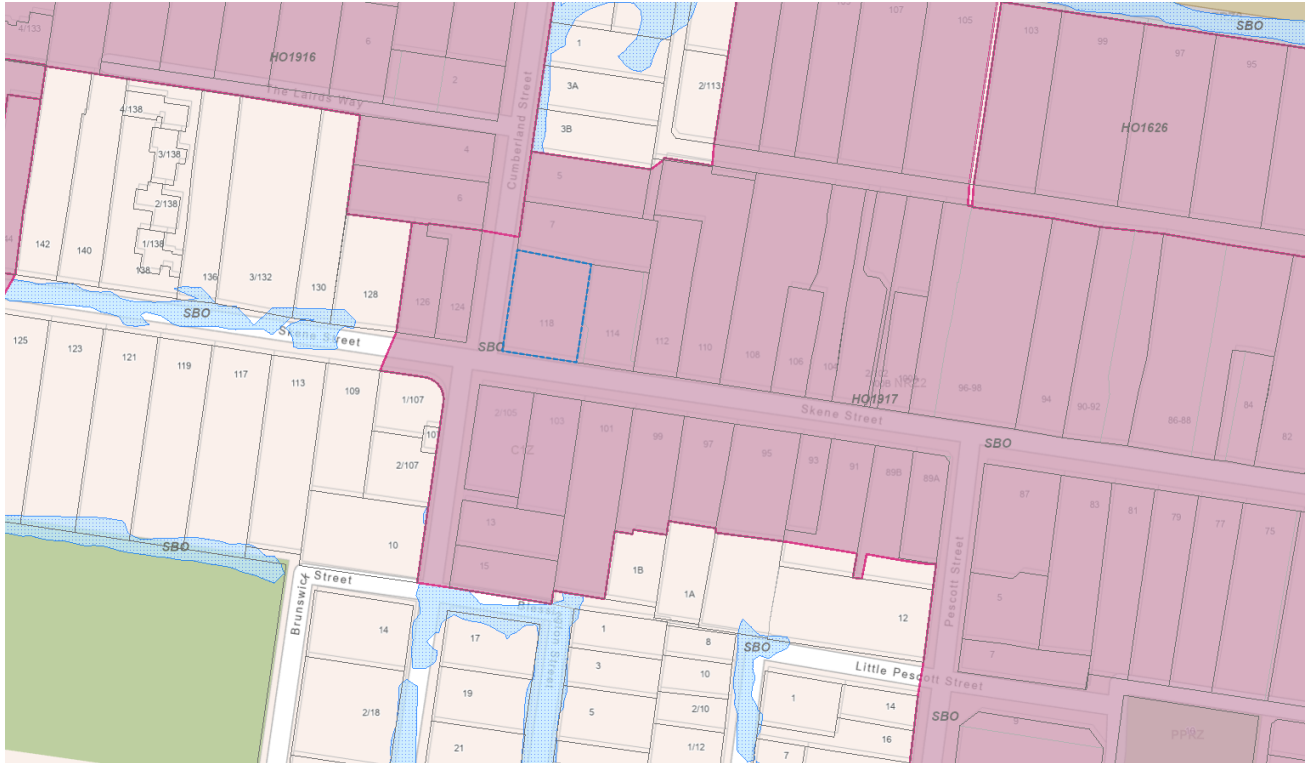


Figure 2 — Zones and Overlays Diagram

The following zone and overlays apply to the site under the Greater Geelong Planning Scheme:

Zone	Neighbourhood Residential Zone – Schedule 2 (NRZ2). A permit is not triggered under the mandatory minimum lot size / garden area provisions of the zone, as the lot area exceeds 300m ² .
Heritage Overlay	HO1917 – Eyre Heritage Area. A permit is required to demolish or remove a building, and to construct a building or construct or carry out works, within the Heritage Overlay.
Special Building Overlay	SBO – applies to the whole site in association with overland flow / flood risk. A permit is required to construct a building or construct or carry out works within the Special Building Overlay.

As the site is affected by the Heritage Overlay and Special Building Overlay, a planning permit is required for the demolition of the existing dwelling and outbuildings and for the construction of the proposed dwelling and associated works.

2.2 NEIGHBOURHOOD AND SITE DESCRIPTION

The site is located on the northern side of Skene Street, on the corner of Cumberland Street, in Newtown. The surrounding streetscape is predominantly residential, comprising many examples of Edwardian, Federation, Interwar and Postwar Bungalow-style dwellings. These dwellings are mostly light-coloured weatherboard construction, with some examples of brick. Many have slate or corrugated sheet-metal hipped or gable roofs with front or return verandahs. Carports and garages are typically located toward the rear of allotments, and painted picket fences — mostly exceeding 1200mm in height — dominate the streetscape.

On two of the opposing corners to the site, at 105 Skene Street and 124 Skene Street, there are atypical brick postwar commercial buildings of significance. Both buildings are single-storey brick with high parapets built to a zero (nil) front setback, forming visual 'bookends' to this section of Skene Street.

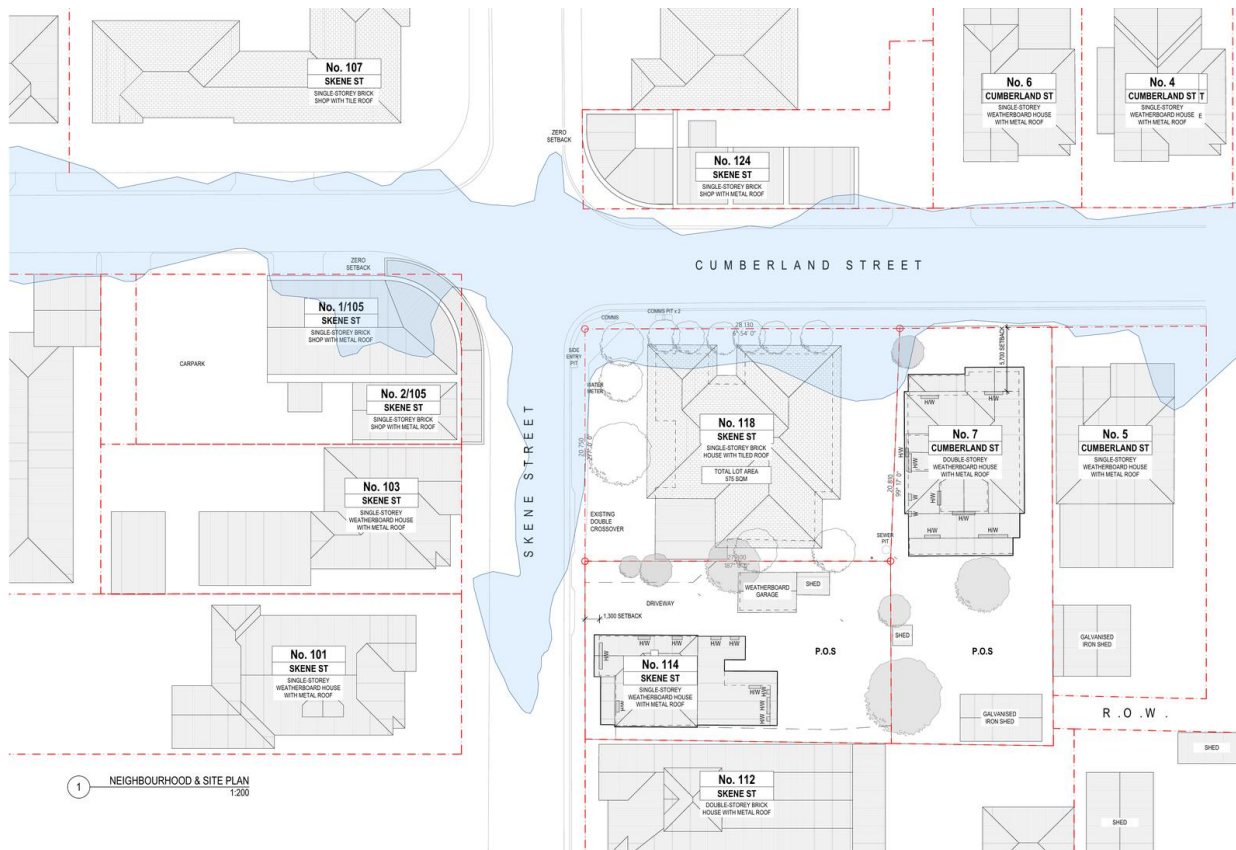


Figure 3 — Location plan, 118 Skene Street, Newtown



Figure 4 — Subject site, Existing Skene Street Frontage



Figure 5 — Subject site, Existing Cumberland Street Frontage with high fence



Figure 6 — 124 Skene Street, Newtown. West neighbour on west side of Skene st. Subject site to right over Cumberland. Atypical Post War Commercial Building at Zero setback



Figure 7 — 1/105 Skene Street, Newtown. South neighbour on south side of Skene st. (Subject site immediately opposite) Skene st. Atypical Post War Commercial Building at Zero setback



Figure 8 — 114 Skene Street, Newtown. Neighbour immediately east (subject site to left). Single storey weatherboard with hip roof.



Figure 9 — 7 Cumberland St, Newtown. Neighbour immediately east (subject site to right). Two storey weatherboard with hip roof. Second storey towards the rear.



Figure 10 — 112 Skene Street, Newtown. Neighbour two doors east (subject site to left). Double storey weatherboard with hip roof. Second storey visible from Skene street.



Figure 11 — 107 Skene Street, Newtown. Neighbour diagonally opposite. Non contributory brick house with hip tiled roof.

2.3 SITE OPPORTUNITIES AND CONSTRAINTS

- The site is a corner allotment of 575m², providing dual street frontage to Skene Street and Cumberland Street.
- The site is visually connected to the atypical brick postwar commercial buildings of significance on the opposite corners of Skene Street, which present an opportunity to reinforce this 'bookend' condition in the streetscape.
- The existing dwelling is a non-original, non-contributory single-storey brick dwelling that does not contribute to the significance of the Eyre Heritage Area.
- The site is affected by the Special Building Overlay (flood), with the high point of the site along the south (Skene Street) boundary and the low point along the north boundary.
- The existing double crossover to Skene Street is proposed to be removed and relocated to the rear, off Cumberland Street, consistent with the Eyre Heritage Area Design Guidelines.
- A number of established trees on the site — including a 6m walnut canopy tree, and fruit trees (pear, nectarine and orange) — are proposed to be removed to facilitate the development. The removal of the walnut canopy tree is noted on the drawings as relevant to the native vegetation removal provisions of the Planning Scheme.

3.0 DESIGN RESPONSE

3.1 HERITAGE OVERLAY RESPONSE

This is a proposal to demolish a non-contributory existing dwelling and construct a two-storey dwelling that offers a contemporary interpretation of the heritage context, specifically addressing the Eyre Heritage Area Design Guidelines.

The corner location forms a 'bookend' in the street. The property has a principal frontage to Skene Street with a rear yard, and is visually connected to the atypical brick postwar commercial buildings of significance on the opposite corners. These buildings are contextually atypical heritage landmarks that the proposal responds to directly.

From the Skene Street primary frontage, the dwelling presents as a detached, single-storey volume with a hipped roof. The front setback aligns with the neighbouring dwelling to the east (No. 114 Skene Street). The design uses traditional building materials — off-white brick and a neutral grey-toned sheet metal roof — drawing on the hipped-roofed timber weatherboard dwellings of significance in the heritage area. The mullions of the fenestration create a vertical rhythm that echoes the streetscape, and in response to the verandahs that are typical to the area, a metal canopy is provided over the front door, helping to define the entry.

A two-storey cuboid form is concealed from Skene Street at the rear of the site. This upper storey mass will be visible from Cumberland Street but is significantly set back, and will therefore be visually recessive, screened beyond a high paling fence. The two-storey mass also abuts the two-storey dwelling at No. 7 Cumberland Street immediately adjacent. As a result, the two-storey form addressing Cumberland Street is considered contextually appropriate, with no adverse effect on the significance of this part of the heritage area.

The existing double crossover is to be removed from the primary Skene Street frontage and relocated to the rear, off Cumberland Street, as encouraged by the Eyre Heritage Area Design Guidelines. The resultant broad mass in light brick construction aligns with the character of the commercial buildings opposite. The new crossover will have a new concrete tray with an asphalt footpath to match the existing detail at No. 6 Cumberland Street.

The proposal is considered to respond appropriately to the Eyre Heritage Area, retaining a single-storey built form and traditional materiality to the primary Skene Street frontage, while concealing the additional bulk of the upper storey to the rear, off the secondary Cumberland Street frontage.



Figure 4 — Skene Street frontage



Figure 5 — Skene Street frontage, view from south-west corner



Figure 6 — Cumberland Street frontage, view from south-west corner (extracts from TP2.01, Chamberlain Architecture & Interiors)

3.3 SPECIAL BUILDING OVERLAY (FLOOD) RESPONSE

The proposed finished floor level (FFL) of the habitable ground floor is RL37.90 to AHD, which is 300mm above the nominated flood level for the south boundary of RL37.60 (as noted in flood advice from the City of Greater Geelong dated 2 February 2026).

The garage FFL is RL36.83 to AHD, which exceeds 150mm above a shallow flood depth of 100mm, taken at the high point of natural ground immediately adjacent to the garage door of RL36.566.

The laundry floor and associated hallway are at RL37.00 to AHD. This falls outside the Special Building Overlay and is approximately 340mm above the natural ground level outside the laundry door.

The fences within the flood-affected area have been designed to allow overland flow passage. The Skene Street fence will be highly permeable along its full height. The picket fence along Cumberland Street and along the northern edge of the driveway will provide a minimum of 25% openness from ground level to 450mm high, achieved through dark-painted pickets raised 450mm above natural ground level. See detail below.

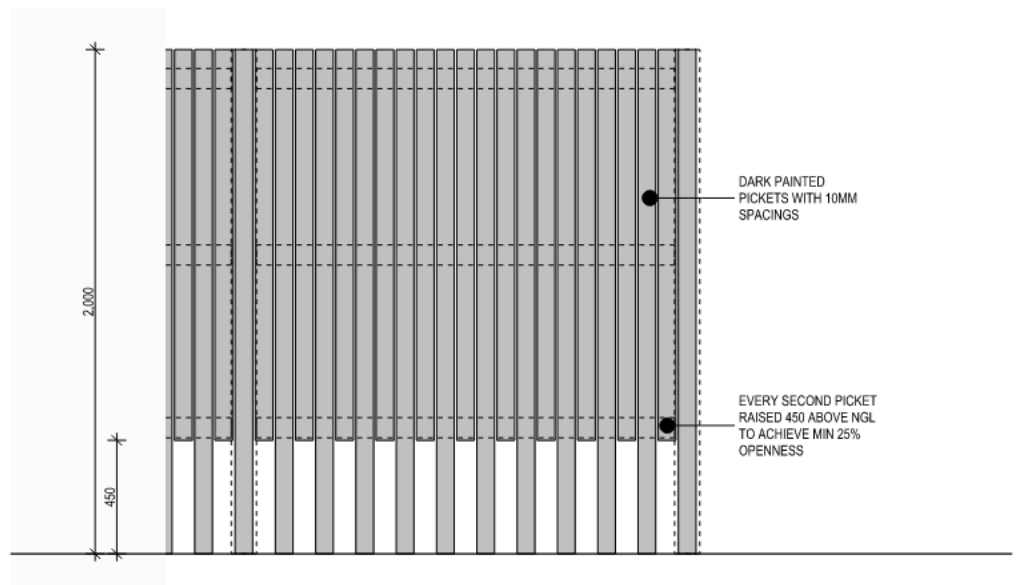


Figure 7 — Fence detail designed for overland passage

The subfloor area beneath the timber decks will similarly provide a minimum of 25% openness. These proposed flood levels were approved by the City of Greater Geelong's Stormwater team by email on 26 May 2026.

3.4 GARDEN AREA AND CANOPY TREE RESPONSE

The proposal has been designed to comply with the mandatory garden area and canopy tree requirements applicable to the site under the Neighbourhood Residential Zone – Schedule 2.

Total Site Area	575m ²
Garden Area Provided	226 m ² (39%)
Garden Area Required	30% minimum, for sites 500m ² – 650m ²
Canopy Trees Provided	4
Canopy Trees Required	4 minimum, for sites 501m ² – 700m ²

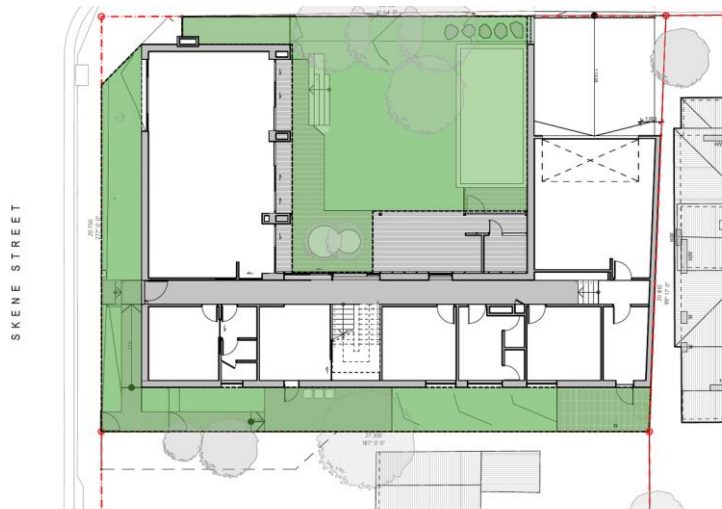


Figure 7 — Garden Area Diagram (39% provided)

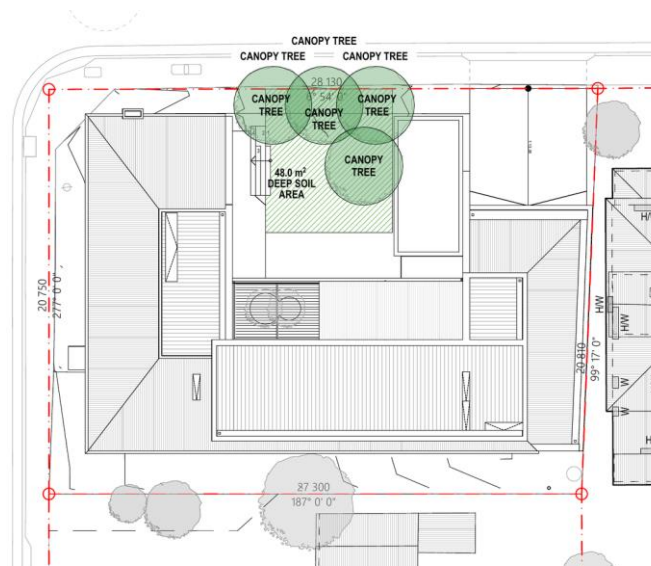


Figure 8 — Canopy Tree Diagram (4 canopy trees provided with deep soil area indicated, extracts from TP1.02, Chamberlain Architecture & Interiors)

4.0 ARCHITECTURAL DRAWING LIST

The following architectural drawings, prepared by Chamberlain Architecture & Interiors (Project No. 25013), accompany this Town Planning Report and form part of the planning permit application:

Drawing No.	Drawing Title	Revision
TP0	Cover Page	B
TP1.01	Neighbourhood & Site Plan	C
TP1.02	Design Response	C
TP2.01	Perspectives	B
TP3.01	Existing / Demolition Plan	B
TP3.02	Level G Plan	C
TP3.03	Level 1 Plan	C
TP3.04	Roof Plan	C
TP4.01	Proposed Elevations	C
TP4.02	Proposed Sections & Fence Detail	C
TP7.01	External Materials & Finishes	B

This report has been prepared to accompany the architectural drawing set and should be read in conjunction with those drawings in their entirety. Should any further information be required, please do not hesitate to contact Chamberlain Architecture & Interiors.