

BUILD AREA & D/WAY	303.40m ²	=	34.24%
PERMEABLE AREA	582.60m ²	=	65.76%
GARDEN AREA	581.50m ²	=	65.63%
TOTAL	886m ²	=	100%

BALANCED CUT & FILL AT: **65.10 RL AHD**. EARTHWORKS TO PROVIDE A SUITABLE SCAFFOLDING WORKING PLATFORM.

65.600 RL AHD **DRIVEWAY GRADIENT** **65.485 RL AHD**

1 : -96.60
11,109

C/OVER **GARAGE**

CAPPED RISERS TO BE 600mm ABOVE FINISHED LEVEL OF BUILDING PLATFORM AND CONNECTED TO LEGAL POINT OF DISCHARGE

P CLASS SITES

CUT BATTERS: ALL TO BE @ 1:1

FILL BATTERS: ≤ 600mm @ 1:1
 > 600mm @ 1:2

NO CUT/FILL TO BE WITHIN 100MM OF NEIGHBOURING LOTS SIDE BOUNDARY

SURVEY DATE	16/04/2026
CONTOUR INTERVALS	200 mm
LEVELS TO	65.49
SITE AREA	886 sqm
BUILDING AREA	244.25 sqm
SITE COVERAGE	27.57%
WIND SPEED	N2
SITE CLASSIFICATION	P

SITE LOCATION MELWAYS REFERENCE: 441 C9

IT IS THE RESPONSIBILITY OF THE OWNER TO CHECK FOR UNDERGROUND PIPES PRIOR TO ANY EARTHWORKS CONDUCTED AFTER HANDOVER. THE BUILDER WILL NOT BE LIABLE FOR DAMAGE TO EXISTING PIPES BY THE OWNER AFTER HANDOVER.

- PROVIDE A PLIABLE MEMBRANE TO EXTERNAL WALLS INSTALLED IN ACCORDANCE WITH AS 4200.1-2
- ALL EXHAUST FANS SHOWN ON THE PLANS TO ACHIEVE A MINIMUM FLOW RATE IN ACCORDANCE WITH PART 10.8.2 OF NCC.
- EXHAUST FANS TO BE DUCTED TO THE EXTERNAL WALL OR THROUGH THE ROOF SPACE DIRECTLY TO A ROOF VENT. NO FANS TO DISCHARGE DIRECTLY INTO THE ROOF SPACE IN ACCORDANCE WITH PART 10.8.2 (2) OF NCC.
- EXHAUST FANS TO BE FITTED WITH TIMER DELAY TO ALL WET AREA WITH NO NATURAL VENTILATION IN ACCORDANCE WITH PART 10.8.2 (4) OF NCC.

- DWELLINGS TO COMPLY WITH AUSTRALIAN BUILDING CODES BOARD (ABCB), STANDARD FOR LIVEABLE HOUSING STANDARDS.
- THE THRESHOLD OF AN INTERNAL DOORWAY THAT IS SUBJECT TO CLAUSE 3.1 MUST COMPLY WITH CLAUSE 3.2.
- DOORWAYS TO SANITARY COMPARTMENTS WHERE THE DOOR IS WITHIN 1200mm OF THE TOILET PAN MUST BE FITTED WITH LIFT-OFF HINGES.
- OPENABLE WINDOWS TO BE PROVIDED IN ACCORDANCE WITH PART 11.3.7 OF NCC.

DWELLING TO COMPLY W/- THE REQUIREMENTS OF 7 STAR ENERGY RATING.

JOB HAS BEEN DRAWN UNDER THE FULL NCC 2022 REQUIREMENTS.
- AMENDMENT 2

WHERE AN IMPERVIOUS DRIVEWAY CONNECTS TO THE STEP-FREE GARAGE, AN ADJOINING CLASS 1 BRICK VENEER WALL MAY HAVE WEEP HOLES ONLY OMITTED AS PER BCA VOL 2 CLAUSE 5.7.5. THE INTERSECTING WALL MUST HAVE WEEP HOLES TO DISCHARGE MOISTURE.

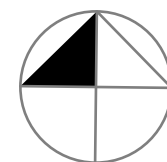
GARAGE AND EXTERNAL HINGED DOORS REQUIRDE TO BE SEALED TO RESTRICT AIR FILTRATION. NCC CLAUSE 13.4.4.

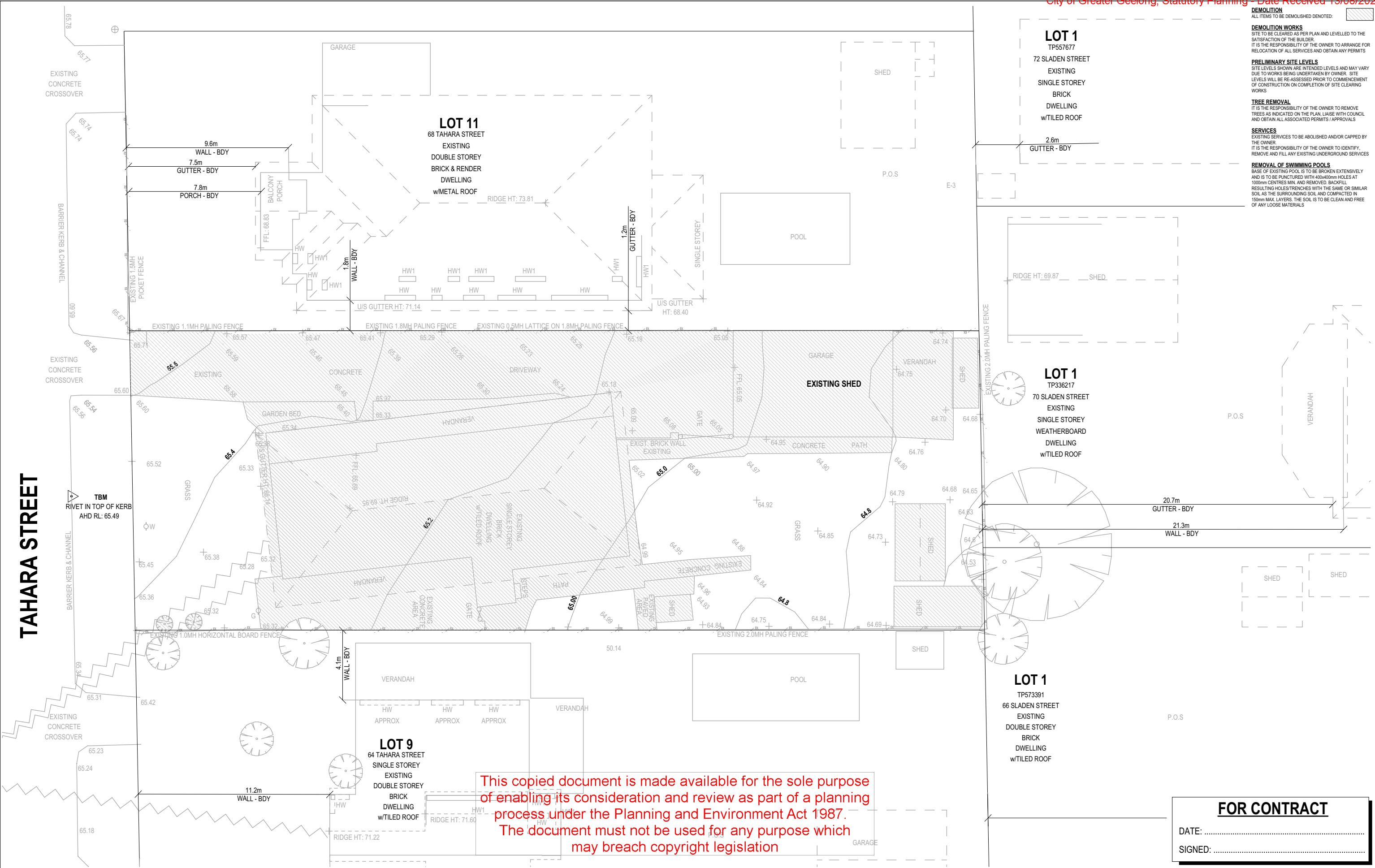
THIS PROPERTY IS IN A PLANNING ZONE (NEIGHBOURHOOD RESIDENTIAL ZONE- SCHEDULE 8 (NRZ8)).

THIS PROPERTY IS AFFECTED BY THE (DESIGN AND DEVELOPMENT
OVERLAY - SCHEDULE 14 (DDO14)).

DATE:

SIGNED:





boutique homes 81 LORIMER STREET DOCKLANDS, VIC. 3008 PH: (03) 9674 4500 FAX: (03) 9674 4501	ID	REVISION	BY	DATE	ID	REVISION	BY	DATE	GENERAL NOTES: - WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE - WINDOW SIZES AND LOCATIONS ARE NOMINAL AND MAY VARY TO MANUFACTURERS FRAME SIZES © The Copyright of this design is the sole property of ABN Group VIC and there is no implied licence for its use for any purpose.		CLIENT: S. B. J. & E. J. LYNCH LOT 10 (#66) TAHARA STREET HAMLYN HEIGHTS, VIC 3215	DEMOLITION PLAN		JOB No:			
	01	CONTRACT DRAWINGS, SURVEY, PSI	MT	11/05/2026								502415					
	02	CONTRACT DRAWING CHECK	GB	25/05/2026													
	03	CONTRACT CORRECTIONS	AS H	07/07/2026													
	04	BARWON WATER RFI	A M	03/08/26													
	05	METAL ROOF	M K	03/08/26													
HOUSE TYPE: GRANGE 45 FACADE: HAMPTON														MASTER DRAWING INFO: DRAWN BY: JK TYP HEIGHT: 27/25L		REVISION: 01 ISSUED: TBC	DRAWING No: 2 OF 12
LAST SAVED: 3/08/2026 \\abn.group\bou2\boujobs\Drafting\5020001\5024001\502415\Arch\CAD Files\502415_LYNCH_CONTRACT_AC24.plt																	

DRAINAGE

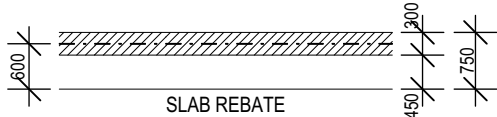
- SITE DRAINAGE SHALL COMPLY WITH PART 3.3.2 OF NCC, AS3500, AND AS 2870.
- PROVIDE Ø100mm UPVC STORMWATER DRAINS WITH MIN. COVER & FALL. CONNECT TO POINT OF DISCHARGE. STORMWATER DRAINS HAVE BEEN SHOWN INDICATIVELY.
- CONNECT ANY GRATED STORMWATER DRAIN TO STORMWATER DRAINS VIA SILT PIT(S) AS NOTATED.
- TEMPORARY DOWNPIPES TO BE USED UNTIL CONNECTED TO SW DRAIN.
- ALL DOWNPIPES TO BE JOINED TO PVC STORMWATER DRAIN AT BASE OF WEEPHOLES TYPICAL.
- SURFACE DRAINAGE OF SITE TO BE CONTROLLED FROM START OF SITE PREPARATION & SHOULD BE COMPLETED BEFORE HANDOVER.
- TRENCH BASES TO SLOPE AWAY FROM BUILDING.
- TOP 300mm OF TRENCHES TO BE BACK-FILLED WITH COMPACTED CLAY WITHIN 1.5m FROM THE BUILDING.

CAPPED RISERS

CAPPED RISERS TO BE 600mm ABOVE FINISHED LEVEL OF BUILDING PLATFORM AND CONNECTED TO LEGAL POINT OF DISCHARGE.

EXCLUSION ZONE

- STORMWATER PIPES TO BE INSTALLED 600mm FROM PERIMETER OF BUILDING AND CONNECTED TO LEGAL POINT OF DISCHARGE. A NO GO ZONE IS IN PLACE 150mm EITHER SIDE OF THE STORMWATER PIPES.
- REFER TO PROPERTY SERVICES DRAINAGE PLAN FOR SEWER MAINS AND BRANCH LOCATION.



PLUMBING REQUIREMENTS

- AS PER AS 2870.
- PENETRATION OF EDGE BEAMS OR FOOTINGS TO BE AVOIDED WHERE PRACTICABLE, BUT WHERE NECESSARY, SHALL BE DETAILED TO ALLOW FOR MOVEMENT.
- DRAINS EMERGING FROM UNDERNEATH THE BUILDING TO INCORPORATE FLEXIBLE JOINTS AND SHOULD ALLOW DIFFERENTIAL MOVEMENT IN ANY DIRECTION EQUAL TO THE ESTIMATED CHARACTERISTIC SURFACE MOVEMENTS (Ys VALUE)
- ON SITE WASTE WATER TREATMENT UNITS TO BE LOCATED TO MINIMISE SOIL MOISTURE INCREASE WITHIN THE FOUNDATION.
- DRAINAGE UNDER THE SLAB TO BE AVOIDED WHERE PRACTICABLE.
- COLD AND HOT WATER PIPES NOT TO BE INSTALLED UNDER THE SLAB, UNLESS PIPES ARE INSTALLED WITHIN A CONDUIT SO THAT IF THE PIPE LEAKS IT WILL BE NOTICED ABOVE OR OUTSIDE THE SLAB.

SITE PREPARATION REQUIREMENTS

- UNLESS NOTED OTHERWISE, EXCAVATIONS TO BE BATTERED AT 45° MAX. FOR SAND/SILT/FILL SITES. ALL BATTERS TO BE KEPT WITHIN PROPERTY BOUNDARIES.
- ALL CUT & FILL BATTERS MUST BE STABILISED FOLLOWING CONSTRUCTION. THE GROUND LEVEL IMMEDIATELY ADJACENT TO THE BUILDING SHALL BE GRADED TO A UNIFORM FALL OF 50mm MIN. AWAY FROM THE BUILDING OVER THE FIRST METRE.

MIN. REQUIREMENTS EXPANSION JOINTS CAPACITY				
SITE CLASS	EXPANDER MOVEMENT RANGE		SWIVEL ROTATION RANGE	
'E'	150mm		15°	
'H1' & 'H2'	70mm		15°	
'M'	MIN. 25mm LAGGING THROUGH FOOTINGS		NOT APPLICABLE	
MIN. REQUIREMENTS EXPANSION JOINTS CAPACITY				
SITE CLASS	SEWER EXIT POINTS & ORG		RISER	
	SWIVEL	EXPANDER	SWIVEL	EXPANDER
'M'	1	0	0	MIN. 25mm
'H1'	1	1	1**	MIN. 50mm
'H2'	2	1	1**	
'E'	2	1	X*	MIN. 50mm

* - EXPANDER ON ALL RISERS
** - MAX DEPTH OF SEWER TO UNDERSIDE OF SLAB TO BE 500mm FOR CLASS M & 600mm FOR CLASS H OTHERWISE EXPANDER JOINT REQUIRED

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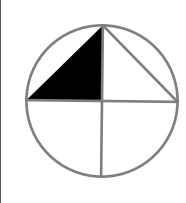
ID	REVISION	BY	DATE
01	CONTRACT DRAWINGS, SURVEY, PSI	MT	11/05/2026
02	CONTRACT DRAWING CHECK	GB	25/05/2026
03	CONTRACT CORRECTIONS	AS H	07/07/2026
04	BARWON WATER RFI	A M	03/08/26
05	METAL ROOF	M K	03/08/26

ID	REVISION	BY	DATE

GENERAL NOTES:

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- WINDOW SIZES AND LOCATIONS ARE NOMINAL AND MAY VARY TO MANUFACTURERS FRAME SIZES

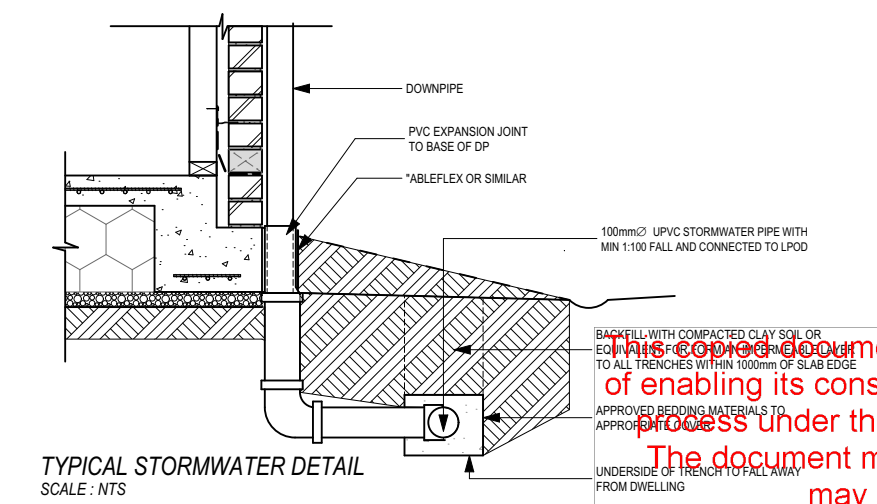
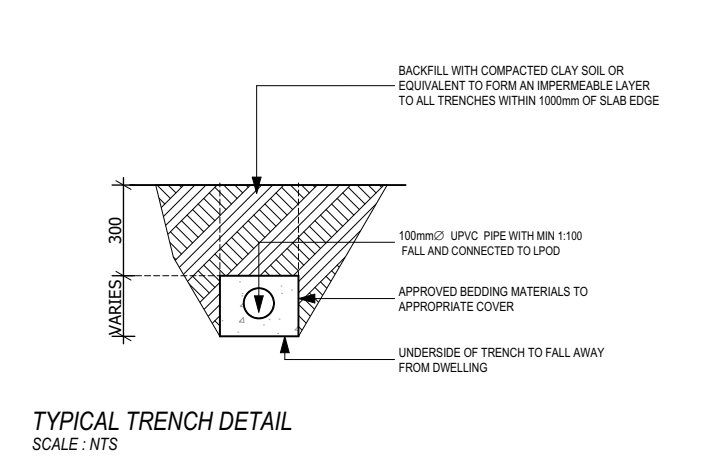
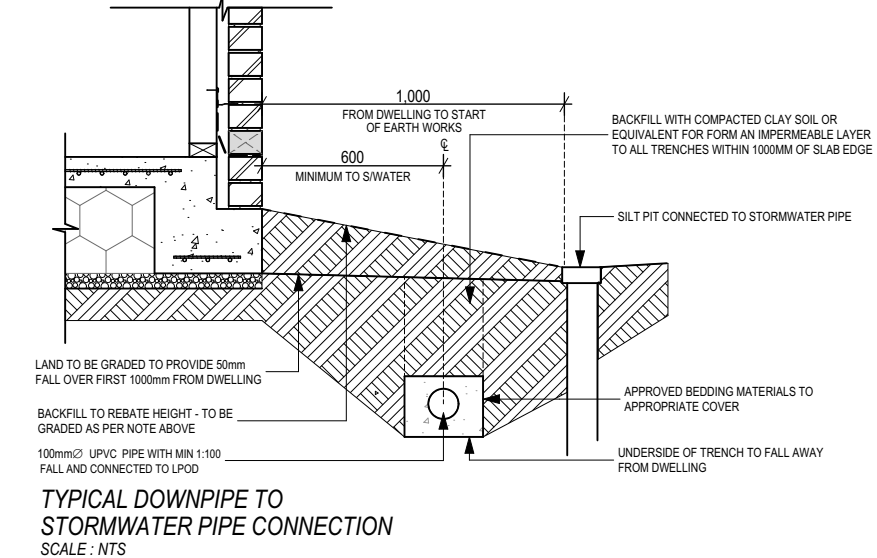
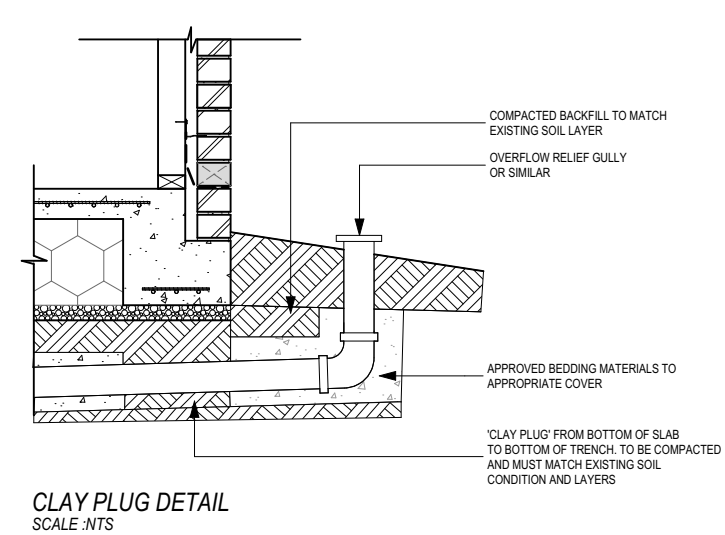
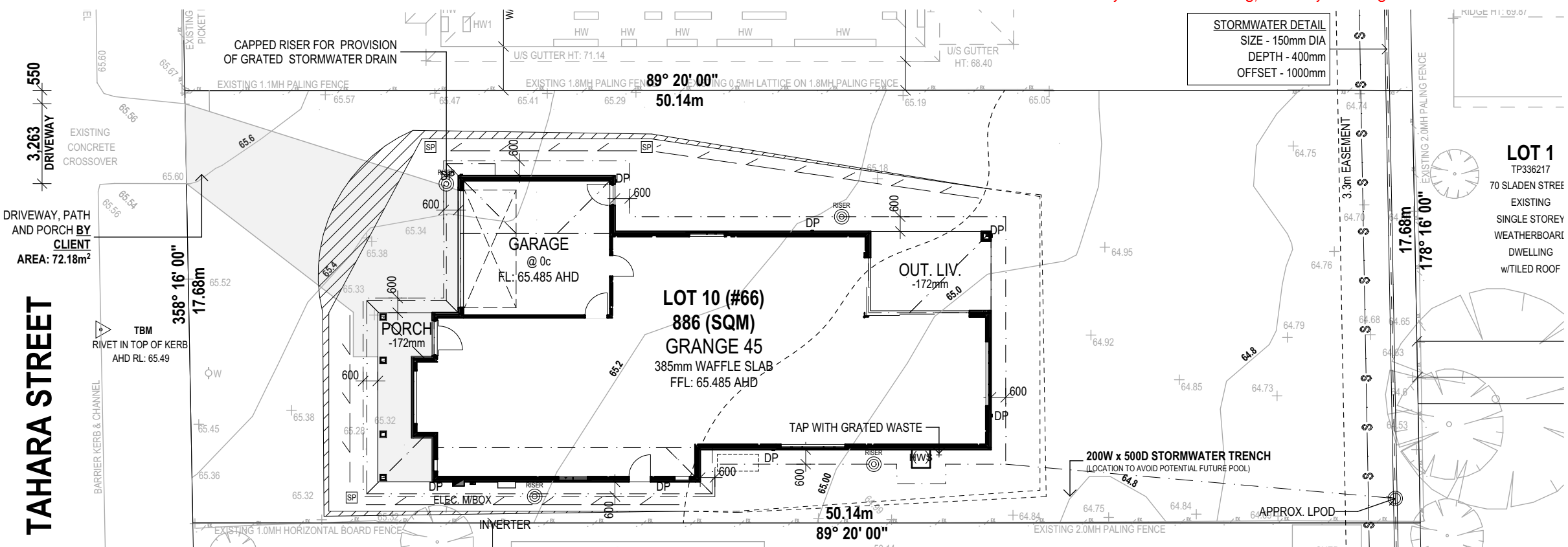
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CLIENT:
S. B. J. & E. J. LYNCH

LOT 10 (#66) TAHARA STREET
HAMLYN HEIGHTS, VIC 3215

DRAINAGE PLAN			JOB No:
HOUSE TYPE: GRANGE 45		MASTER DRAWING INFO:	502415
FACADE: HAMPTON	DRAWN BY: JK	REVISION: 01	SCALE: 1:200, 1:25
	TYP HEIGHT: 27/25L	ISSUED: TBC	DRAWING No: 3 OF 12



SEWER
SIZE - 150mm PVC
DEPTH - TBC
OFFSET - TBC
TIE DEPTH - TBC

- LEGEND**
- 1:20 MIN. FALL AWAY FROM FOOTINGS
 - CUT TOE/SPOON DRAIN @ MIN. FALL
 - AGI — AGRICULTURAL DRAIN
 - — STORMWATER DRAINAGE SYSTEM
 - SP SILT PIT CONNECTED TO STORMWARER
 - GRATED SILT PIT TO SWALE DRAIN
 - ⊙ SW LEGAL POINT OF DISCHARGE

SITE DRAINAGE - SWALE DRAINS

SOIL TO BE GRADED TOWARDS SWALE DRAIN AT MIN 1:20/50MM OVER FIRST 1000MM AWAY FROM DWELLING AS PER AS 2870-2011. GRATED SILT PITS TO BE PROVIDED AT MAX. 6000MM CTS AND CONNECTED TO LEGAL POINT OF DISCHARGE. SILT PITS TO BE LOCATED MIN. 1000MM FROM DWELLING WHERE POSSIBLE. **SITE MANAGERS TO ENSURE SWALE DRAINS REMAIN FORMED & CLEAR OF DEBRIS FOR DURATION OF CONSTRUCTION**

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GENERAL NOTES

- INTERCONNECTED SMOKE DETECTORS AS PER 9.5 OF NCC AND AS 3886.
- PROVIDE REMOVABLE HINGES TO WC DOORS PER PART 10.4.2 OF NCC.
- TEMPORARY DOWNPIPES TO BE USED UNTIL CONNECTED TO SW DRAIN.
- GUTTERS & DRAINAGE TO COMPLY WITH AS 3500.
- STAIR TREADS TO COMPLY WITH THE SLIP RESISTANT; NCC TABLE 11.2.4 OF NCC.
- THESE DRAWINGS TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEER'S DRAWINGS & SPECIFICATIONS.
- ALL STRUCTURAL TIMBER FRAMING SIZES TO BE IN ACCORDANCE WITH AS 1684 NATIONAL TIMBER FRAMING CODE &/OR ENGINEER'S COMPUTATIONS.
- WATERPROOFING OF WET AREAS TO COMPLY WITH PART 10.2 OF NCC. AND AS 3740
- HINGED DOORS TO BE 135mm FROM CORNER IF SPACE PERMITS, OR 45mm MIN. FROM CORNER. CENTRE DOORS TO PASSAGE.
- ROBE DOORS TO BE EXTERNALLY CENTRED UNLESS OTHERWISE NOTED.
- WATERPROOFING TO ALL EXTERNAL WET AREAS TO BE IN ACCORDANCE WITH AS 4654.2 CLAUSE 2.8.2.
- TIMBER ROOF TRUSSES TO MANUFACTURER'S COMPUTATIONS & LAYOUTS.
- ROOF TRUSSES TO BE PLACED DIRECTLY ON TOP OF EXTERNAL WALL STUDS.
- INTERNAL RAMP SEAL FROM GARAGE TO INTERNAL ACCESS

LEGEND

- FLOOR TILES
- TIMBER/LAMINATE
- CARPET

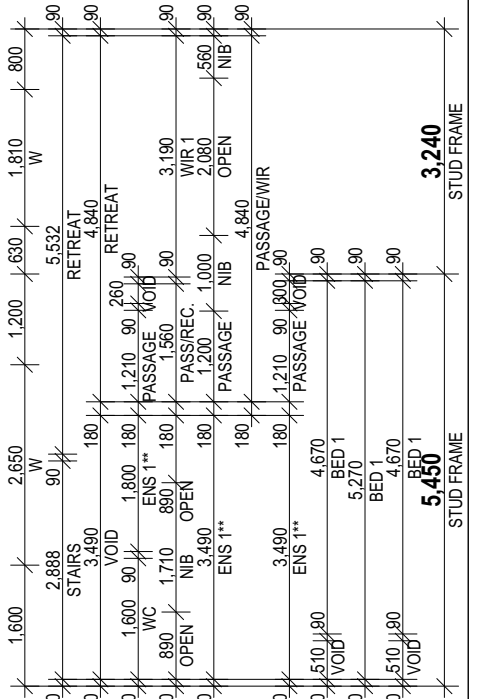
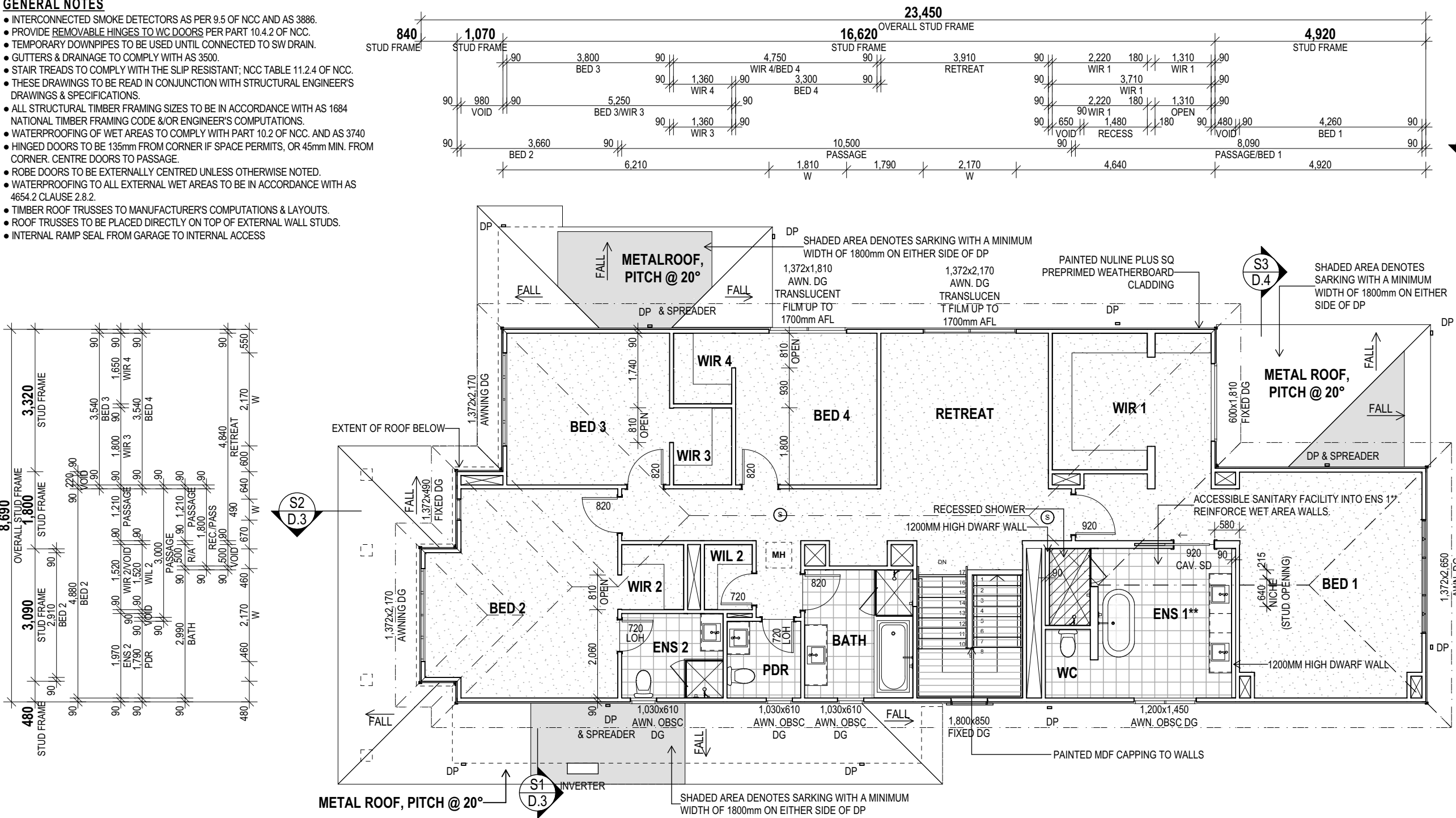
LOH LIFT OF HINGES

Ⓢ SMOKE DETECTOR

** NOGGINS INSTALLED TO STUD WALLS FOR FUTURE GRAB RAILS AS PER NCC

RDP ROUND DOWPIPE

DG DOUBLE GLAZING



Area Calcs		
Zone Name	Area (m²)	Perimeter (m)
FIRST FLOOR	181.64	64.54
GROUND FLOOR	179.02	68.20
GARAGE	36.73	24.40
OUTDOOR LIVING	15.94	16.32
PORCH	12.56	19.94
TOTAL	425.89 m²	

NCC COMPLIANCE - AIR FILTRATION

GARAGE AND EXTERNAL HINGED DOORS REQUIRE TO BE SEALED TO RESTRICT AIR FILTRATION. NCC CLAUSE 13.4.4.

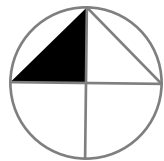
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81 LORIMER STREET
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PH: (03) 9674 4500 FAX: (03) 9674 4501

ID	REVISION	BY	DATE
01	CONTRACT DRAWINGS, SURVEY, PSI	MT	11/05/2026
02	CONTRACT DRAWING CHECK	GB	25/05/2026
03	CONTRACT CORRECTIONS	AS H	07/07/2026
04	BARWON WATER RFI	A M	03/08/26
05	METAL ROOF	M K	03/08/26

ID	REVISION	BY	DATE
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CLIENT:
S. B. J. & E. J. LYNCH

LOT 10 (#66) TAHARA STREET
HAMLYN HEIGHTS, VIC 3215

FIRST FLOOR PLAN

HOUSE TYPE:
GRANGE 45

FACADE:
HAMPTON

MASTER DRAWING INFO:
SCALE:
1:100

DRAWN BY: JK
REVISION: 01
TYP HEIGHT: 27/25L
ISSUED: TBC

JOB No:
502415

DRAWING No:
5 OF 12

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2340H INTERNAL DOORS THROUGHOUT FIRST FLOOR U.N.O

ENERGY EFFICIENCY
ALL WINDOWS ARE DOUBLE GLAZED + LOW-E + THERMALLY BROKEN, ALL SLIDING/STACKER DOORS ARE DOUBLE GLAZED + LOW-E, UNLESS OTHERWISE NOTED.

DIMENSIONS ARE TO STUDWALL &/OR EXTERNAL CLADDING

FOR CONTRACT

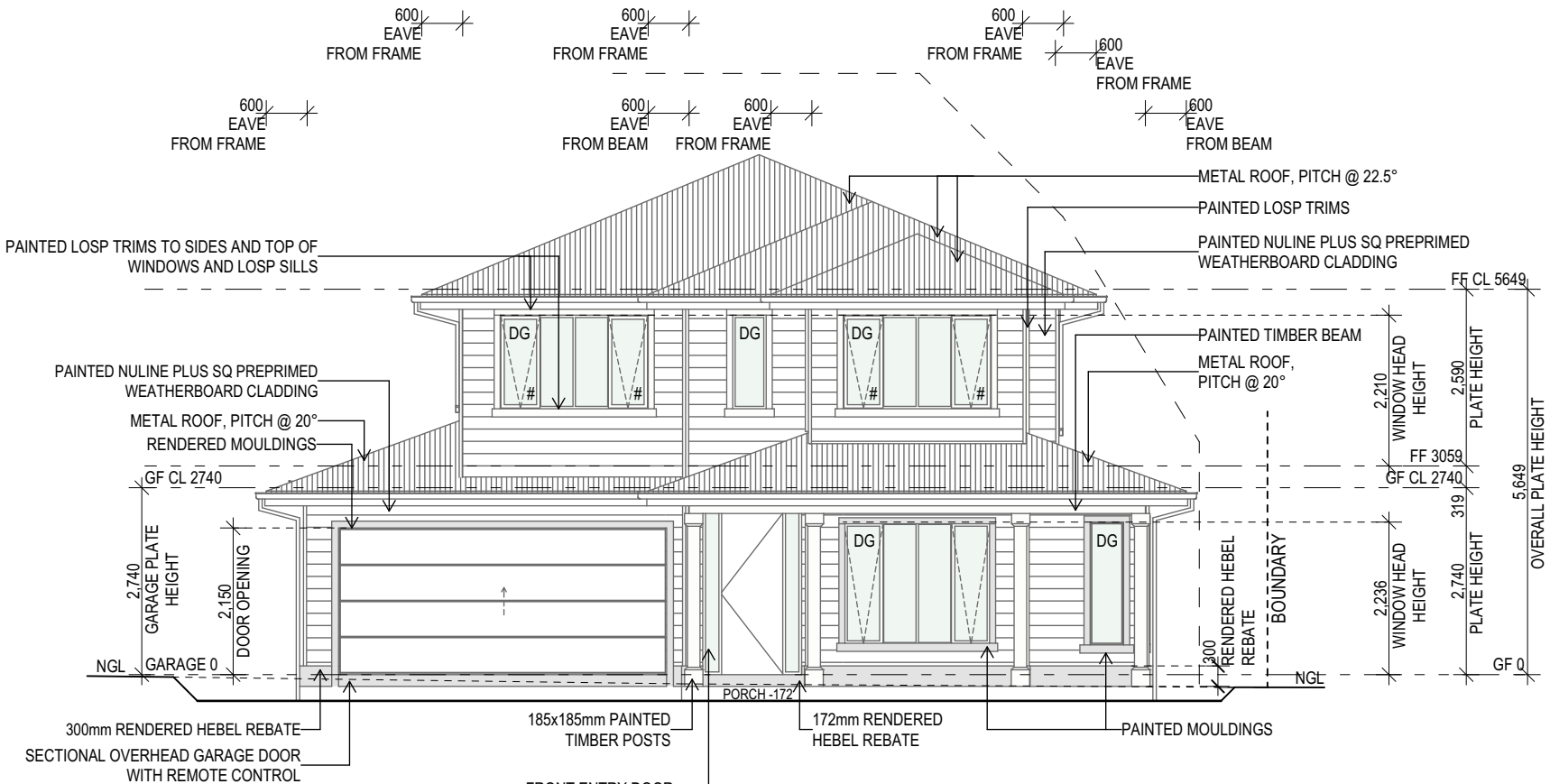
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SIGNED:

GENERAL NOTES

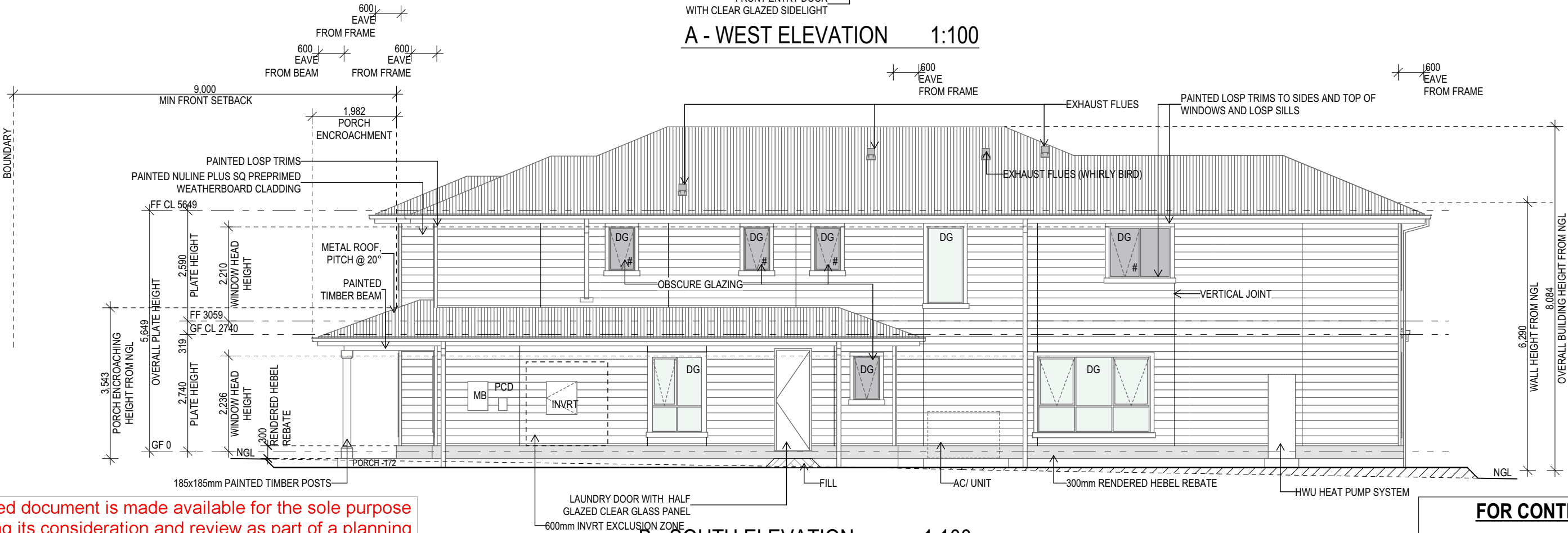
- THE TYPE GLASS AND INSTALLATION OF ALL GLAZING (WINDOWS, DOORS, SHOWER SCREEN, BALUSTRADES, AND ROOF LIGHTS) TO BE IN ACCORDANCE WITH PART 8.3 OF NCC AND AS 2047.
- ALL WET AREAS FEATURING EXTERNAL SLIDING DOORS OR WINDOWS WILL HAVE OBSCURE GLAZING, IN ACCORDANCE WITH PART 8.4.6 OF NCC.
- WINDOW HEAD HEIGHT DIMENSIONS ARE NOMINAL & TO BE TAKEN TO THE NEAREST BRICK COURSE.
- ALL ARTICULATION JOINTS MUST BE IN COMPLIANT WITH PART 5.6.8 OF NCC AND AS 4773.1&2, WITH THE EXACT LOCATION SPECIFIED IN THE STRUCTURAL ENGINEERING DRAWINGS.
- HEBEL PANEL VERTICAL CONSTRUCTION JOINTS TO BE IN LINE WITH DOOR OR WINDOW EDGES. WHERE AN EXTERNAL CORNER JUNCTION IS ON THE FRONT FACADE, THE FULL PANEL IS TO FACE THE STREET AND THE RETURN PANEL IS TO BUTT IN BEHIND WITH THE VERTICAL JOINT ON THE RETURN SIDE, NOT ON THE FRONT.
- ALL DRAWINGS TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEER'S DRAWINGS & COMPUTATIONS.
- ALL DOWNPIPES TO BE JOINED TO PVC SWD AT BASE OF WEEPHOLES TYPICAL.

LEGEND

- RENDERED HEBEL
- CLADDING
- DG DOUBLE GLAZING
- # RESTRICTED WINDOW OPENING 125mm



A - WEST ELEVATION 1:100



B - SOUTH ELEVATION 1:100

FOR CONTRACT

DATE:
SIGNED:

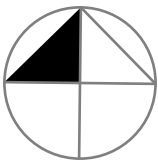
DIMENSIONS ARE
FROM RELEVANT LEVELS

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05	METAL ROOF	M K	03/08/26

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CLIENT:
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LOT 10 (#66) TAHARA STREET
HAMLYN HEIGHTS, VIC 3215

ELEVATION A & B

HOUSE TYPE:
GRANGE 45
FACADE:
HAMPTON

MASTER DRAWING INFO:
DRAWN BY: JK
TYP HEIGHT: 27/25L
REVISION: 01
ISSUED: TBC

JOB No:
502415

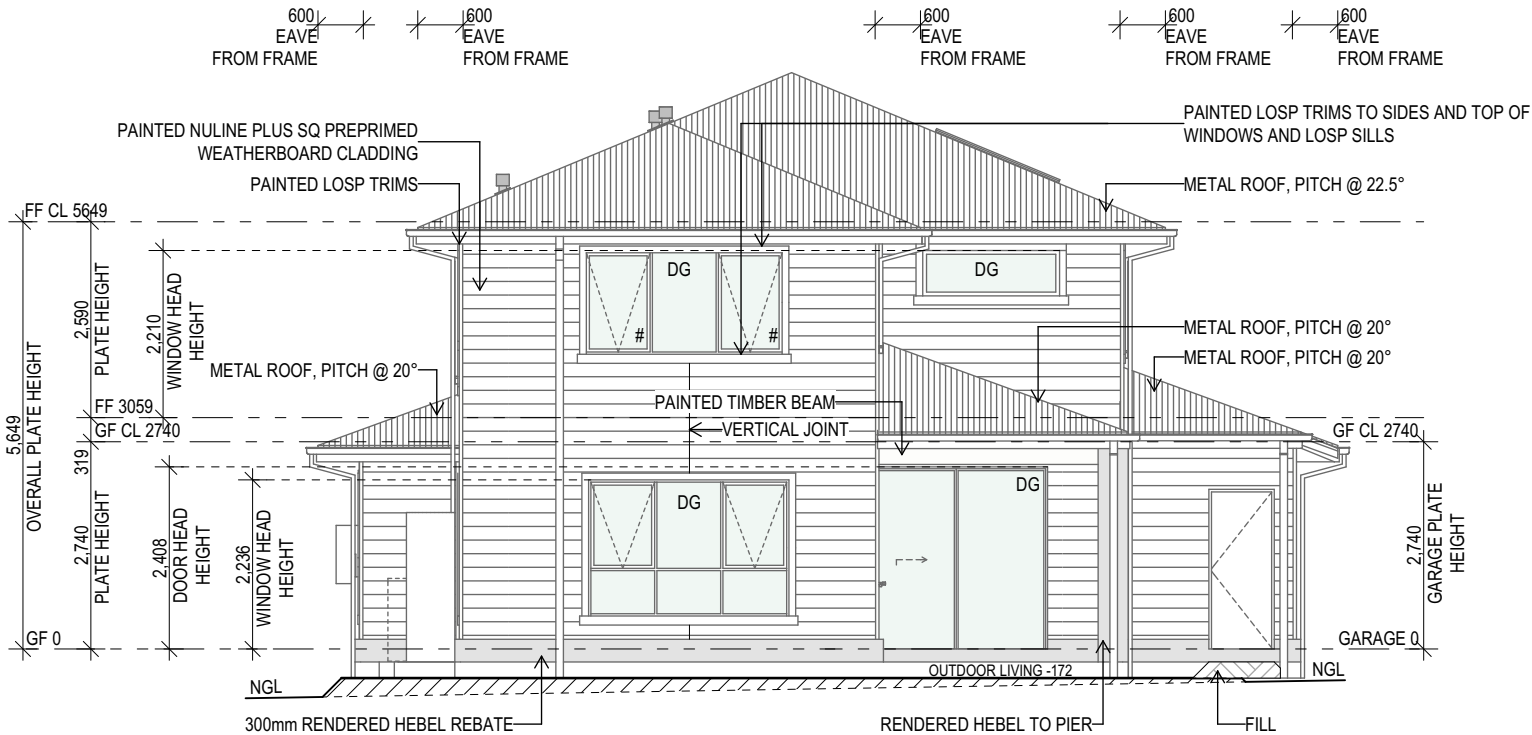
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GENERAL NOTES

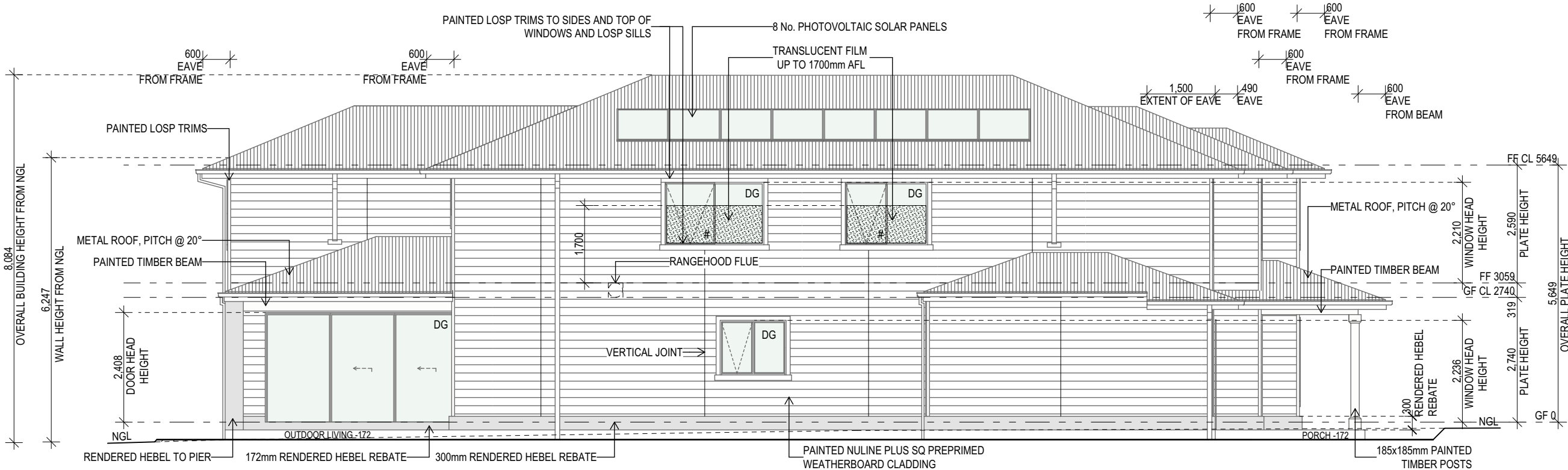
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LEGEND

- RENDERED HEBEL
- CLADDING
- DG DOUBLE GLAZING
- # RESTRICTED WINDOW OPENING 125mm



C - EAST ELEVATION 1:100



D - NORTH ELEVATION 1:100

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DIMENSIONS ARE
FROM RELEVANT LEVELS

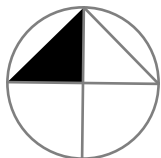
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04	BARWON WATER RFI	AM	03/08/26
05	METAL ROOF	MK	03/08/26

ID	REVISION	BY	DATE

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CLIENT:
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LOT 10 (#66) TAHARA STREET
HAMLYN HEIGHTS, VIC 3215

ELEVATION C & D

HOUSE TYPE:
GRANGE 45
FACADE:
HAMPTON

MASTER DRAWING INFO:
DRAWN BY: JK
TYP HEIGHT: 27/25L
REVISION: 01
ISSUED: TBC

JOB No:
502415
SCALE:
1:100
DRAWING No:
7 OF 12

20mm CFS BENCHTOP
WITH 40mm FACE EDGE

MW
REC.

LAMINATED KICKER

REF SPACE

910 BENCHTOP

40

150 330 390

DRW MW

720 40

150

DRWS

1 No. POT DRAWER

2 No. POT DRAWERS

4 No. EQ DRAWERS

B'PTRY
TIMBER/
LAMINATE

KITCHEN
TIMBER/LAMINATE

The layout plan shows a long kitchen unit with various components and dimensions. The B'PTRY (Breakfast/Pantry) area on the left includes a sink (2,346), a dishwasher (610), and a benchtop (2,850). The KITCHEN area on the right includes a rangehood (900), an oven (900), a bin (450), and a benchtop (4,480). The unit is divided into sections by dashed lines, and the overall dimensions are provided for each section.

Dimensions and components for B'PTRY:

- 30 (overhang)
- 600 (DRWS)
- 600 (DRWS)
- 610 (DW REC.)
- 16 (gap)
- 948 (CUP'DS)
- 30 (overhang)
- 2,346 (SINK CL)
- 504 (SINK CL)
- 2,850 (BENCHTOP)

Dimensions and components for KITCHEN:

- 30 (overhang)
- 410 (CUP'D)
- 900 (DRWS)
- 900 (OVEN)
- 900 (DRWS)
- 450 (BIN)
- 860 (CUP'DS)
- 30 (overhang)
- 4,020 (SINK CL)
- 460 (SINK CL)
- 4,480 (BENCHTOP)

Additional dimensions and components for the KITCHEN area:

- 655 (OHC)
- 655 (OHC)
- 900 (RANGEHOOD)
- 736 (OHC)
- 736 (OHC)
- 738 (OHC)
- 738 (OHC)
- 30 (overhang)

City of Greater Geelong - Statutory Planning - Date Received

30 655 OHC 655 OHC 900 RANGEHOOD 900 OHC 736 OHC 736 OHC 738 OHC 738 OHC 30

4,480 BENCHTOP

16 948 30 CUP'DS 30 410 CUP'D 900 DRWS 900 OVEN 900 DRWS 450 BIN 860 CUP'DS 30

504 SINK CL 4,020 SINK CL 460 SINK CL

KITCHEN
TIMBER/LAMINATE

REF. SPACE

REF. SPACE

16 20 450 695 695 600 600 16 20
O'H DRWS CUP'DS CUP'DS DRWS MW REC. O'H

850 REF. SPACE 1,240 3,112 BENCHTOP

PLASTERED BULKHEAD

INTERGRATED RANGEHOOD

PTO

PTO

20mm CFS BENCHTOP WITH 40mm FACE EDGE

2 x 29 LITRE WASTE MANAGEMENT BIN

TILED S'BACK

INDUCTION COOKTOP

UBO

U/MOUNT SINK

LAMINATED KICKER

4 No. FO. DRAWERS

REF SPACE

150

720

910

704

820

16

2,450

1,510

DRAWERS

BENCHTOP

TILES

OHC

INSIDE OF BULKHEAD

A cross-section diagram of a roof assembly. It shows a horizontal section with three main layers: a top layer labeled "LAMINATED REAR PANELS", a middle layer labeled "EQ" (insulation), and a bottom layer labeled "20" (likely 20mm gap or another material). The diagram is divided into three sections by vertical lines, with the middle section being the largest and labeled "EQ". The left and right sections are labeled "20".

A diagram of a two-door refrigerator. The left door has three horizontal handles. The right door is adjacent to a freezer compartment, which is shown with two drawers. The word "OPENING" is written diagonally on each of the refrigerator doors.

The image contains two technical drawings of shelving units, labeled 'a' and 'b'.

Drawing a: Shows a standard shelving unit with a total height of 1,750 mm. The height is divided into four sections: 450 mm, 450 mm, 425 mm, and 425 mm. The unit features four shelves, labeled '4 No. 300D SHELVES'. A support fin is shown at the top, labeled 'SUPPORT FIN TO SHELVES TO SUIT SPAN OVER 1200mm'.

Drawing b: Shows a shelving unit with a total height of 1,750 mm, divided into four sections: 450 mm, 450 mm, 425 mm, and 425 mm. The unit features four shelves, labeled '4 No. 300D SHELVES'. A support fin is shown at the top, labeled 'SUPPORT FIN TO SHELVES TO SUIT SPAN OVER 1200mm'. A sink and faucet are shown on the left side. A dashed line indicates an 'OPENING' in the unit.

Technical drawing of the rear elevation of the unit. The drawing shows the internal structure, including the support fin for the shelves and the opening for the door. Dimensions are provided for the shelves and the overall height of the unit.

Labels and dimensions:

- SUPPORT FIN TO SHELVES TO SUIT SPAN OVER 1200mm
- 4 No. 350D SHELVES
- OPENING
- Shelf dimensions (from top to bottom): 425, 425, 450, 450
- Total shelf height: 1,750
- Label: SHELVES

20mm CFS BENCHTOP WITH 40mm FACE EDGE

2No. EQ. DRAWERS

TILED S'B'ACK

DW REC.

LAM. KICKER

COLD WATER POINT WITH PRESSURE LIMITING VALVE FOR DISHWASHER RECESS

150 720 40 910 1200

BENCHTOP TILES

GENERAL NOTES

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 - ROBE w/ DOUBLE HANGING RAIL: 300mm DEEP
- TIMBER STUDS @ MAX. 300mm CENTRES IN WET AREAS WHERE FULL HEIGHT TILING OCCURS.
- LINEN/PANTRY: RECESSED 20mm FROM FACE OF SHELF.
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- ALL NOTED CSF BENCHTOPS REFERS TO CRYSTALLINE SILICA FREE BENCHTOP

 TILING - MAIN
 TILING - FEATURE
 GLASS / MIRROR

DATE:

SIGNED:

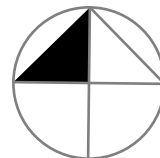
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02	CONTRACT DRAWING CHECK	GB	25/05/2026
03	CONTRACT CORRECTIONS	AS H	07/07/2026
04	BARWON WATER RFI	A M	03/08/26
05	METAL ROOF	M K	03/08/26

[illegible]

GENERAL NOTES:

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- WINDOW SIZES AND LOCATIONS ARE NOMINAL AND MAY VARY TO MANUFACTURERS FRAME SIZES

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LOT 10 (#66) TAHARA STREET
HAMLYN HEIGHTS, VIC 3215

INTERNALS 2			JOB No: 502415
HOUSE TYPE: GRANGE 45	MASTER DRAWING INFO:		SCALE: 1:50
	DRAWN BY: JK	REVISION: 01	DRAWING No:
FAÇADE: HAMPTON	TYP HEIGHT: 27/25L	ISSUED: TRC	9 OF 12

\\ahn.group\hou2\houjobs\Drafting\502000\502400\502415\ArchCAD Files\502415 - LYNCH CONTRACT AC24.pln

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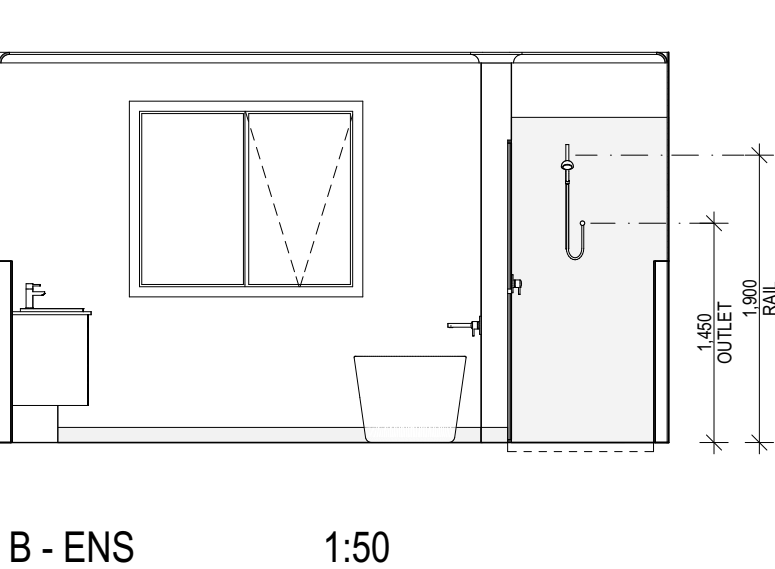
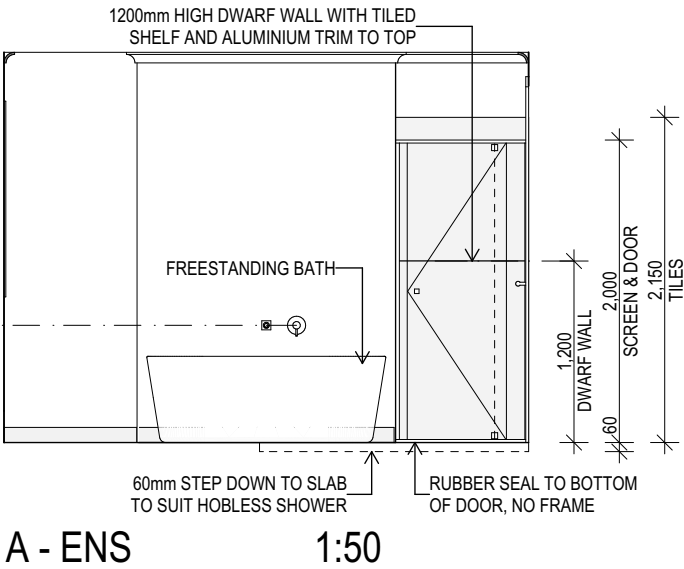
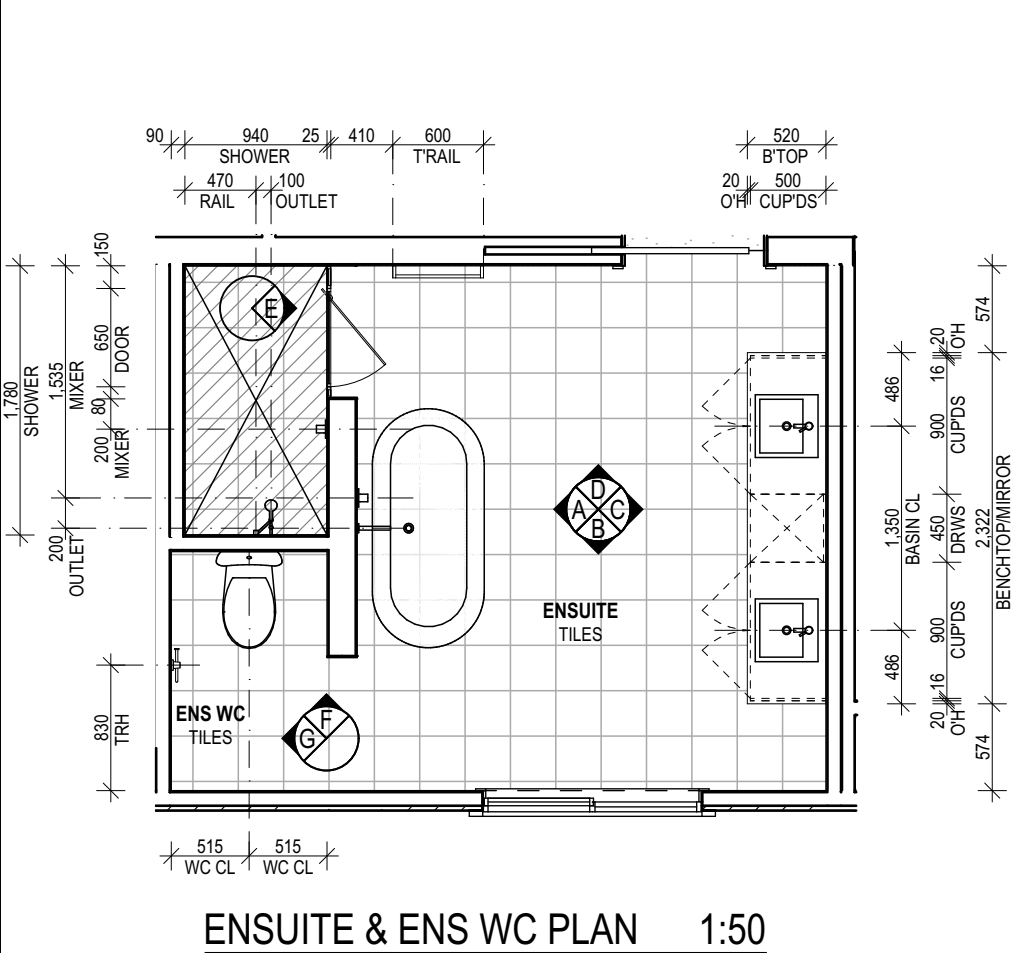
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	TILING - MAIN
	TILING - FEATURE
	GLASS / MIRROR

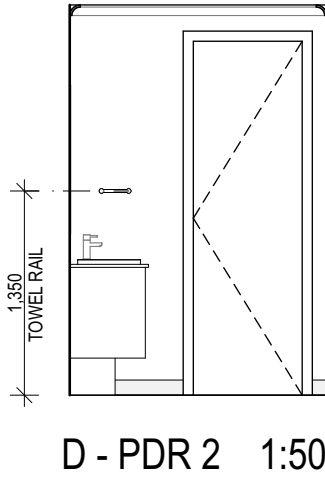
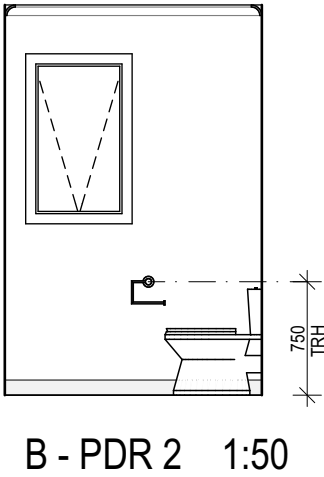
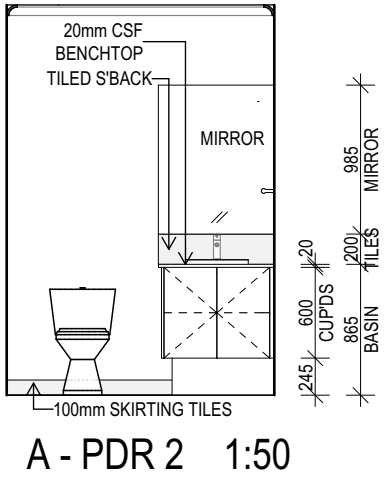
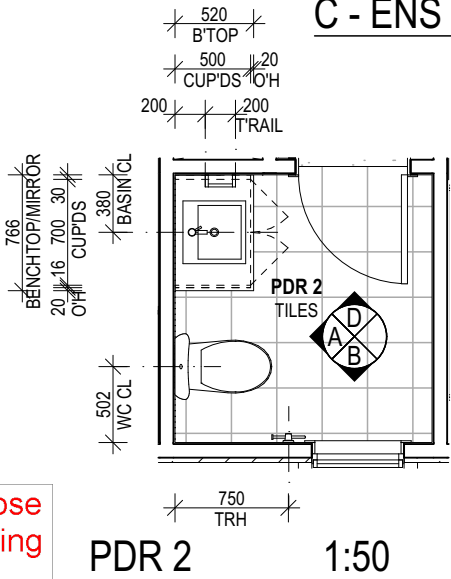
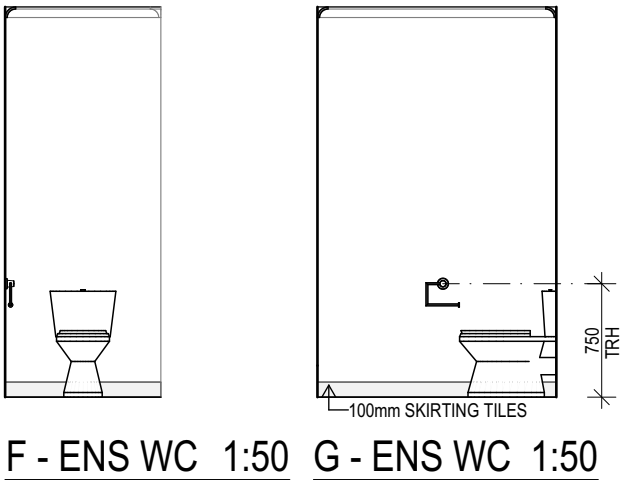
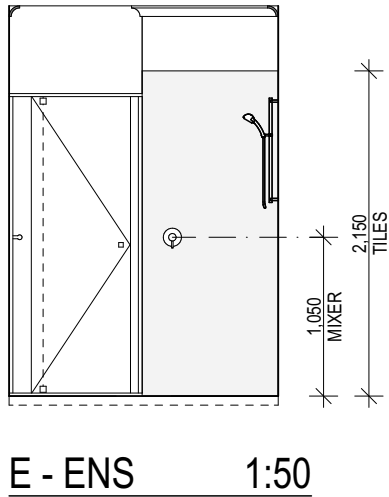
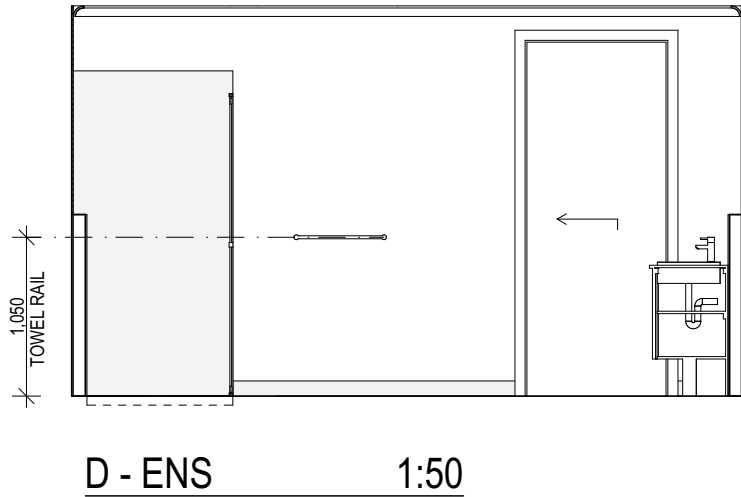
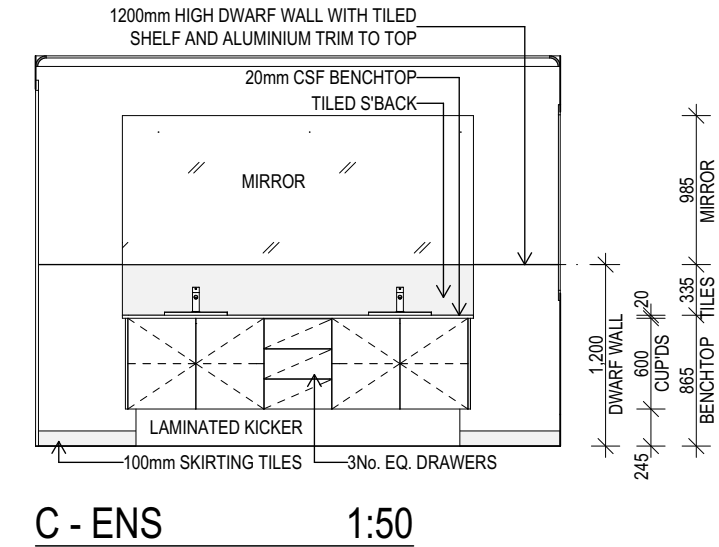
FOR CONTRACT

DATE:

SIGNED:



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- LEGEND**
- TILING - MAIN
 - TILING - FEATURE
 - GLASS / MIRROR

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DATE:

SIGNED:

boutique
homes

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DOCKLANDS, VIC. 3008
PH: (03) 9674 4500 FAX: (03) 9674 4501

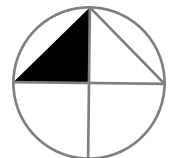
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03	CONTRACT CORRECTIONS	AS H	07/07/2026
04	BARWON WATER RFI	A M	03/08/26
05	METAL ROOF	M K	03/08/26

ID	REVISION	BY	DATE

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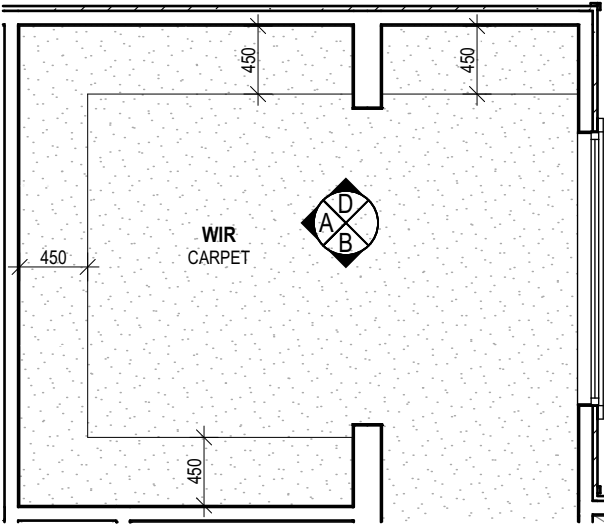


CLIENT:
S. B. J. & E. J. LYNCH

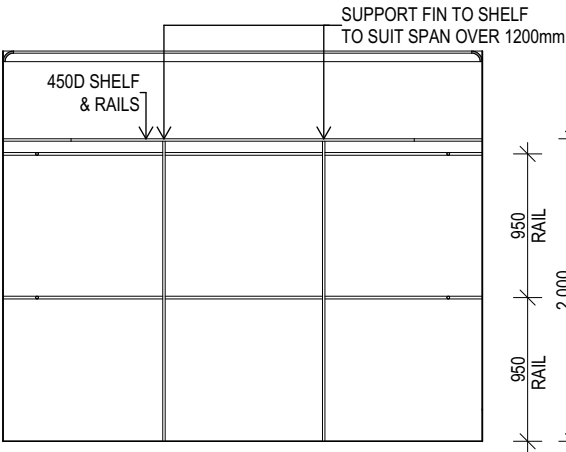
LOT 10 (#66) TAHARA STREET
HAMLYN HEIGHTS, VIC 3215

INTERALS 3				JOB No:
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FACADE: HAMPTON		MASTER DRAWING INFO:		SCALE: 1:50
		DRAWN BY: JK	REVISION: 01	DRAWING No:
		TYP HEIGHT: 27/25L	ISSUED: TBC	10 OF 12

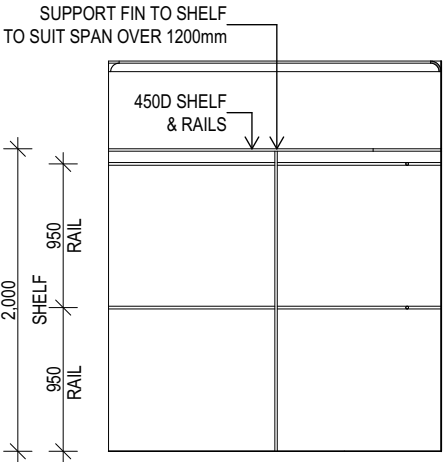
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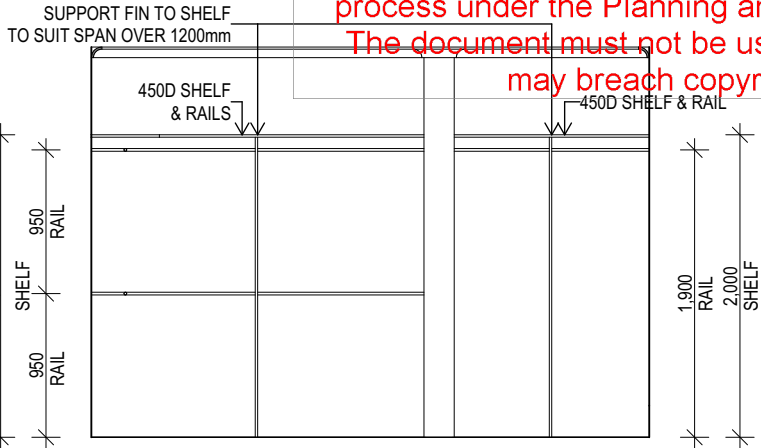
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A - WIR 1:50



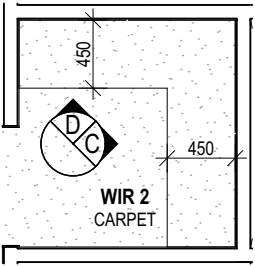
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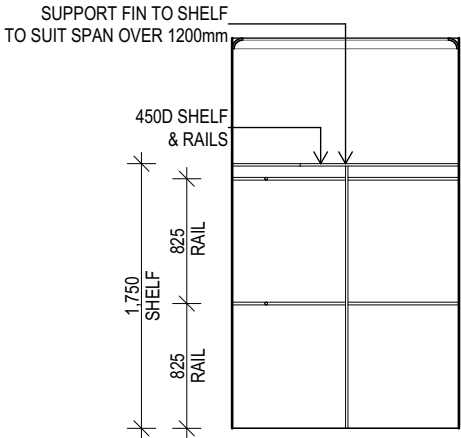
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LEGEND

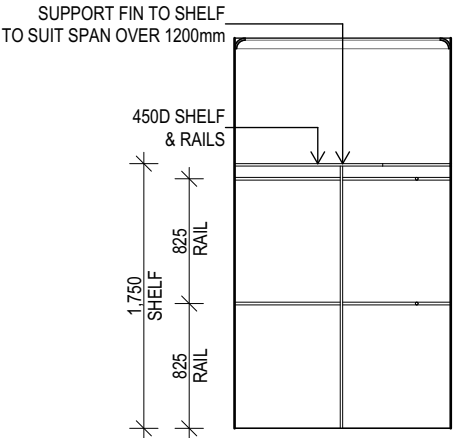
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	TLING - FEATURE
	GLASS / MIRROR



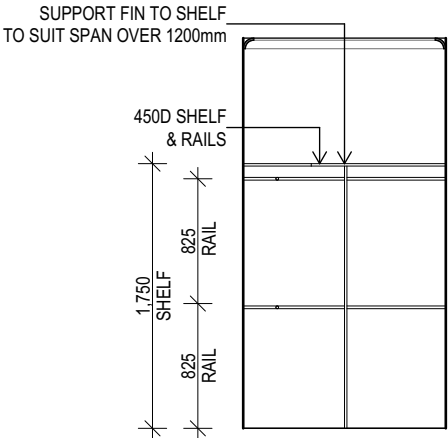
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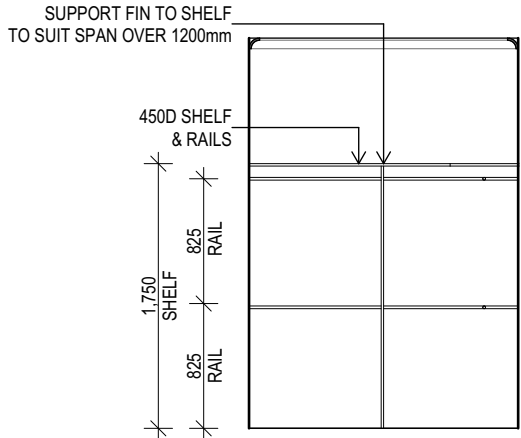
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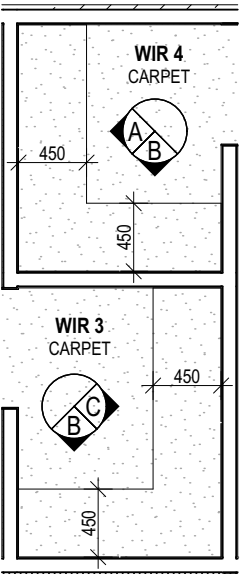


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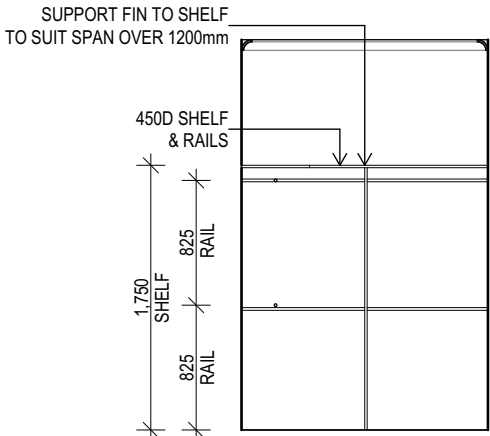


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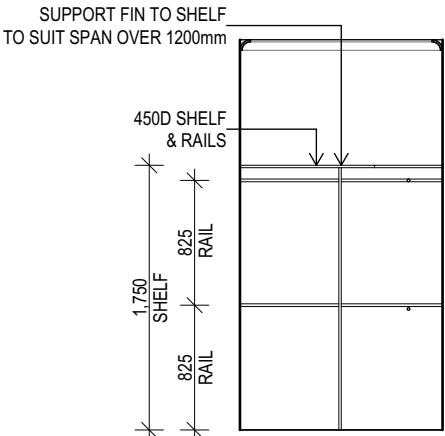
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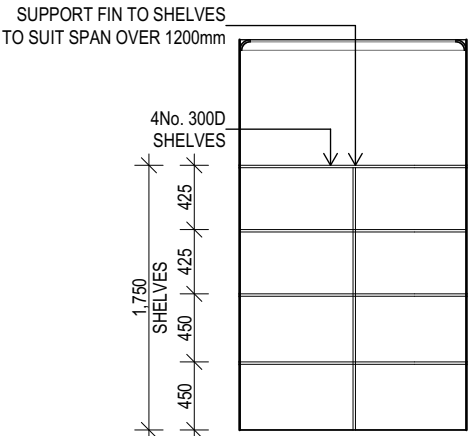
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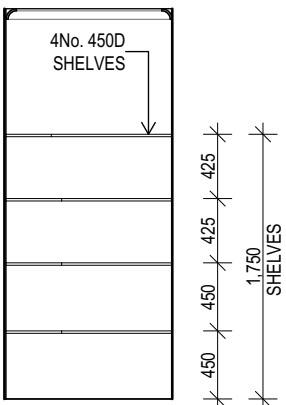
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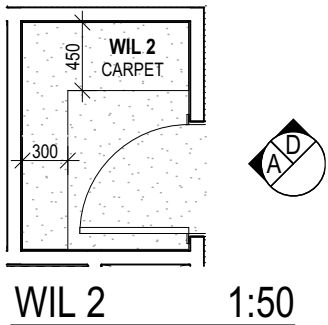
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A - WIL 2 1:50



D - WIL 2 1:50



WIL 2 1:50

FOR CONTRACT

DATE:
SIGNED:

boutique
homes

81 LORIMER STREET
DOCKLANDS, VIC. 3008
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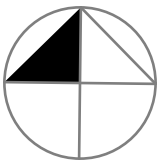
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03	CONTRACT CORRECTIONS	AS H	07/07/2026
04	BARWON WATER RFI	A M	03/08/26
05	METAL ROOF	M K	03/08/26

ID	REVISION	BY	DATE

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LOT 10 (#66) TAHARA STREET
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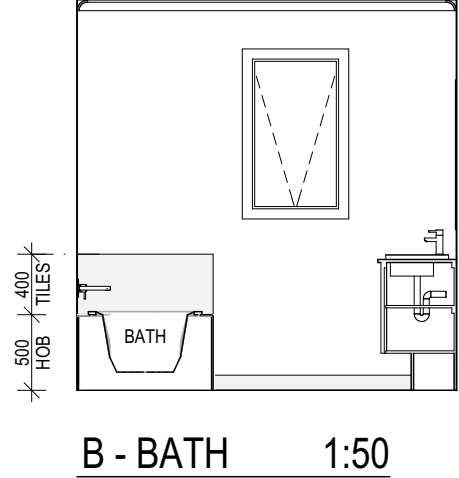
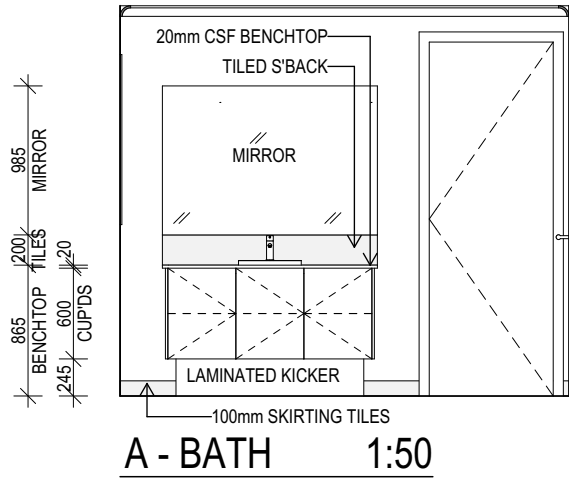
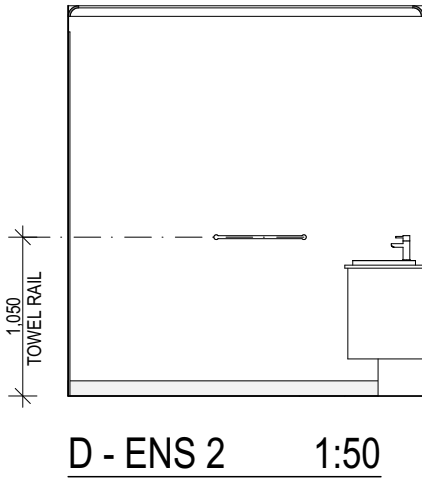
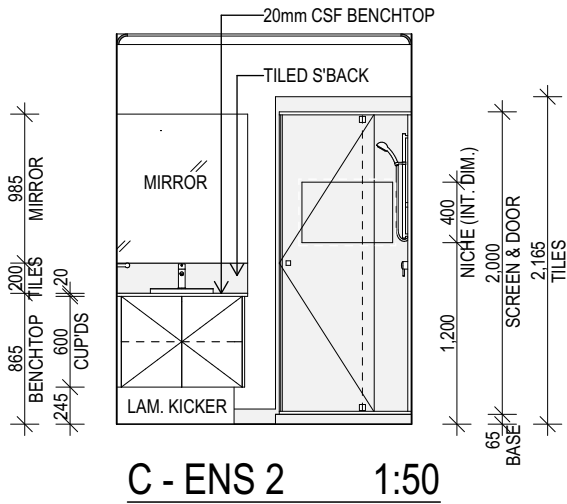
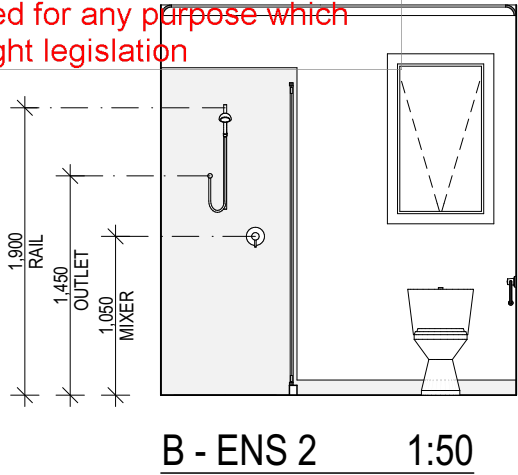
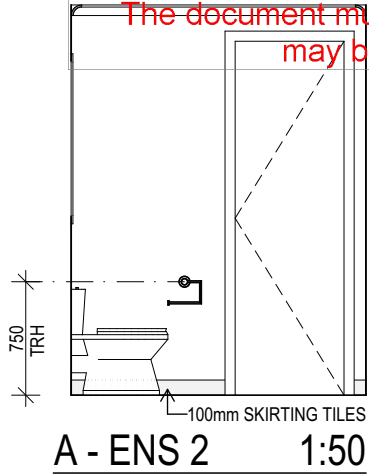
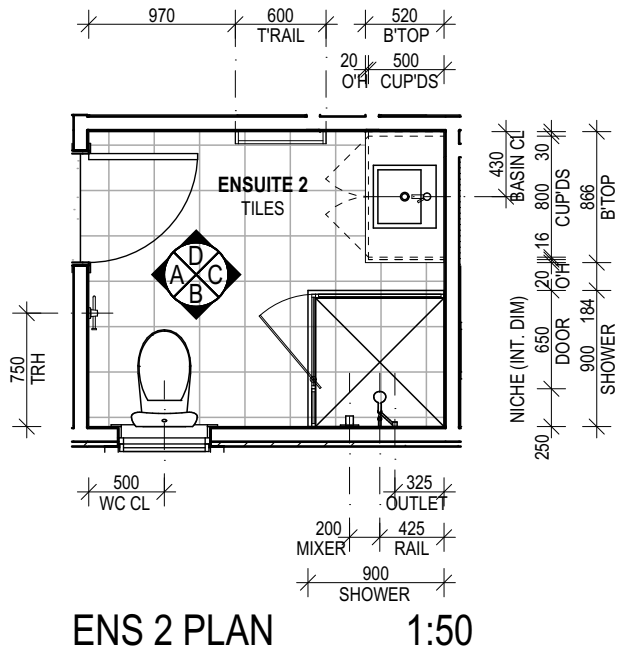
INTERNALS 4

HOUSE TYPE:
GRANGE 45
FACADE:
HAMPTON

MASTER DRAWING INFO:
DRAWN BY: JK
TYP HEIGHT: 27/25L
REVISION: 01
ISSUED: TBC

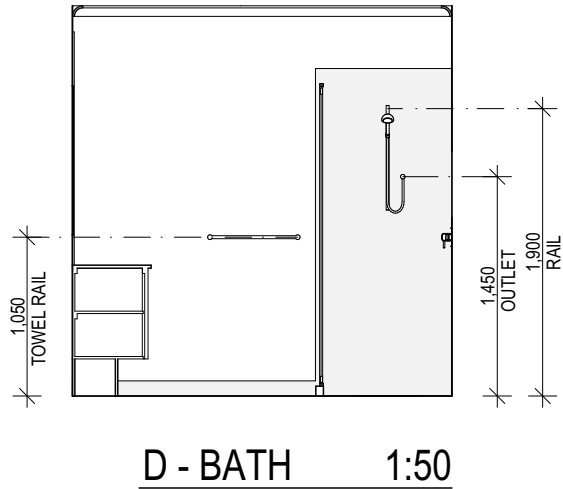
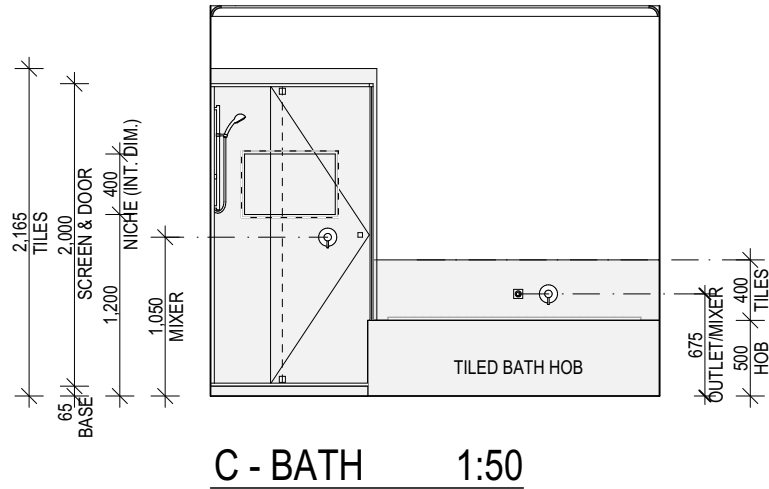
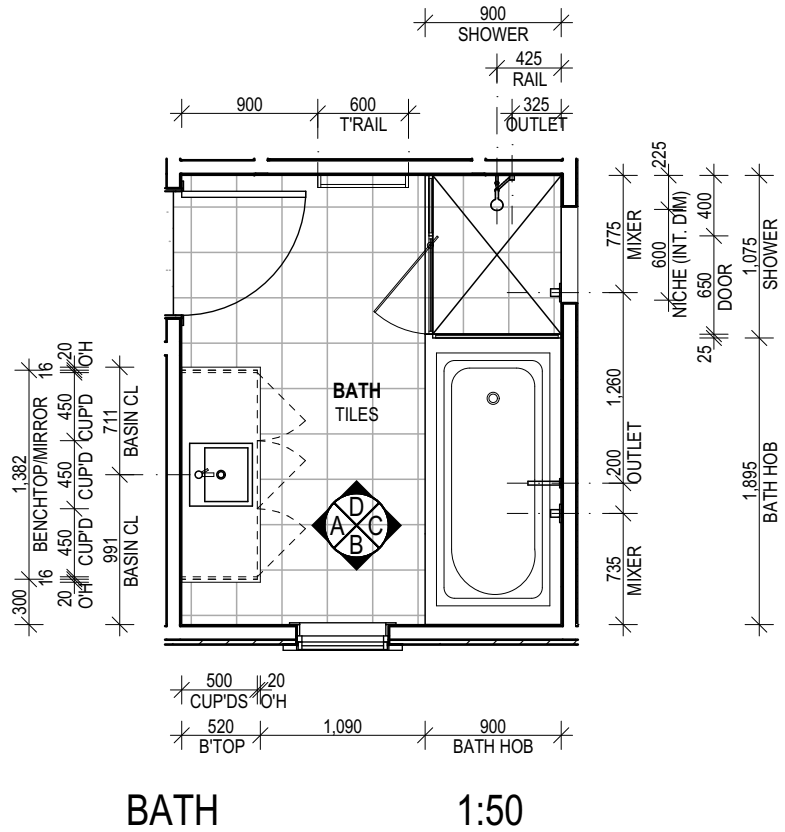
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502415
SCALE:
1:50
DRAWING No:
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LEGEND

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	TILING - FEATURE
	GLASS / MIRROR



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 - THE ADDENDA IS THE PRIORITY DOCUMENT FOR SELECTION OF ALL MATERIALS, FINISHES, FIXTURES & FITTINGS.
 - SHELF SUPPORTS @ MAX. 1300mm CENTRES AS FOLLOWS:
 - ROBE w/ SINGLE HANGING RAIL: 240mm DEEP
 - ROBE w/ DOUBLE HANGING RAIL: 300mm DEEP
 - TIMBER STUDS @ MAX. 300mm CENTRES IN WET AREAS WHERE FULL HEIGHT TILING OCCURS.
 - LINEN/PANTRY: RECESSED 20mm FROM FACE OF SHELF.
 - ALLOW 5mm TOLERANCE TO ALL SIDES OF MIRROR(S).
 - PROVIDE WHITE-EDGED BACKING BOARDS TO MIRRORS.
 - ALL SHOWER DOORS ARE 650mm WIDE PIVOT DOORS UNLESS NOTED OTHERWISE.
 - ALL WALL-MOUNTED VANITY FIXTURES TO HAVE NOGGINGS PROVIDED BEHIND FOR SUITABLE FIXINGS.
 - ALL NOTED CSF BENCHTOPS REFERS TO CRYSTALLINE SILICA FREE BENCHTOP

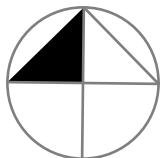
FOR CONTRACT

DATE:
SIGNED:

ID	REVISION	BY	DATE
01	CONTRACT DRAWINGS, SURVEY, PSI	MT	11/05/2026
02	CONTRACT DRAWING CHECK	GB	25/05/2026
03	CONTRACT CORRECTIONS	AS H	07/07/2026
04	BARWON WATER RFI	A M	03/08/26
05	METAL ROOF	M K	03/08/26

ID	REVISION	BY	DATE

GENERAL NOTES:
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE
- WINDOW SIZES AND LOCATIONS ARE NOMINAL AND MAY VARY TO MANUFACTURERS FRAME SIZES
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CLIENT:
S. B. J. & E. J. LYNCH

LOT 10 (#66) TAHARA STREET
HAMLYN HEIGHTS, VIC 3215

INTERALS 5		JOB No: 502415	
HOUSE TYPE: GRANGE 45	MASTER DRAWING INFO:	SCALE: 1:50	
FACADE: HAMPTON	DRAWN BY: JK	REVISION: 01	DRAWING No: 12 OF 12
	TYP HEIGHT: 27/25L	ISSUED: TBC	