

FENCING & NEIGHBOURING ACCESS THE BUILDER ACCEPTS NO RESPONSIBILITY IN RELATION TO FENCING AND APPROVAL FOR NEIGHBOURING ACCESS. IT IS THE OWNERS RESPONSIBILITY TO ARRANGE FOR AND DEAL WITH ALL MATTERS PERTAINING TO BOUNDARY FENCING AND NEIGHBOURS PROPERTIES. THIS INCLUDES THE REMOVAL OR RE-INSTATEMENT OF FENCING REQUIRED TO ENABLE THE CONSTRUCTION OF THE HOME. THIS ALSO INCLUDES GAINING ACCESS PERMISSION FROM NEIGHBOURS FOR THE BUILDER TO ENTER THE NEIGHBOURS PROPERTY FOR THE NECESSARY PERFORMANCE OF WORKS IN RELATION TO THE CONSTRUCTION OF THE OWNERS HOME.

THE OWNER IS RESPONSIBLE FOR ENGAGING A LICENCED LAND SURVEYOR TO PEG THE BOUNDARY CORNERSOF THE ALLOTMENT PRIOR TO COMMENCEMENT OF SITE WORKS, IF THE SURVEYOR PEGS ARE NOT IN PLACE

TOP OF ALL BATTERS TO BE MIN. 200mm FROM BOUNDARY

UNPROTECTED EMBANKMENTS UP TO 2m IN HEIGHT:

- FOR CLAY SOILS, SITE CUTS SHALL NOT EXCEED A 45° SLOPE OR A 1 : 1 BATTER.
- FOR SAND, SITE CUTS SHALL NOT EXCEED 30° SLOPE OR A 1 HORIZONTAL TO 2 VERTICAL BATTER.
- THE TOP OF A CUT SHALL COMMENCE A MINIMUM OF 150mm IN FROM THE PROPERTY BOUNDARY.
- THE FOOT OF ALL EXCAVATIONS MUST FINISH A MINIMUM OF 1m AWAY FROM THE BUILDING PERIMETER.
- GROUND AROUND THE PERIMETER OF THE BUILDING MUST BE GRADED AWAY FROM THE BUILDING.

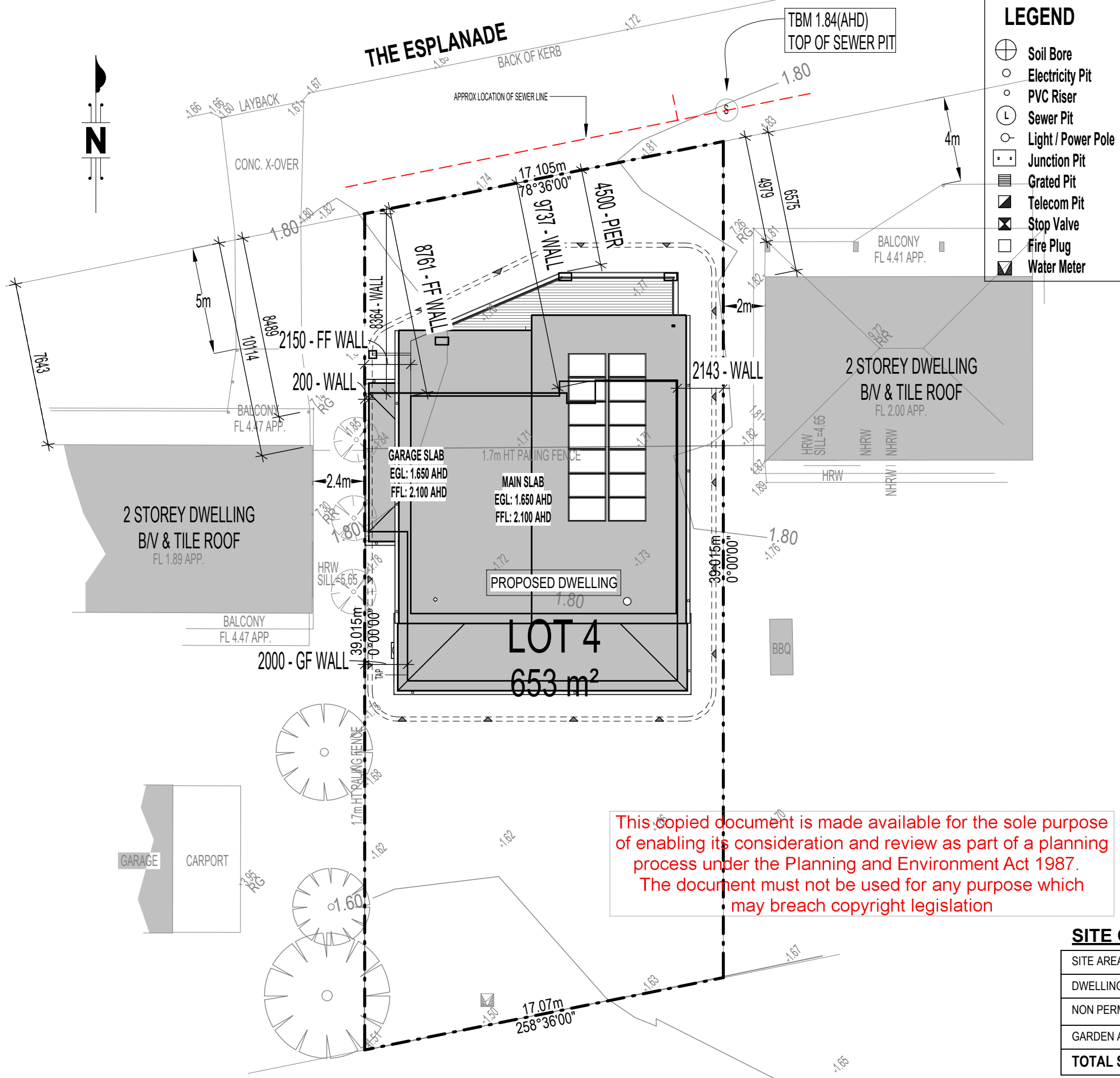
RETAINING WALLS:

- UNLESS OTHERWISE IDENTIFIED ON THE DRAWINGS, RETAINING WALLS, SHALL BE INSTALLED A MINIMUM OF 500mm IN FROM THE PROPERTY BOUNDARY TO THE FINISHED FACE, WITH 1m BETWEEN THE FACE OF THE RETAINING WALL AND THE BUILDING PERIMETER.
- GROUND AROUND THE PERIMETER OF THE BUILDING MUST BE GRADED AWAY FROM THE BUILDING.

RETAINING WALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ENGINEERING DESIGN AND BE COMPLETED TO COMPLY WITH THE INSTALLATION OF SUB-SOIL DRAINAGE AND UPPER SURFACE COMPACTED CLAY PLUG.

GROUND WATER TO BE DISBURSED ON SITE SUBJECT TO APPROVAL

SITE PLAN
1 : 200



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SITE COVER

SITE AREA	653.00m2	
DWELLING SITE COVER	36.45%	(238.00m2)
NON PERMIABLE SITE COVER	0.00%	(0.00m2)
GARDEN AREA	64%	(415m2)
TOTAL SITE COVER	36.45%	(238.00m2)

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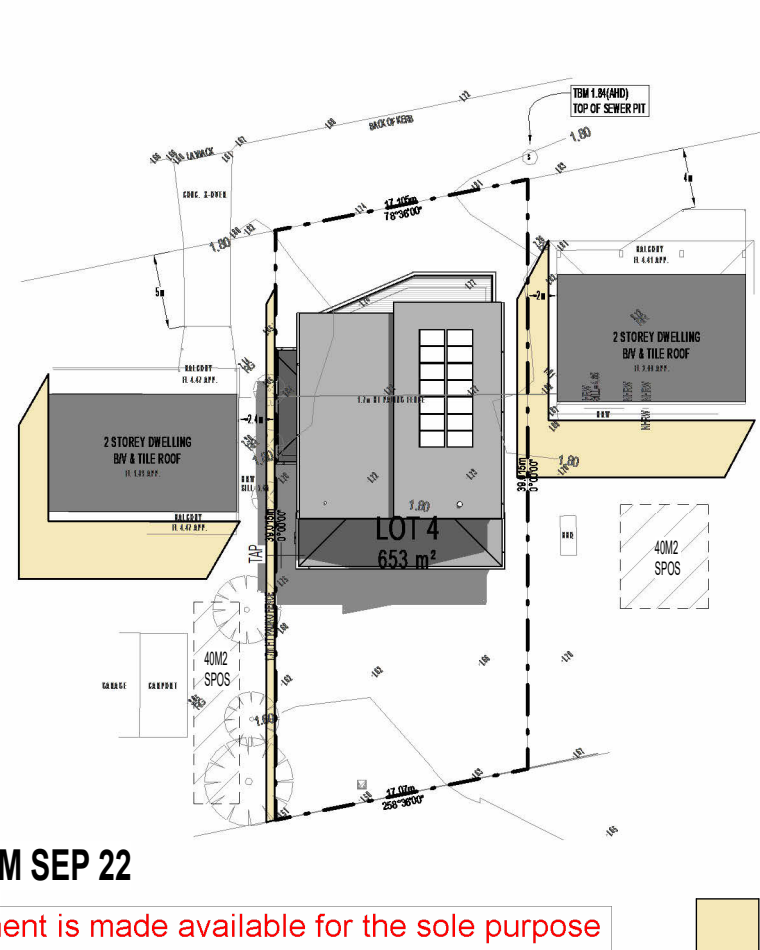
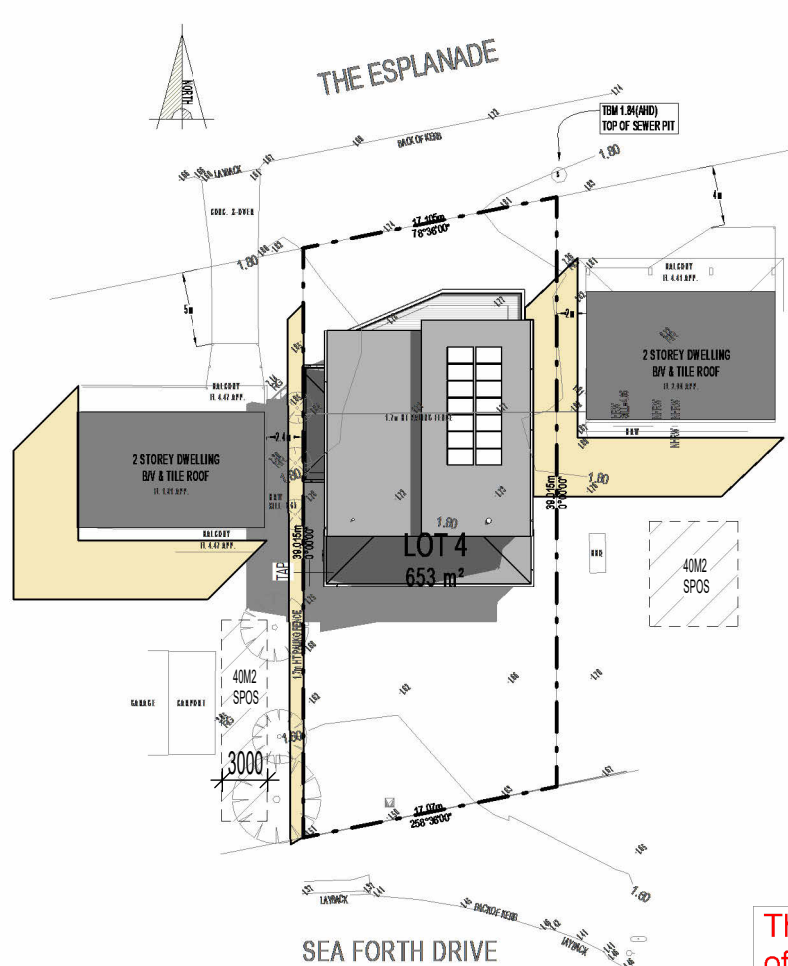
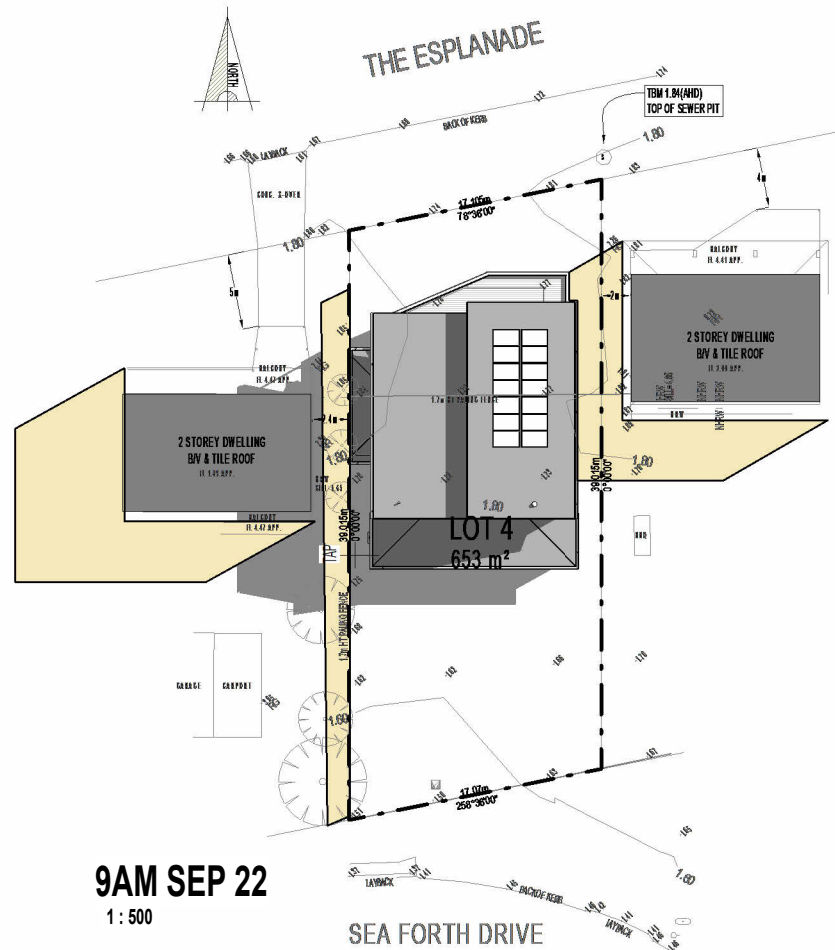
CUSTOM FLOOR PLAN
CUSTOM FACADE

CLIENT:
DRAWING TITLE:
SITE PLAN

PROJECT: PROPOSED NEW RESIDENCE
LOT 4 ON LP110553
75 THE ESPLANADE
PORTARLINGTON VIC 3223

I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEM/S AND ANY FURTHER PLANS TO BE PREPARED
OWNER SIGNED:.....DATE:.....
OWNER SIGNED:.....DATE:.....
BUILDER SIGNED:.....DATE:.....

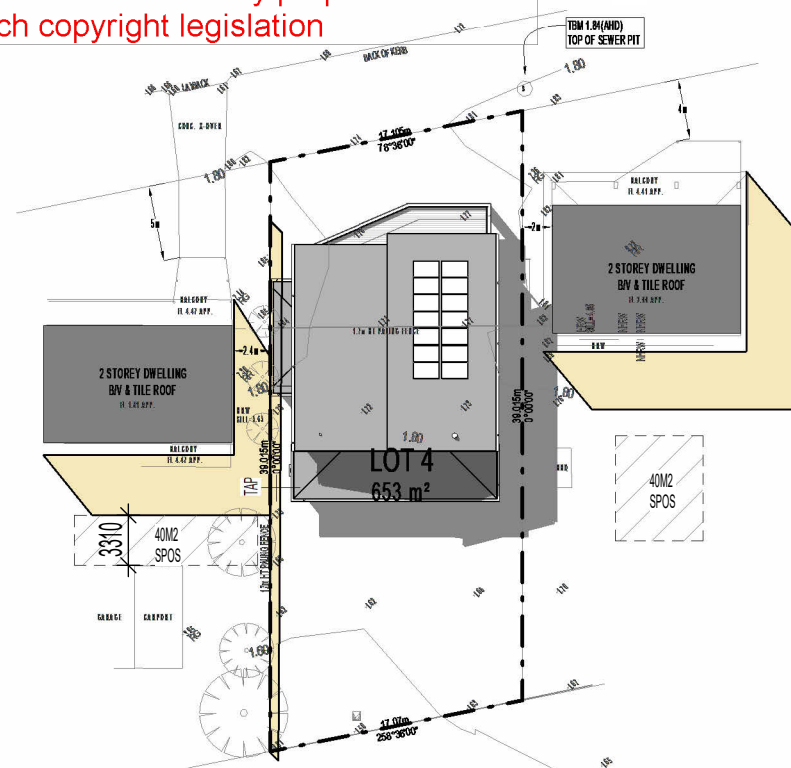
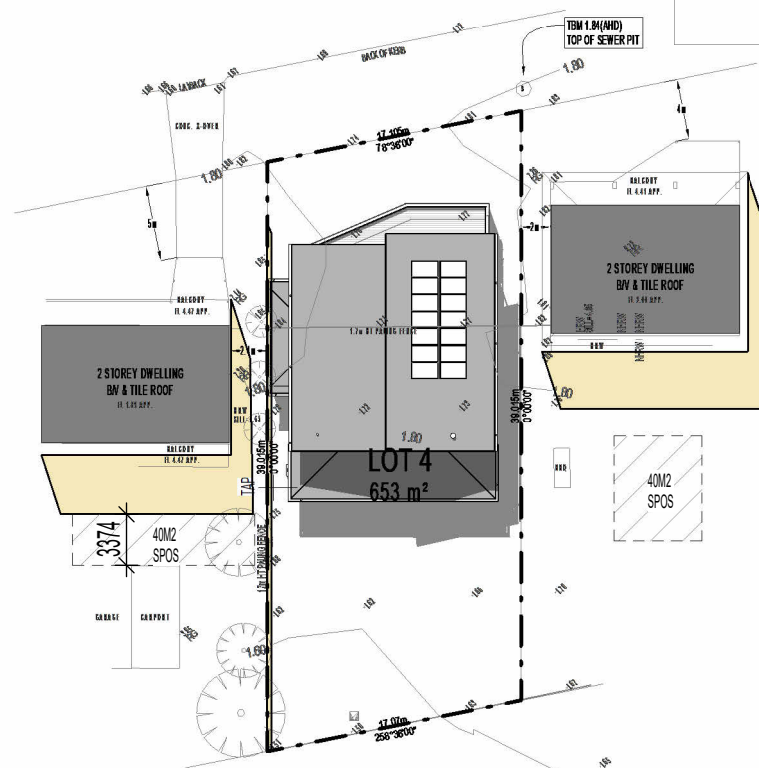
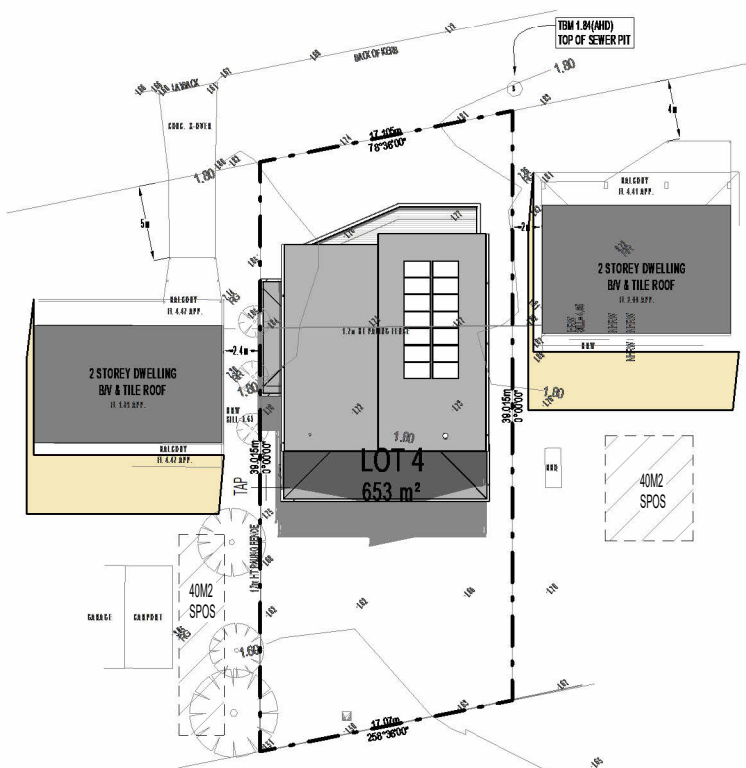
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	JOB NO: TBA		1	16/03/26
	DRAWN: 3DP		3	10/04/26
			4	11/05/26
			5	28/05/26
			A	14/06/26
	DATE: 16/03/26		B	17/08/26



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EXISTING STRUCTURE SHADOWS
PROPOSED STRUCTURE SHADOWS

SHADOWS LEGEND
1:1



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CUSTOM FLOOR PLAN
CUSTOM FACADE

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CLIENT:

DRAWING TITLE:
SHADOW DIAGRAMS

PROJECT: PROPOSED NEW RESIDENCE

LOT 4 ON LP110553
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PORTARLINGTON VIC 3223

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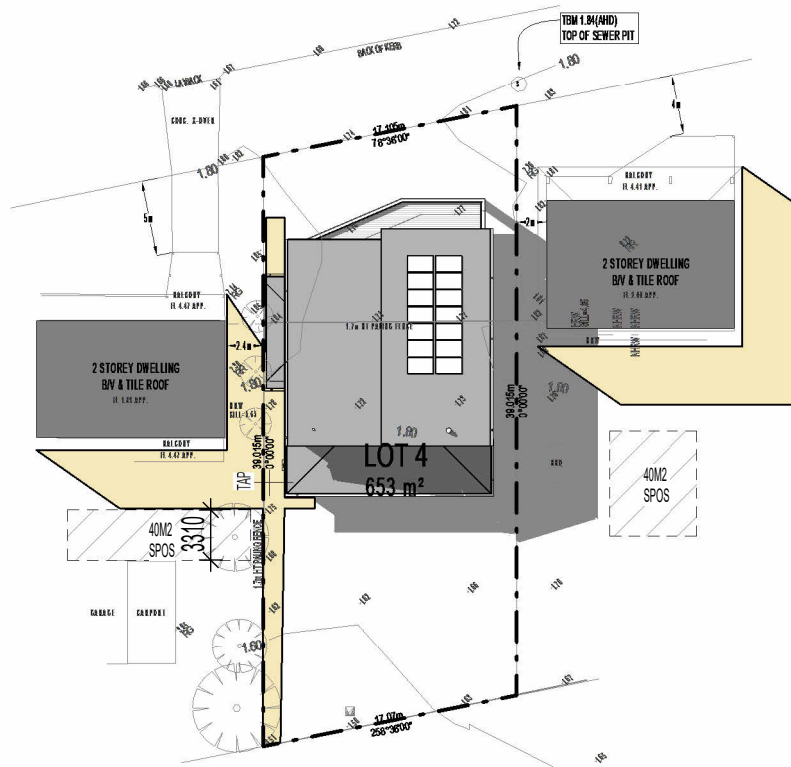
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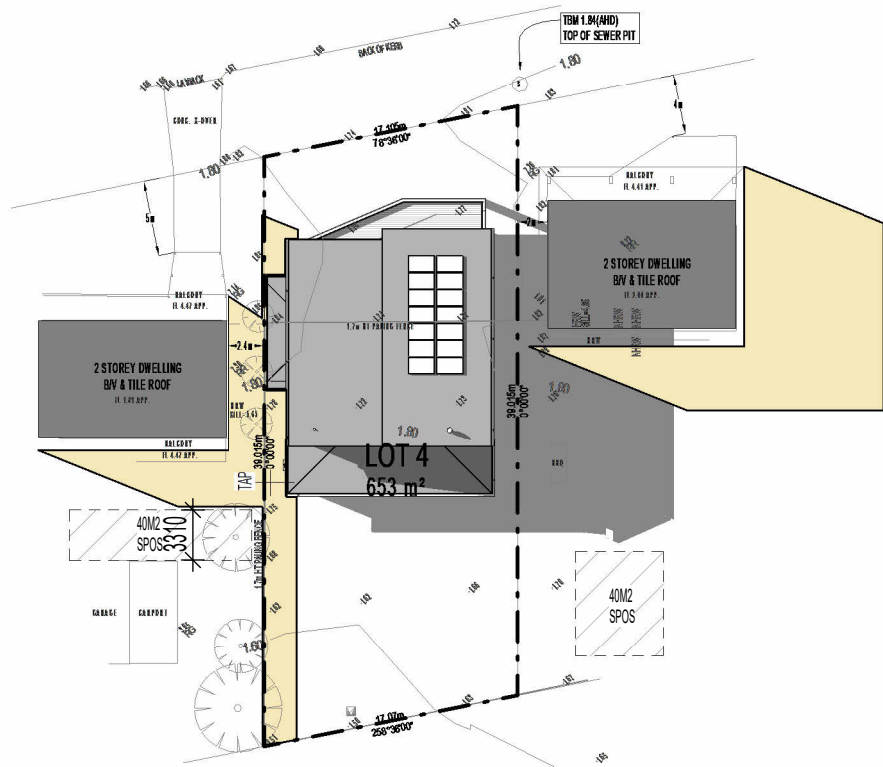
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SCALE:
As indicated

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DATE: 16/03/26			



3PM SEP 22
1 : 500



4PM SEP 22
1 : 500

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EXISTING
STRUCTURE
SHADOWS

PROPOSED
STRUCTURE
SHADOWS

SHADOWS LEGEND

1 : 1

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SHADOW DIAGRAMS

PROJECT: PROPOSED NEW RESIDENCE
**LOT 4 ON LP110553
75 THE ESPLANADE
PORTARLINGTON VIC 3223**

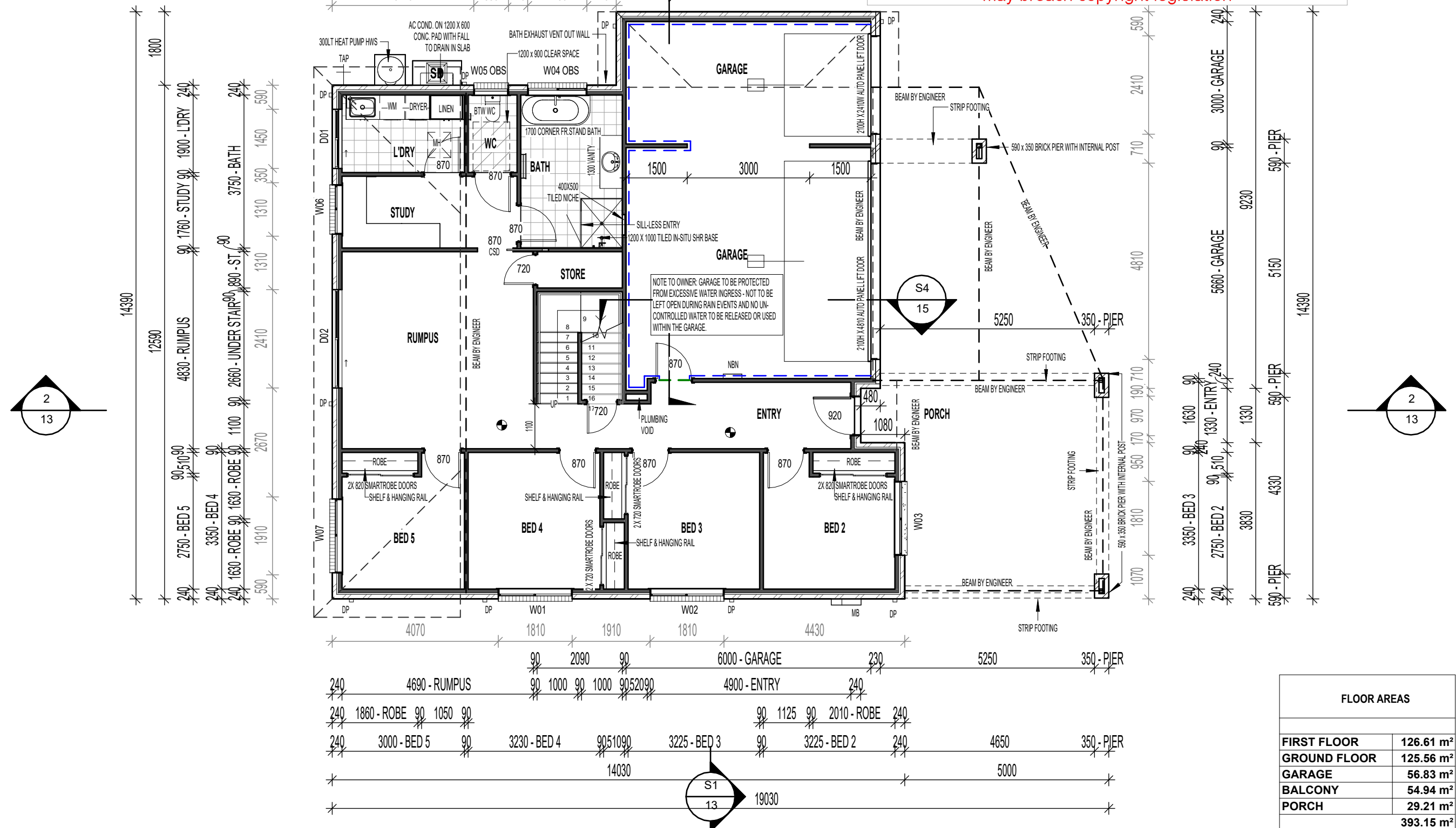
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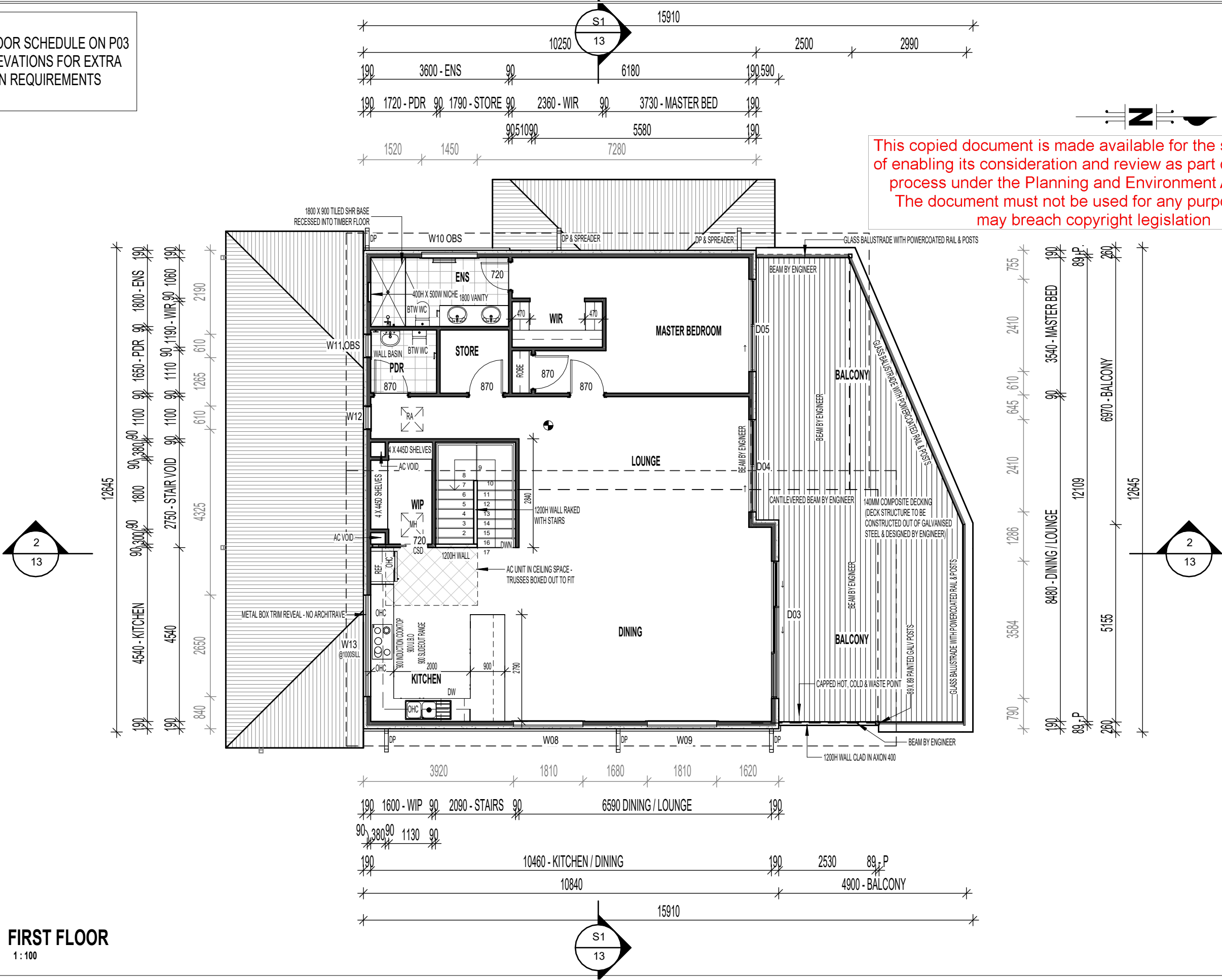
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FLOOR AREAS	
FIRST FLOOR	126.61 m ²
GROUND FLOOR	125.56 m ²
GARAGE	56.83 m ²
BALCONY	54.94 m ²
PORCH	29.21 m ²
	393.15 m ²

NOTE:
-REFER TO WINDOW & DOOR SCHEDULE ON P03
-REFER TO INTERNAL ELEVATIONS FOR EXTRA
REINFORCEMENT NOGGIN REQUIREMENTS



FIRST FLOOR
1 : 100

FLOOR AREAS	
FIRST FLOOR	126.61 m ²
GROUND FLOOR	125.56 m ²
GARAGE	56.83 m ²
BALCONY	54.94 m ²
PORCH	29.21 m ²
393.15 m ²	

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FIRST FLOOR PLAN

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**LOT 4 ON LP110553
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RESTRICTED WINDER TO FIRST FLOOR OPENABLE WINDOWS UNLESS NOTED OTHERWISE

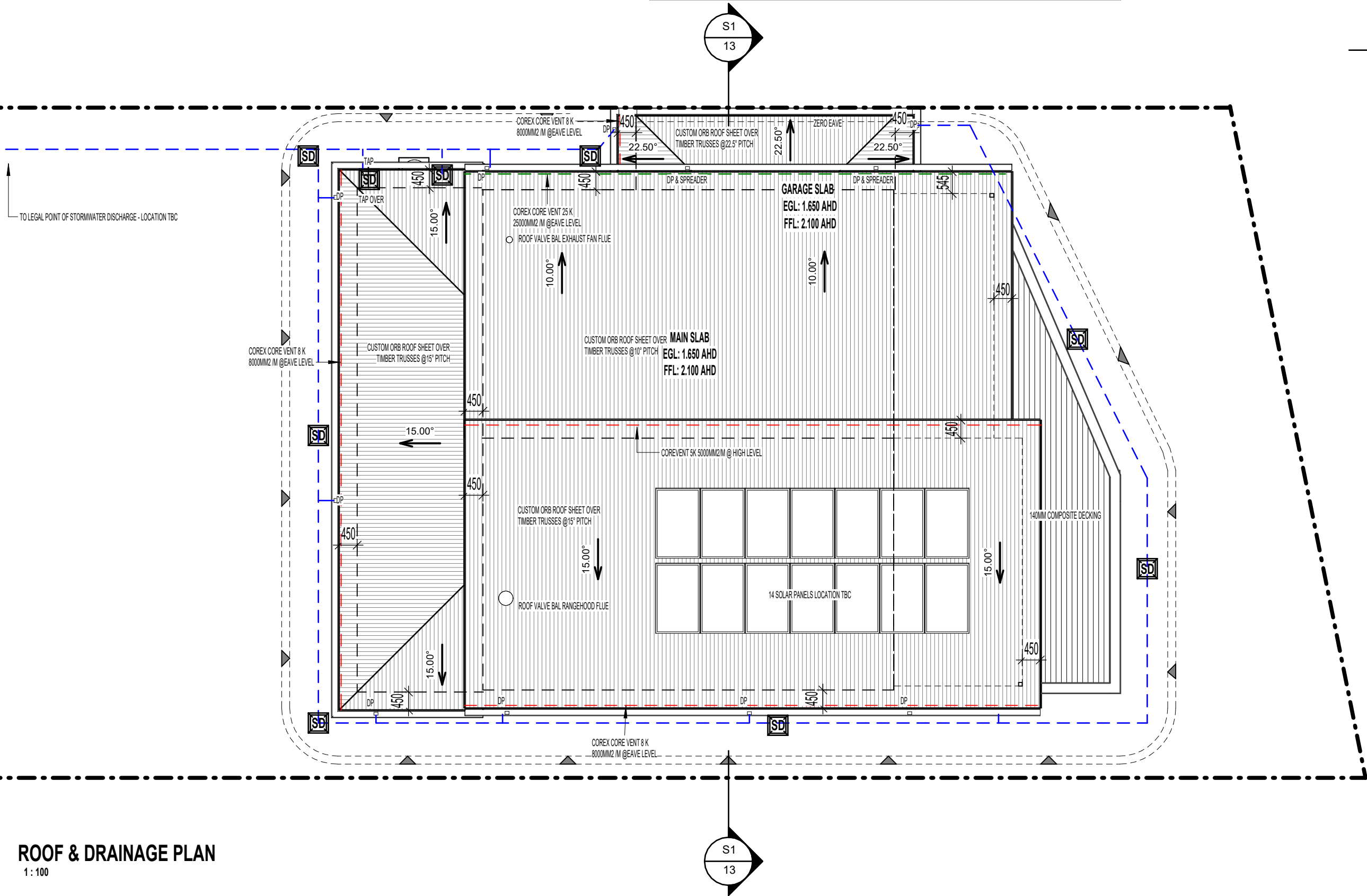
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SD SURFACE GRATE 200 (225 X 225 X 89 GRATED)

--- COREX COREVENT 8K

--- COREX COREVENT 25K

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ROOF & DRAINAGE PLAN
1:100

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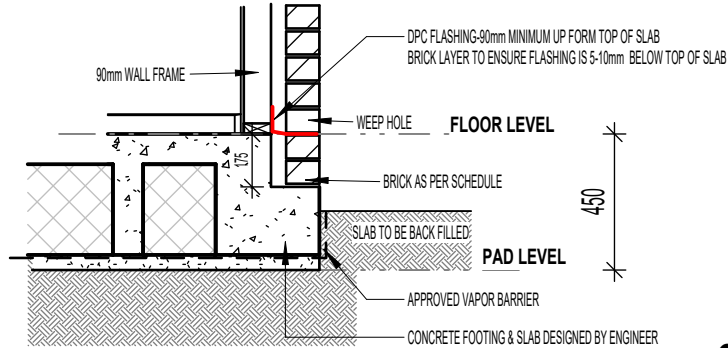
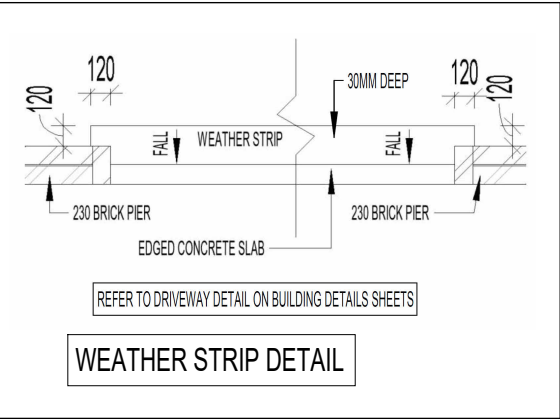
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CONCRETER TO INSTALL
BOXES FOR BATH & SHOWER
BASES

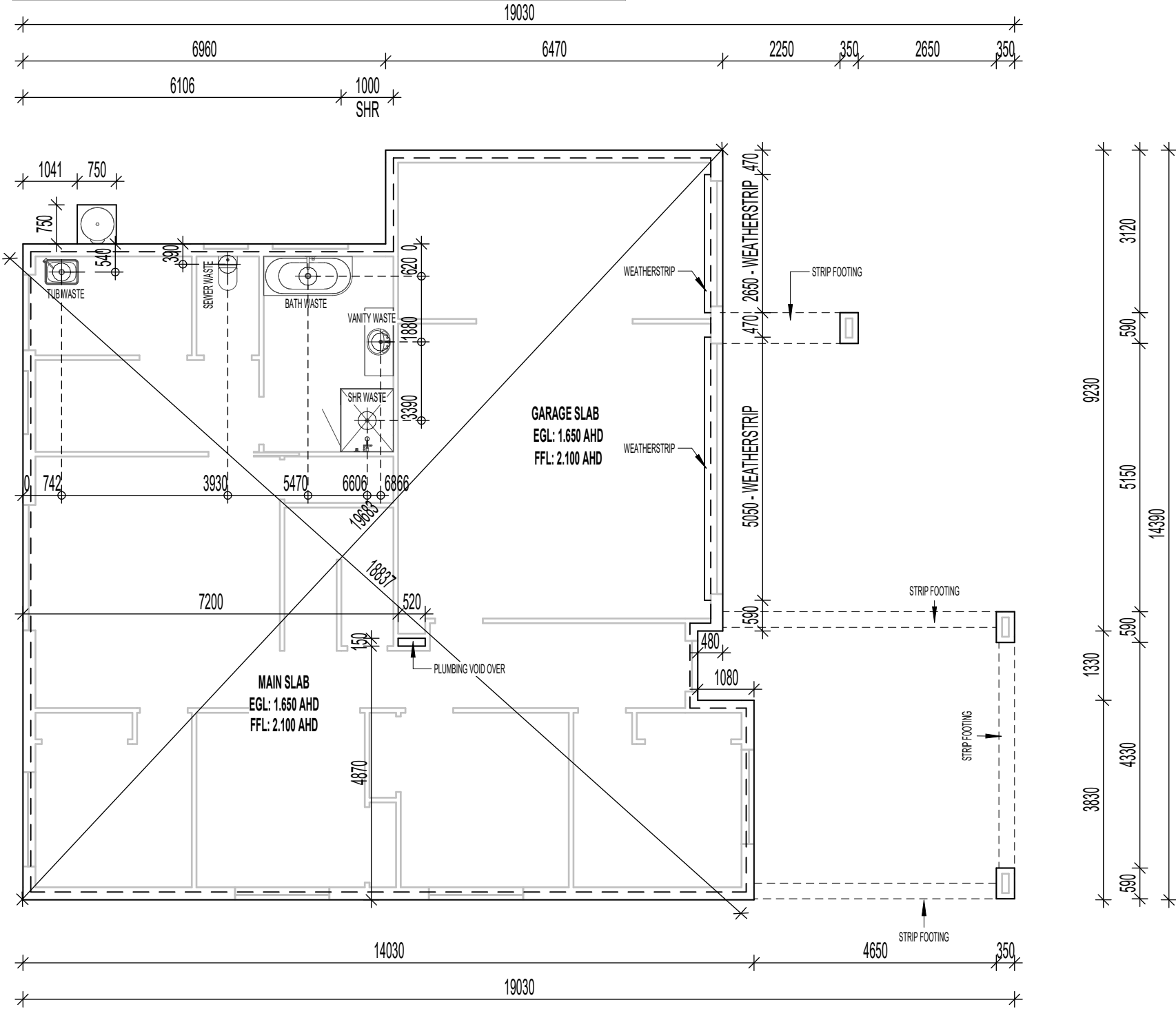
NOTE:
LANDSCAPING NEEDS TO BE
COMPLETED BY THE OWNER
IN ACCORDANCE WITH THE
VBA MINIMISING FOUNDATION
MOVEMENT AND DAMAGE TO
YOUR HOME GUIDE & CSIRO
FOUNDATION MAINTENANCE
AND FOOTING PERFORMANCE
GUIDE
ALL EXTERNAL INFILL PAVING
MUST BE INSTALLED 75mm
BELOW THE WEEP HOLES OF
THE BRICK WORK AS PER
AUSTRALIAN STANDARD
REQUIREMENTS TO INSTALL
BOXES FOR BATH & SHOWER
BASES



SLAB REBATE DETAIL
1 : 25

CONCRETE SLAB PLAN
1 : 100

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SEWER & SLAB SETOUT PLAN

PROJECT: PROPOSED NEW RESIDENCE

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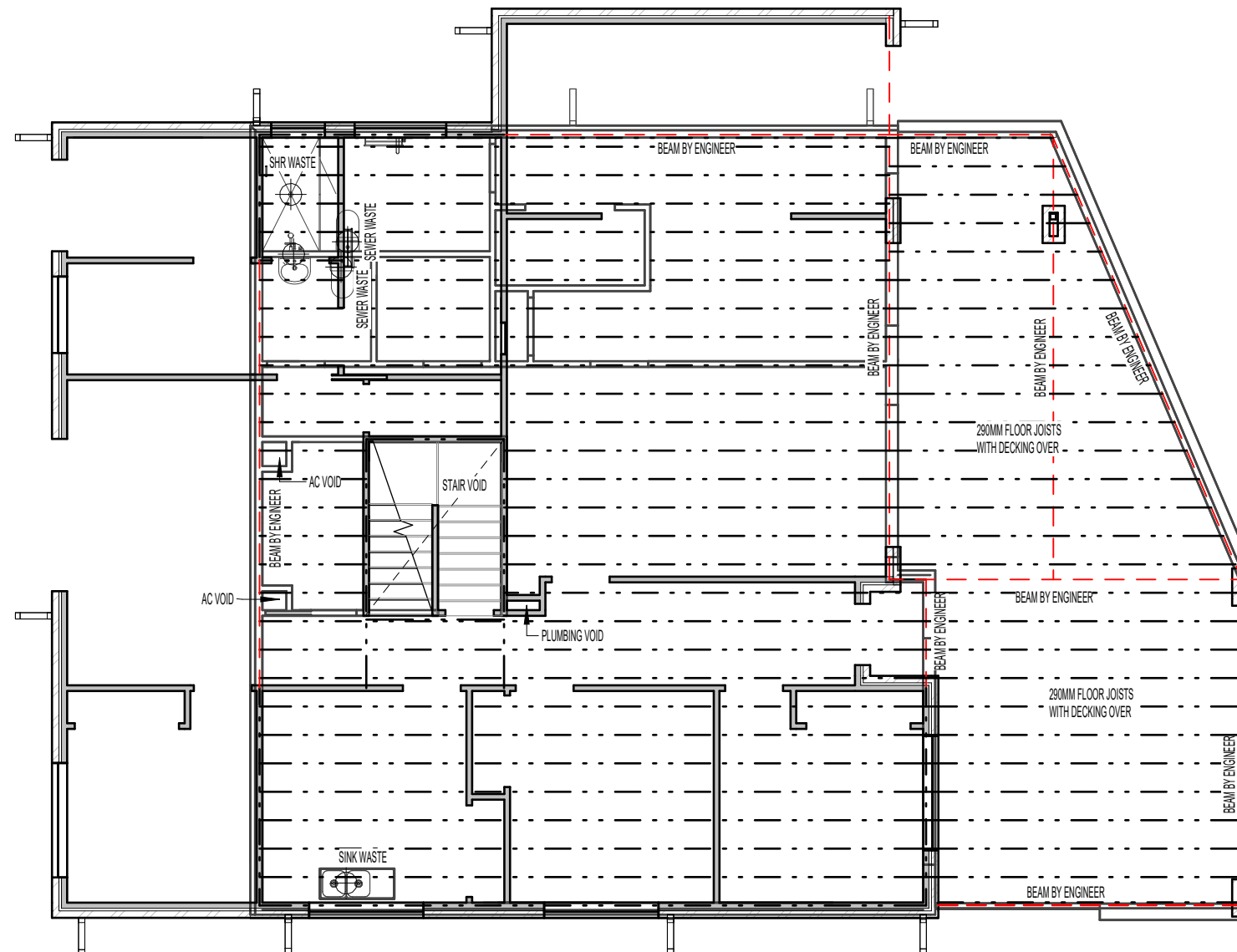
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FLOOR JOIST LAYOUT

1 : 100

CUSTOM FLOOR PLAN

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FLOOR JOIST LAYOUT

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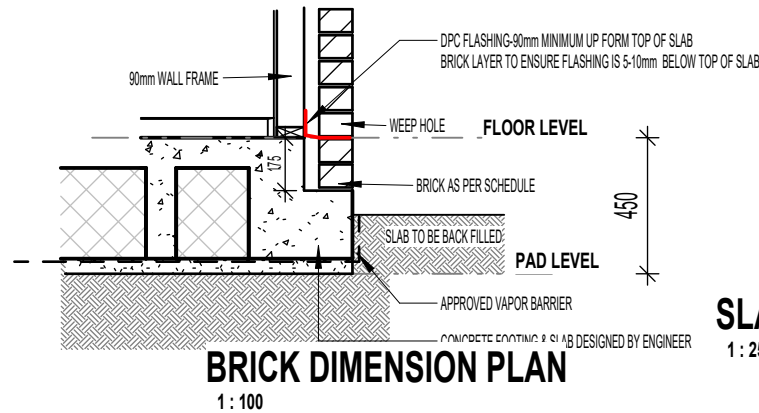
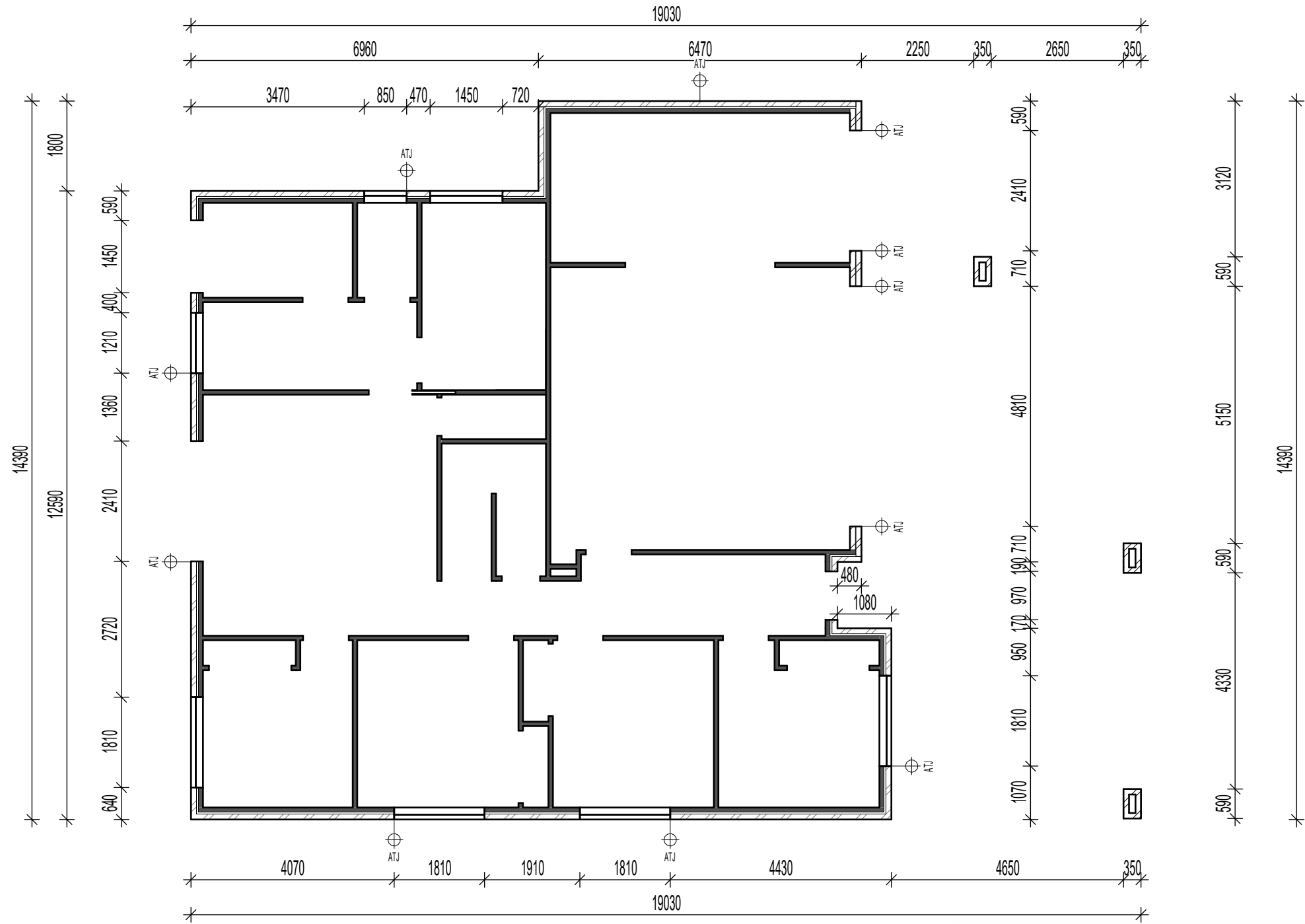
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SLAB REBATE DETAIL
1 : 25

MASONRY WALL TIE SCHEDULE (NCC 2022 / AS 2699.1)

Geographical Area	Proximity to Saltwater	Durability Class	Minimum Brick Tie Specification
Ocean surf areas:	Within 1 km of breaking ocean surf	R4	Grade 316L Stainless Steel
Sheltered bay areas:	Within 100 metres of non-breaking saltwater (Corio Bay / Swan Bay)	R4	Grade 316L Stainless Steel.
Intermediate coastal zones:	1 km to 10 km from breaking surf, OR 100 m to 1 km from a sheltered bay	R3	Grade 304L Stainless Steel, OR Heavy Galvanised steel (min 470 g/m ² coating mass per side).
Inland / Suburban zones:	More than 10 km from breaking surf AND more than 1 km from the bay	R2	Standard Galvanised steel (min 300 g/m ² coating mass per side).

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BRICK DIMENSION PLAN

PROJECT: PROPOSED NEW RESIDENCE

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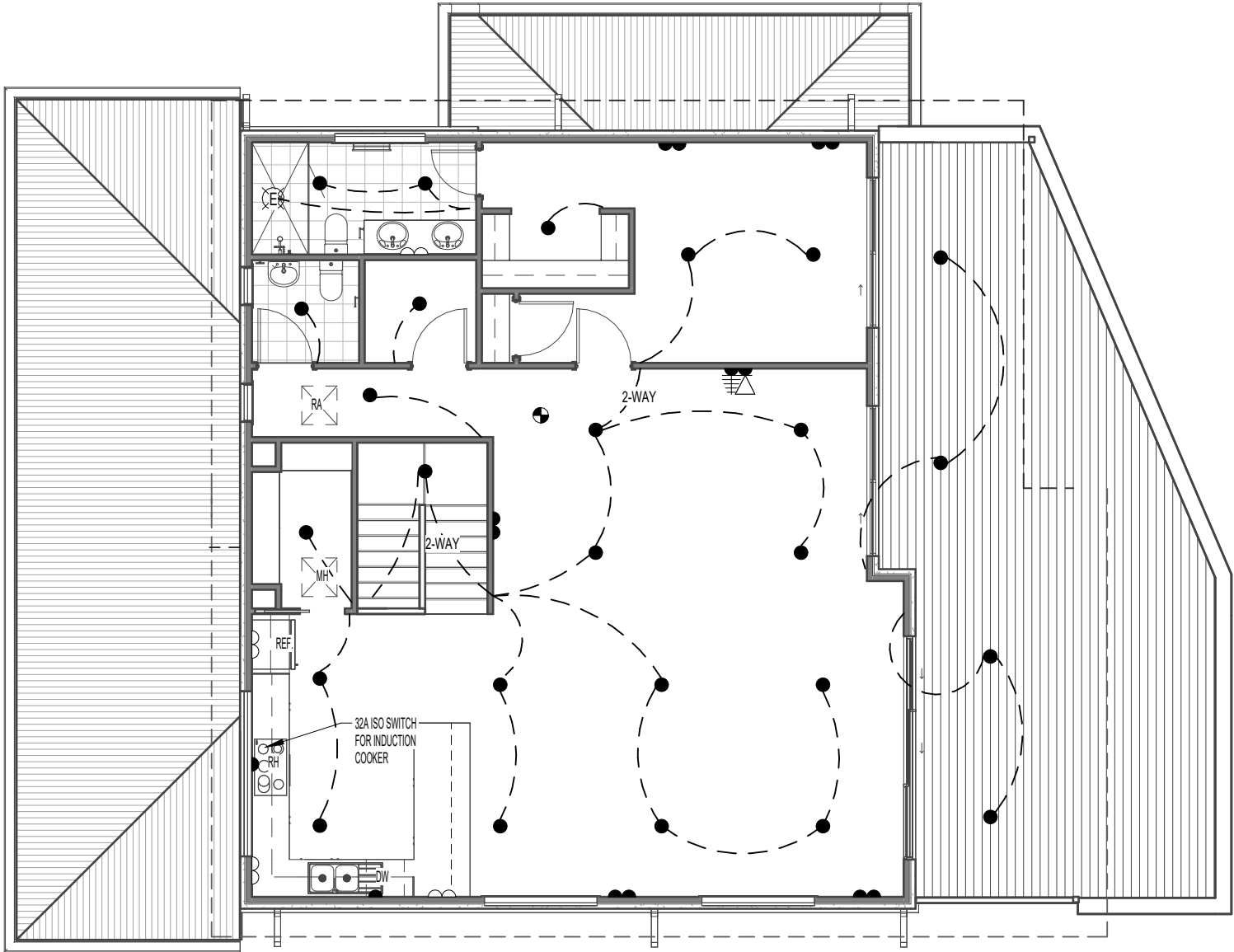
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ELECTRICAL LEGEND			
	CEILING MOUNTED BATTEN LIGHT		
	PENDANT LIGHT		
	EXTERNAL EAVE/CEILING MOUNTED BATTEN LIGHT		
	LED DOWN LIGHTS	45	495 W
	EXT. WALL MOUNTED LIGHT	1	15 W
	WALL MOUNTED UP/DOWN LIGHT		
	DOUBLE LED TUBE LIGHT	3	108 W
	CEILING FAN WITH LIGHT		
	INTERIOR WALL MOUNTED LIGHT		
	4 LIGHT HEAT		
	2 LIGHT HEAT		
	DOUBLE FLOOD LIGHT WITH SENSOR		
	DOUBLE FLOOD LIGHT		
	SINGLE FLOOD LIGHT		
	LED STAIR LIGHT		
	GIMBLE LED DOWN LIGHTS		
	LED STRIP LIGHT		
TOTAL WATTAGE		618W	
	DOUBLE GPO WITH USB		
	DOUBLE GPO		28
	QUAD GPO		
	WATERPROOF DOUBLE GPO (HEIGHT @ DISCRETION OF ELECTRICIAN)		
	WATERPROOF SINGLE GPO (HEIGHT @ DISCRETION OF ELECTRICIAN)	1	
	WATERPROOF SINGLE GPO (HEIGHT @ DISCRETION OF ELECTRICIAN)		
	SINGLE GPO (HEIGHT @ DISCRETION OF ELECTRICIAN)	4	
	HARD WIRED SMOKE ALARM	3	
	TELEVISION POINT	2	
	PHONE POINT		
	DATA POINT	2	
	CEILING FAN NO LIGHT		
	MOTION SENSOR		
	EXTRACTION FAN DUCTED TO OUTSIDE	2	
	2 WAY SWITCH	2	
	3 WAY SWITCH	1	
	DIMMER SWITCH		
	3 PHASE 20 AMP ISO SWITCH	1	
	25 AMP ISO SWITCH		
	32 AMP ISO SWITCH	1	
	32 AMP 3 PHASE ISO		

ELECTRICAL LIGHT WATTAGE
LIMIT AS PER BCA SECTION 3
12.5.5

DWELLING - 5 WATTS/SQ.M		MAX	PROPOSED
LIVING AREAS	250.4 m²	1252W	530W
GARAGE - 3 WATTS/SQ.M			
GARAGE	56.8 m²	170W	33W
ALFRESCO / PORCH / VERANDA - 4 WATTS/SQ.M			
ALFRESCO	0.0 m²	0W	44W
PORCH	29.2 m²	117W	11W
EXTERNAL			0W
TOTALS		1539W	618W

3 PHASE POWER - 40A PER PHASE - SUBJECT TO POWERCOR OFFER AND ACCEPTANCE



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ELECTRICAL NOTES:

THIS ELECTRICAL PLAN IS A REPRESENTATION OF THE ELECTRICAL LAYOUT. ALL BEST ENDEAVOURS WILL BE MADE TO POSITION ELECTRICAL SWITCHES, FIXTURES, FITTINGS AND DOWNLIGHTS IN ACCORDANCE WITH NOMINATED HEIGHTS AND POSITIONS AS SHOWN ON THIS ELECTRICAL PLAN. HOWEVER, DUE TO REQUIREMENTS OUTLINED WITHIN ELECTRICAL LEGISLATION AND ASSOCIATED CODES OF PRACTICE TOGETHER WITH THE POSITIONING OF ROOF TRUSSES AND CEILING BATTENS, A GUARANTEE OF EXACT PLACEMENT IN ACCORDANCE WITH THE PLAN CANNOT BE A GIVEN.

IT IS THE CLIENTS RESPONSIBILITY TO ENSURE THAT ANY OWNER SUPPLIED ELECTRICAL FITTING CAN BE INSTALLED IN THE NOMINATED POSITIONS AND HEIGHTS AS INDICATED ON THE PLANS. ANY ALTERATIONS REQUIRED TO BE PERFORMED BY THE ELECTRICIAN AFTER WIRING HAS BEEN ROUGHED IN AS A RESULT OF OWNER SUPPLIED ITEMS BEING NOT SUITABLE FOR THE POSITIONING OR HEIGHT, SHALL BE AT THE EXPENSE OF THE OWNER. IN ADDITION, THE LICENSED ELECTRICIAN RESERVES THE RIGHT TO NOT INSTALL OWNER SUPPLIED ELECTRICAL FITTINGS WHERE THE ITEM IS DEEMED EITHER UNFIT FOR PURPOSE OR DOES NOT COMPLY WITH RELATIVE ELECTRICAL LEGISLATION OR CODES OF PRACTICE.

ALL EXTERNAL LIGHTS ARE TO BE 1800mm OFF INTERNAL FLOOR HEIGHT UNLESS NOTED OTHERWISE. ALL EXTERNAL FLOOD LIGHTS ARE TO BE MOUNTED UNDER THE EAVES OR DIRECTLY BELOW THE FASCIA IF THERE ARE NO EAVES. WHILE ALL CARE IS TAKEN TO ALIGN DOWNLIGHTS AND POWERPOINTS AS PER THE PLANS, FINAL PLACEMENT IS DEPENDENT ON THE LIMITATIONS OF THE FRAMEWORK AND ROOF TRUSSES AND/OR RAFTER LOCATIONS.

SMOKE ALARMS TO BE MINIMUM 300MM AWAY FROM ANY WALL/CEILING JUNCTION

DUCTED HEATING (WHERE PURCHASED):

THE FINAL INSTALLED POSITIONS OF THE HEATING AND/OR COOLING UNIT AND POSITIONING OF DUCTWORK WITHIN THE CEILING AND FLOOR AREAS SHALL BE PURELY AT THE INSTALLERS DISCRETION SO AS TO ENSURE THE UNIT AND DUCTWORK ARE PLACED TO PROVIDE THE MOST EFFICIENT OPERATING CONDITIONS OF THE SELECTED UNIT. NO GUARANTEES CAN BE GIVEN AS TO THE ALIGNMENT OF DUCT OUTLETS OR OTHER FIXED ELEMENTS WITHIN THE HOME.

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G.J. Gardner. **HOMES**

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Belmont VIC 3216
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W: www.gjgardner.com.au

CUSTOM FLOOR PLAN
CUSTOM FACADE

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CLIENT:

DRAWING TITLE:
ELECTRICAL PLAN - FF

PROJECT: PROPOSED NEW RESIDENCE

LOT 4 ON LP110553
75 THE ESPLANADE
PORTARLINGTON VIC 3223

I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEM/S AND ANY FURTHER PLANS TO BE PREPARED

OWNER SIGNED:.....DATE:.....

OWNER SIGNED:.....DATE:.....

BUILDER SIGNED:.....DATE:.....

SCALE:
As indicated

PAGES:	SHEET SIZE:	REV:	DATE:
10	A3	1	16/03/26
JOB NO: TBA		3	10/04/26
DRAWN: 3DP		4	11/05/26
		5	28/05/26
		A	14/06/26
DATE: 16/03/26		B	17/08/26

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NOTES:

ALL EXTERNAL CONCRETE TO BE STIPPLE NON SLIP FINISH BY HAND OR TROWEL MACHINE (EXCLUDING EXPOSED AGGREGATE). EXTERNAL CONCRETE SUBJECT TO COLOUR IMPERFECTIONS & CHIPPING. GJ GARDNER RECOMMENDS EXTERNAL CONCRETE POURED AS PART OF THE SLAB BE COVERED AFTER HANDOVER.

ALL EXTERNAL INFILL PAVING MUST BE INSTALLED 75mm BELOW THE WEEP HOLES OF THE BRICK WORK AS PER AUSTRALIAN STANDARD REQUIREMENTS

LEGEND

- PLAIN CONCRETE AS PER SCHEDULE
- WET AREA TILES AS PER SCHEDULE
- CARPET AS PER SCHEDULE
- VINYL PLANK FLOORING AS PER SCHEDULE
- 140MM COMPOSITE DECKING AS PER SCHEDULE

FLOOR COVERINGS - GF
1 : 100

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**CUSTOM FLOOR
PLAN**
CUSTOM FACADE

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CLIENT:

DRAWING TITLE:
FLOOR COVERING PLAN GF

PROJECT: PROPOSED NEW RESIDENCE

**LOT 4 ON LP110553
75 THE ESPLANADE
PORTARLINGTON VIC 3223**

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REQUIREMENTS

LEGEND

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	WET AREA TILES AS PER SCHEDULE
	CARPET AS PER SCHEDULE
	VINYL PLANK FLOORING AS PER SCHEDULE
	140MM COMPOSITE DECKING AS PER SCHEDULE



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FLOOR COVERINGS - FF

1 : 100

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CUSTOM FLOOR PLAN

CUSTOM FACADE

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FLOOR COVERING PLAN FF

PROJECT: PROPOSED NEW RESIDENCE

**LOT 4 ON LP110553
75 THE ESPLANADE
PORTARLINGTON VIC 3223**

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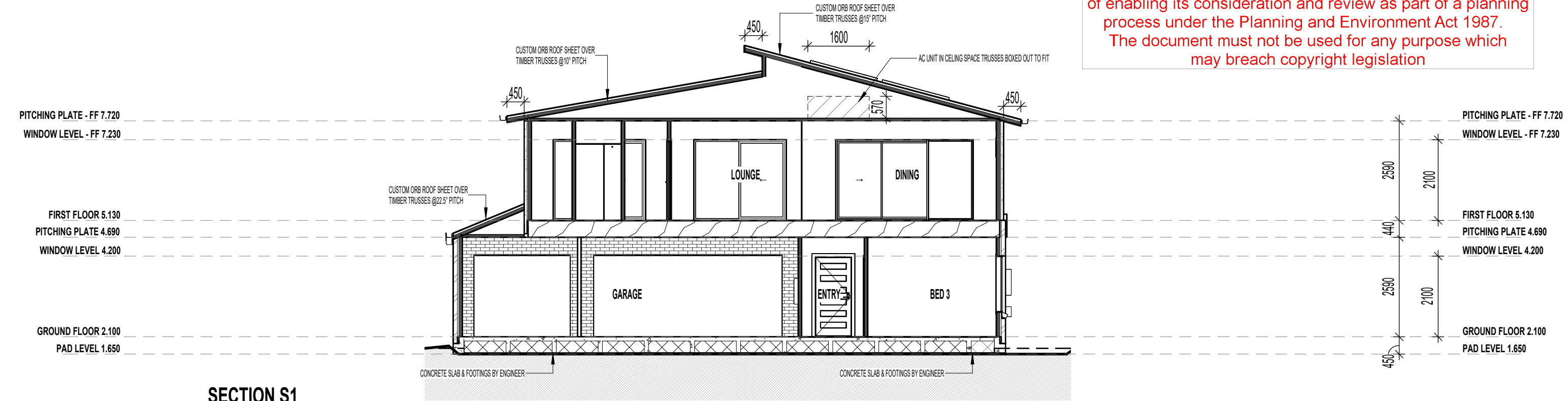
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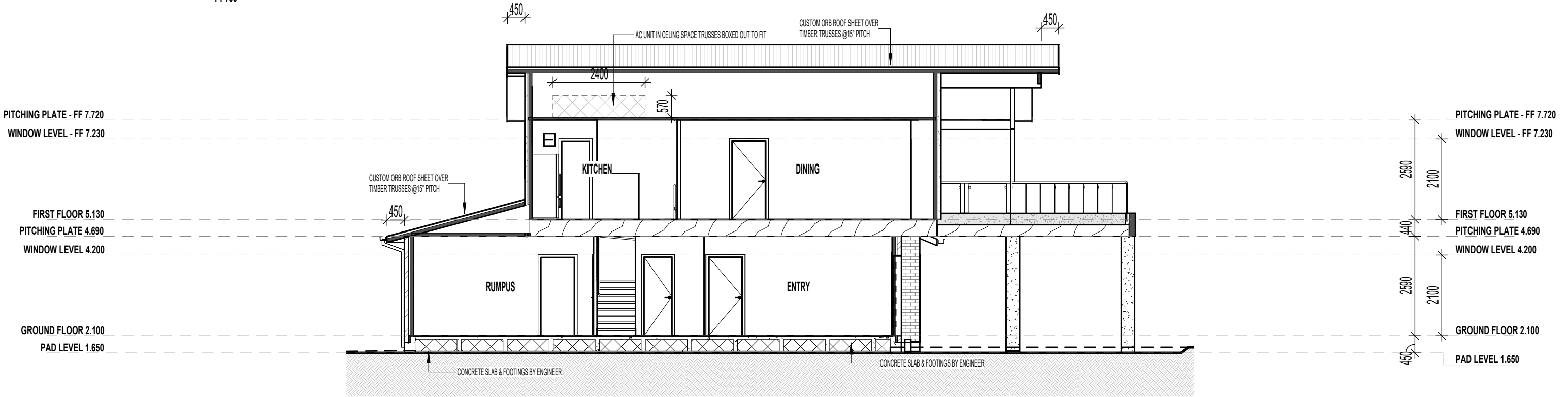
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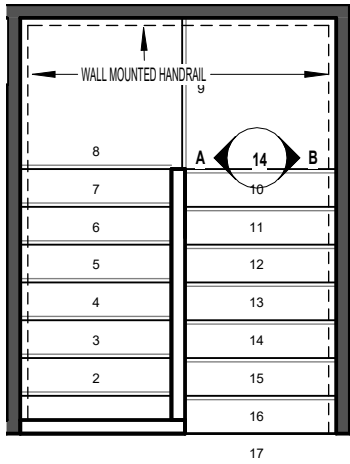
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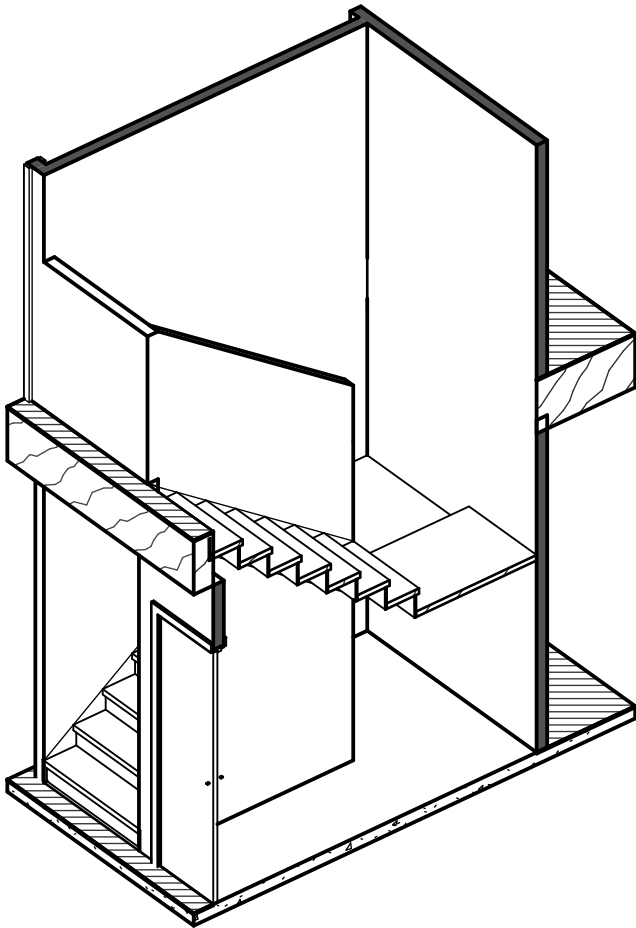


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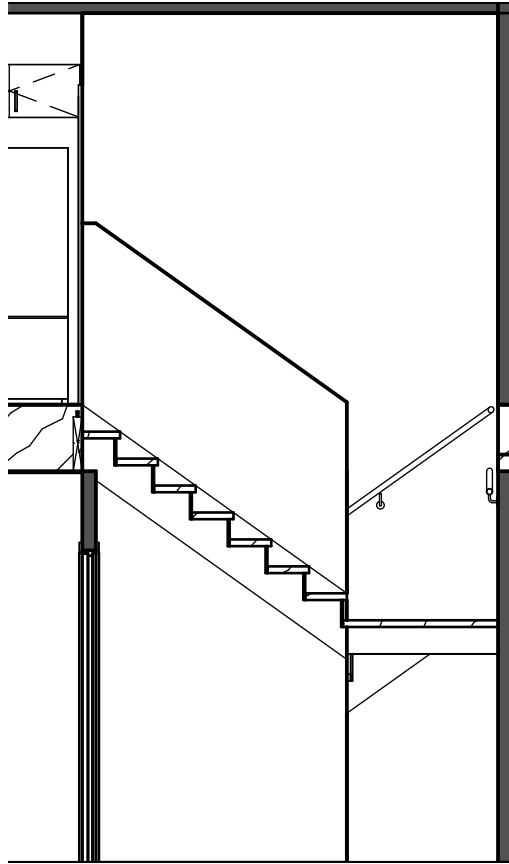




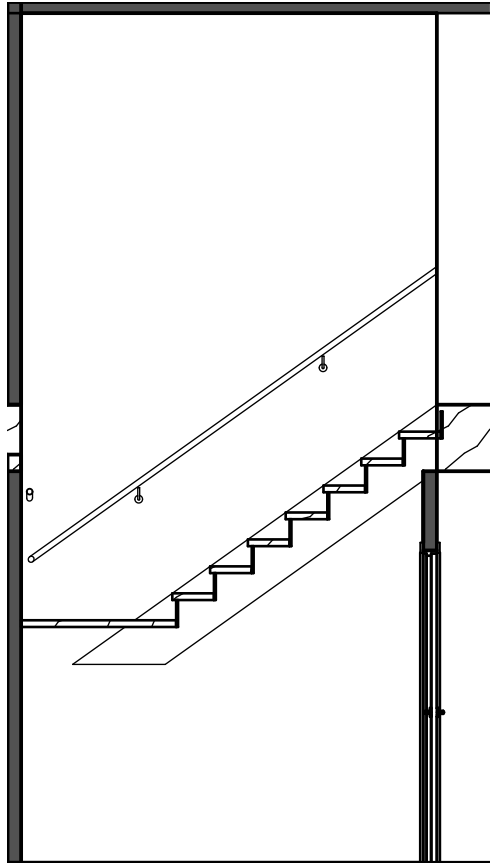
STAIRS FLOOR PLAN
1 : 50



STAIR PERSPECTIVE

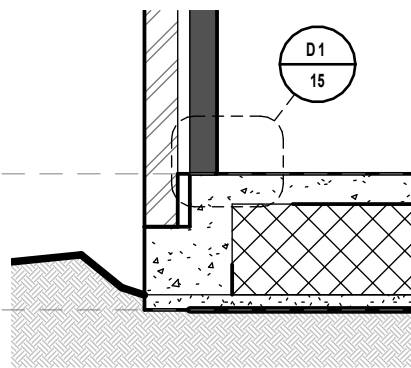


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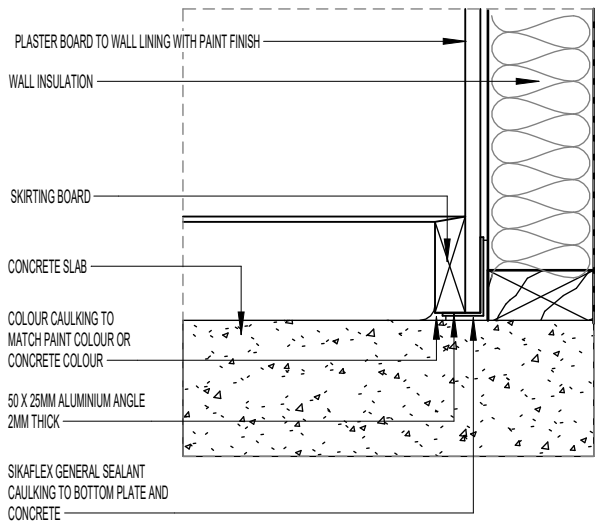
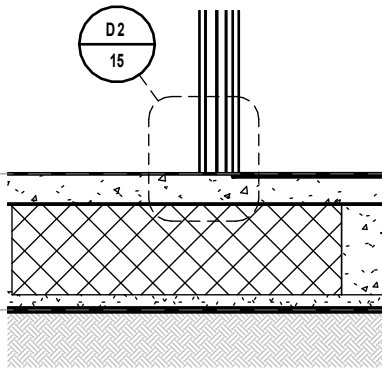


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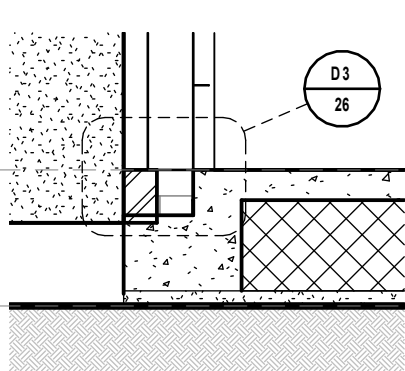


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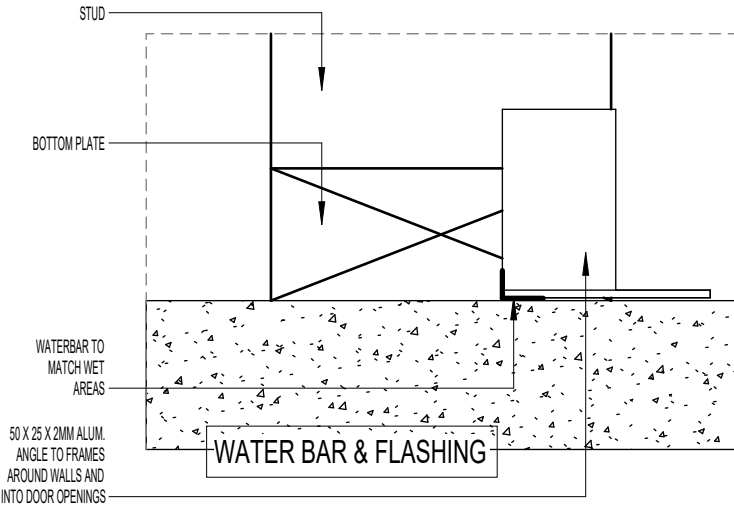
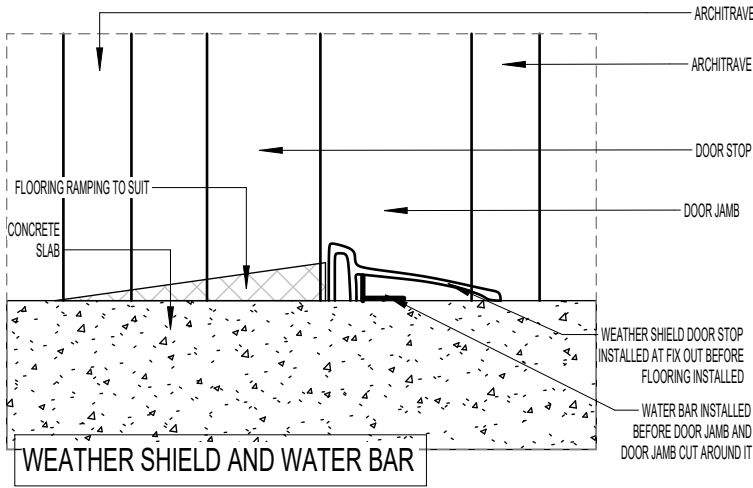
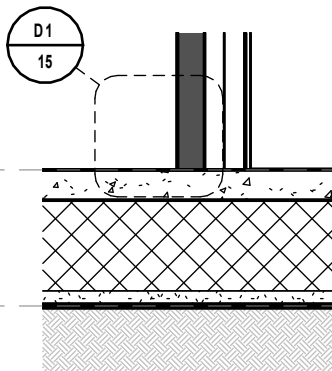


D01 -TYPICAL GARAGE WALL TO SLAB FLASHING DETAIL
1 : 5

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SECTION S4
1 : 25



D02 - WEATHERSHIELD AND WATERBAR TO DOOR FRAME DETAIL
1 : 2

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GARAGE SECTIONS

PROJECT: PROPOSED NEW RESIDENCE

LOT 4 ON LP110553
75 THE ESPLANADE
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indicated

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15

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DATE: 16/03/26

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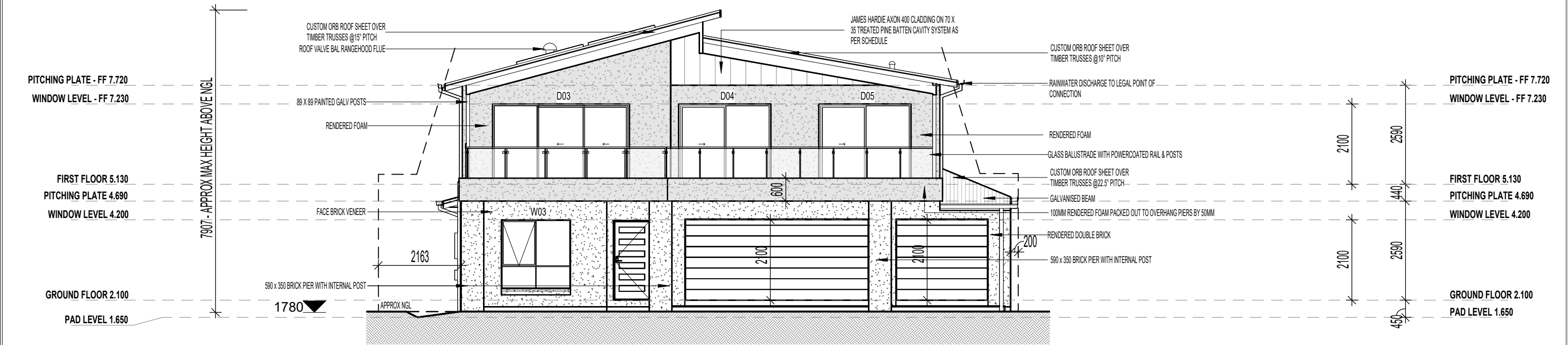
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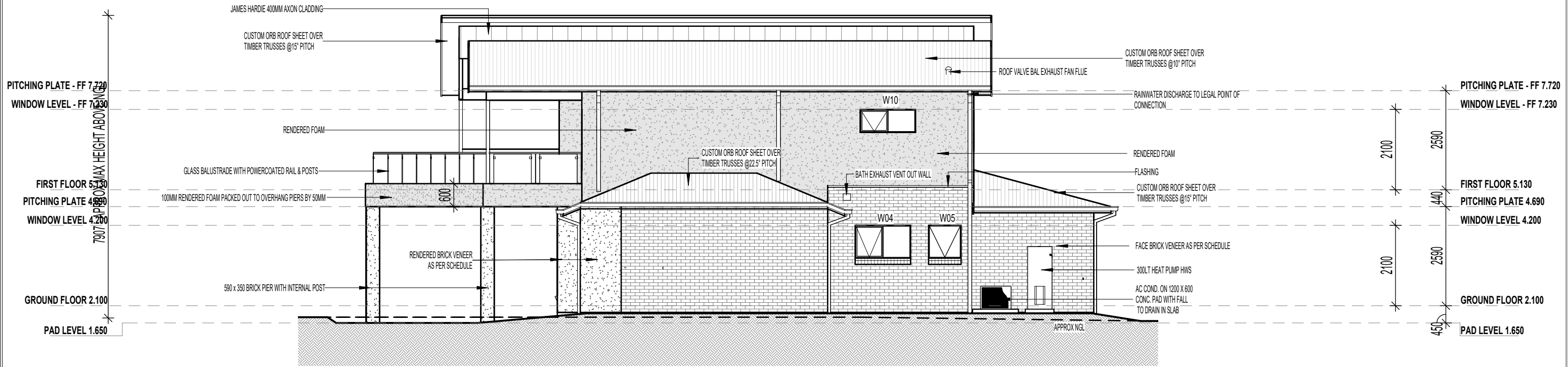
17/08/26



NORTHERN ELEVATION

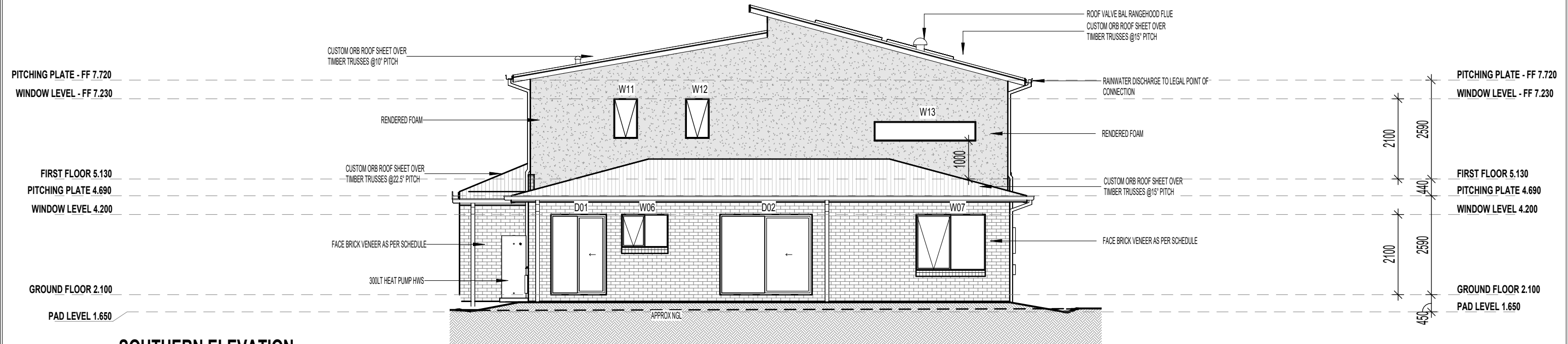
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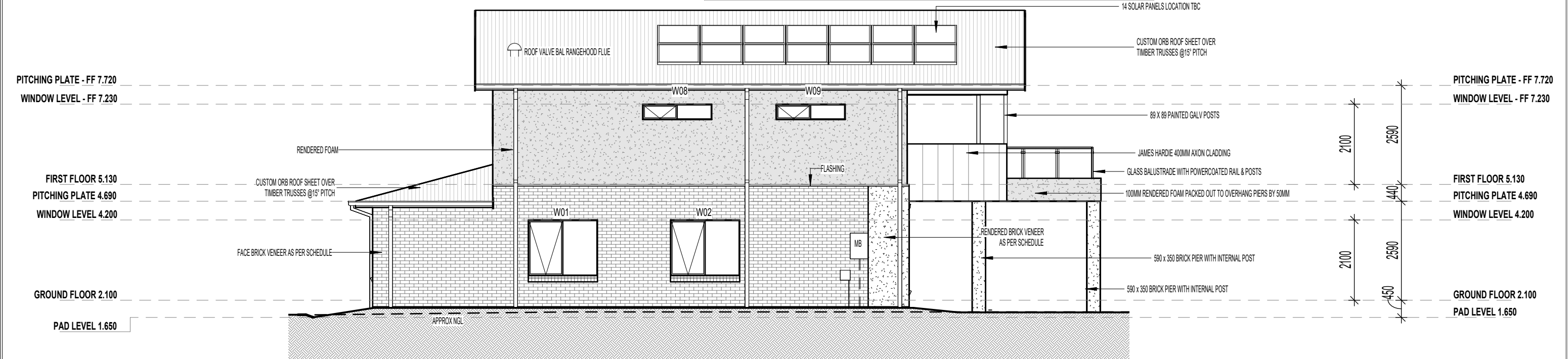
WESTERN ELEVATION

1 : 100

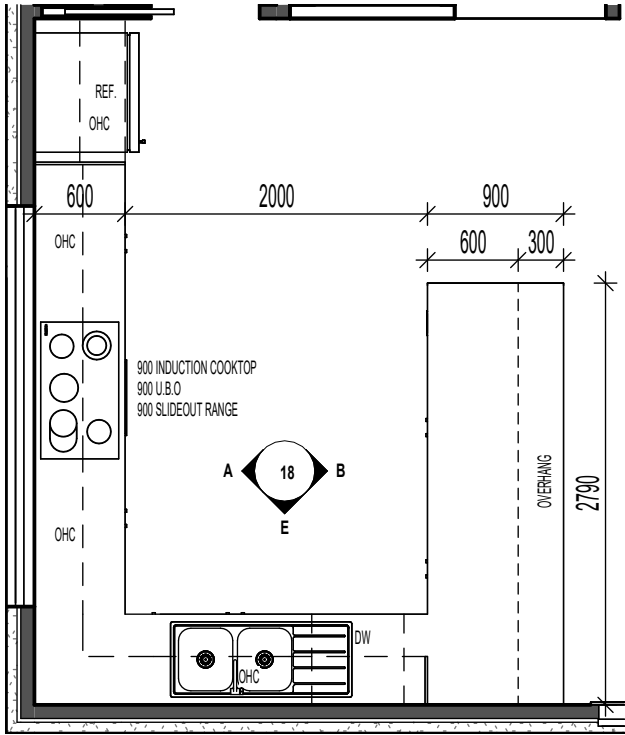


SOUTHERN ELEVATION
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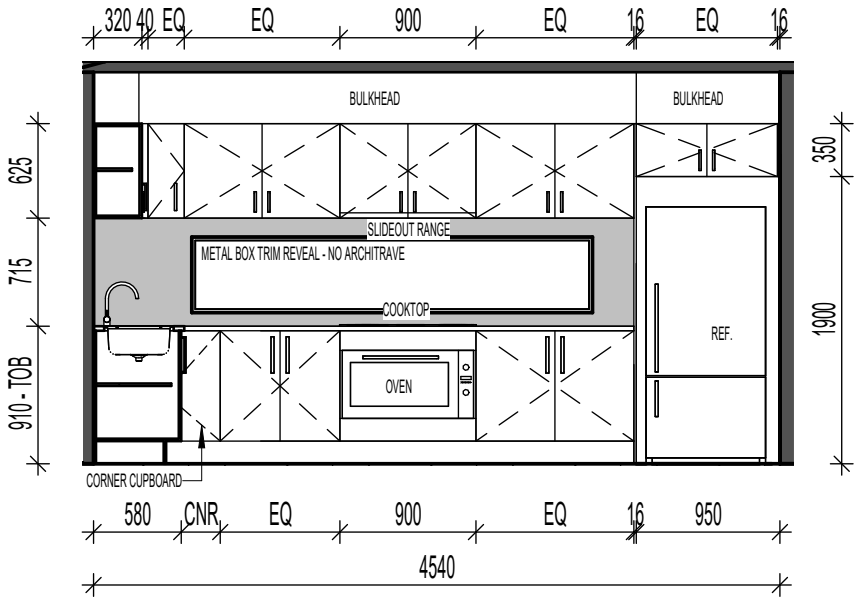


EASTERN ELEVATION
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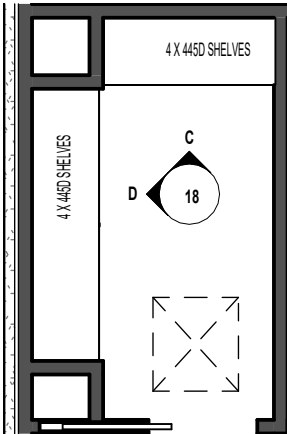
KITCHEN FLOOR PLAN

1 : 50



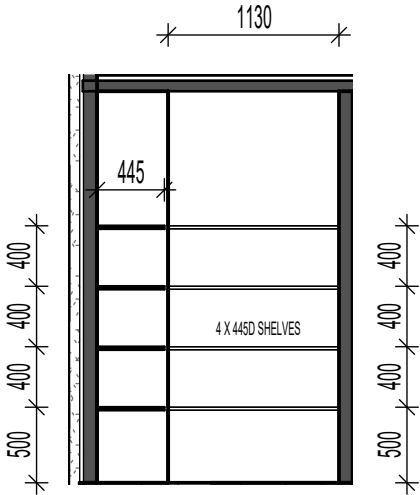
KITCHEN - A

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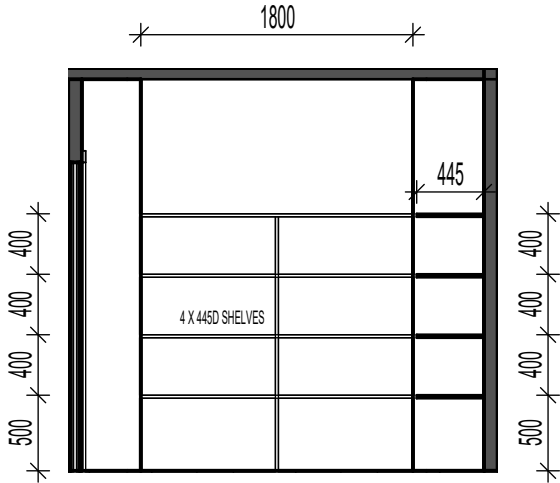


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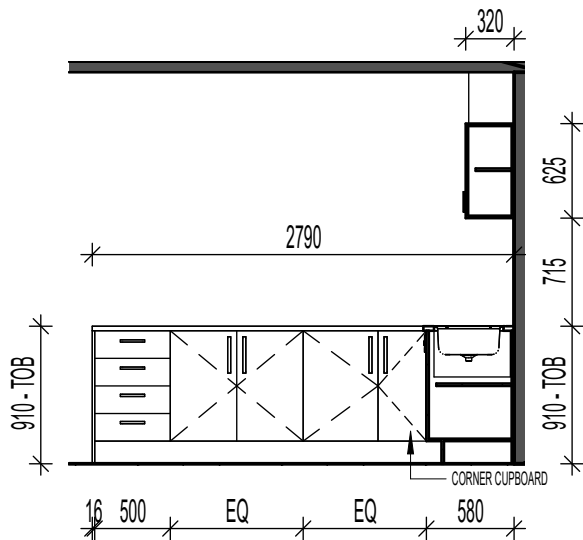
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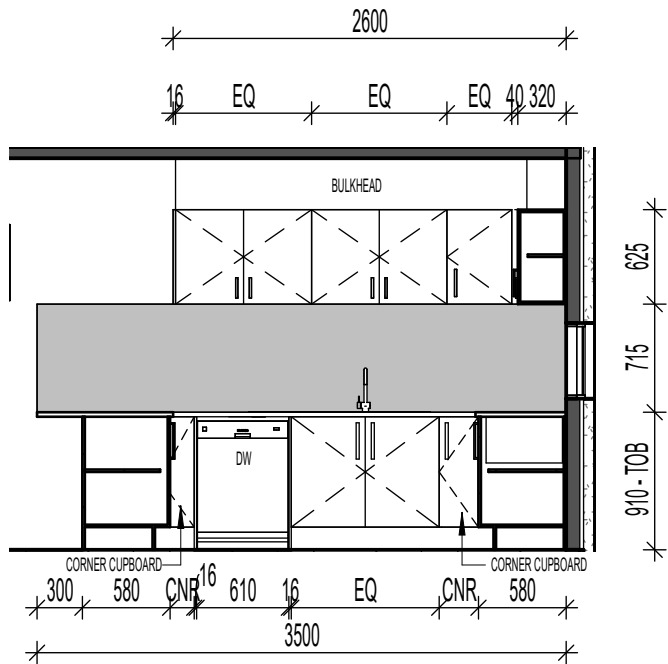
WIP - C



WIP - D



KITCHEN - B



KITCHEN - E

NOTE:

TOB = INDICATIVE HEIGHT TO TOP OF BENCH FROM SLAB.

EQ = EQUAL DIMENSIONING

NOTE: AS PER MANUFACTURES REQUIREMENTS ALL SHELVING WILL NEED SUPPORTS NO GREATER THAN 1200mm OR AT INSTALLERS DISCRETION

NOTE:

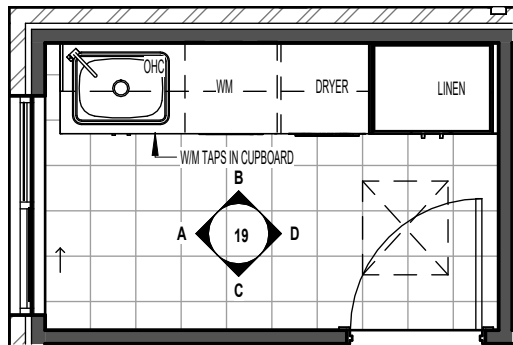
ALL DIMENSIONS ARE INDICITIVE ONLY AND ARE SUBJECT TO ON SITE FRAME, MEASURE & JOINERY MANUFACTURING REQUIREMENTS

APPLIANCES, FITTINGS, FIXTURES AND TILES ARE INDICATIVE ONLY REFER TO COLOUR SCHEDULE FOR ACTUAL SELECTIONS & DETAILS

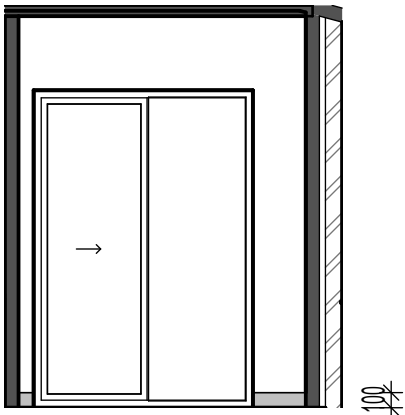
PLEASE NOTE THAT ALL TILES ARE LAID TILES AT THE DISCRETION OF THE TILER ON SITE

NOTE: SOFT CLOSE DOORS & DRAWERS TO JOINERY THROUGHOUT DWELLING

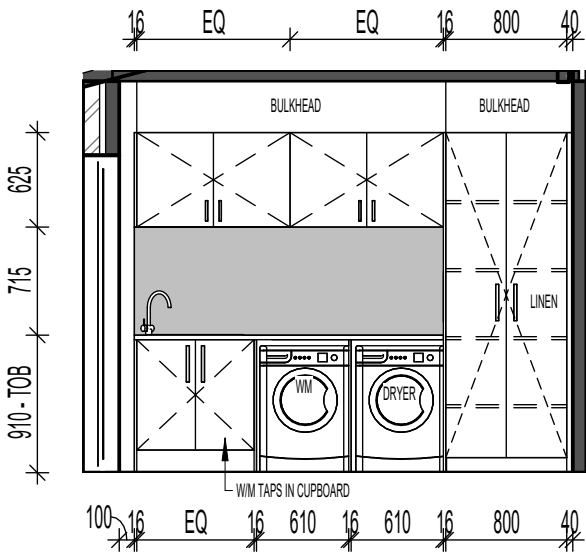
[Hatch] = HATCH DENOTES LOCATION OF TILES



L'DRY FLOOR PLAN
1 : 50

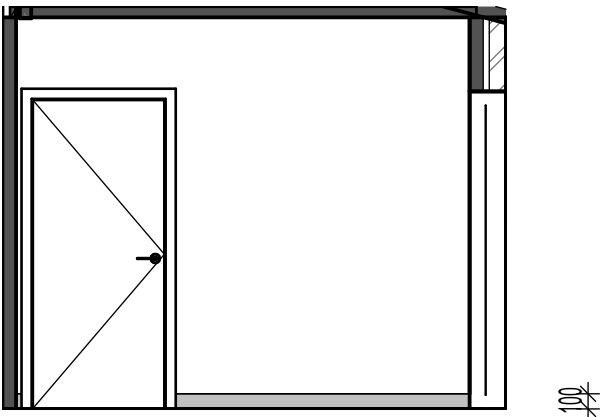


L'DRY -A

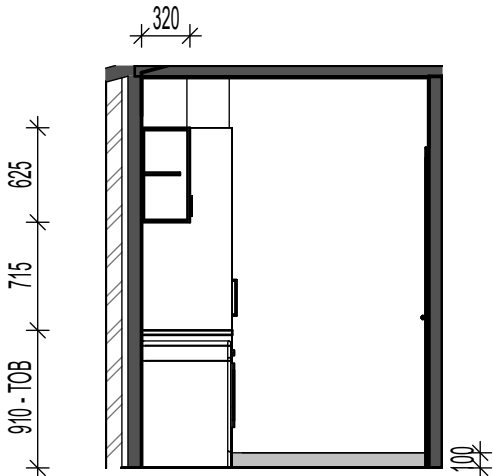


L'DRY -B

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L'DRY -C



L'DRY -D

DUE TO NCC2022 CONDENSATION MANAGEMENT REQUIREMENTS, THIS LAUNDRY IS ONLY SUITABLE FOR INSTALLATION OF SELF CONDENSING OR HEAT PUMP DRYERS WITH SELF CONTAINED WATER CATCHMENT CONTAINERS.

ELECTRICAL OUTLETS SHALL ONLY BE WIRED TO SUIT 10 AMP APPLIANCES

NOTE : ANY REQUIRED ALTERATIONS TO THE ABOVE DRAINAGE, DUCTING OR POWER NEEDS MUST BE REQUESTED IN WRITING BY THE CLIENT, COSTED BY THE BUILDER AND THEN ACCEPTED VIA A WRITTEN AND SIGNED BUILDING VARIATION

NOTE:

TOB = INDICATIVE HEIGHT TO TOP OF BENCH FROM SLAB.

EQ = EQUAL DIMENSIONING

NOTE: AS PER MANUFACTURES REQUIREMENTS ALL SHELIVING WILL NEED SUPPORTS NO GREATER THAN 1200mm OR AT INSTALLERS DISCRESSION

NOTE:

ALL DIMENSIONS ARE INDICITIVE ONLY AND ARE SUBJECT TO ON SITE FRAME, MEASURE & JOINERY MANUFACTURING REQUIREMENTS

APPLIANCES, FITTINGS, FIXTURES AND TILES ARE INDICATIVE ONLY REFER TO COLOUR SCHEDULE FOR ACTUAL SELECTIONS & DETAILS

PLEASE NOTE THAT ALL TILES ARE LAID TILES AT THE DISCRETION OF THE TILER ON SITE

NOTE: SOFT CLOSE DOORS & DRAWERS TO JOINERY THROUGHOUT DWELLING

 = HATCH DENOTES LOCATION OF TILES

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CUSTOM FACADE

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CLIENT:

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L'DRY INTERNALS

PROJECT: PROPOSED NEW RESIDENCE

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SCALE:
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PAGES:
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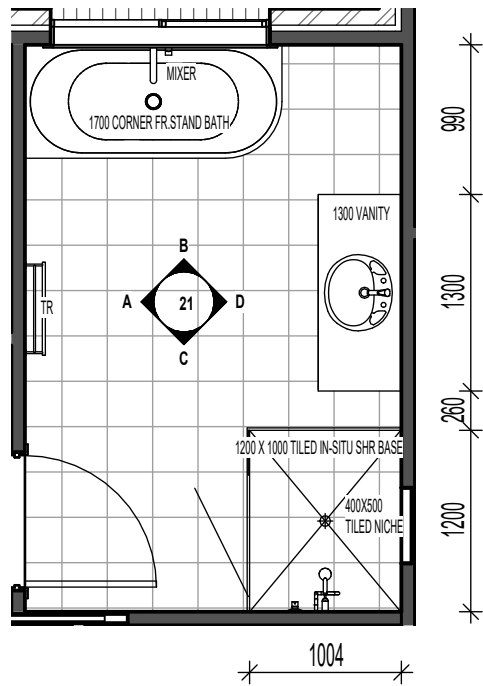
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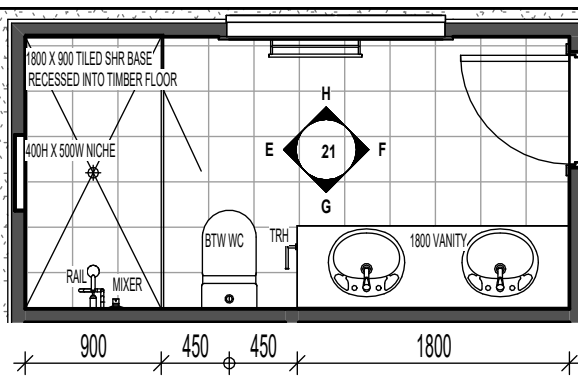
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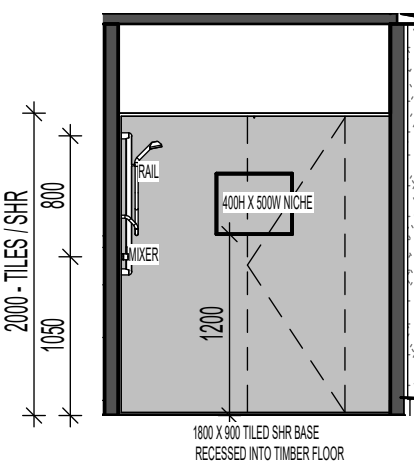
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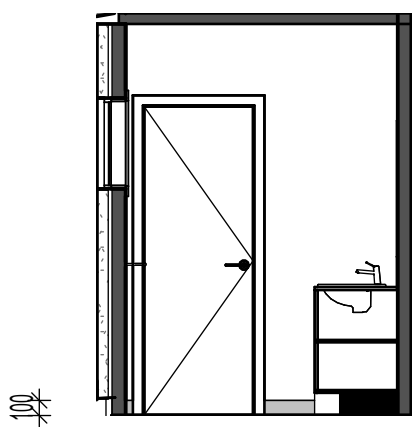
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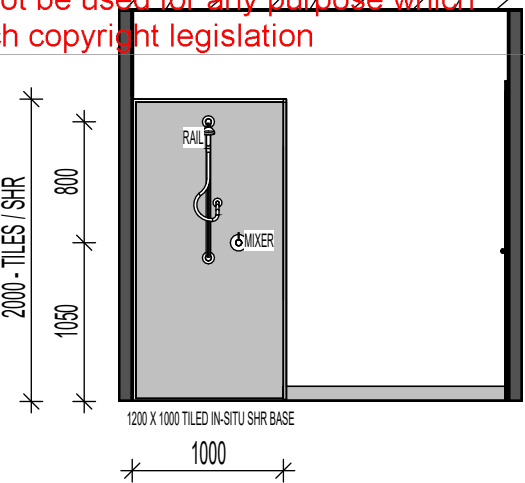
ENS FLOOR PLAN
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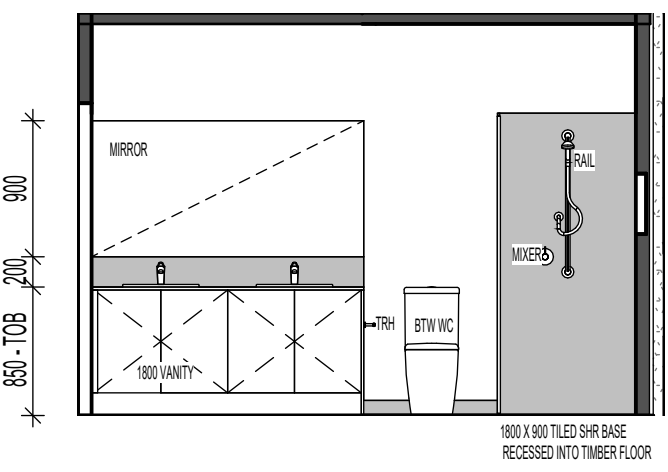
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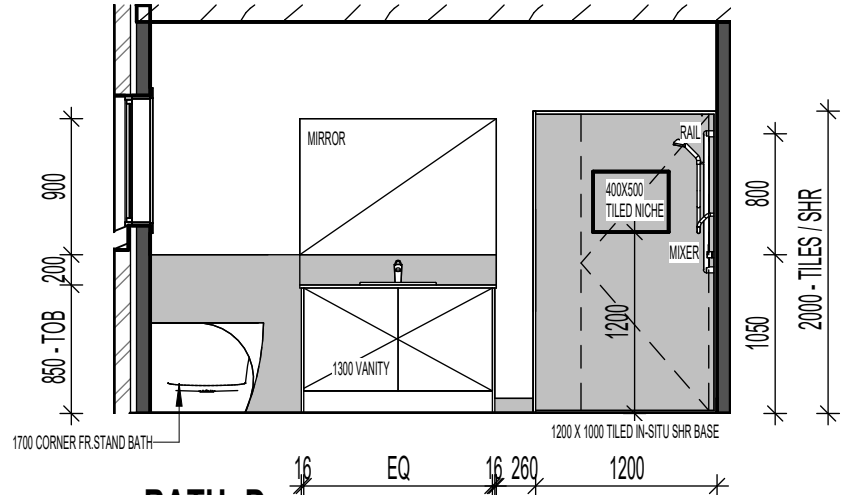
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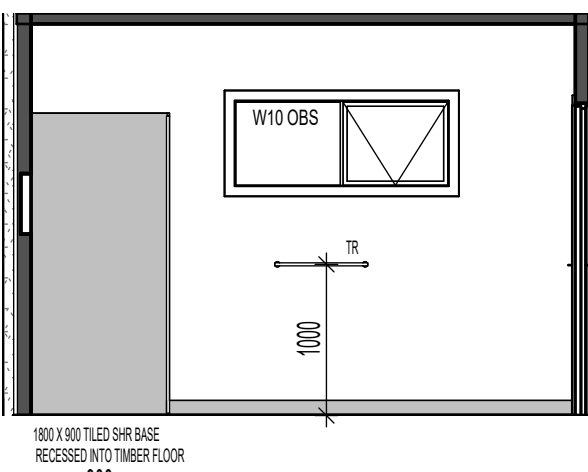
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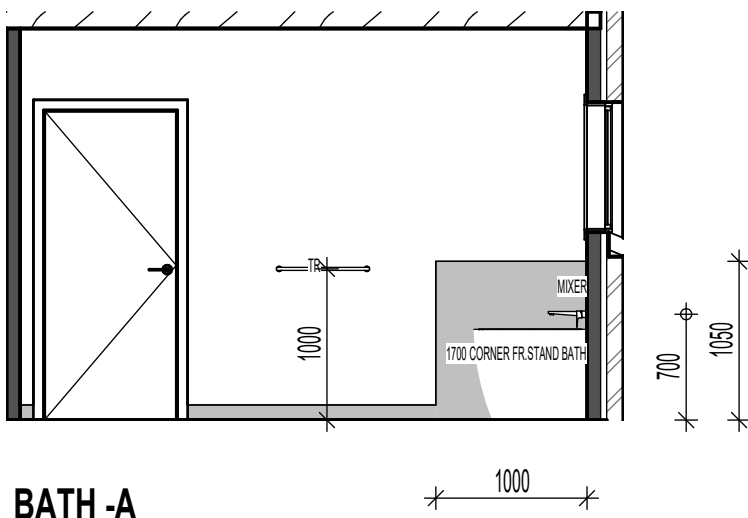
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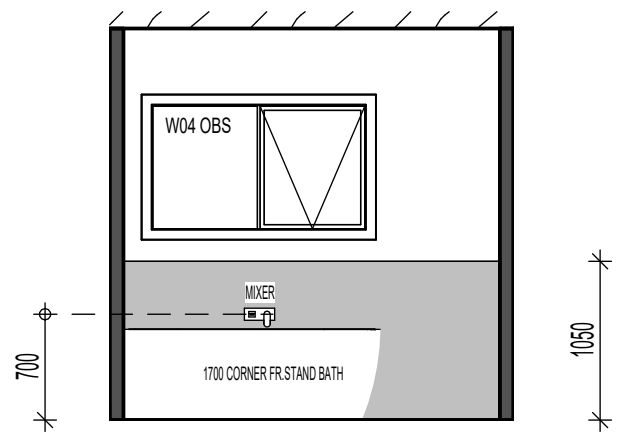
BATH -D



ENS -H



BATH -A



BATH -B

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EQ = EQUAL DIMENSIONING

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NOTE:

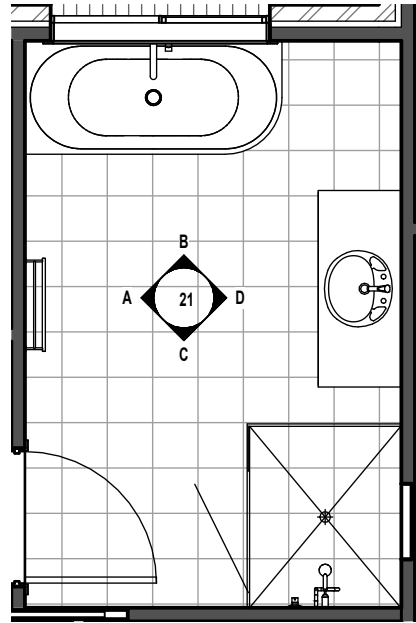
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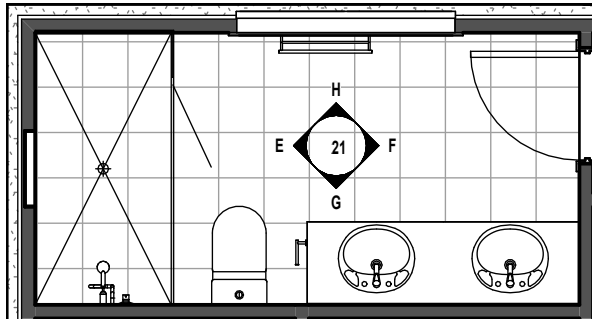
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 = HATCH DENOTES LOCATION OF TILES



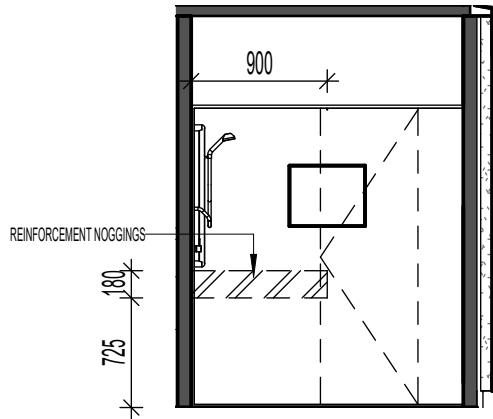
BATH FLOOR PLAN BLOCKING

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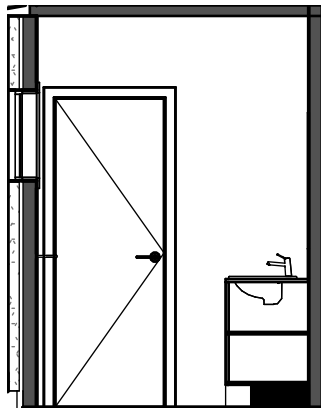


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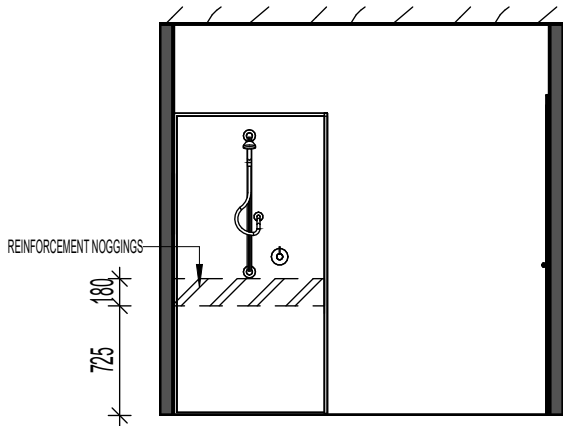
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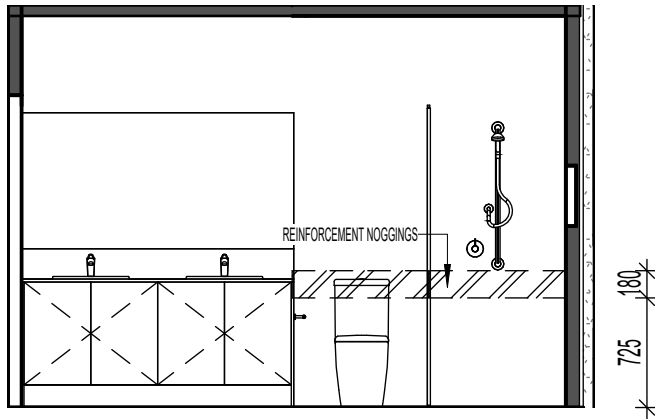
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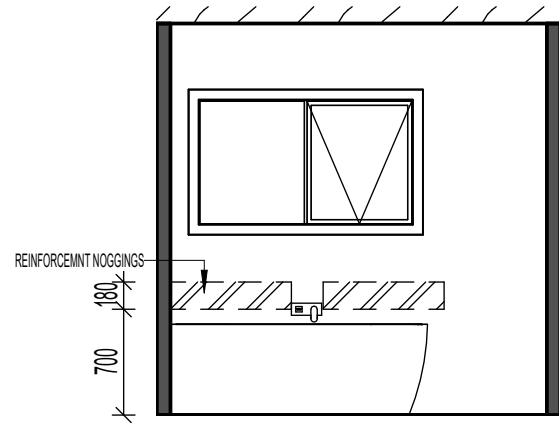
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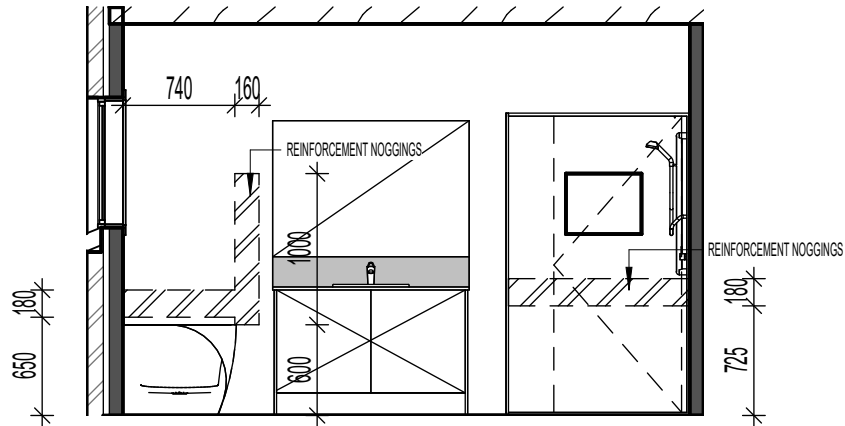
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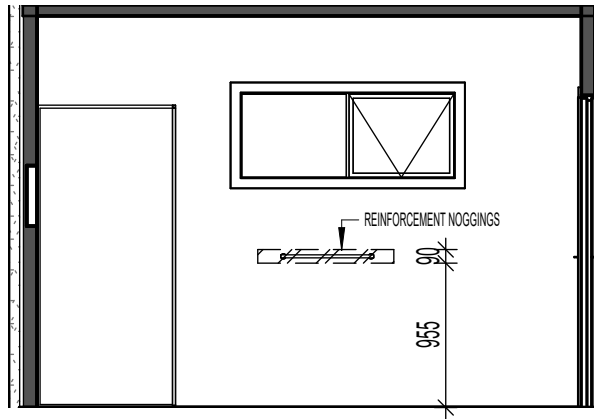
ENS -G



BATH -B



BATH -D



ENS -H

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= HATCH DENOTES LOCATION OF TILES

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PLAN
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BATH / ENS INTERNALS BLOCKING

PROJECT: PROPOSED NEW RESIDENCE

LOT 4 ON LP110553
75 THE ESPLANADE
PORTARLINGTON VIC 3223

I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEM/S AND ANY FURTHER PLANS TO BE PREPARED

OWNER SIGNED:.....DATE:.....

OWNER SIGNED:.....DATE:.....

BUILDER SIGNED:.....DATE:.....

SCALE:
As indicated

PAGES:

21

SHEET SIZE:

A3

REV:

DATE:

JOB NO: TBA

DRAWN: 3DP

DATE: 16/03/26

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10/04/26

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11/05/26

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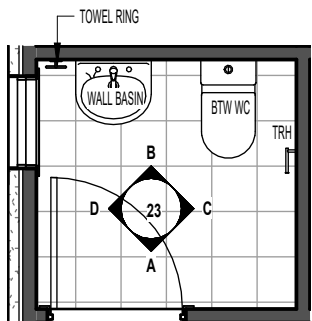
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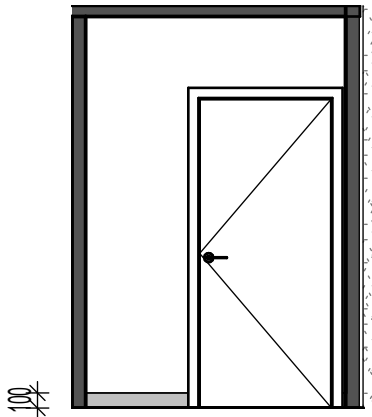
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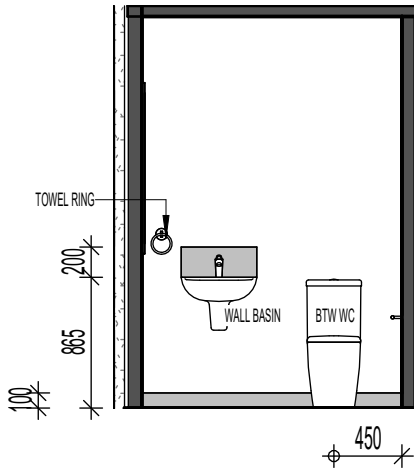
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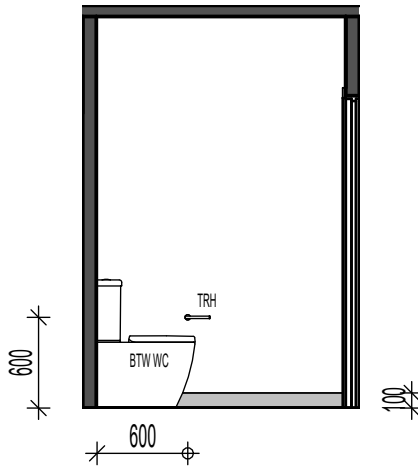
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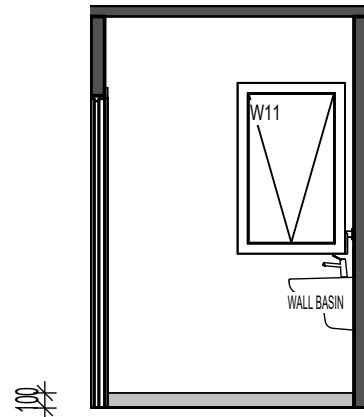
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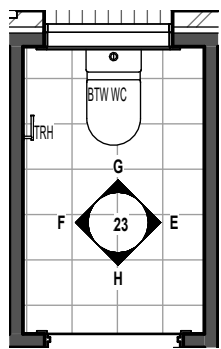


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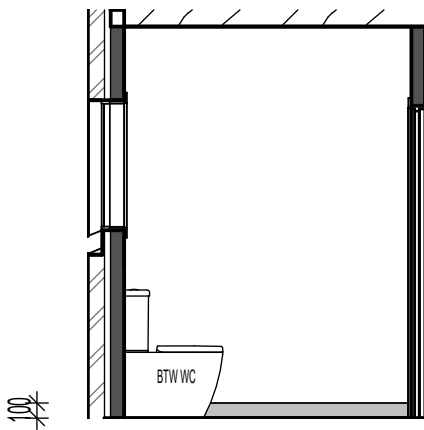


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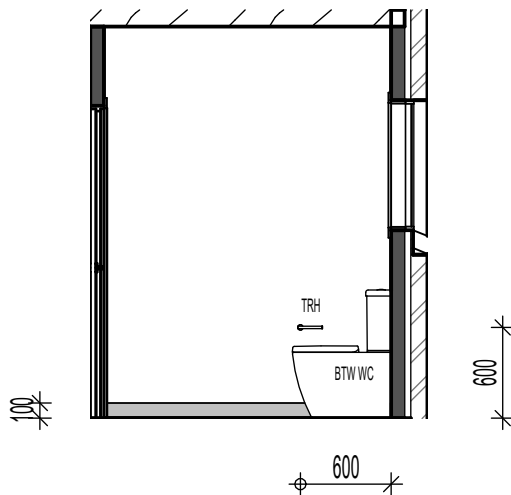
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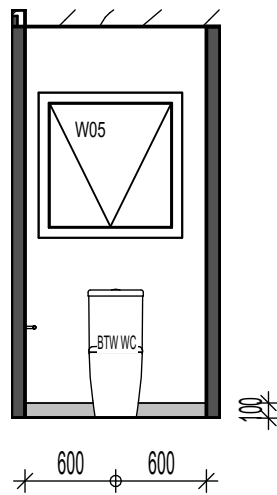
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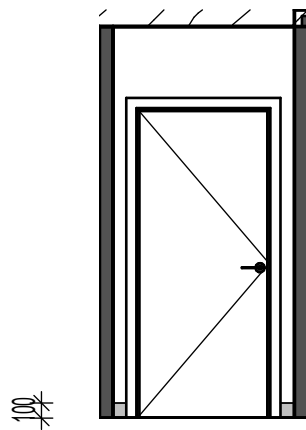
WC -E



WC -F



WC -G



WC -H

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CLIENT:

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PDR / WC INTERNALS

PROJECT: PROPOSED NEW RESIDENCE

**LOT 4 ON LP110553
75 THE ESPLANADE
PORTARLINGTON VIC 3223**

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SCALE:
As indicated

PAGES:
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SHEET SIZE:
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REV:

DATE:

JOB NO: TBA

DRAWN: 3DP

DATE: 16/03/26

1 16/03/26

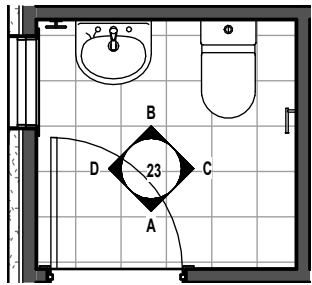
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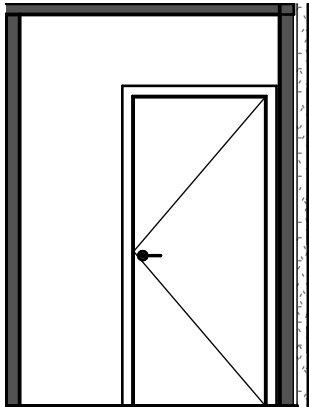
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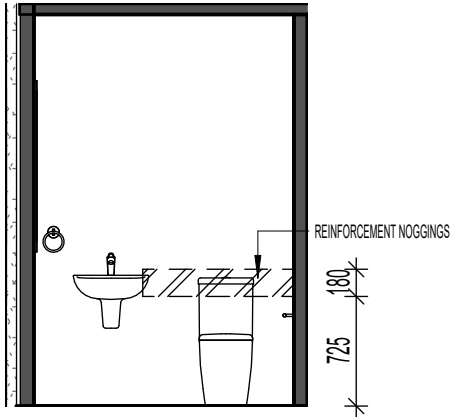
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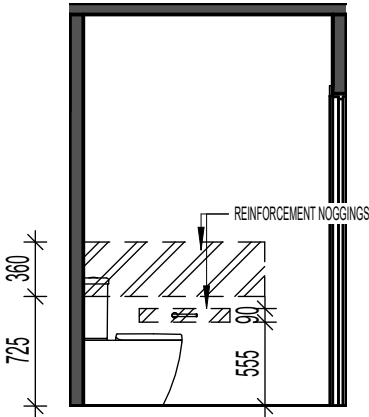
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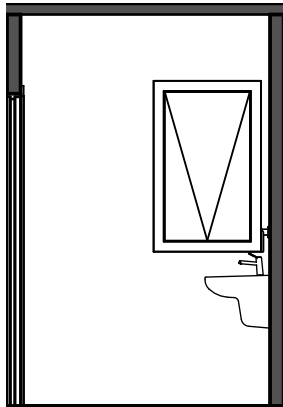
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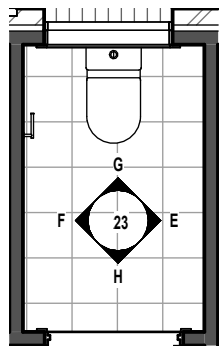


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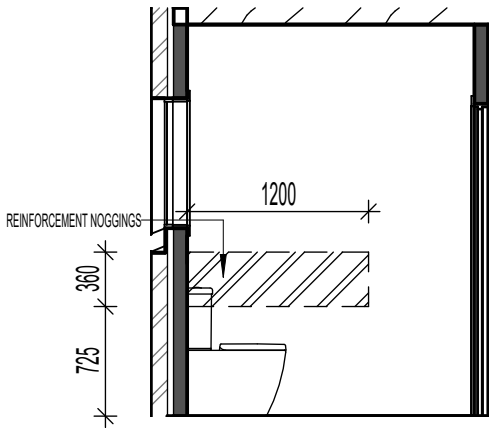


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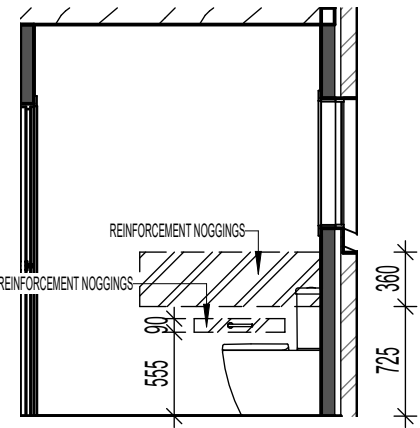
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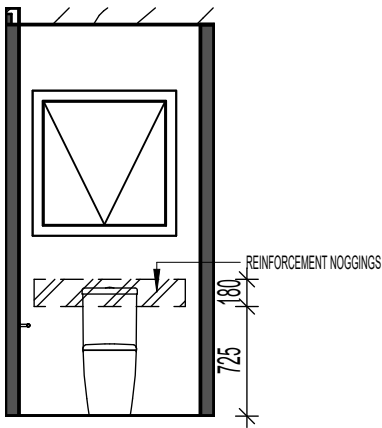
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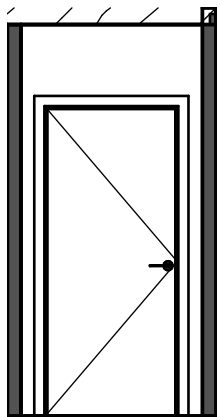
WC -E



WC -F



WC -G



WC -H

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CLIENT:

DRAWING TITLE:

PDR / WC INTERNALS BLOCKING

PROJECT: PROPOSED NEW RESIDENCE

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SCALE:
As indicated

PAGES:
23

JOB NO: TBA

DRAWN: 3DP

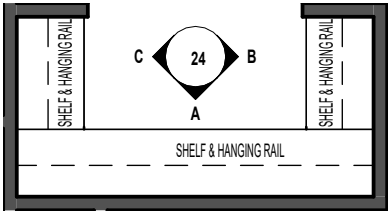
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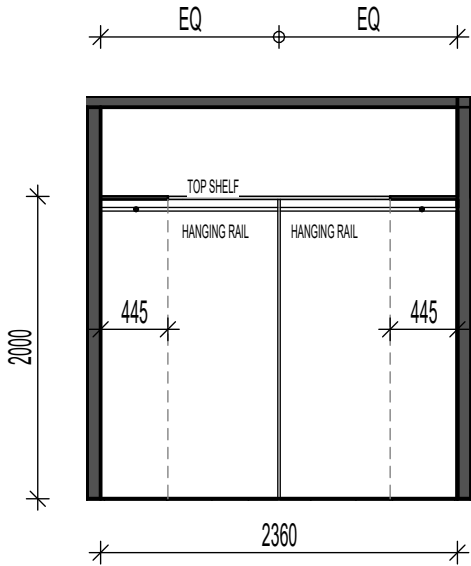
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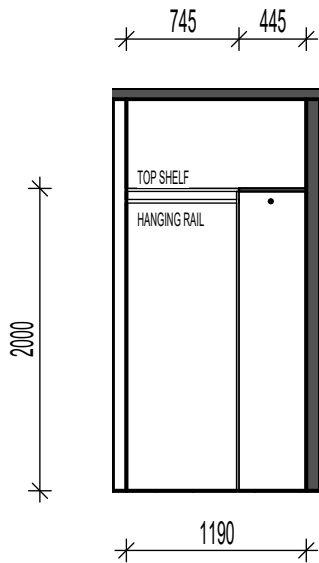
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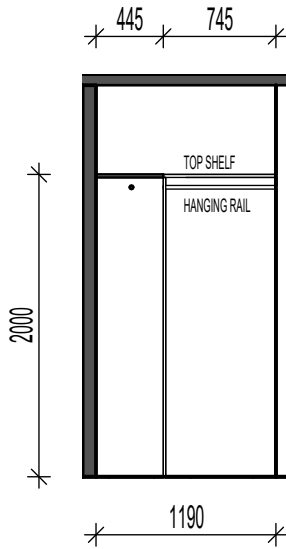
WIR FLOOR PLAN
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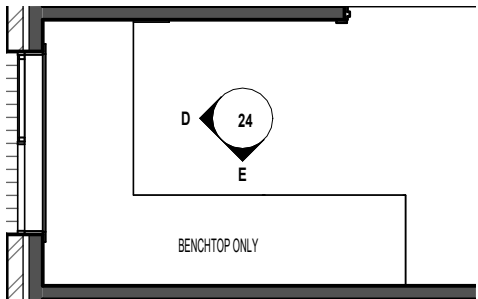
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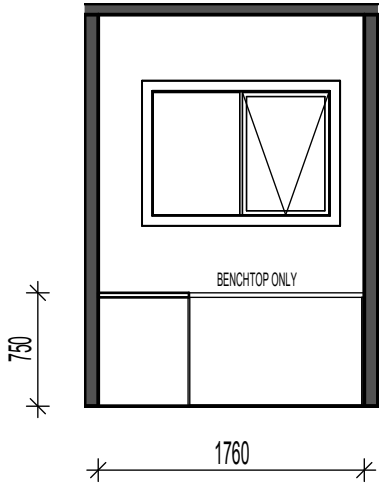
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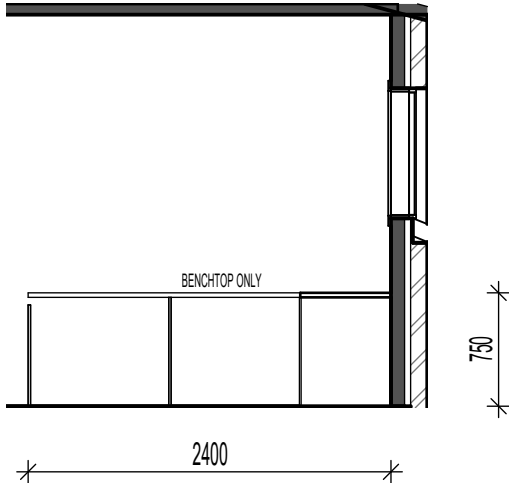
WIR -C



STUDY FLOOR PLAN
1 : 50



STUDY -D



STUDY -E

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WIR / STUDY INTERNALS

PROJECT: PROPOSED NEW RESIDENCE

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SCALE:
As indicated

PAGES:
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SHEET SIZE:
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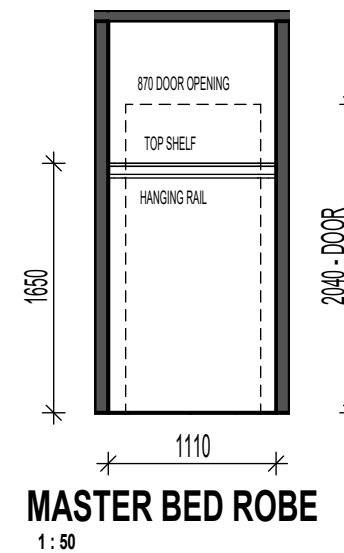
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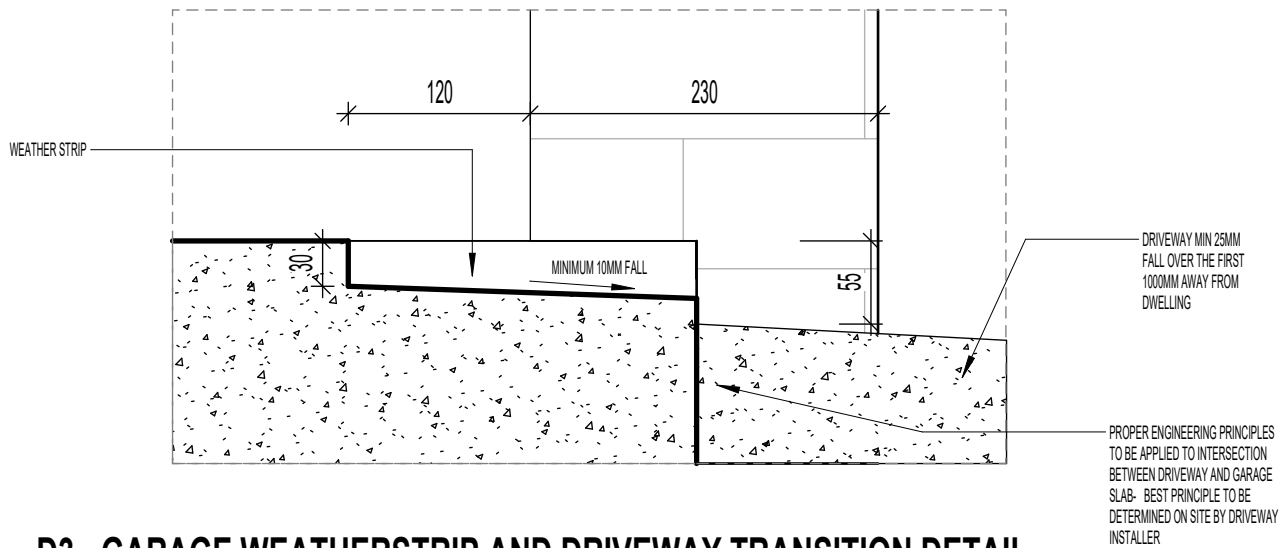
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JOB NO: TBA

DRAWN: 3DP

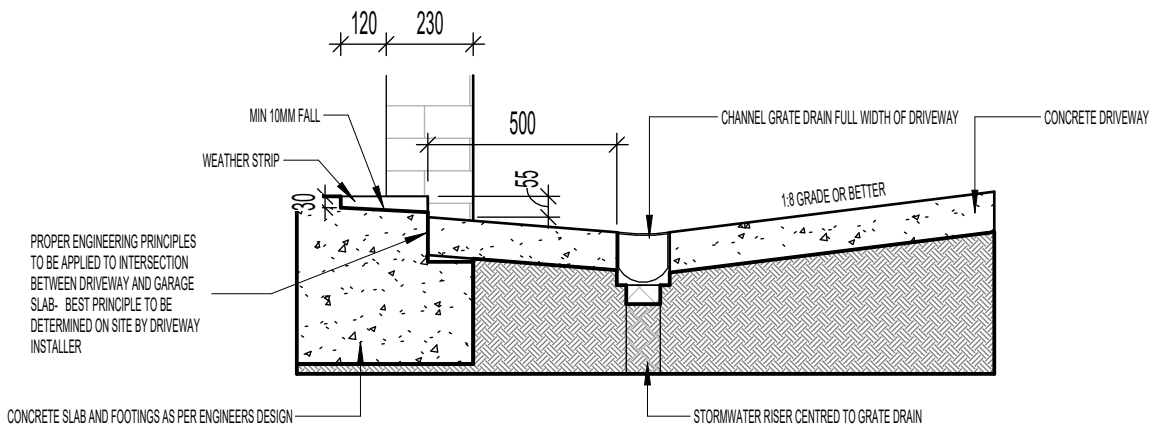
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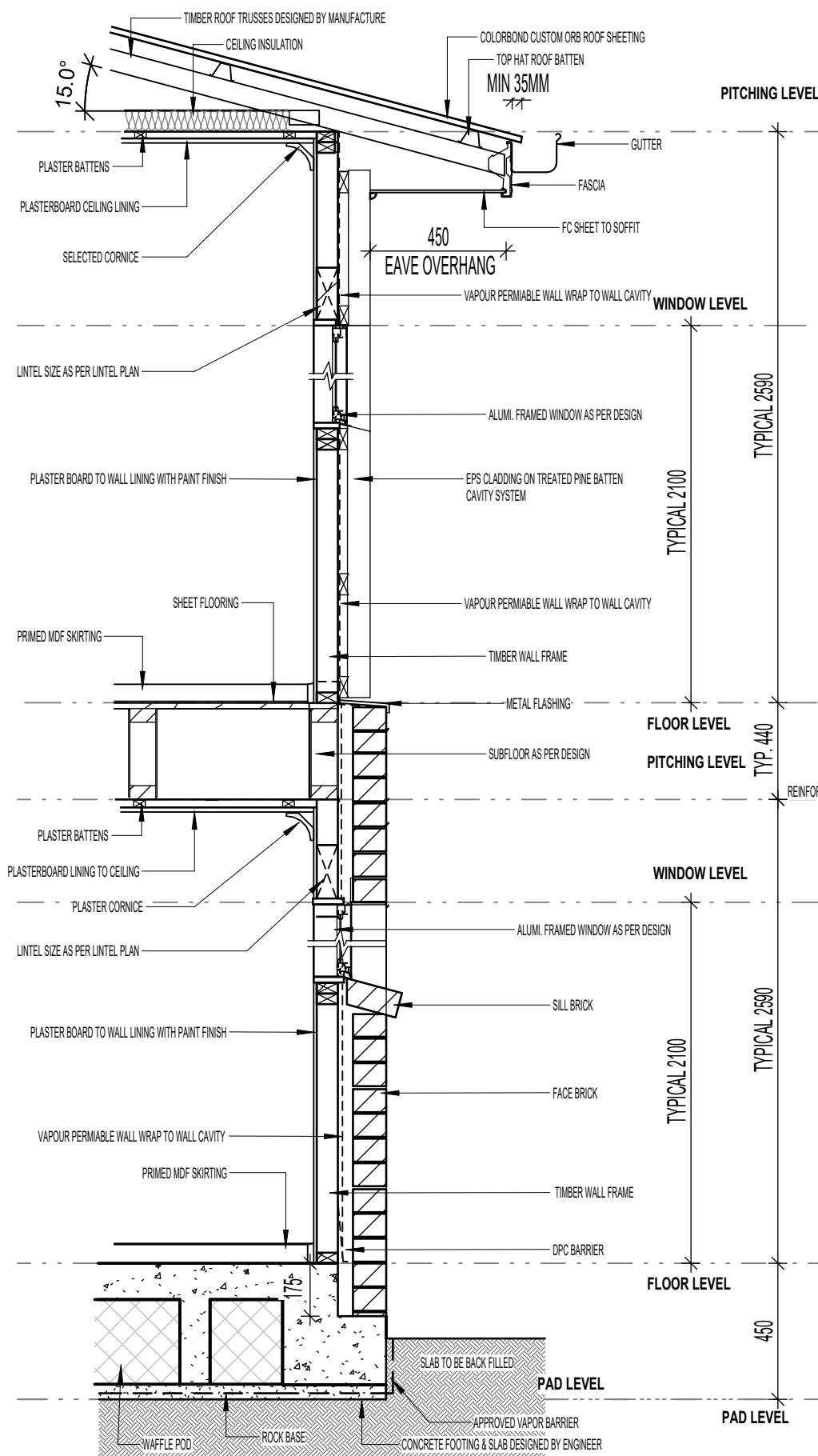


**D3 - GARAGE WEATHERSTRIP AND DRIVEWAY TRANSITION DETAIL
- FALLING AWAY FROM GARAGE**

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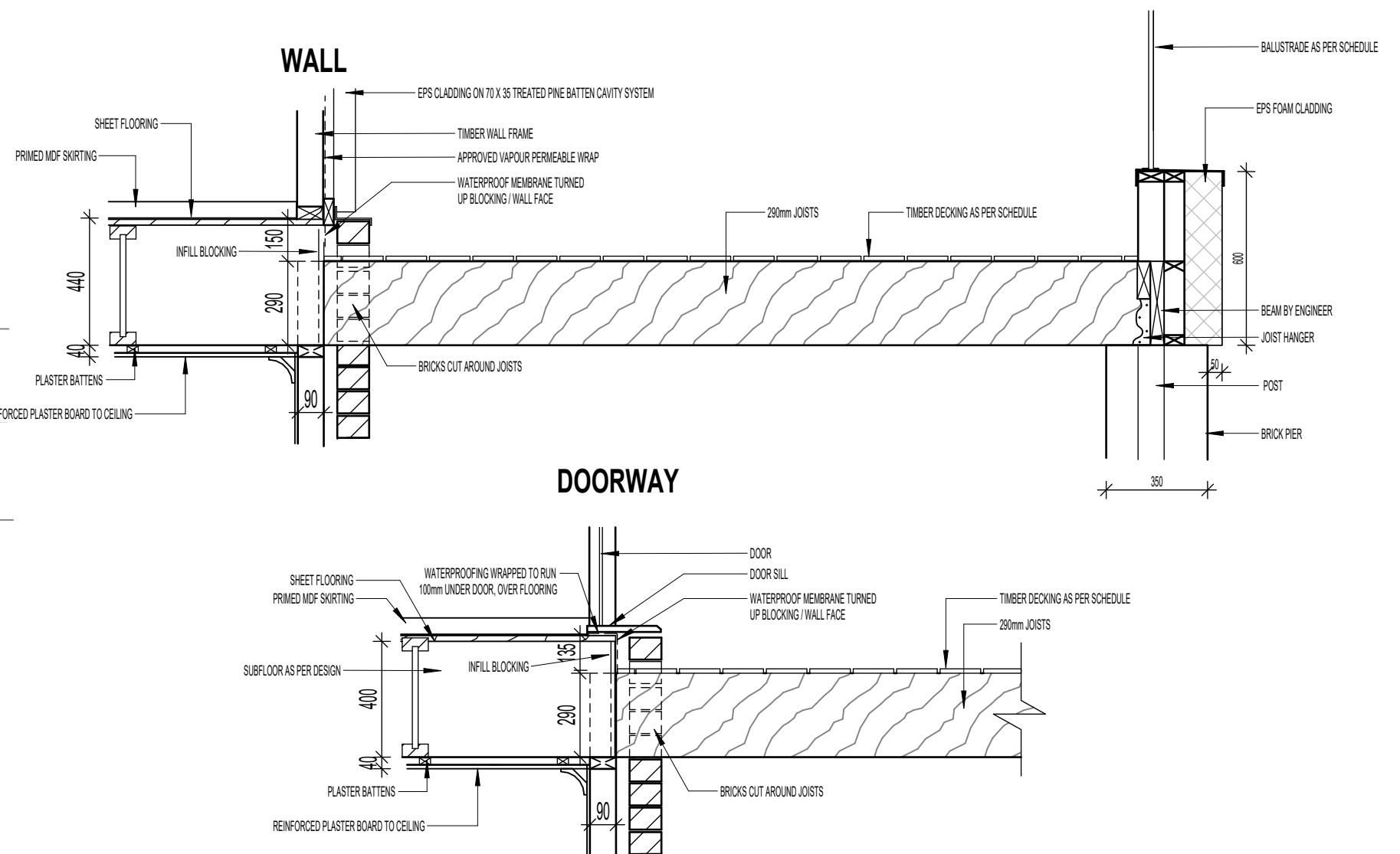
**D3 - GARAGE WEATHERSTRIP AND DRIVEWAY TRANSITION DETAIL
- NGL FALLING TOWARDS GARAGE**



TYPICAL BRICK VENEER / EPS HIGHSET WALL DETAIL

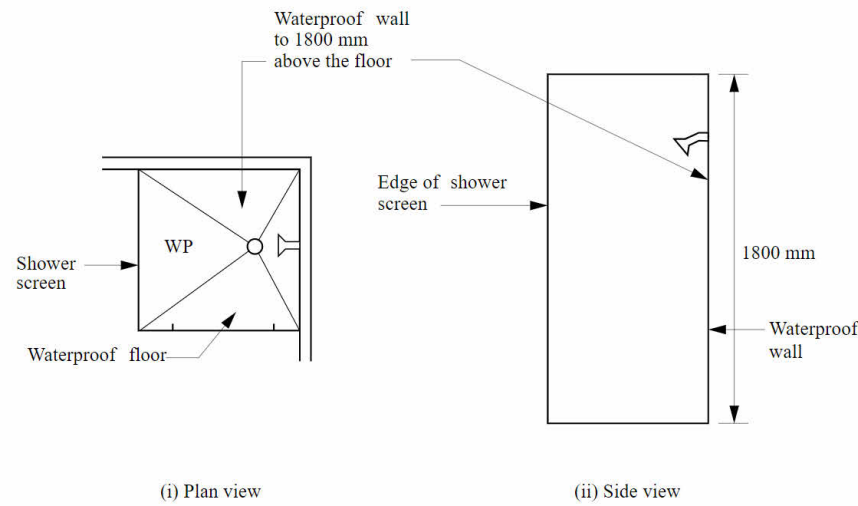
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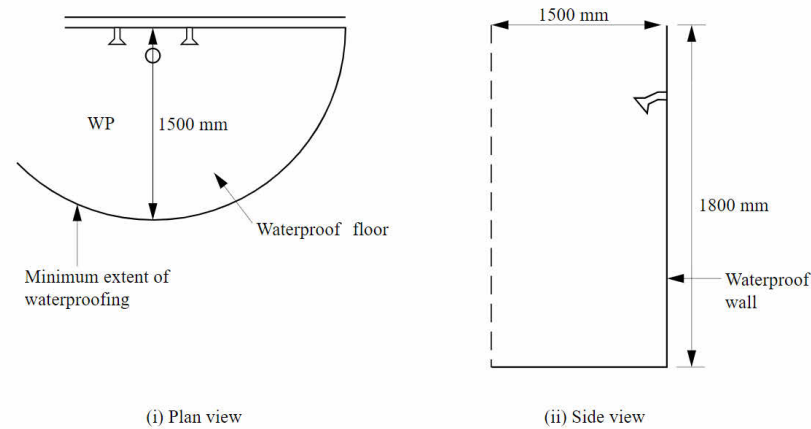


BALCONY TIMBER DECK DETAIL

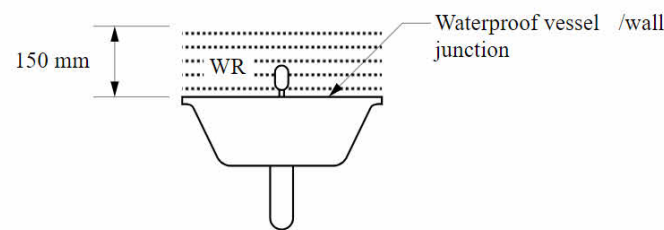
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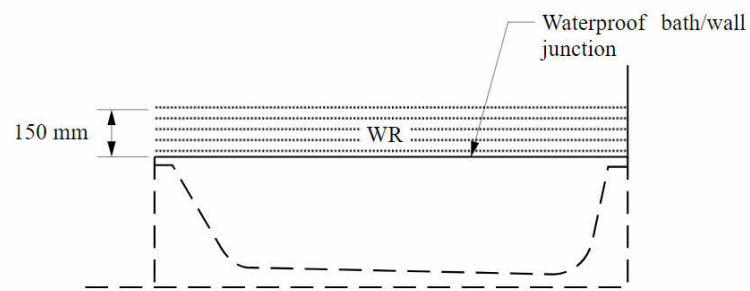
(a) Enclosed shower



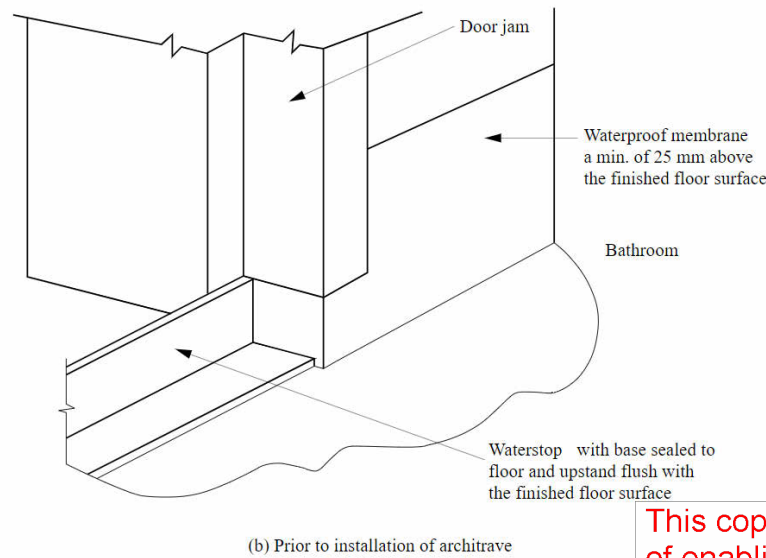
(b) Unenclosed shower



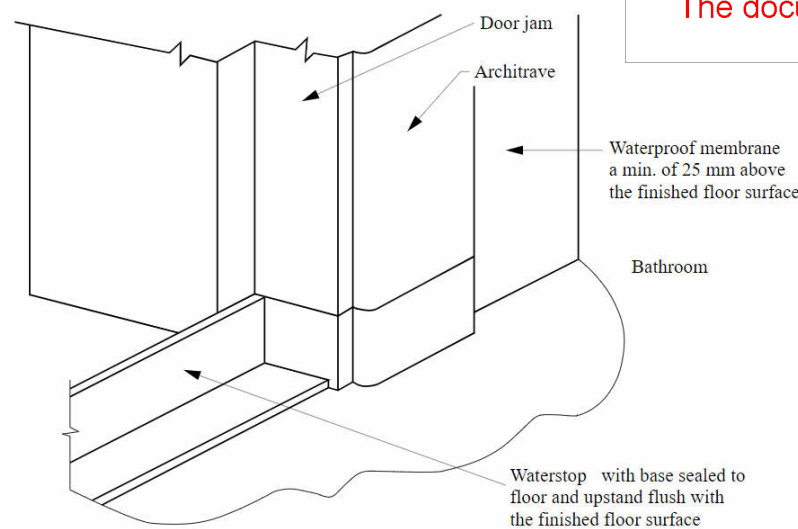
(a) Vessel abutting wall



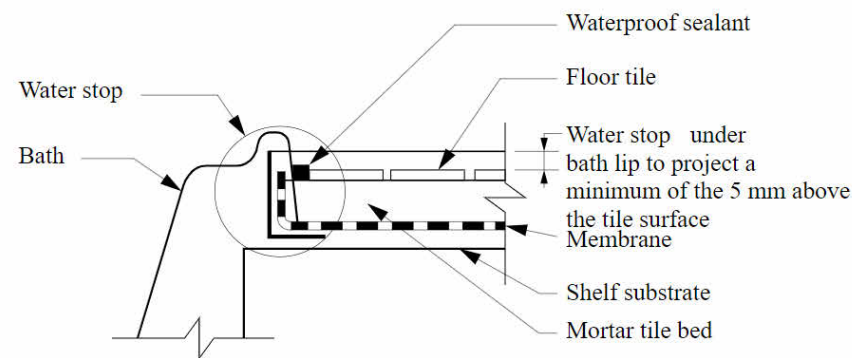
(b) Wall/bath junction



(b) Prior to installation of architrave

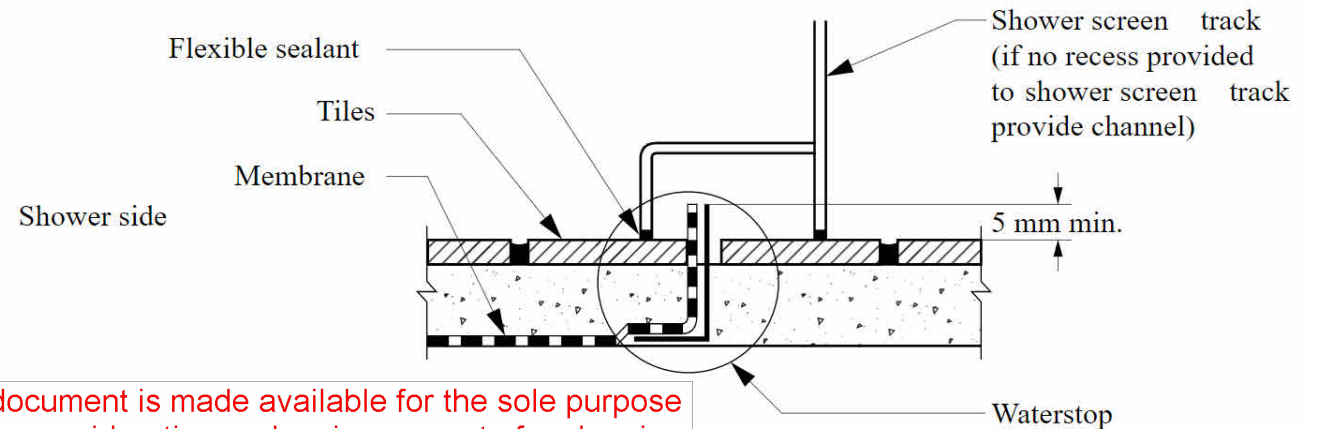


(a) After installation of architrave

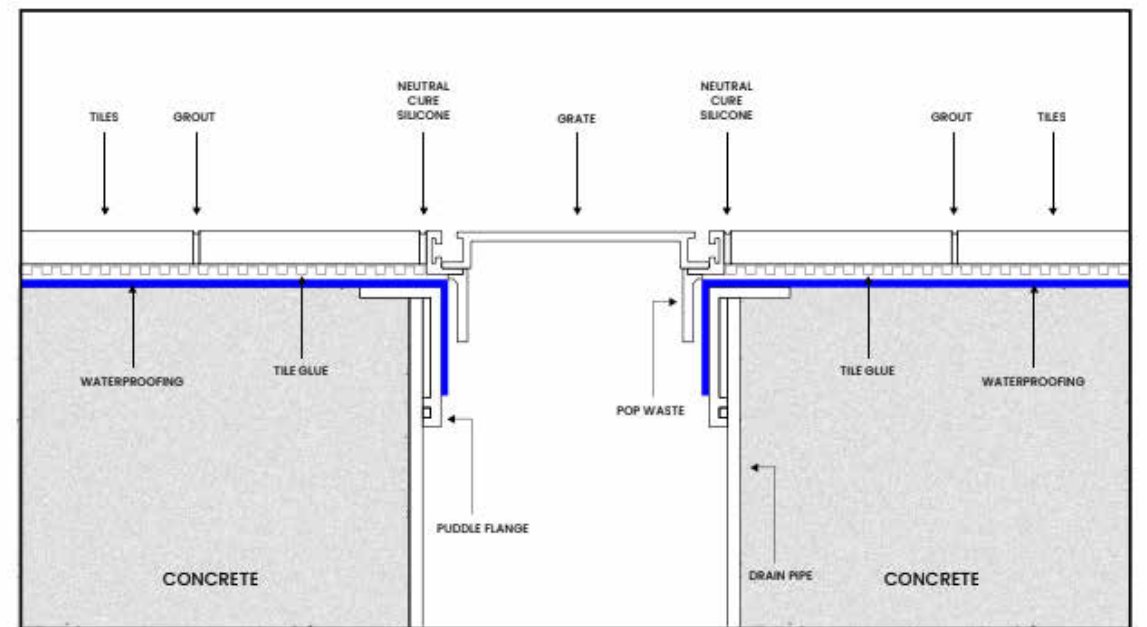
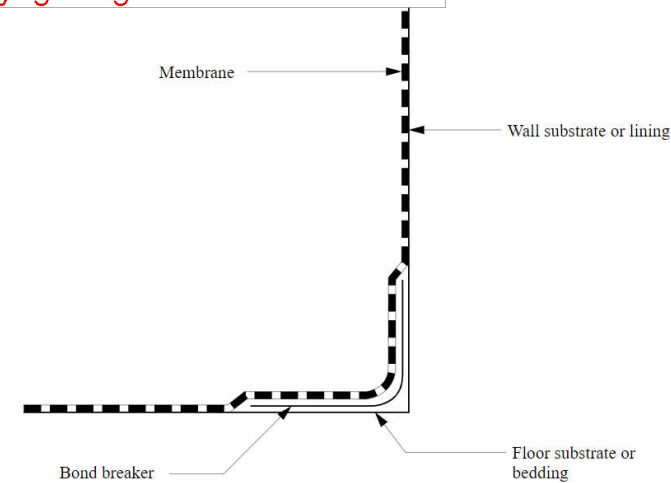


(c) Bath/shelf junction

Figure 10.2.17 Typical hobless construction



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WATERPROOFING DETAILS

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CUSTOM FLOOR PLAN
CUSTOM FACADE

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PROJECT: PROPOSED NEW RESIDENCE

**LOT 4 ON LP110553
75 THE ESPLANADE
PORTARLINGTON VIC 3223**

I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEMS AND ANY FURTHER PLANS TO BE PREPARED

OWNER SIGNED:.....DATE:.....

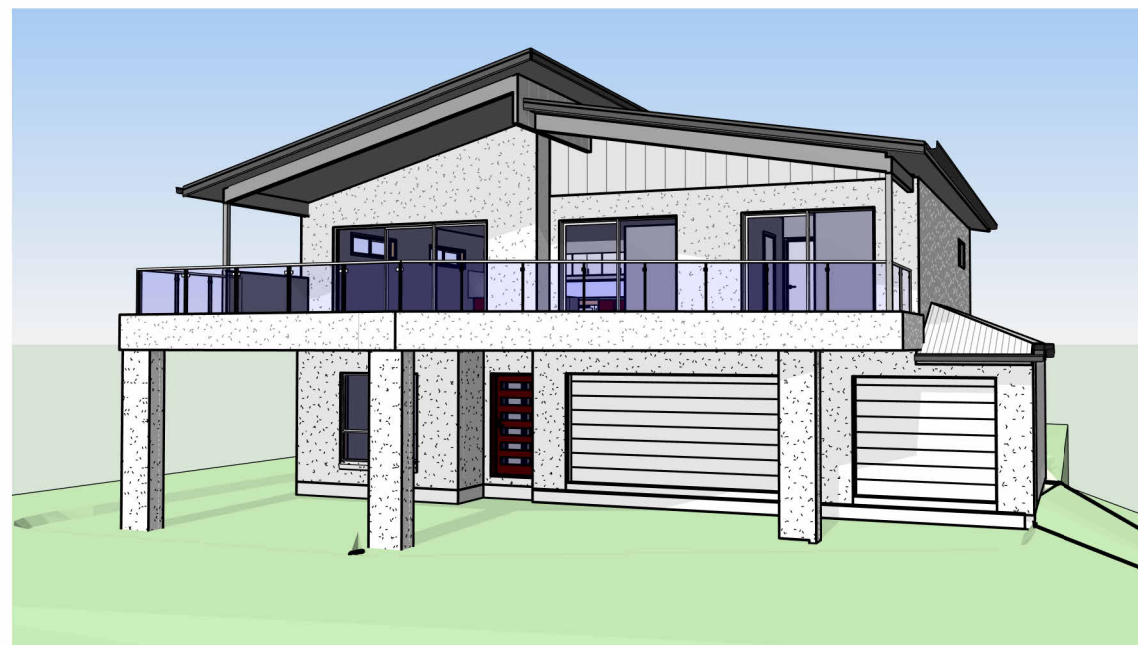
OWNER SIGNED:.....DATE:.....

BUILDER SIGNED:.....DATE:.....

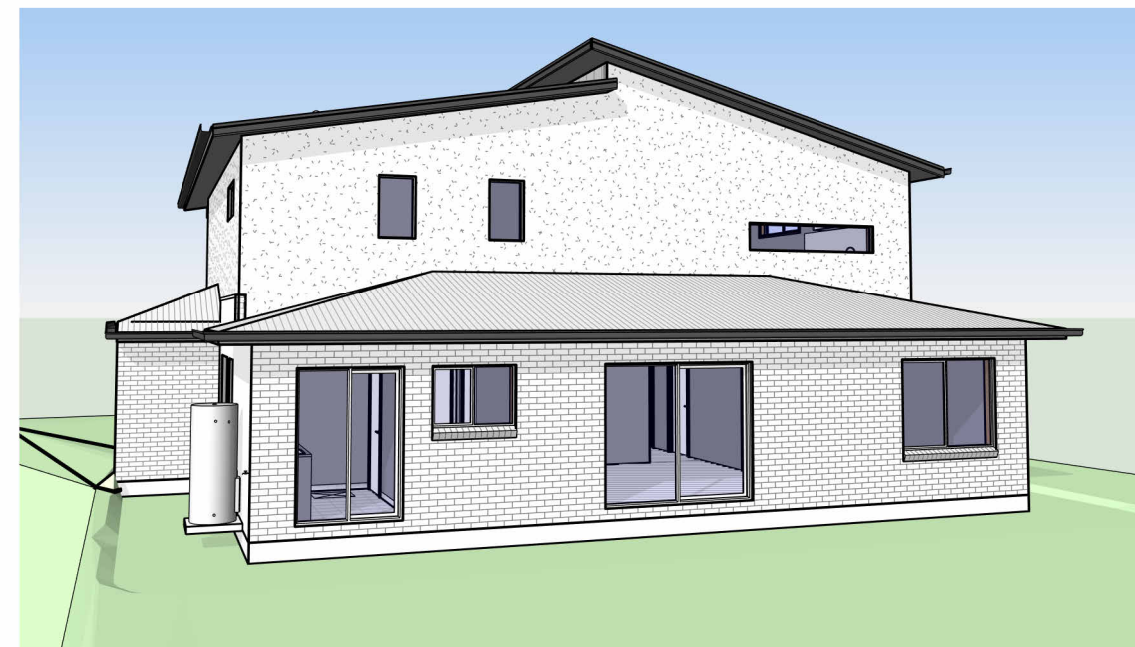
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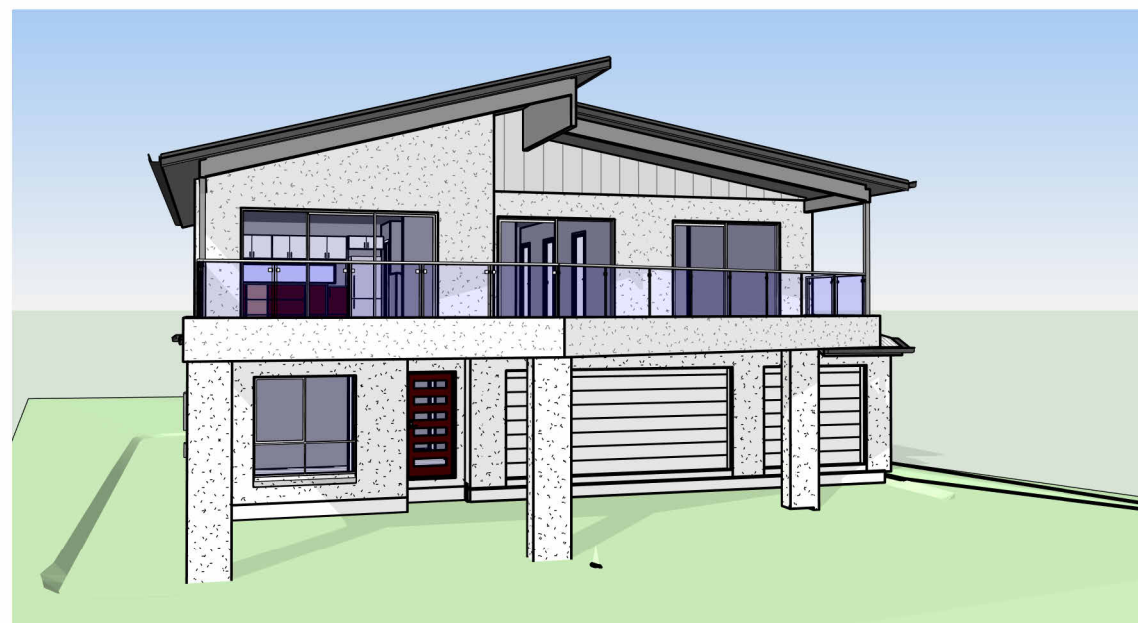
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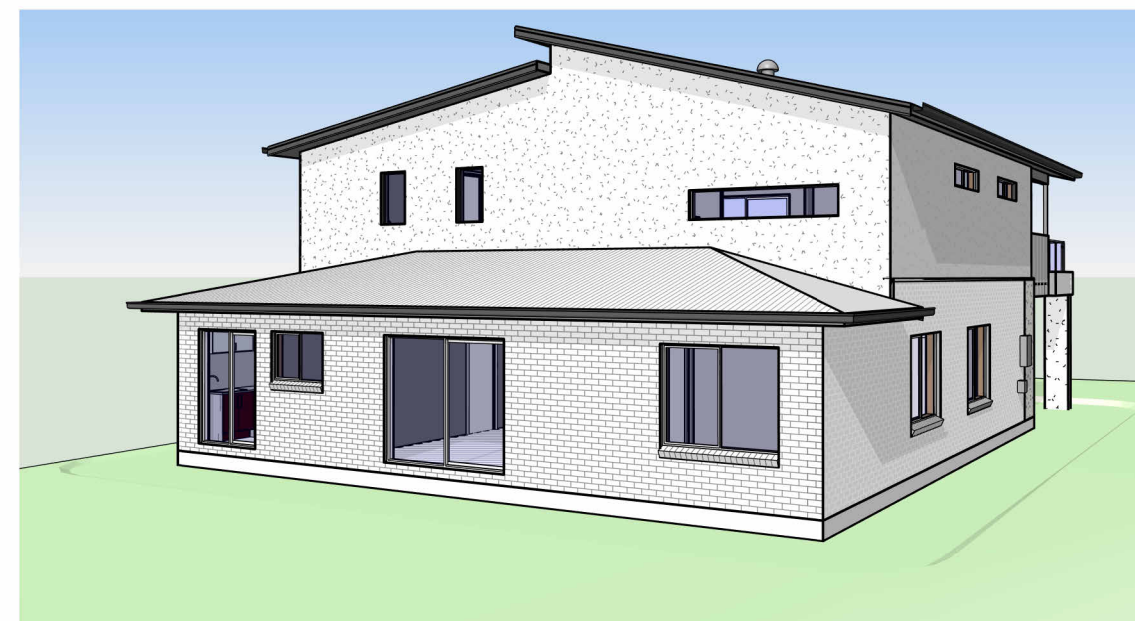
3D VIEW 1



3D VIEW 2



3D VIEW 3



3D VIEW 4