

1. Site Context

1.1 Subject Site

The subject site, more formally known as Lot 1 on Title Plan 613391P, is located to the east of Jetty Road at 79-81 Jetty Road, Clifton Springs. The subject site has a frontage to Jetty Road of 26.87 metres and total site area of 3,613 square metres.

The site is currently under development for an approved single-storey childcare centre with associated car parking, outdoor play area and landscaping as permitted planning permit PP-375-2025.

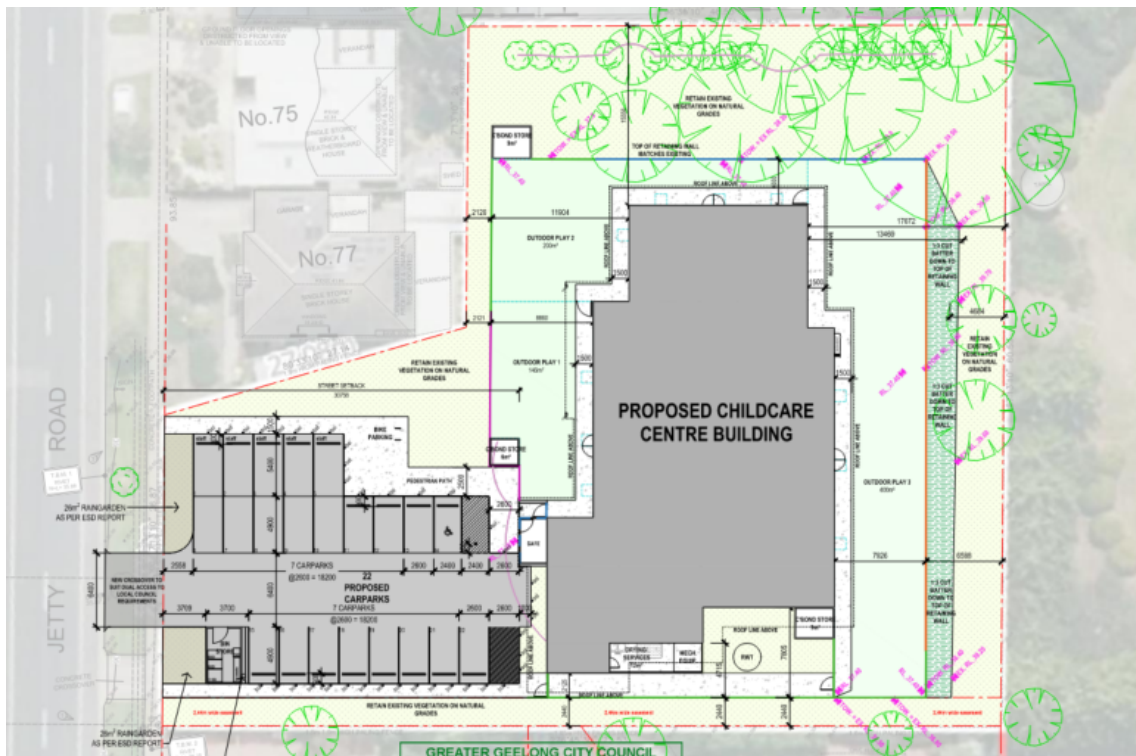
The site includes mature vegetation throughout, particularly adjacent the north property boundary including numerous canopy trees and a dense hedge extending along the northwestern property boundary. Further planting is proposed via the approved Landscape Plan associated with the aforementioned permit.

The site has a minor slope downwards towards Jetty Road.

There are no restrictions registered on the Certificate of Title although a drainage and sewerage easement runs parallel with the southern boundary.

A copy of the Certificate of Title is provided at Appendix A.

Figure 1: Site layout of approved childcare centre (PP-375-2025)



1.2 Site Surrounds

Immediate Interfaces

With regard to the immediate interfaces of the subject site, we note:

North

- The subject site is abutted to the north by Unit 3 and Unit 4 of No.4 Hill Street. Both properties are developed with single-storey dwellings with street access to Hill Street provided by a shared central driveway.
- To the immediate northwest the subject site is abutted by No.75 Jetty Road and No.77 Jetty Road. Both properties are developed with single storey dwellings fronting Jetty Road.

East

- The subject site is abutted to the east by No.8-10 Hill Street. The property is developed with a double storey dwelling. The dwelling is setback approximately 25 metres from the street frontage to Hill Street and secluded private open space is located to the rear of the property with established vegetation clustered adjacent to the property boundaries.

South

- The subject site is abutted to the south by No.83 Jetty Road, No.7 Allara Court and No.9 Allara Court. All three properties are occupied by single storey detached dwellings.

West

- To the immediate west of the subject site is Jetty Road, a two-way high order collector road with lined-marked bicycle lanes, grassed nature strips and a pedestrian path on the east side of the road.
- On the opposing side of Jetty Road to the subject site are three residential properties at No.76 Jetty Road, No.78 Jetty Road and No.89-91 Kewarra Road. All properties are developed with one to two-storey dwellings.

Surrounding Context

Having regard to the surrounding area:

- The wider area to the north, south, east and west is generally developed with 1 to 2-storey detached dwellings zoned General Residential.
- Recreational facilities including Clifton Springs Tennis Club, Jetty Road Reserve and Jetty Road adventure playground are situated approximately 280m south of the subject site.
- Clifton Springs Primary School is situated on Jetty Road, approximately 290m south of the subject site.
- The signage context in the broader area is generally limited to directional and business identification signage associated with the proximate community and recreation facilities (Clifton Springs Primary School and Jetty Road Reserve) including standalone signs sited within front setbacks and signs mounted to low front fences of the related institution.

Figure 2: Aerial photograph of the subject site and surrounds



Source: <https://www.nearmap.com/au>

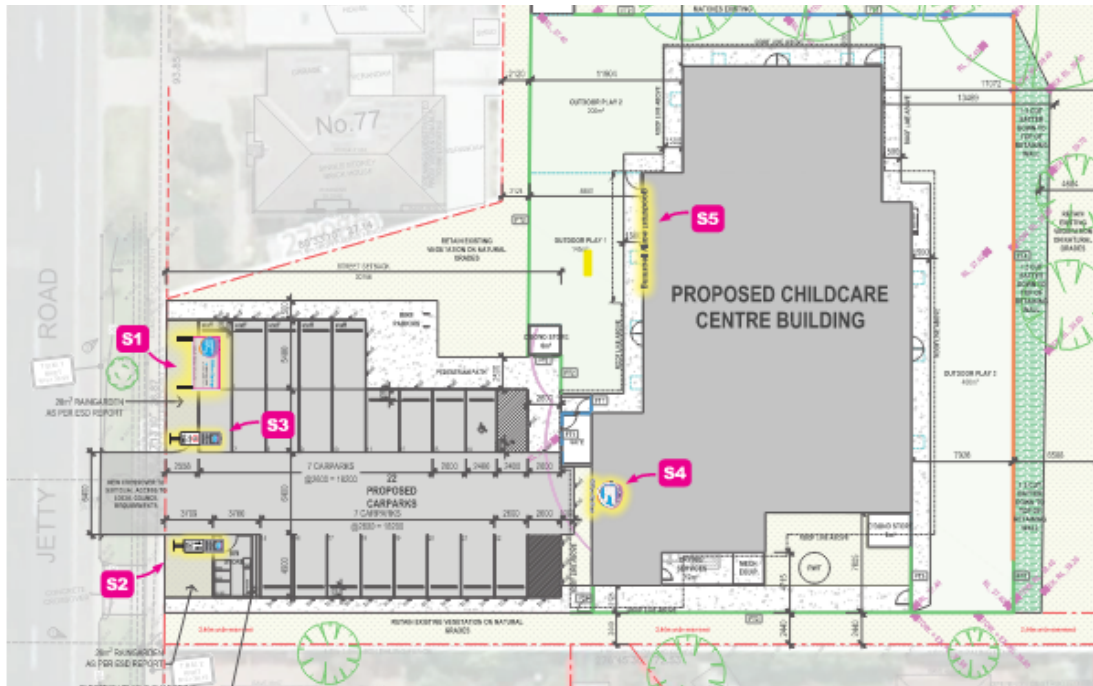
2. The Proposal

The proposal seeks approval for the display of business identification signage as follows:

- Sign 1 – 2.88 sqm business identification sign located within the Jetty Road setback.
- Signs 2 & 3 – Branded freestanding car park directional signage located either side of the car park entrance.
- Sign 4 – 1 x 0.96 sqm business identification sign flush mounted to the western elevation adjacent to the childcare entrance.
- Sign 5 – 1 x 2.1 sqm business identification sign flush mounted to the front gable façade below the roof apex at a height of approximately 2.7 metres above ground floor level.

We confirm that no signed is proposed to be illuminated.

Figure 3: Proposed signage site plan



3. Planning Controls

3.1 Zone

The subject site is located within the General Residential Zone -Schedule 1 (GRZ1) of the Greater Geelong Planning Scheme as shown in Figure 4 overleaf.

Figure 4: Zoning Map



Source: <https://mapshare.vic.gov.au/vicplan/>

Pursuant to **Clause 32.08-15**, sign requirements are at **Clause 52.05** and this zone is in 'Category 3 – High Amenity Areas'.

The “purpose” of the zone includes:

- *To implement the Municipal Planning Strategy and the Planning Policy Framework.*
- *To encourage development that is responsive to the neighbourhood character of the area.*
- *To encourage a diversity of housing types and housing growth particularly in locations offering good access to services and transport.*
- *To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.*

3.2 Overlays

Design and Development Overlay – Schedule 14 (DDO14)

The subject site is affected by the Design and Development Overlay – Schedule 14 (DDO14).

Pursuant to Clause 43.02-4, sign requirements are at Clause 52.05 unless otherwise specified in a schedule to this overlay. Schedule 14 to the Design and Development Overlay does not specify sign requirements and therefore Clause 52.05 applies.

Schedule 14 to the DDO does not specify any additional requirements relevant to the proposed signage and therefore does not give rise to a separate permit requirement or assessment consideration for this application.

3.3 Policy Framework

The Greater Geelong Planning Scheme provides the following clauses in the consideration of this application:

Table 1: Relevant Municipal Planning Strategy

Municipal Planning Strategy	
Clause 02.01	Context
Clause 02.02	Vision
Clause 02.03	Strategic Directions
Clause 02.03-5	Built environment and sustainability

Table 2: Relevant Planning Policy Framework

Planning Policy Framework	
Clause 15.01-1S	Urban design
Clause 15.01-1L-03	Signs in urban environments

3.4 Particular and General Provisions

Clause 52.05 - Signs

Clause 52.05 applies to the development of land for signs. As specified above, the site is subject to 'Category 3 - High Amenity Areas' (Clause 52.05-13).

Pursuant to **Clause 52.05-13**, a permit is required to display business identification signage.

Clause 52.05 provides guidance in the design of signage. The 'purposes' of Clause 52.05 are:

- *To regulate the development of land for signs and associated structures.*
- *To ensure signs are compatible with the amenity and visual appearance of an area, including the existing or desired future character.*
- *To ensure signs do not contribute to excessive visual clutter or visual disorder.*
- *To ensure that signs do not cause loss of amenity or adversely affect the natural or built environment or the safety, appearance or efficiency of a road.*

A series of general decision guidelines and specific decision guidelines for signs is provided at Clause 52.05-8.

4. Planning Considerations

Given the nature of the proposal and the applicable planning scheme provisions, the key question in this case is whether the proposed signage is appropriate having regard to the approved childcare centre on site, the site context and the policy context.

Clause 52.05 provides the primary assessment framework for the application, supported by the local signage policy at **Clause 15.01-1L-03**.

Clause 15.01-1L-03

This policy applies to all applications for signs within the Greater Geelong municipality. It includes general guidelines, category guidelines and particular guidelines. Category guidelines for high amenity areas (Category 3) are relevant to the subject site.

The proposed signs meet the strategies of the *City of Greater Geelong Sign Guidelines (February 2024)* as follows:

- The proposed signs are sympathetic to the high amenity area in scale and form. The entry signage provides a vital form of identification for visitors to the subject site whilst the internal building entry signage and navigational signage provides important wayfinding.
- The proposed signage will not dominate the surrounding landscape or obscure views and has been integrated into the building design and landscaping. Where appropriate, signage is flush mounted to the building walls to minimise visual protrusion and maintain a scale appropriate to the built form. A standalone business identification sign is also proposed within the front setback to provide clear identification of the business. Given the building is setback 30.7 metres from the street frontage, the standalone sign is necessary to ensure the site can be readily identified from the street.

- The proposed freestanding sign satisfies the relevant objectives by being positioned at a 90-degree angle to adjoining dwelling, is located within the front setback of the building. The sign is located along the street frontage with the greatest volume of traffic, does not exceed 2 metres above footpath level, and is integrated with the proposed landscape treatment, which will assist in softening and screening the base of the sign.
- The signage is of a simple and clear style with no illumination, animation or visually dazzling details and is designed to be sympathetic to the high amenity area.
- The number of signs is limited to one main entrance sign and two signs flush mounted to the building façade. The overall amount of signage is appropriate given the siting of the built form and is necessary to provide clear navigation and identification for people entering the site and accessing the main building entrance.
- The proposed signage does not obscure views through building windows to or from the street. The signage is positioned to maintain clear views through the building and does not interfere with the visual connection between the building and the street.
- The entry signage is flush mounted to the rendered stone boundary wall and located directly adjacent to the site entrance.
- The proposed signage is low scale in nature and setback from all property boundaries. It will not have a detrimental impact on access to daylight or sunlight, or result in any unreasonable perception of light, shadow or overshadowing of surrounding sensitive spaces, including adjoining properties, footpaths, open space or windows.
- All proposed signage relates directly to the business operating from the site and is limited to business identification and wayfinding purposes. No third-party or unrelated advertising signage is proposed.

Clause 52.05 (Signs)

Clause 52.05 provides the primary policy guidance for applications which seek to display signage. We contend that the proposal is consistent with the principles of Clause 52.05 for the following reasons, including an assessment against the decision guidelines of Clause 52.05-8 provided below:

- The proposed signage is appropriate in the context of the surrounding area's character. The signs are not internally illuminated and do not negatively impact the amenity or residential character of the area. The proposed signs are appropriately separated to ensure no cumulative impact of signs on the character of the area.
- The proposed signs are simple and cohesive in design and comprise clear corporate branding for of Goodstart Early Learning. Signage is limited in number and scale to ensure it will not create visual clutter.
- The proposed signs will not obscure or compromise any important views from the public realm.
- The proposed signs are appropriately proportioned relative to the openness of the streetscape and entry to the subject site.
- The business identification signs are sited below the roof line of the approved buildings and are well setback from the property boundary.
- Landscaping is provided within the street setbacks to ensure that the proposed signage is visually softened.

- The proposed signage has been integrated into the building design where appropriate, with signage flush mounted to the façade to minimise the need for additional structures. The business identification signage at the entrance is supported on 800mm-high pole legs, which reduces the visual prominence of the supporting structure which will be largely screened by landscaping.
- The proposed signs are located at an appropriate distance from the street to avoid any negative impacts on views for vehicles along Jetty Road.
- The proposed signage provides a necessary form of business identification for the childcare centre and the required directional signage is necessary for managing access to and from the subject site.
- The proposed signs are sited and scaled so as to not impact on road safety by avoiding obstructing driver's views and does not include any visually dazzling details.
- The proposed signs are of high quality and provide a necessary form of business identification, whilst not detracting from the surrounding character as demonstrated by the appropriate scale, siting and style.
- The materiality, colours and tones of the proposed signage are restrained and designed to avoid an overly prominent or visually loud presentation.

Overall, the signage proposed is considered to be proportionate to the built form on the subject site, consistent and ordered in its presentation and will not result in visual clutter or dominance when viewed from the street frontages or nearby properties.

5. Conclusion

As demonstrated above, the proposed signage will appropriately complement the approved childcare centre and its residential setting. The signs are modest in scale, limited in number and sensitively positioned, with the majority set back from Jetty Road and integrated with the approved building and established landscaping.

The proposal will provide clear business identification and functional wayfinding without creating visual clutter, adversely affecting residential amenity or compromising pedestrian and road safety.

It is therefore considered that the proposal is consistent with the strategic intent of the Greater Geelong Planning Scheme, including local signage policy at Clause 15.01-1L-03, and responds appropriately to the decision guidelines of Clause 52.05.

Having regard to the relevant planning considerations, it is submitted that the proposal will result in an acceptable planning outcome and warrants Council's support.