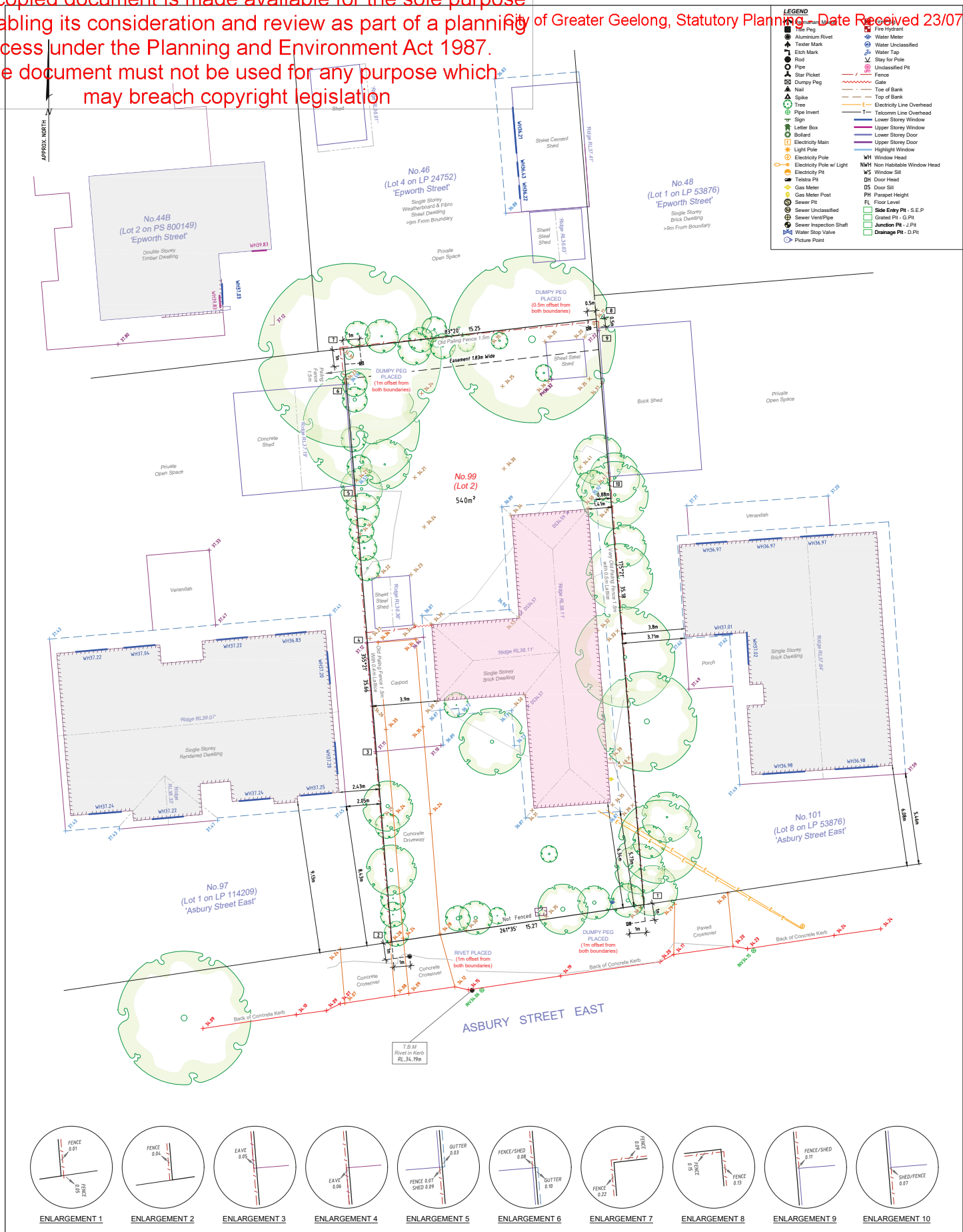


GENERAL NOTES:

- Please refer to Certificate of Title for any easements or encumbrances.
- Where occupation including fences and buildings around the perimeter of a property encroach onto the subject site, the land beyond the occupation may not be recoverable as rights of possession may have passed to adjoining owners. Full title dimensions should not be assumed for design purposes / re-fencing until these issues have been resolved with adjoining landowners.
- Where occupation including fences and buildings around the perimeter of a property encroach onto the neighbouring site, the land beyond the title may not be utilized until a formal application with Land Registry is approved. Until this time you must limit any future building works to the current title position.
- The position of fencing and other occupation in relation to the title boundaries has been exaggerated for the purposes of clarity, and only applies at the natural surface level on the date of the survey and does not show any encroachments that may exist below the natural surface. If no offsets are shown, the fencing is in the correct position.
- Before proceeding with any design, construction or use of the land adjoining neighbours must be consulted to resolve any differences between fencing and the title position shown on this plan.
- Feature and levels shown on this plan are intended to aid in general design works only. Any critical dimensions required should be requested independently of this plan.
- Services that were not visible at the time of survey may not be shown on this plan. Prior to any demolition, excavation, or construction on this site the relevant Authorities should be contacted to ascertain detailed locations of all existing services and the possible locations of future services.
- The title boundaries shown beyond the subject land have been imported from the digital Cadastral Map Base (DCMB) and are approximate only.
- Location of buildings beyond site boundaries is indicative only. Information relating to adjoining properties has only been shown where visible or accessible.
- Assume any windows shown are for habitable rooms unless stated otherwise. A site visit to determine the exact status of each room should be carried out before proceeding.

TITLE INFORMATION

Title Reference: Vol.9075 Fol.264
Last Plan Reference: LP 114209 (LOT 2)
LAND SUBJECT TO EASEMENT:
E-1 - Drainage & Sewerage Easement
DATUM:
Levels are based on A.H.D. vide BELLARINE PM 214 with registered RL.32.94m.
Contour interval is 0.20m.
Refer to frozen layer "TRIANGLE" for 3D triangles.

Client	HAMLAN HOMES		
Project	99 ASBURY STREET EAST OCEAN GROVE 3226		
Details	RE-ESTABLISHMENT & LEVEL & FEATURE SURVEY		
Sheet	1 of 1	Drawn	Original sheet size A1
Job No.	2026-0063	Scale	A1 = 1:100
AMENDMENTS			
VERSION	DESCRIPTION	SURVEY DATE	SURVEYOR
1	ORIGINAL SURVEY PLAN	02/02/2026	