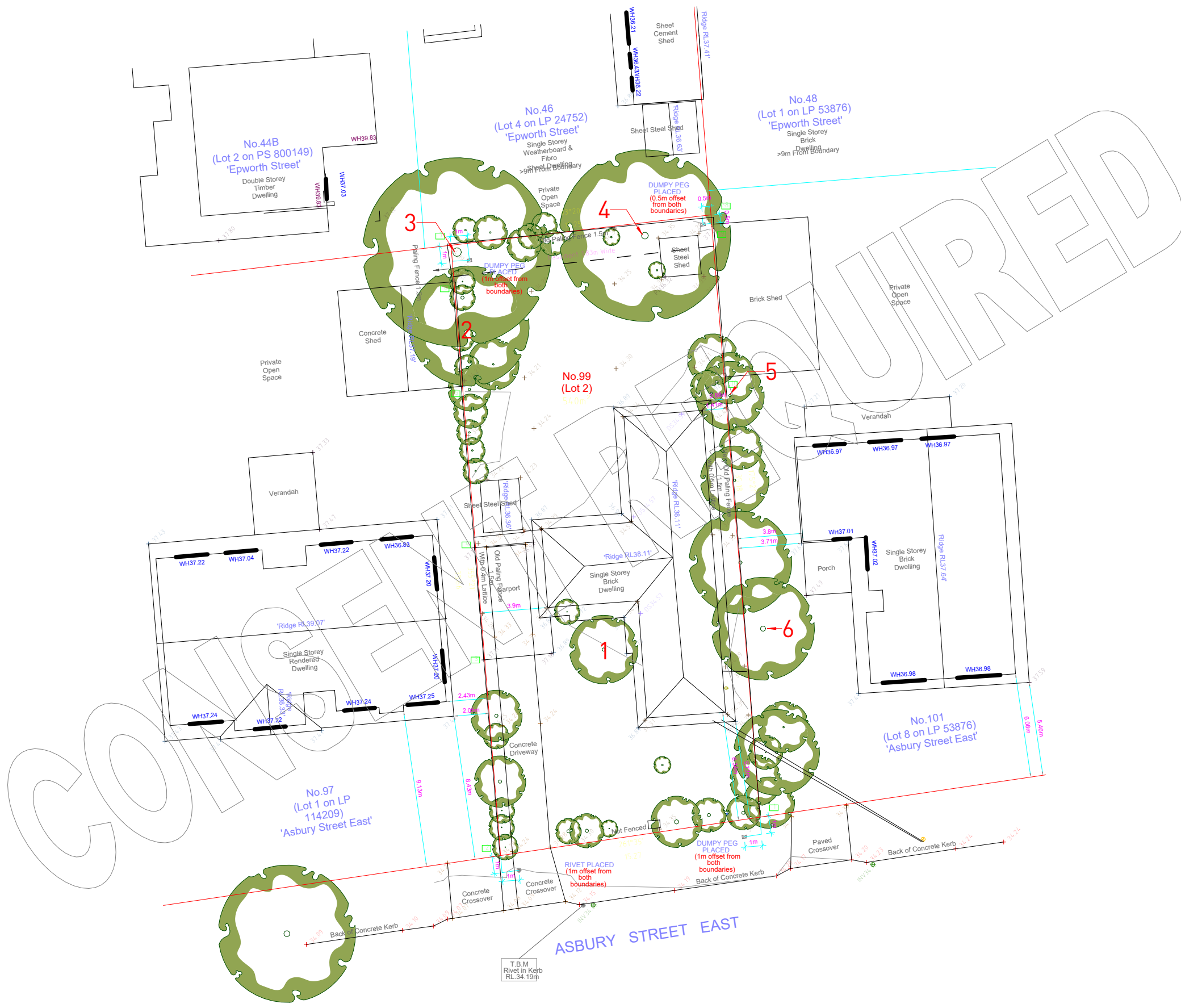
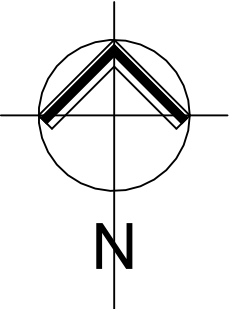




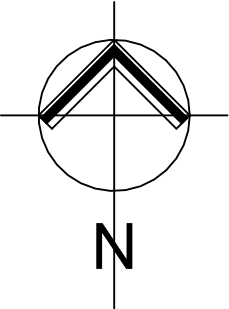
Existing Plan
1 : 250

HAMLAN

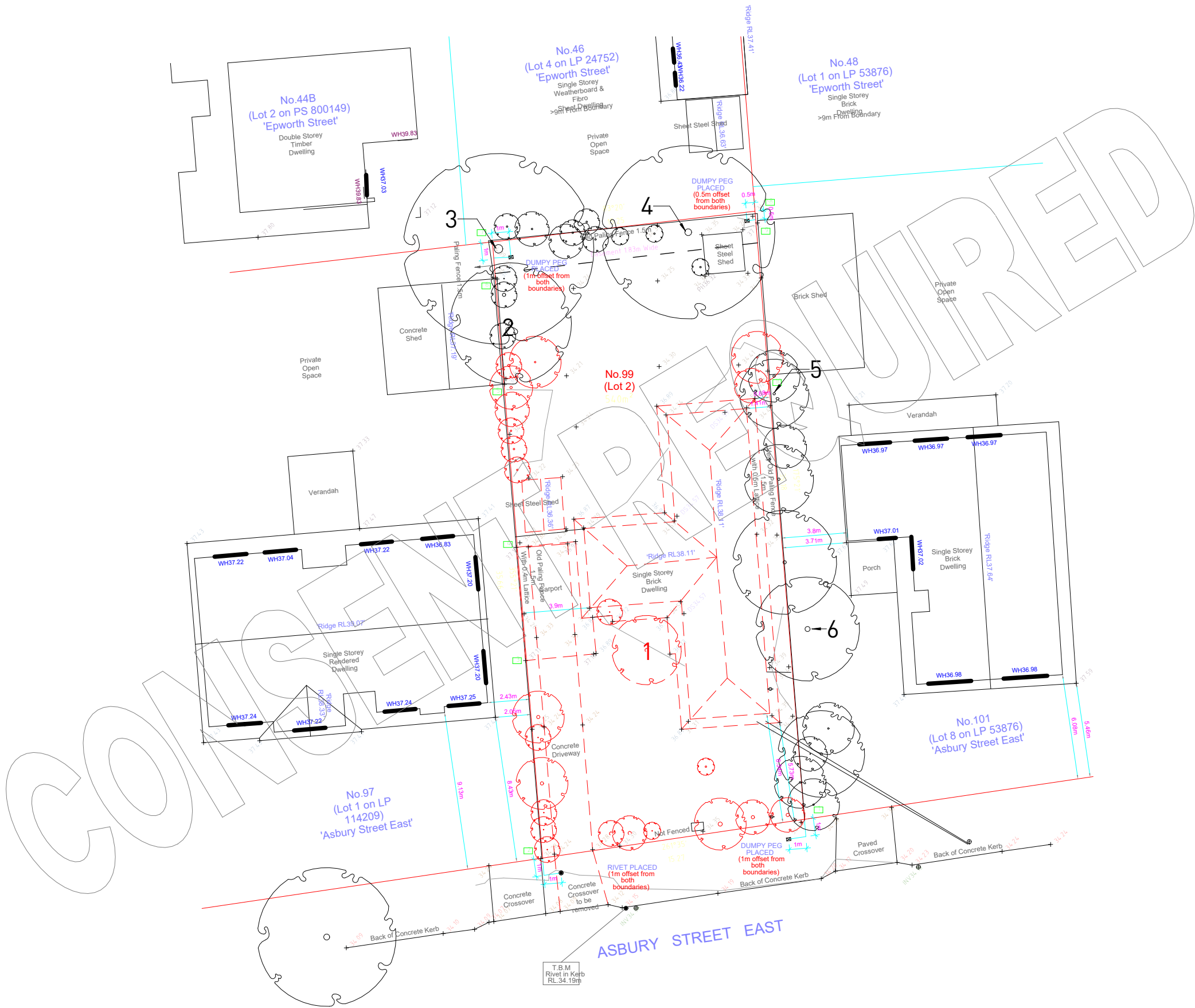
© Hamlan Homes
359 Moorabool Street, Geelong 3220
Ph: (03) 5222 5555
Web: www.hamlan.com.au

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach copyright legislation

Date	Amendments:	Johanna 257 - Stellar Facade	Scale: As indicated
24/06/26	Issued for IER		
29/06/26	Issued for FWDs		Date: 10/08/2026
22/07/26	Engineering Check	Sheet No.: H2.0 Site Plan - Existing	Drawn: JH
10/08/26	Drainage Design Added		
		Lot 2 #99 Asbury St East, Ocean Grove	Client Initial:



TO BE DEMOLISHED



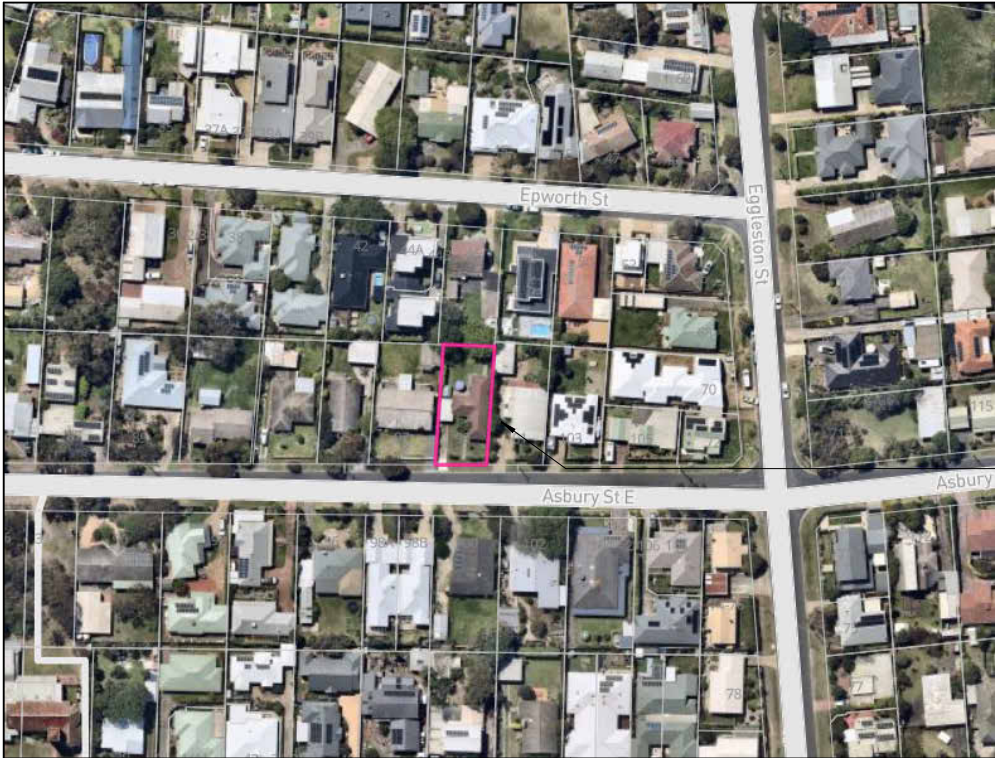
Demolition Plan
1 : 250

HAMLAN

© Hamlan Homes
359 Moorabool Street, Geelong 3220
Ph: (03) 5222 5555
Web: www.hamlan.com.au

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach copyright legislation

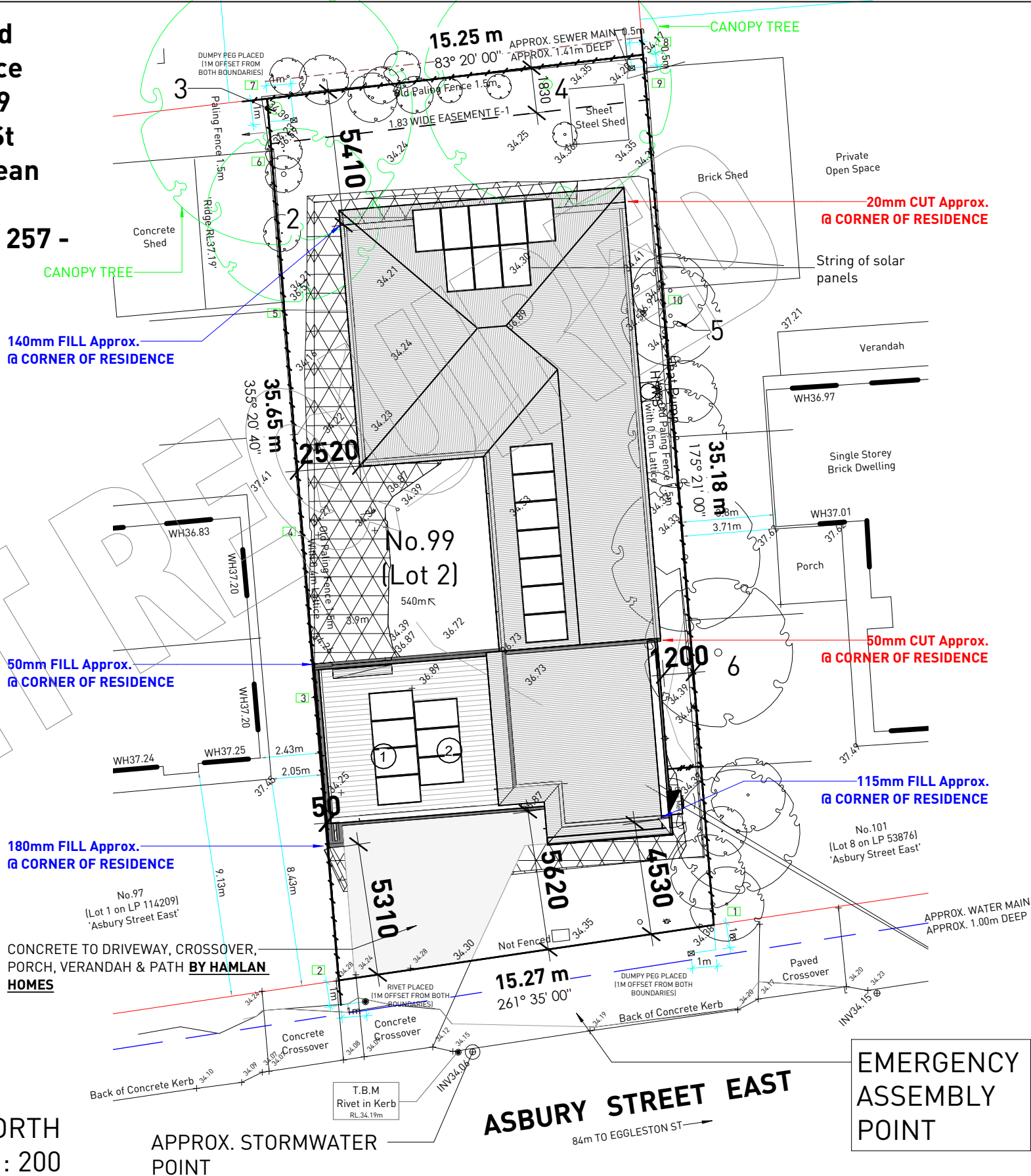
Date	Amendments:	Johanna 257 - Stellar Facade	Scale: As indicated
24/06/26	Issued for IER		
29/06/26	Issued for FWDs		Date: 10/08/2026
22/07/26	Engineering Check	Sheet No.: H2.1 Site Plan - Demo Plan	Drawn: JH
10/08/26	Drainage Design Added		
		Lot 2 #99 Asbury St East, Ocean Grove	Client Initial:



Locality Plan
NOT TO SCALE.
MELWAYS Reference: 483 K11

Level Schedule	
Name	Elevation
Garage Pitching Height	37325
Residence Cut Level	34365
Residence Floor Level	34740
Residence Pitching Height	37475

Site Plan TRUE NORTH
1 : 200



HAMLAN	Site Legend	
	①	Carpark 1: 6.00m x 3.50m
	②	Carpark 2: 4.90m x 2.60m
	HWS	denotes hot water system
	⊗	denotes downpipe
	⊙	denotes electrical pit location

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach copyright legislation

Areas		Date	Amendments:	Johanna 257 - Stellar Facade	Scale:
Building:	256.95 m ²	24/06/26	Issued for IER		As indicated
Site:	539.65 m ²	29/06/26	Issued for FWDs	Sheet No.:	Date:10/08/2026
Site Coverage:	47.61%	22/07/26	Engineering Check	H2.2 Site & Location Plans	Drawn: JH
Permeable Surfaces:	238.03m2	10/08/26	Drainage Design Added	Lot 2 #99	Client Initial:
Permeable Surface Coverage:	44.1%			Asbury St East, Ocean Grove	
Private Outdoor Space:	195m2				

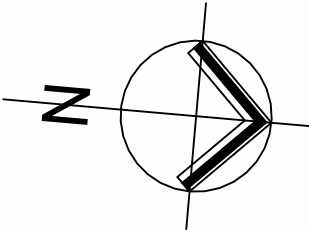
SHADOW DIAGRAM

UNSHADOWED PRIVATE OPEN SPACE

SHADOW CAST FROM EXISTING BUILDINGS

SHADOW CAST FROM PROPOSED BUILDING

RED LINE DENOTES EXISTING SHADOW LINE OF FENCE



9am Shadow Diagram
1 : 200

HAMLAN

© Hamlan Homes
359 Moorabool Street, Geelong 3220
Ph: (03) 5222 5555
Web: www.hamlan.com.au

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach copyright legislation

Date	Amendments:	Johanna 257 - Stellar Facade	Scale: As indicated
24/06/26	Issued for IER		
29/06/26	Issued for FWDs		Date: 10/08/2026
22/07/26	Engineering Check	Sheet No.: H2.3 Shadow Plan 9am	Drawn: JH
10/08/26	Drainage Design Added		
		Lot 2 #99 Asbury St East, Ocean Grove	Client Initial:

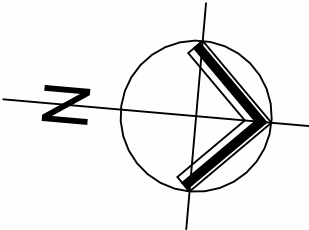
SHADOW DIAGRAM

UNSHADOWED PRIVATE OPEN SPACE

SHADOW CAST FROM EXISTING BUILDINGS

SHADOW CAST FROM PROPOSED BUILDING

RED LINE DENOTES EXISTING SHADOW LINE OF FENCE



10am Shadow Diagram
1 : 200

HAMLAN

© Hamlan Homes
359 Moorabool Street, Geelong 3220
Ph: (03) 5222 5555
Web: www.hamlan.com.au

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach copyright legislation

Date	Amendments:	Johanna 257 - Stellar Facade	Scale: As indicated
24/06/26	Issued for IER		
29/06/26	Issued for FWDs		Date: 10/08/2026
22/07/26	Engineering Check	Sheet No.: H2.4 Shadow Plan 10am	Drawn: JH
10/08/26	Drainage Design Added		
		Lot 2 #99 Asbury St East, Ocean Grove	Client Initial:

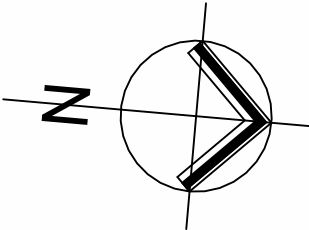
SHADOW DIAGRAM

UNSHADOWED PRIVATE OPEN SPACE

SHADOW CAST FROM EXISTING BUILDINGS

SHADOW CAST FROM PROPOSED BUILDING

RED LINE DENOTES EXISTING SHADOW LINE OF FENCE



11am Shadow Diagram
1 : 200

HAMLAN

© Hamlan Homes
359 Moorabool Street, Geelong 3220
Ph: (03) 5222 5555
Web: www.hamlan.com.au

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach copyright legislation

Date	Amendments:	Johanna 257 - Stellar Facade	Scale: As indicated
24/06/26	Issued for IER		
29/06/26	Issued for FWDs		
22/07/26	Engineering Check	Sheet No.: H2.5 Shadow Plan 11am	Date: 10/08/2026
10/08/26	Drainage Design Added		Drawn: JH
		Lot 2 #99 Asbury St East, Ocean Grove	Client Initial:

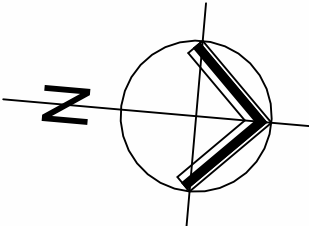
SHADOW DIAGRAM

UNSHADOWED PRIVATE OPEN SPACE

SHADOW CAST FROM EXISTING BUILDINGS

SHADOW CAST FROM PROPOSED BUILDING

RED LINE DENOTES EXISTING SHADOW LINE OF FENCE



THIS IS NOT RECREATIONAL
PRIVATE OPEN SPACE

12pm Shadow Diagram
1 : 200

HAMLAN

© Hamlan Homes
359 Moorabool Street, Geelong 3220
Ph: (03) 5222 5555
Web: www.hamlan.com.au

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach copyright legislation

Date	Amendments:	Johanna 257 - Stellar Facade	Scale: As indicated
24/06/26	Issued for IER		
29/06/26	Issued for FWDs		Date: 10/08/2026
22/07/26	Engineering Check	Sheet No.: H2.6 Shadow Plan 12pm	Drawn: JH
10/08/26	Drainage Design Added		
		Lot 2 #99 Asbury St East, Ocean Grove	Client Initial:

SHADOW DIAGRAM

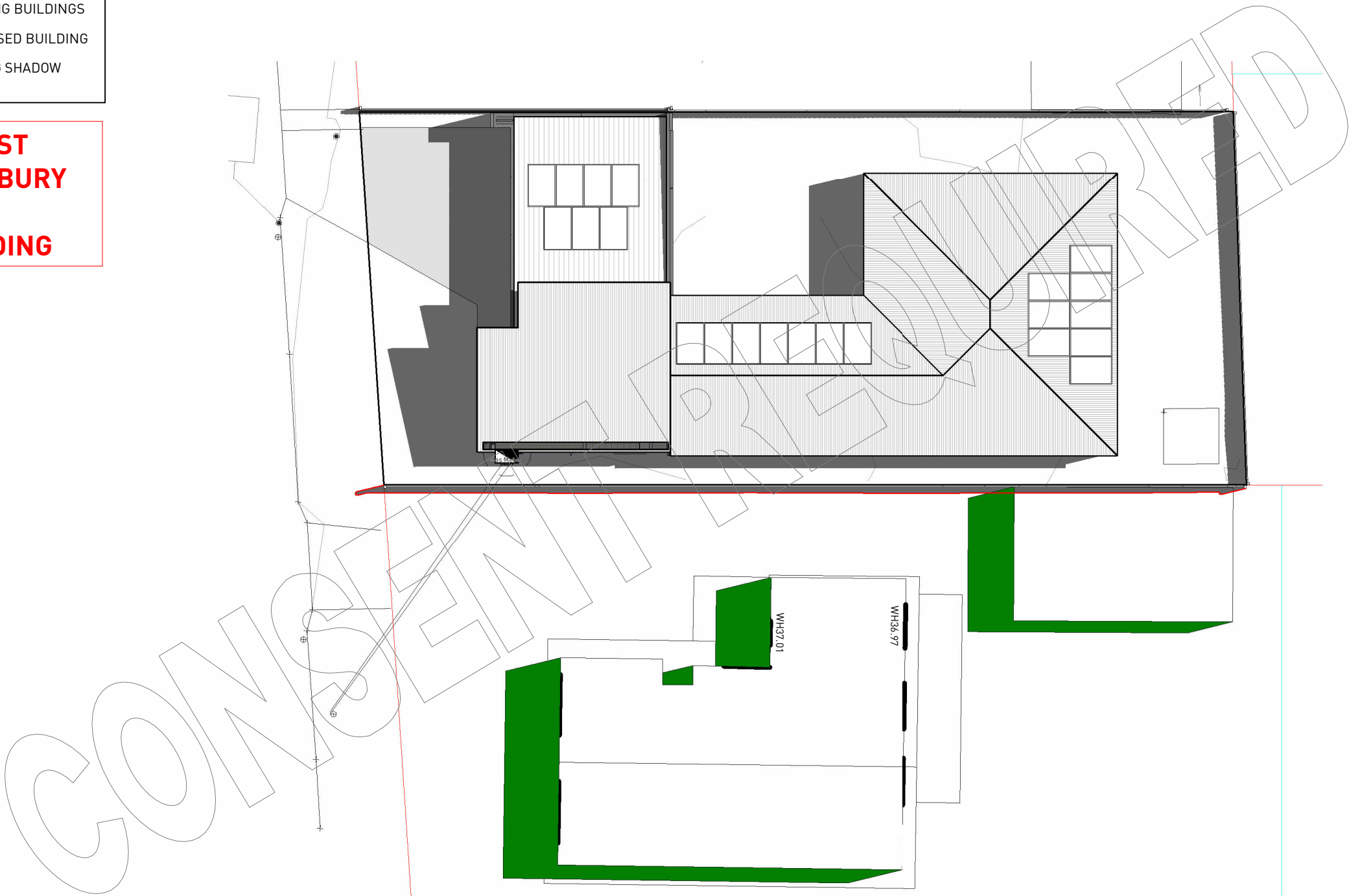
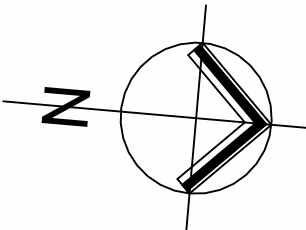
UNSHADOWED PRIVATE OPEN SPACE

SHADOW CAST FROM EXISTING BUILDINGS

SHADOW CAST FROM PROPOSED BUILDING

RED LINE DENOTES EXISTING SHADOW LINE OF FENCE

NO SHADOWS CAST
ONTO NO. 101 ASBURY
STREET FROM
PROPOSED BUILDING



1pm Shadow Diagram
1 : 200

HAMLAN

© Hamlan Homes
359 Moorabool Street, Geelong 3220
Ph: (03) 5222 5555
Web: www.hamlan.com.au

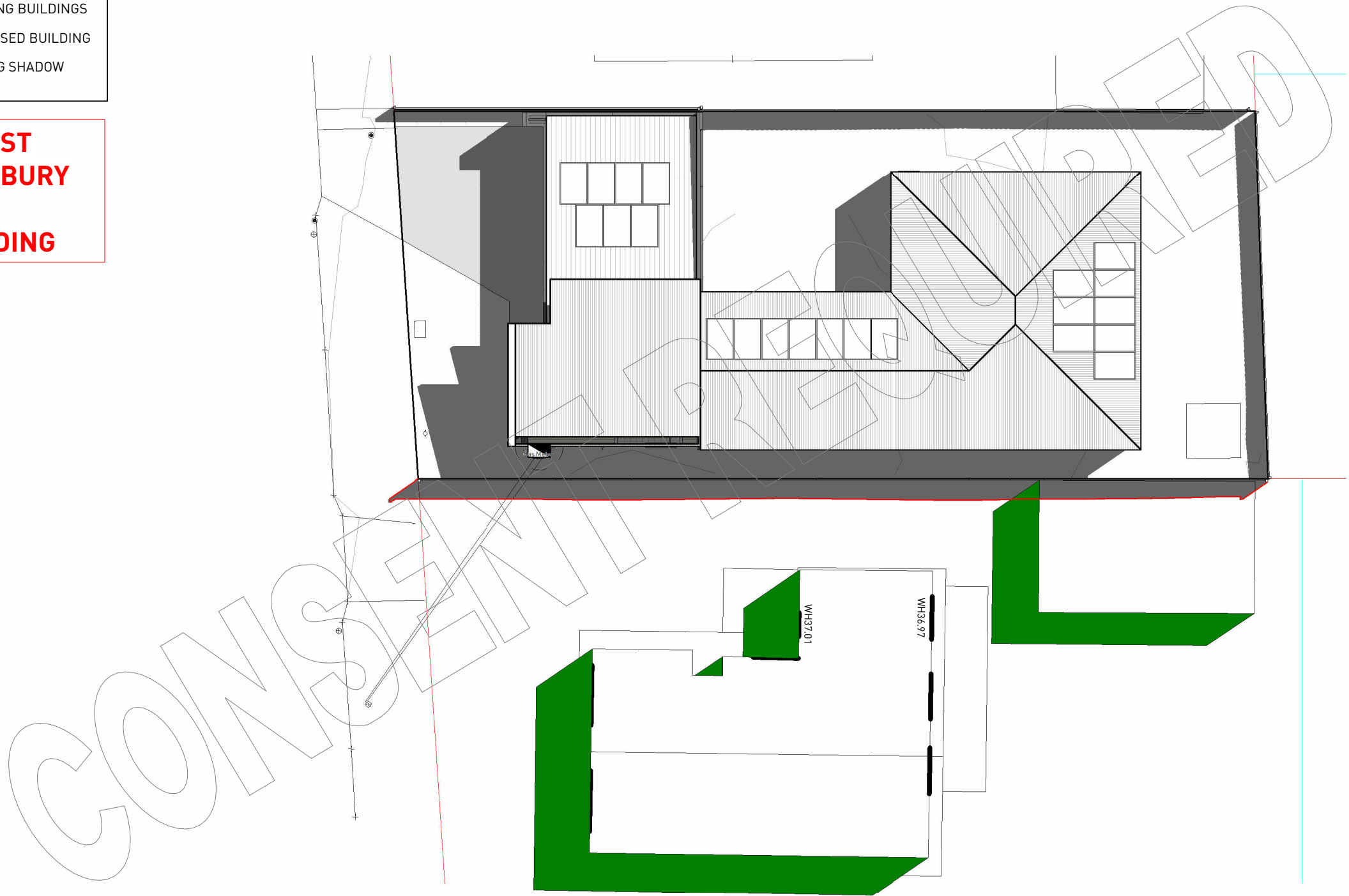
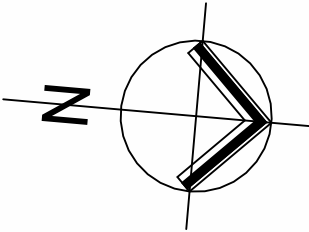
This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach copyright legislation

Date	Amendments:	Johanna 257 - Stellar Facade	Scale: As indicated
24/06/26	Issued for IER		
29/06/26	Issued for FWDs		
22/07/26	Engineering Check	Sheet No.: H2.7 Shadow Plan 1pm	Date: 10/08/2026
10/08/26	Drainage Design Added		Drawn: JH
		Lot 2 #99 Asbury St East, Ocean Grove	Client Initial:

SHADOW DIAGRAM

- UNSHADOWED PRIVATE OPEN SPACE
- SHADOW CAST FROM EXISTING BUILDINGS
- SHADOW CAST FROM PROPOSED BUILDING
- RED LINE DENOTES EXISTING SHADOW LINE OF FENCE

NO SHADOWS CAST
ONTO NO. 101 ASBURY
STREET FROM
PROPOSED BUILDING



2pm Shadow Diagram
1 : 200

HAMLAN

© Hamlan Homes
359 Moorabool Street, Geelong 3220
Ph: (03) 5222 5555
Web: www.hamlan.com.au

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach copyright legislation

Date	Amendments:	Johanna 257 - Stellar Facade	Scale: As indicated
24/06/26	Issued for IER	Sheet No.: H2.8 Shadow Plan 2pm	Date: 10/08/2026
29/06/26	Issued for FWDs		
22/07/26	Engineering Check		Drawn: JH
10/08/26	Drainage Design Added		
		Lot 2 #99 Asbury St East, Ocean Grove	Client Initial:

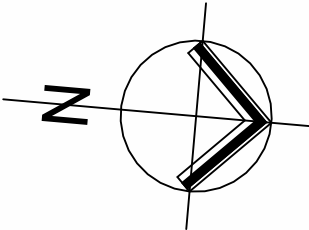
SHADOW DIAGRAM

UNSHADOWED PRIVATE OPEN SPACE

SHADOW CAST FROM EXISTING BUILDINGS

SHADOW CAST FROM PROPOSED BUILDING

RED LINE DENOTES EXISTING SHADOW LINE OF FENCE

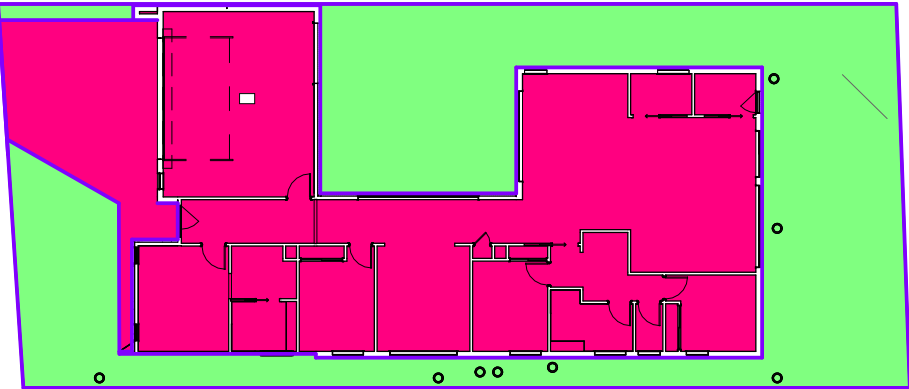


3pm Shadow Diagram
1 : 200

Date	Amendments:	Johanna 257 - Stellar Facade	Scale: As indicated
24/06/26	Issued for IER		
29/06/26	Issued for FWDs		Date: 10/08/2026
22/07/26	Engineering Check	Sheet No.: H2.9 Shadow Plan 3pm	Drawn: JH
10/08/26	Drainage Design Added		
		Lot 2 #99 Asbury St East, Ocean Grove	Client Initial:

Reg. 76 - Site Coverage		
Name	Area	%
Proposed Coverage	300.77 m ²	56%
Remaining Area	238.90 m ²	44%
	539.67 m ²	100%

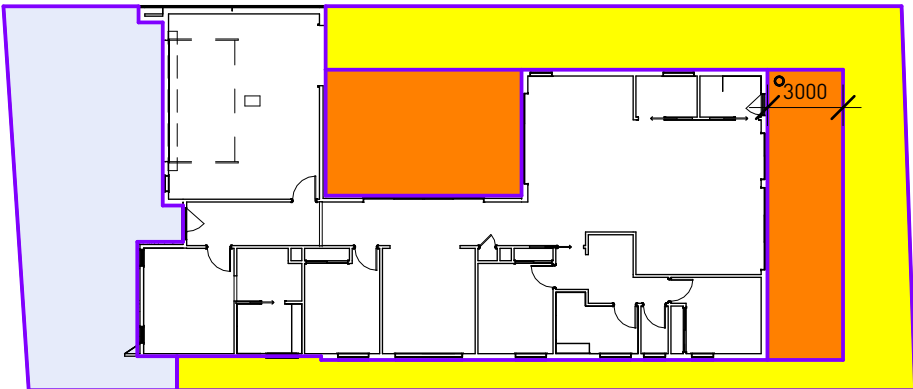
- Proposed Coverage
- Remaining Area



Reg. 76 - Site Coverage HH
1 : 300

Reg. 86 - Private Open Space		
Name	Area	%
Private Open Space Area	123.88 m ²	44%
Non Private Open Space Area	85.42 m ²	30%
Secluded Private Open Space Area	38.86 m ²	14%
Secluded Private Open Space Area	34.56 m ²	12%
	282.73 m ²	100%

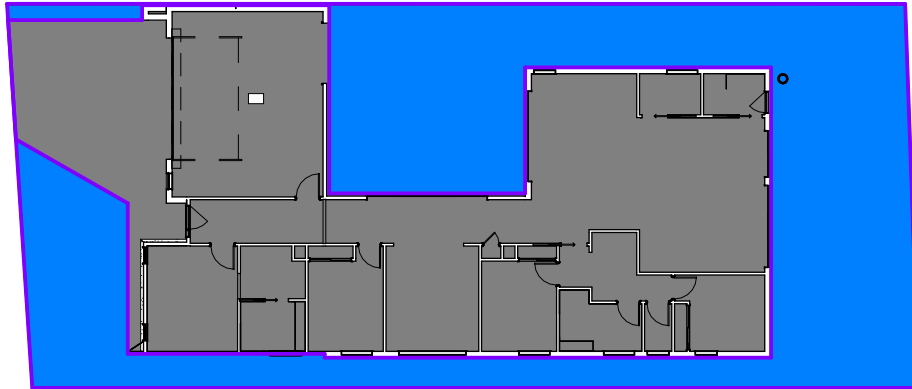
- Non Private Open Space Area
- Private Open Space Area
- Secluded Private Open Space Area



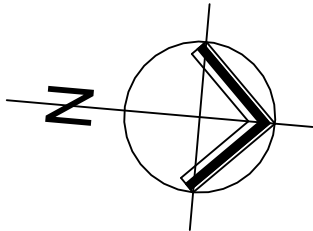
Reg. 86 - Private Open Space
HH
1 : 300

Reg. 77 - Permeability		
Name	Area	%
Non-Permeable Area	300.83 m ²	56%
Permeable Area	238.99 m ²	44%
	539.82 m ²	100%

- Non-Permeable Area
- Permeable Area



Reg. 77 - Permeability HH
1 : 300



359 MOORABOOL STREET,
GEELONG
P.O. Box 1837 Geelong, 3220.
Ph: (03) 5222 5555
Fax: (03) 5223 2460

Client: Andrew Anderson

Sheet: H2.10

Issue:

Date:

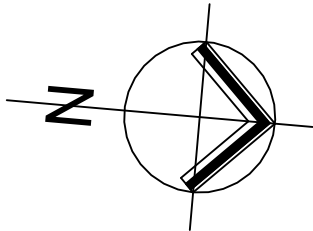
Area Plan

First Plans

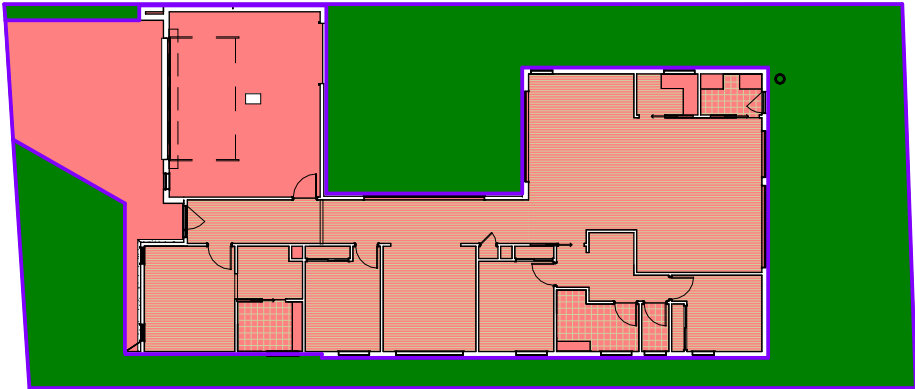
10/08/2026

Client Initial:

Reg. 76A - Minimum Garden Area		
Name	Area	%
Garden Area	238.83 m²	44%
Non-Garden Area	300.80 m²	56%
	539.63 m²	100%



- Garden Area
- Non-Garden Area



Reg. 76A - Minimum Garden
Area HH
1 : 300



359 MOORABOOL STREET,
GEELONG
P.O. Box 1837 Geelong, 3220.
Ph: (03) 5222 5555
Fax: (03) 5223 2460

Client: Andrew Anderson

Sheet:H2.11

Issue:

Date:

Area Plan

First Plans

10/08/2026

Client Initial:

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach copyright legislation

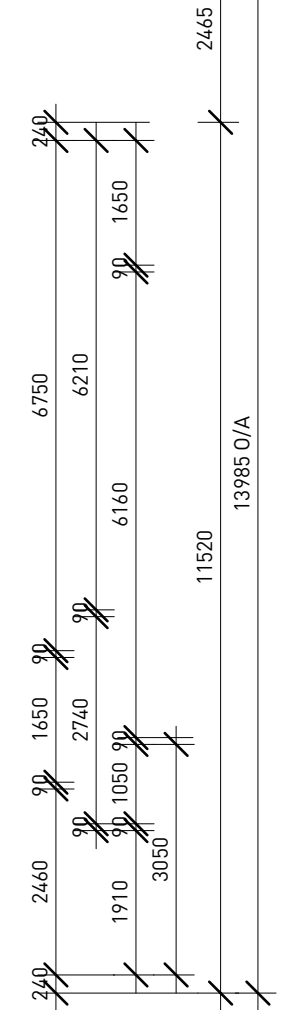
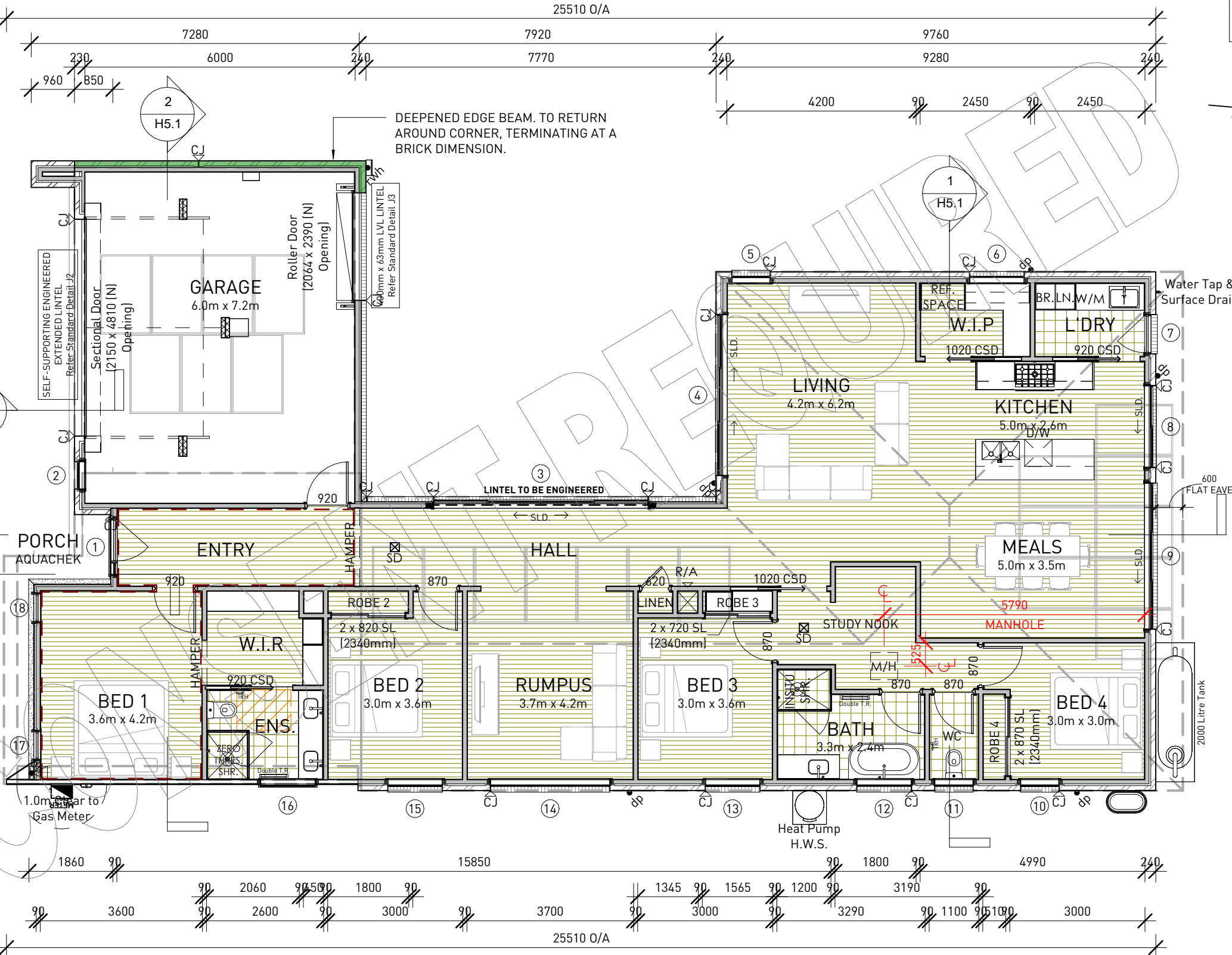
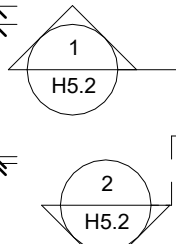
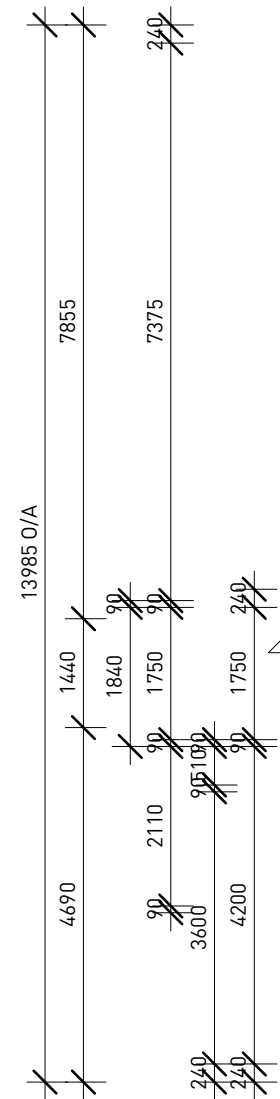
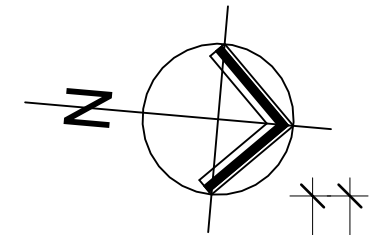
Lot 2 #99
Asbury St East, Ocean Grove

SQUARE SET PLASTER TO RAKED CEILING

25510 O/A

DEEPENED EDGE BEAM. TO RETURN
AROUND CORNER, TERMINATING AT A
BRICK DIMENSION.

Note:
Unless shown otherwise, dimensions shown on drawings for internal walls refer to the structure's dimensions. Structure means masonry and timber framing and does not include finishes such as wall linings, finishes and skirtings. These are nominal dimensions and may be different once specific site conditions, material tolerances and thicknesses of internal finish materials are taken into account.



Lineal Metres of Internal Wall	
Base Constraint	Length
Residence Floor Level	84.23 m
Total:	84.23 m
Main Roof Area including Pitch Factor	
Labour Area	Material Area
277.11 m ²	318.68 m ²

Lineal Metres of Internal Wall	
Base Constraint	Length
Residence Floor Level	84.23 m
Total:	84.23 m
Main Roof Area including Pitch Factor	
Labour Area	Material Area
277.11 m ²	318.68 m ²

Floor Tiling Schedule
15.79 m ²
Floating Timber Flooring Schedule
164.56 m ²

Floor Tiling Schedule
15.79 m ²
Floating Timber Flooring Schedule
164.56 m ²

HAMLAN

© Hamlan Homes
359 Moorabool Street, Geelong
3220
Ph: (03) 5222 5555
Web: www.hamlan.com.au

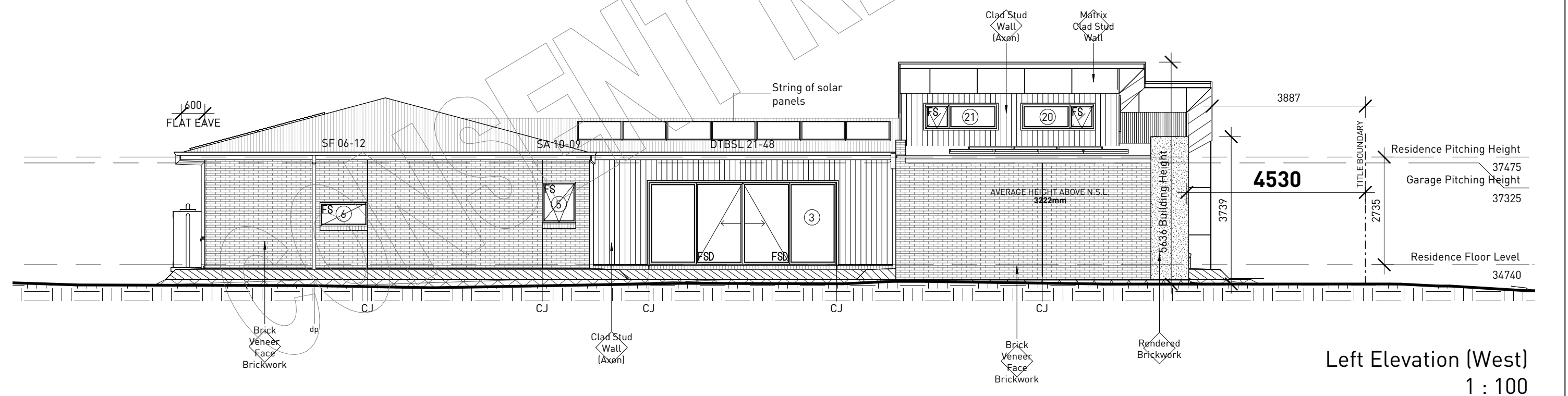
Legend

	denotes window number
	denotes electricity meter box location
HWS 	denotes hot water system location on engineered footing
	denotes 80mm downpipe

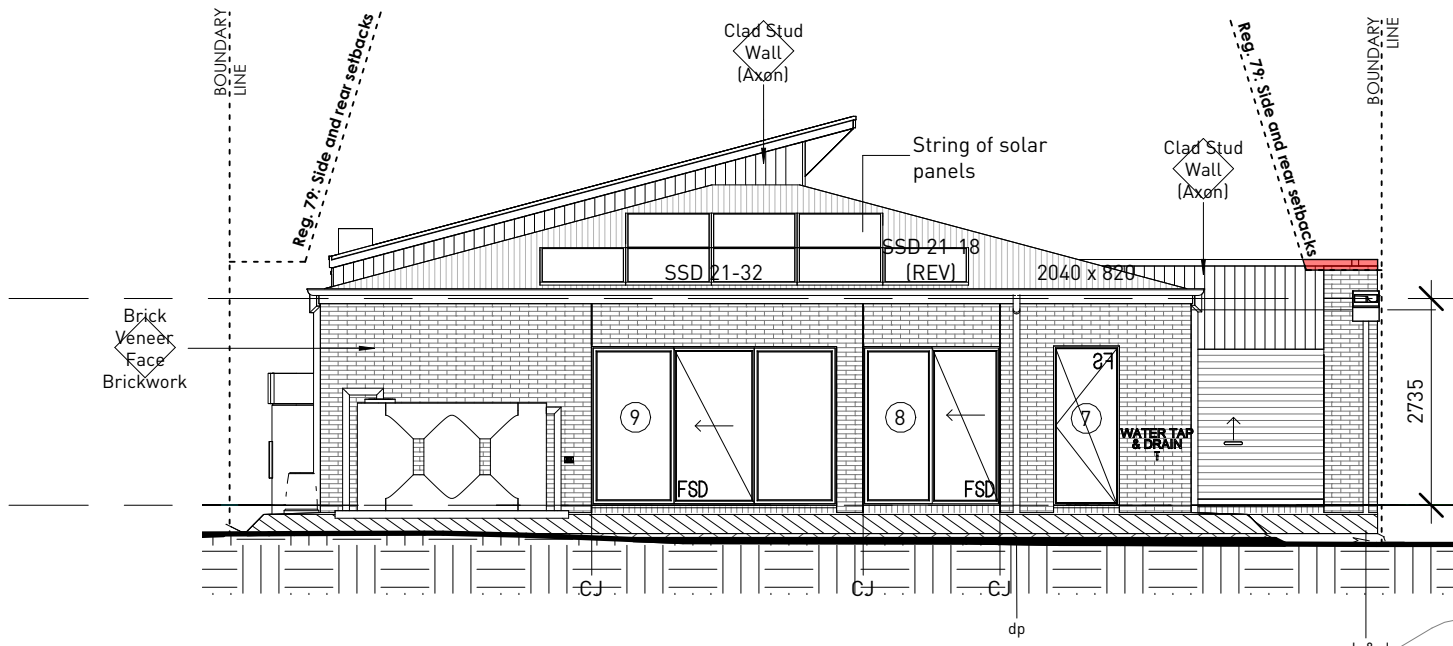
METAL FASCIA TO RESIDENCE	
☒ SD denotes smoke detector position. Hard wire unit to comply with AS 3786. All units to be interconnected. ☐ M/H denotes manhole position ☐ C denotes a full construction joint	TILING CONTROL JOINTS @ MAX. 5m SPACING extent of floor tiling. extent of floating timber flooring.
	Carpet elsewhere.

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach copyright legislation

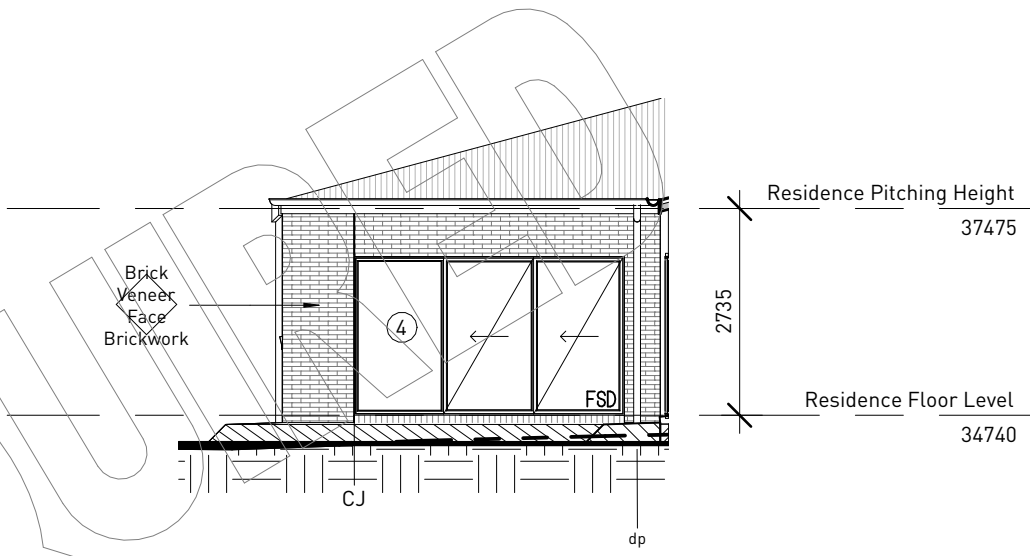
Date	Amendments:	Johanna 257 - Stellar	Scale:
24/06/26	Issued for IER	Facade	1 : 100
29/06/26	Issued for FWDs	Sheet No.: H3.1 Floor Plan & Floor Finishes Plans	Date: 10/08/2026
22/07/26	Engineering Check		Drawn: JH
10/08/26	Drainage Design Added		Client Initial:
		Lot 2 #99	
		Asbury St East, Ocean	
		Grove	



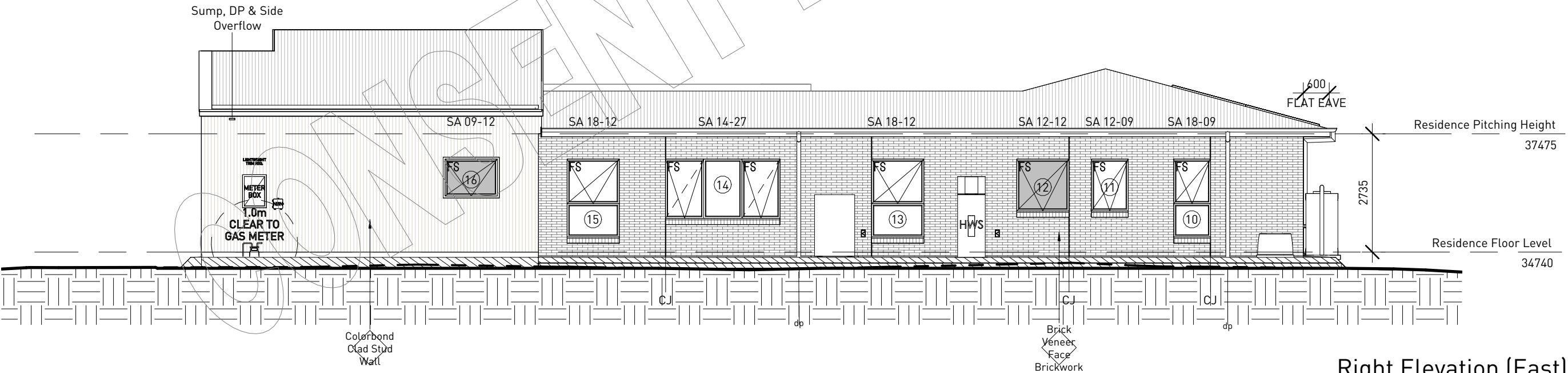
	Legend		 Description Electric Boosted Heat Pump HWS	Booster Type Electric Boosted	MCP Percentage Wall Schedule			Date	Amendments:	Johanna 257 - Stellar Facade	Scale: 1 : 100
	 denotes electricity meterbox location	 denotes construction joint				Description	Area	MCP Wall Material Percentage	24/06/26 Issued for IER	29/06/26 Issued for FWDs	22/07/26 Engineering Check
© Hamlan Homes 359 Moorabool Street, Geelong 3220 Ph: [03] 5222 5555 Web: www.hamlan.com.au					This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach copyright legislation			Lot 2 #99 Asbury St East, Ocean Grove	Client Initial:	Autodesk Docs://Hamlan - ACC Drive/PLANS_FIRST_2as_[2-02-26].rvt	



Rear Elevation (North)
1 : 100



Courtyard South
1 : 100



Right Elevation (East)
1 : 100

HAMLAN

© Hamlan Homes
359 Moorabool Street, Geelong 3220
Ph: (03) 5222 5555
Web: www.hamlan.com.au

Legend

-  denotes electricity meterbox location
-  denotes construction joint

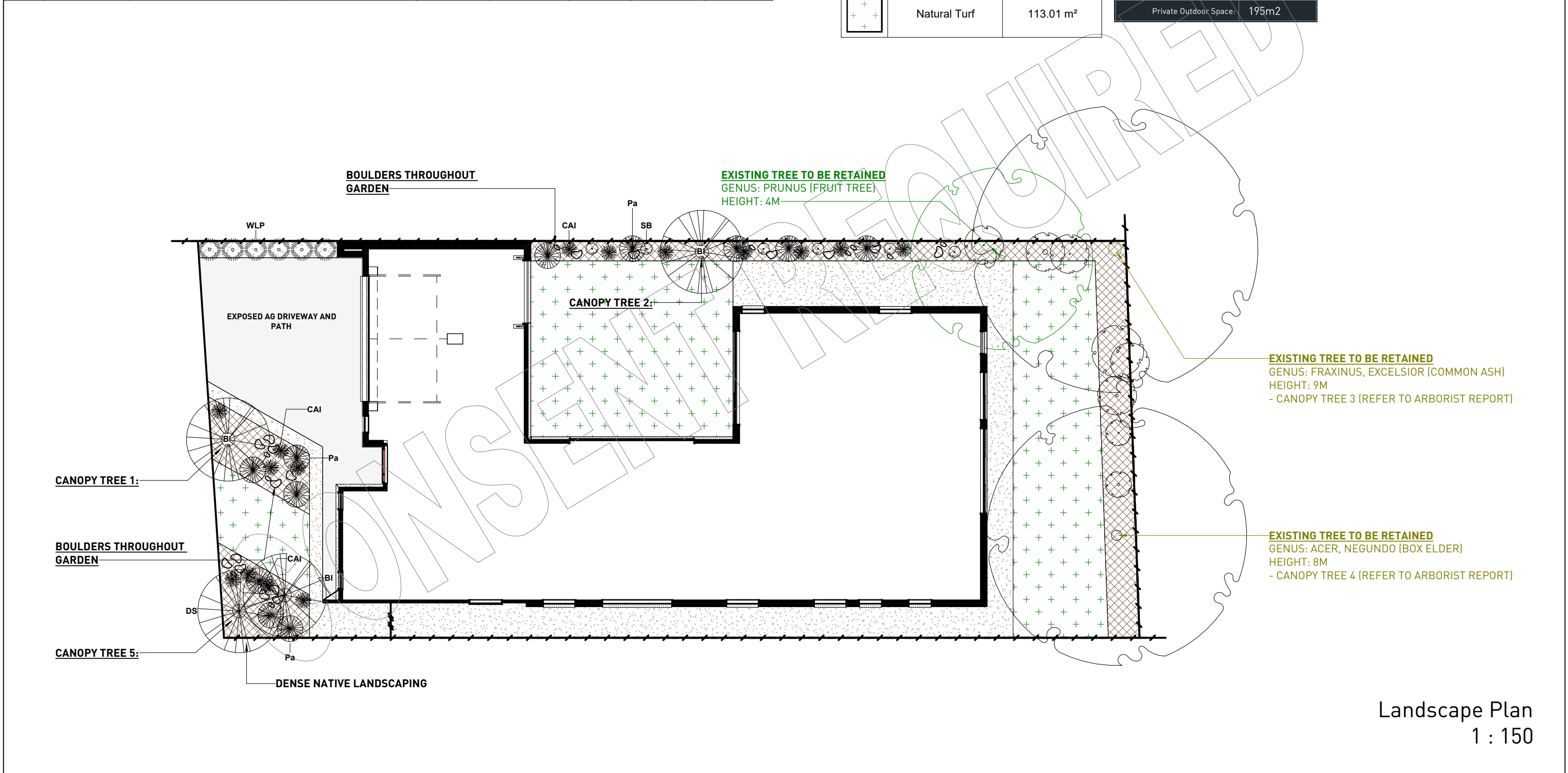
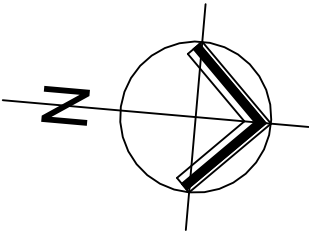
This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach copyright legislation

Date	Amendments:	Johanna 257 - Stellar Facade	Scale: 1 : 100
24/06/26	Issued for IER		
29/06/26	Issued for FWDs	Sheet No.: H4.2 External Elevations	Date: 10/08/2026
22/07/26	Engineering Check		Drawn: JH
10/08/26	Drainage Design Added		
		Lot 2 #99 Asbury St East, Ocean Grove	Client Initial:

Planting Schedule								
Tag	Family	Botanical Name	Common Name	Pot Size	Mature Size	Origin	Leaf	Count
BI	Tree	Banksia Integrifolia	Banksia	4m	5 x 3m	Native	Evergreen	3
CAI	S-M Shrub1	Casuarina glauca 'Cousin It'	Prostrate Casuarina	150mm	0.2 x 1.0	Native	N/A	15
DS	Tree	Allocasuarina verticillata	Drooping Sheoak	4m	10 x 6m	Native	Flowering	1
Pa	Native Grasses	Pennisetum alopecuroides	Fountain Grass	Tubestock	1m x 1m	Native	Evergreen	11
SB	Groundcovers	Scleranthus biflorus	Lime Lava	Tubestock	0.03m x 0.4m	Aus	Evergreen	6
WLP	Large Shrub	Waterhousea floribunda	Weeping Lilly Pilly	250mm	10 x 5	Aus	Evergreen	6

Landscaping Schedule		
Image	Type	Area
	Castlemaine (Tuscan) 20mm Toppings	72.84 m²
	Mulch	52.58 m²
	Natural Turf	113.01 m²

Areas	
Building:	256.95 m²
Site:	539.65 m²
Site Coverage:	47.61%
Permeable Surfaces:	238.03m2
Permeable Surface Coverage:	44.1%
Private Outdoor Space:	195m2



Landscape Plan
1 : 150

 © Hamlan Homes 359 Moorabool Street, Geelong 3220 Ph: (03) 5222 5555 Web: www.hamlan.com.au	This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach copyright legislation	Date	Amendments:	Johanna 257 - Stellar Facade	Scale: 1 : 150
		24/06/26	Issued for IER		
		29/06/26	Issued for FWDs		
		22/07/26	Engineering Check	Sheet No.: H10.1 Landscape Plan	Date: 10/08/2026
		10/08/26	Drainage Design Added		Drawn: JH
				Lot 2 #99 Asbury St East, Ocean Grove	Client Initial: