

PROPOSED ALTERATIONS & ADDITIONS TO VALLESI RESIDENCE

At; 19 Huntingdon Street, Newtown

TOWN PLANNING DRAWINGS

Ref No. 2508

(Issue 'A' & 'B')

- TP01 - SITE CONTEXT / DESIGN RESPONSE &
NEIGHBOURHOOD CHARACTER PLANS
- TP02 - STREET CONTEXT PHOTOS
- TP03 - DEMOLITION PLAN
- TP04 - SITE / FLOOR PLAN
- TP05 - NORTH & SOUTH ELEVATIONS
- TP06 - EAST & WEST ELEVATIONS & SECTIONS
- TP07 - SHADOW DIAGRAMS
- TP08 - GARDEN PLAN

6th of July 2026

Amended 10th of August 2026

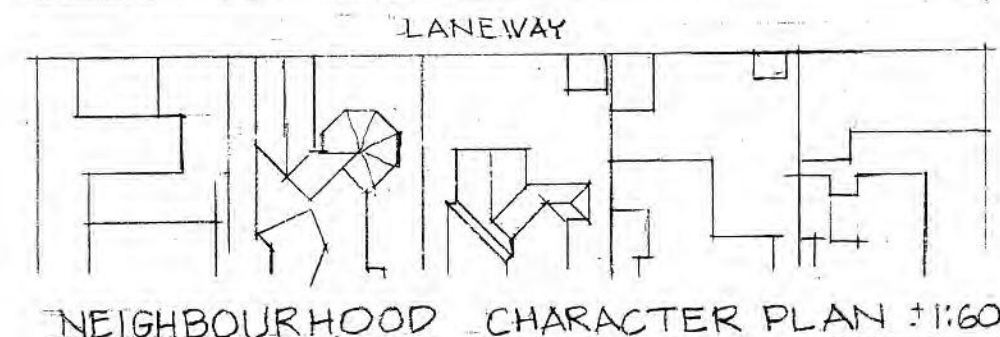
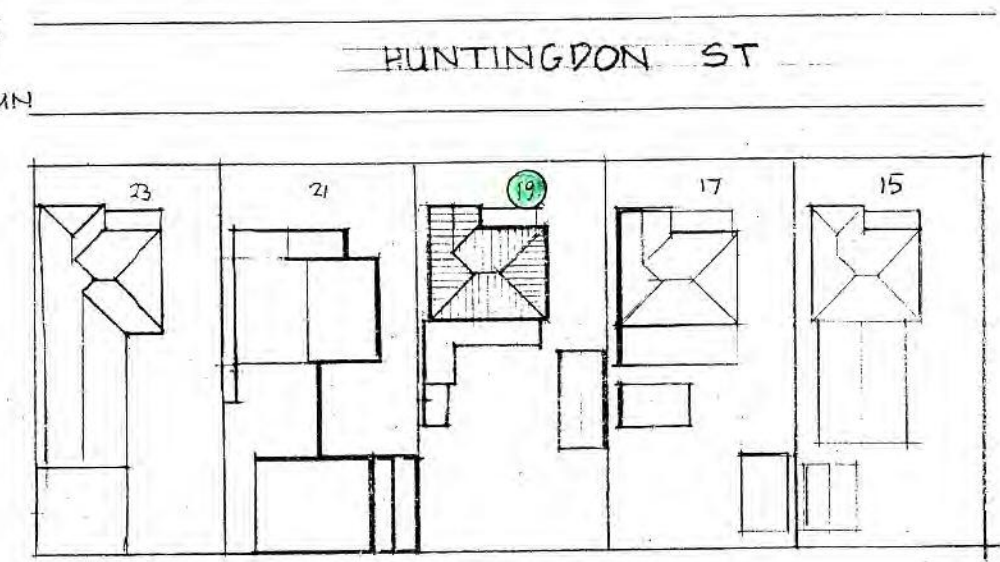
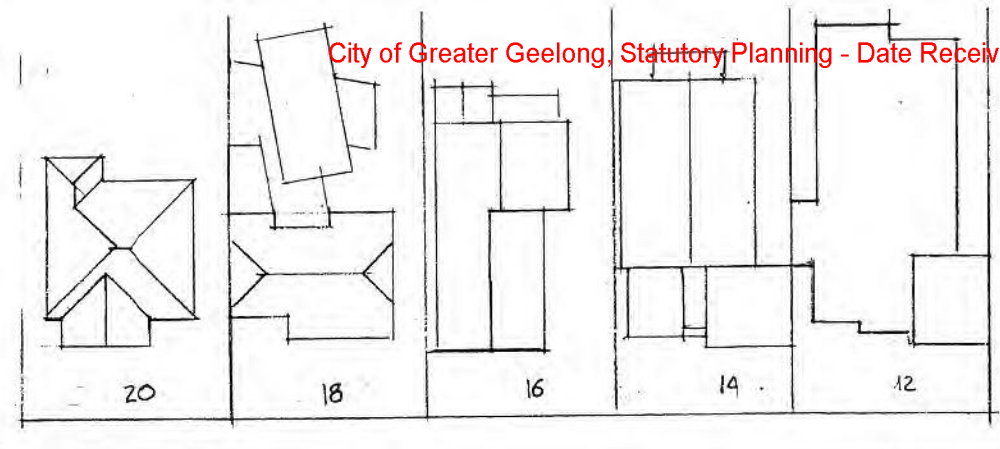
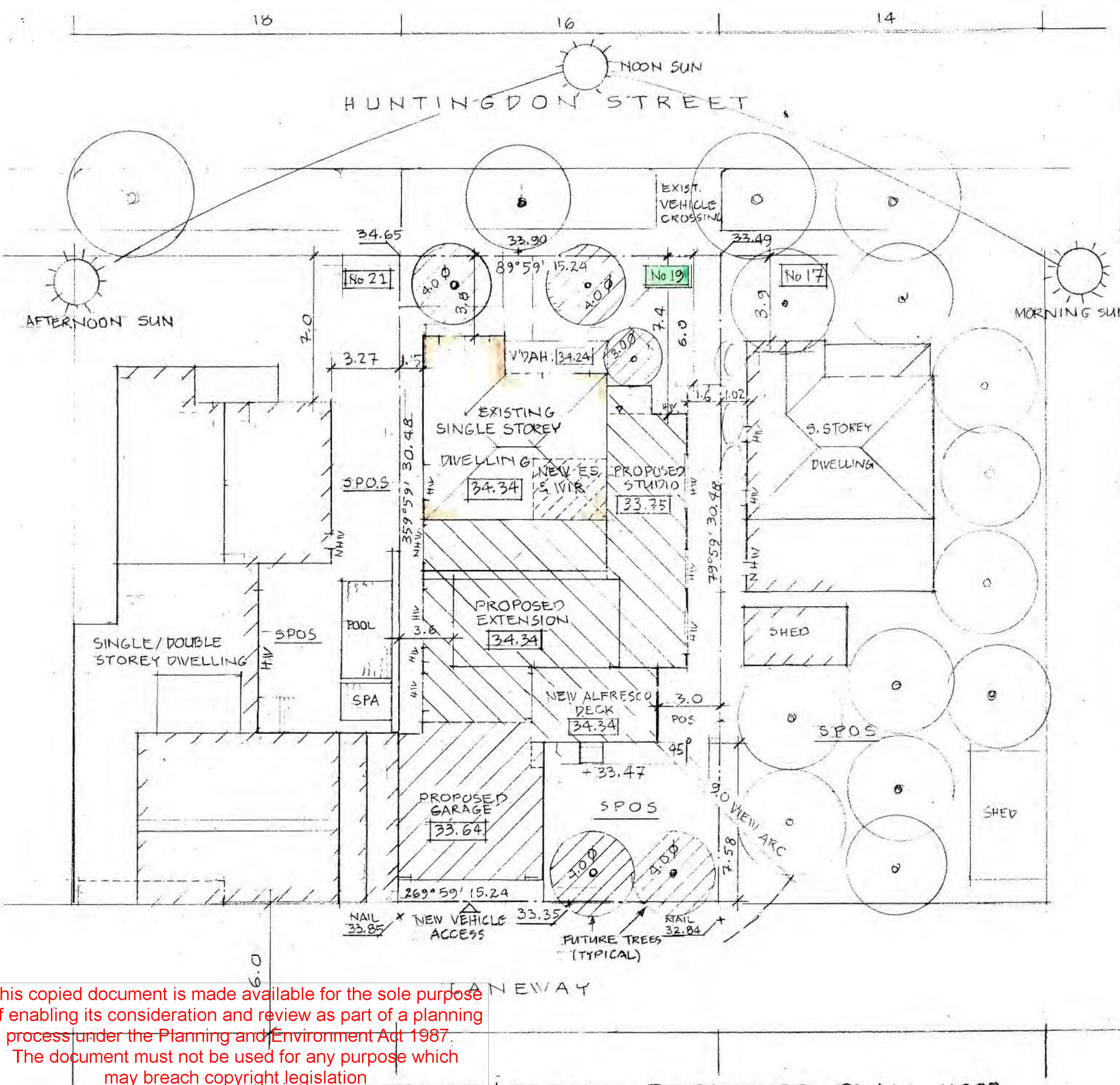
JOE KOVACS - ARCHITECT

ARBV. (Reg. No. 4691)

71 Richardson Drive, Mornington 3931, Mobile; 0419 956 870

email: jk.arch@bigpond.com

ABN: 18 353 778 459



NEIGHBOURHOOD CHARACTER PLAN 1:600

Development Summary m²

Site Area	464.50
Existing main house	66.00
Existing front verandah	7.84
New extensions, Incl.; laun., bath 1 & w.c	75.12
New covered alfresco	21.00
New garage	48.60
Studio extension area	41.88
Studio porch	2.80
Extended house area only	141.12
New site coverage	263.24 (57%)
Permeable area (approx.)	162.00 (35%)

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SITE CONTEXT / DESIGN RESPONSE PLAN 1:200

BUILDER TO VERIFY ALL DIMENSIONS AND LEVELS PRIOR TO COMMENCING WORKS OR SHOP DRAWINGS. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED. CLARIFY ANY DISCREPANCIES WITH THE ARCHITECT.	AMENDMENT	DATE	AMENDMENT	DATE	 NORTH	JOE KOVACS ARCHITECT REG. 14691 71 Richardson Drive, Mornington 3931 Mob: 0419 956 870 email: jk.arch@bigpond.com ABN: 18 353 778 459	Proposed Alterations & Additions to Vallesi Residence At: 19 Huntingdon Street, Newtown	DATE: 6/7/2026	REF NO: 2508
	B TP REI CHANGES	10.8.26						SCALE: as shown	A3 DRG. NO:
								DRAWN: JK	TPO1
								CHECKED:	ISSUE: B



No 20 street view



No 18 street view



No 16 street view



No 14 street view



No 12 street view



No 19 street view



No 19 close up



No 15 street view



No 17 street view



No 21 street view



No 21 SPOS view



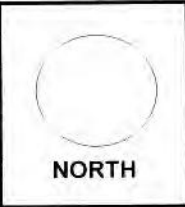
No 23 street view

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HUNTINGDON STREET CONTEXT PHOTOS - Sept. 2025

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AMENDMENT	DATE	AMENDMENT	DATE

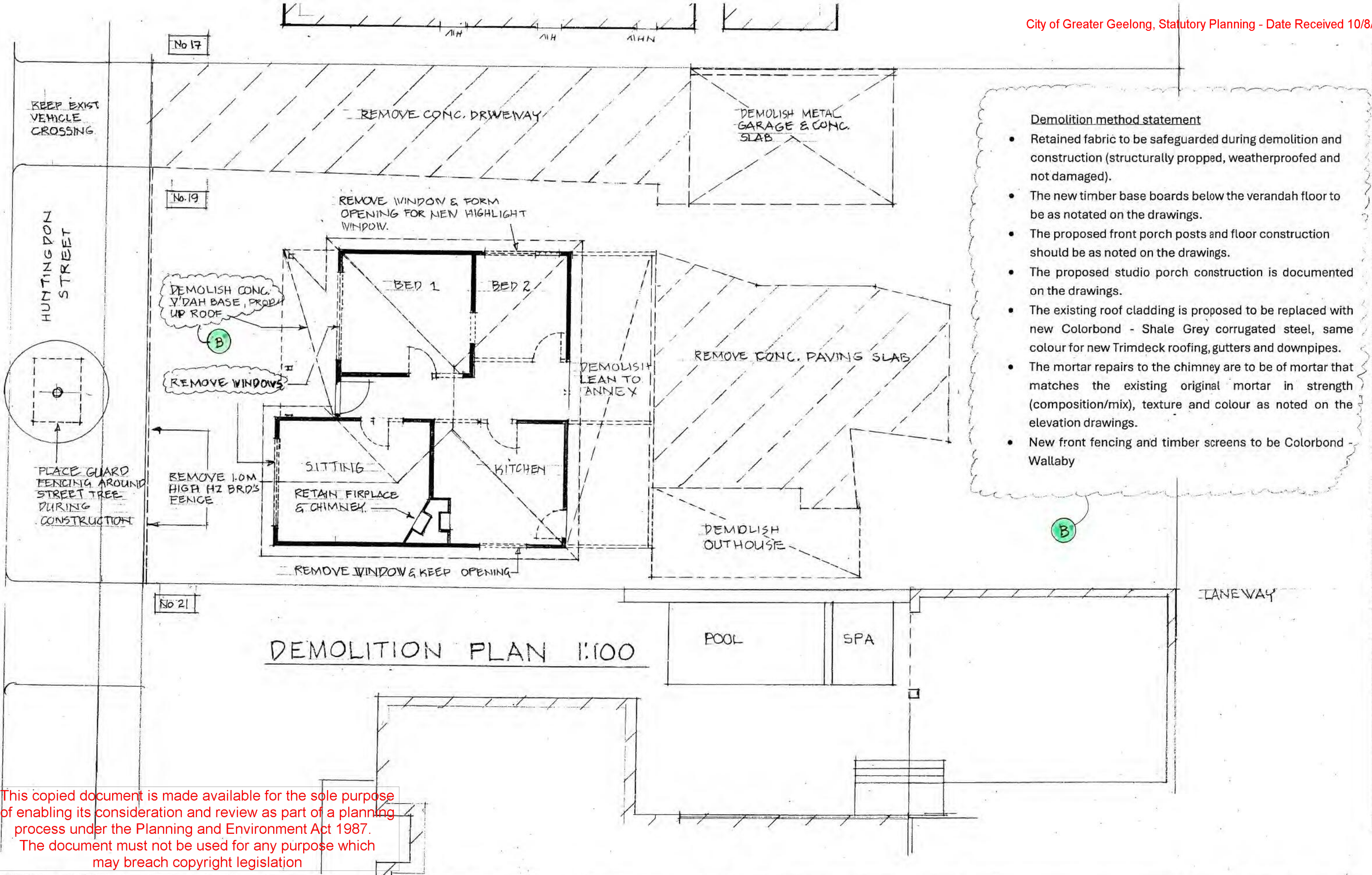


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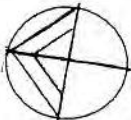
Proposed Alterations & Additions
To Vallesi Residence
At: 19 Huntingdon St., Newtown

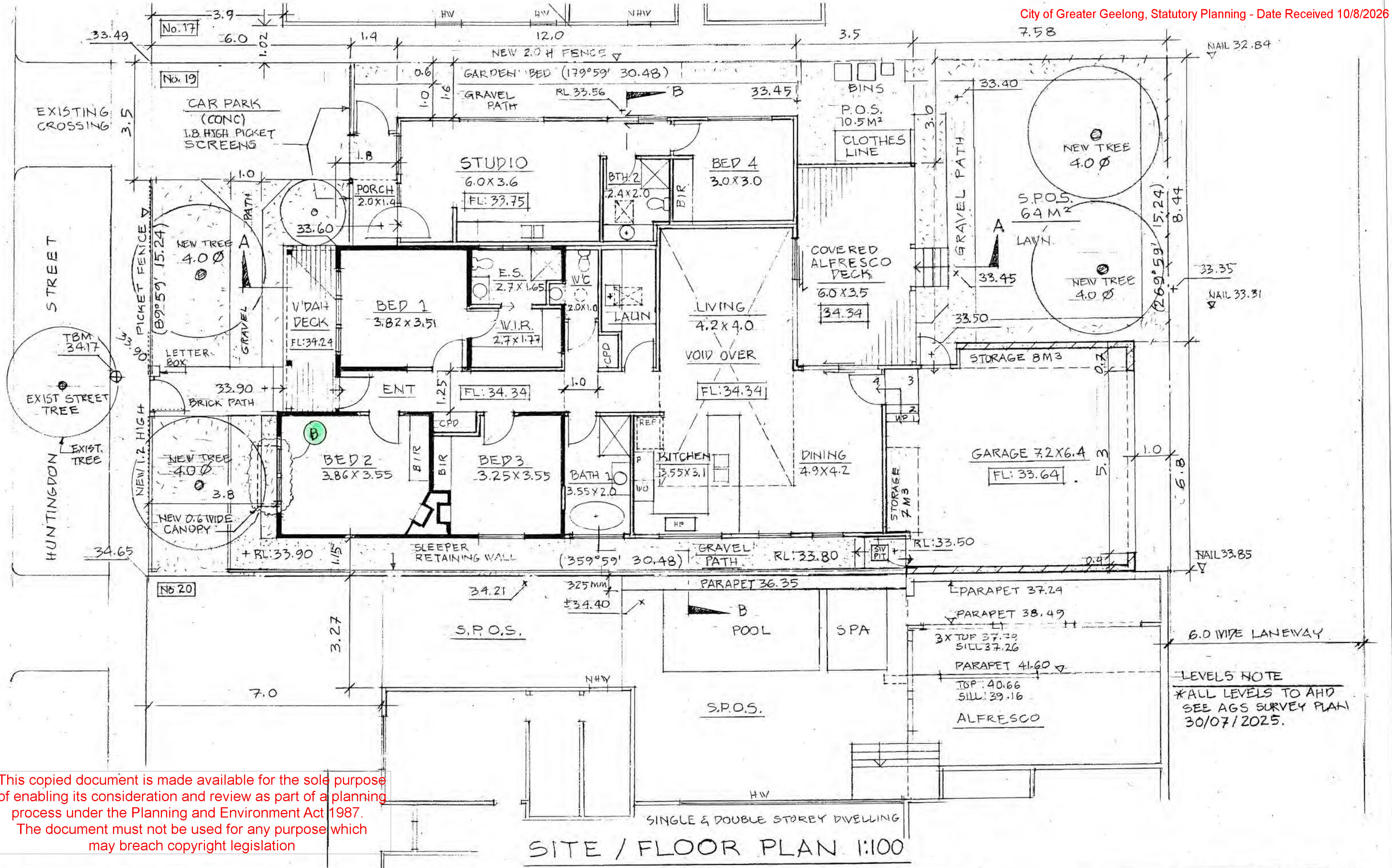
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SCALE: AS SHOWN
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REF NO: 2508 A3 / DRG
TP02
ISSUE: A



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	B T.P. RFI CHANGES	10.8.26						SCALE: as shown	A3 DRG. NO:
								DRAWN: JK	TP03
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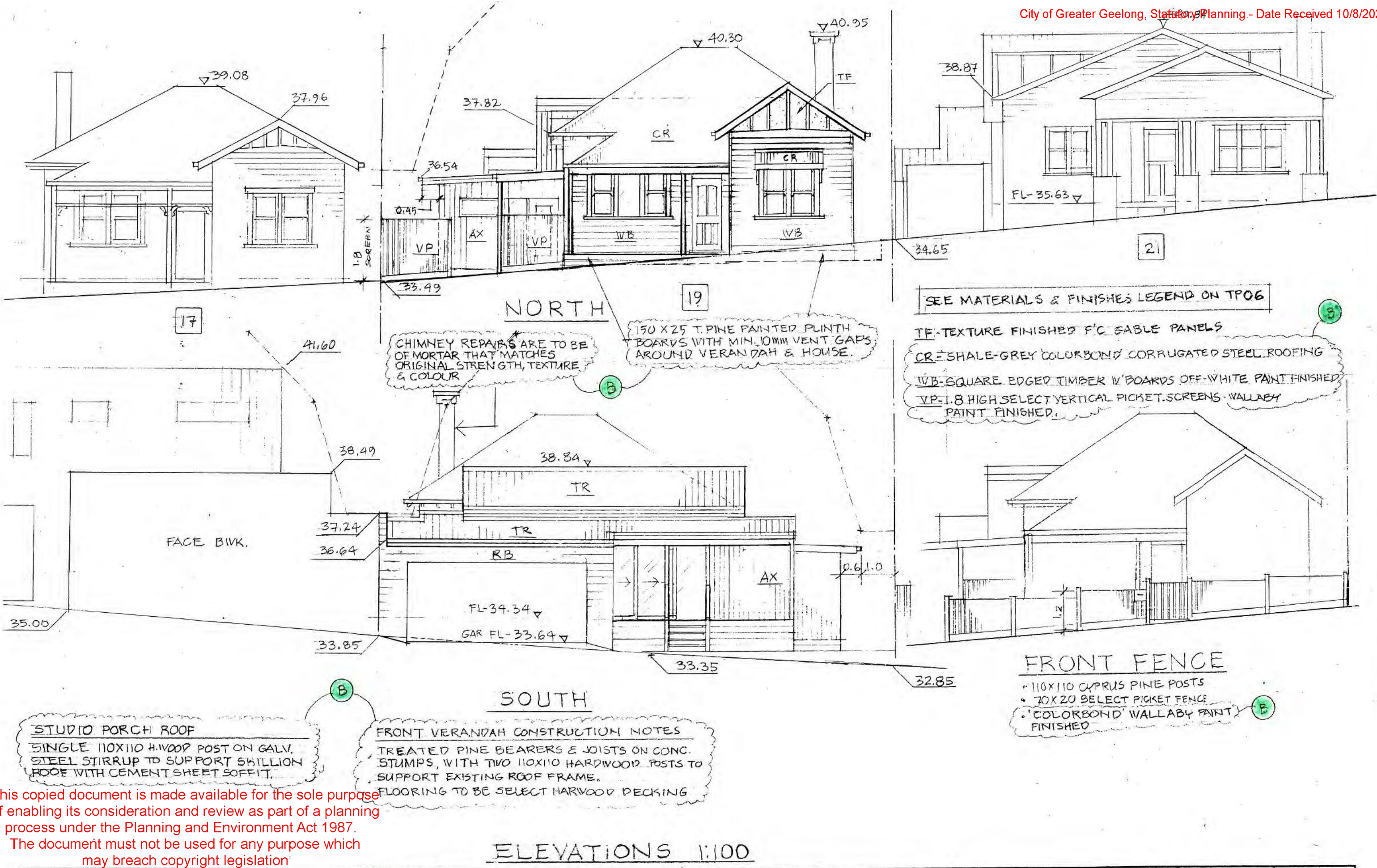


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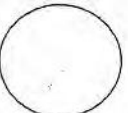
Proposed Alterations & Additions to Vallesi Residence
At: 19 Huntingdon Street, Newtown

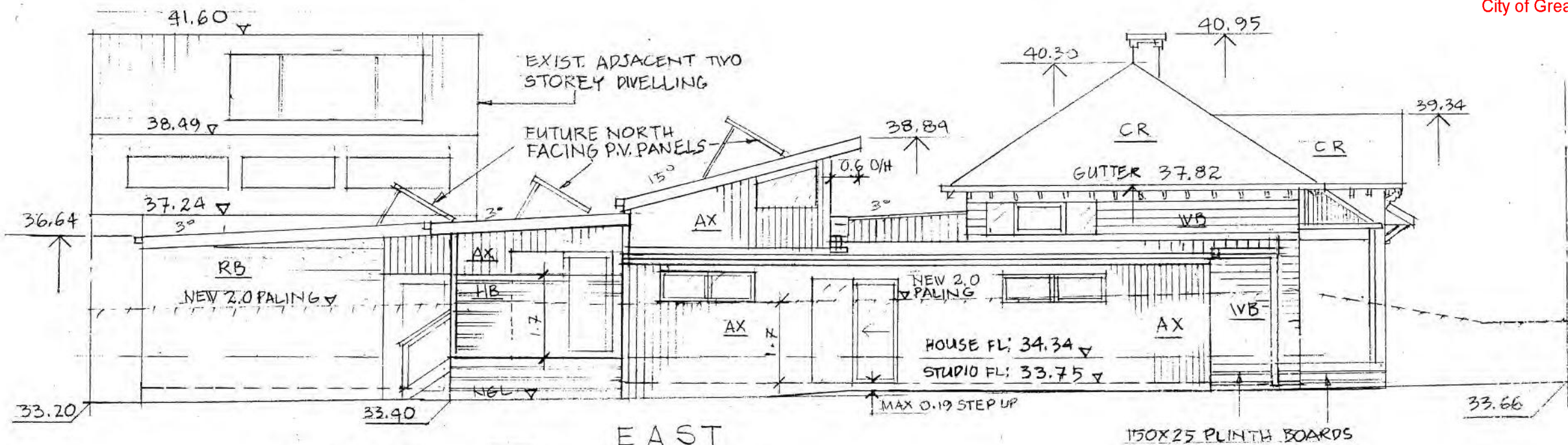
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REF NO: 2508
A3 DRG. NO:
TP04
ISSUE: **B**

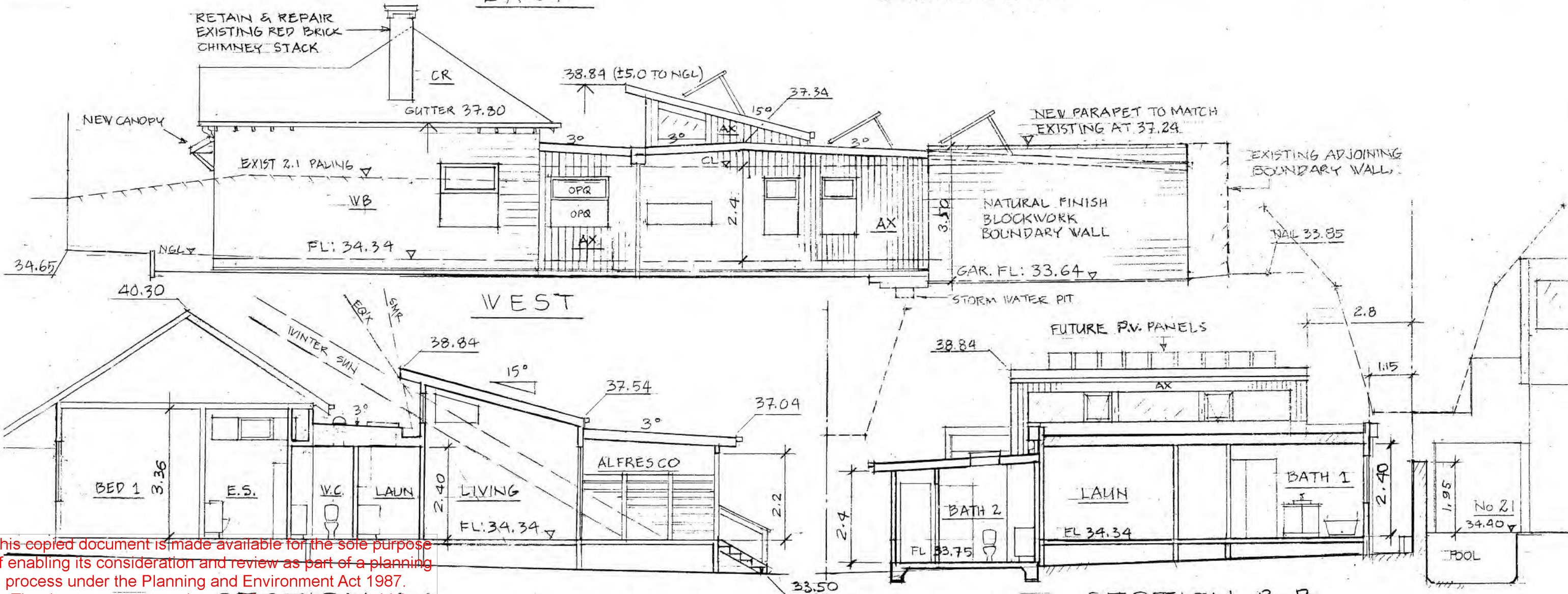


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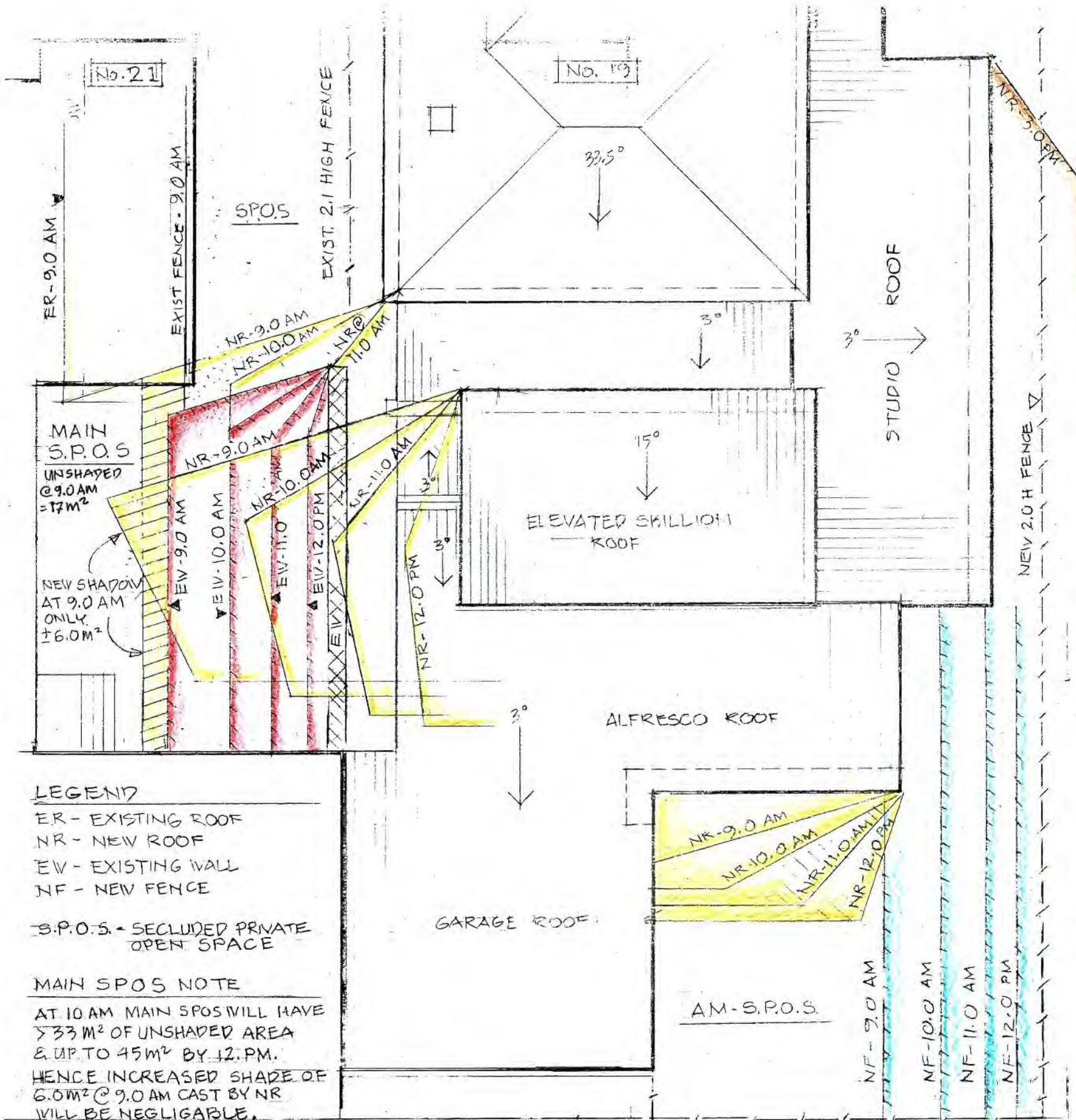
- MATERIALS & FINISHES LEGEND**
- VB - SQ. EDGED BALTIC PINE OR H'WOOD WEATHERBOARDS-SELECT OFF-WHITE PAINT FINISHED
 - AX - HARDIES VERT. GROOVED 9.0MM F/C PANELLING-COLORBOND WALLABY PAINT FINISH
 - RB - WALLABY ACRYLIC RENDER FINISHED BLOCKWORK
 - CR - C'BOND SHALE-GREY CORRUGATED STEEL ROOFING & ACCESSORIES
 - TR - C'BOND SHALE-GREY TRIMDECK ROOFING & ACCESSORIES
 - HB - 140X12 NATURAL STAIN FINISHED HORIZONTAL SELECT TIMBER DECKING BOARD PRIVACY SCREEN WITH 10MM SPACING GAPS.



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SECTION A-A **ELEVATIONS & SECTIONS 1:100** **SECTION B-B**

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	B TP REL CHANGES	10.8.26						SCALE: as shown	A3 DRG. NO:
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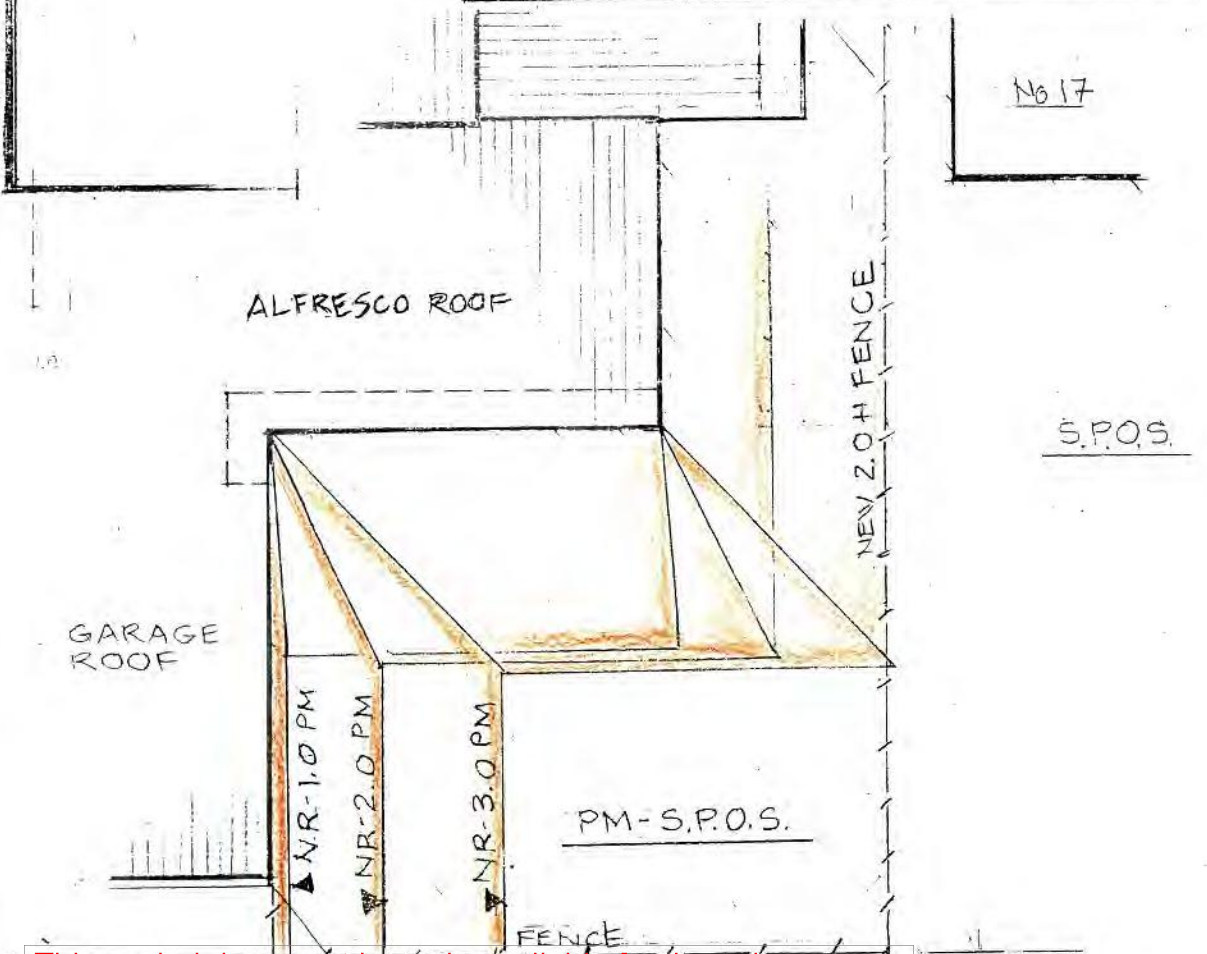


SHADOW PROJECTIONS ARE DERIVED FROM 'SHADOW DRAW' OVERLAYS PRODUCED BY R.G. HARVEY P/L AS AT: SEPT 23 (EQUINOX)

No. 19: UNSHADED S.P.O.S. TABLE

TIME	SIZE IN METRES	M ²
9.0 AM	6.2 X 5.0	31.00
10.0 "	6.3 X 5.9	37.20
11.0 "	7.2 X 5.7	41.00
12.0 PM	7.9 X 5.5	43.45
1.0 "	(8.0 X 4.0) + (2.8 X 2.8)	39.84
2.0 "	(6.8 X 3.8) + (3.0 X 1.5)	30.34
3.0 "	5.1 X 3.7	18.50
TOTAL		241.33

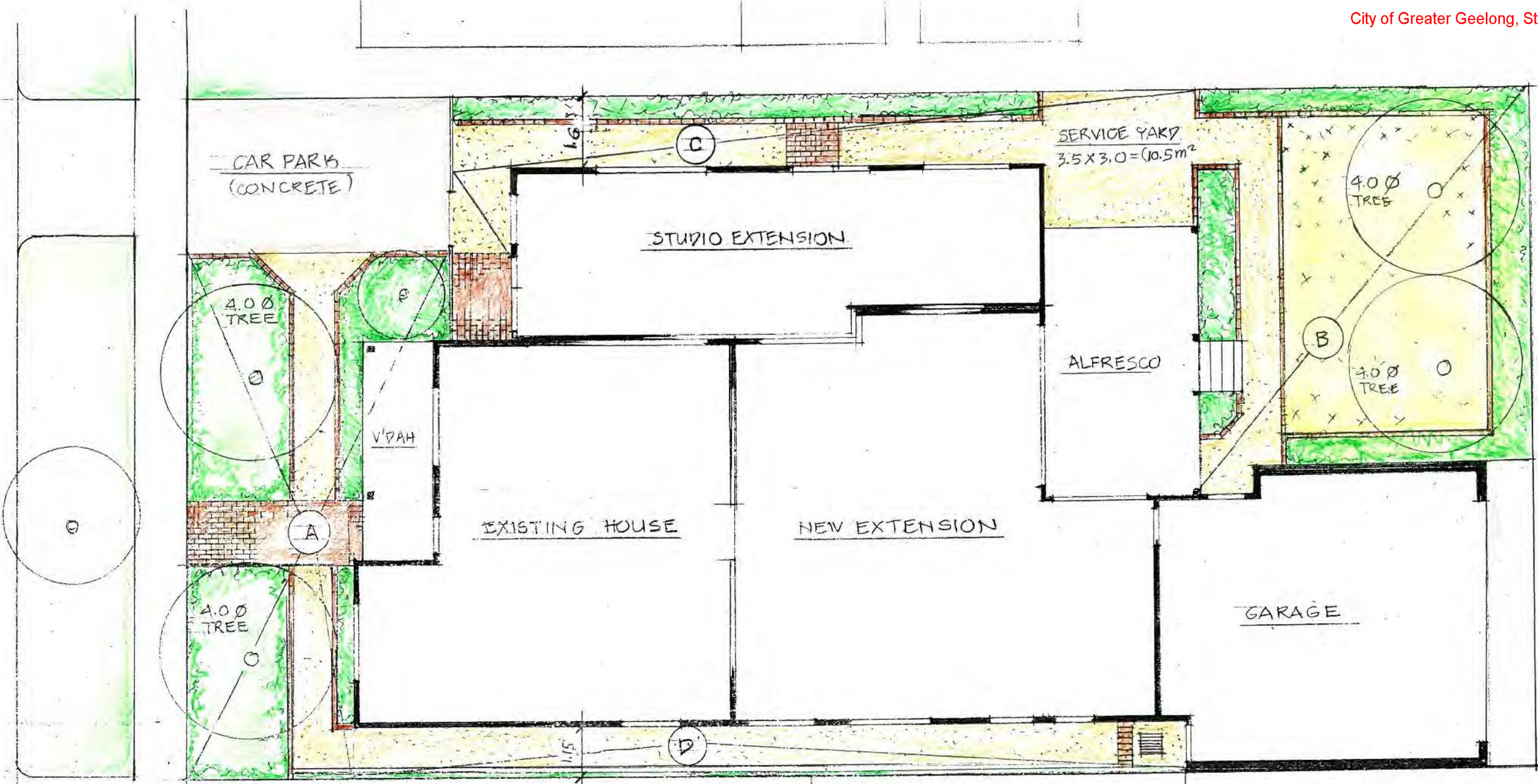
* AVERAGE UNSHADED AREA: 241.33 ÷ 7 = 34.47 *



EQUINOX COMPOSITE SHADOW PLANS 1:100
LANEWAY

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									A



GARDEN PLAN 1:100

LEGEND

- SELECT COMPACTED POROUS GRAVEL PATH
- RED BRICK GARDEN EDGING
- RED BRICK PAVING
- GARDEN PLANTING BED
- SELECT LAWN

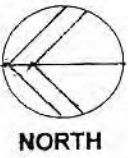
GARDEN AREA SUMMARY		M ²
SITE AREA		464.5
ZONE	(A) FRONT	43.0
"	(B) REAR	64.0
"	(C) EAST SIDE	33.5
"	(D) WEST "	21.5
TOTAL		162.0 (35%)

* EXCLUDING HARD PAVED SURFACES

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Proposed Alterations & Additions to Vallesi Residence
At: 19 Huntingdon Street, Newtown

DATE: 3/8/2026	REF NO: 2508
SCALE: as shown	A3 DRG. NO:
DRAWN: JK	TP08
CHECKED:	ISSUE: A