

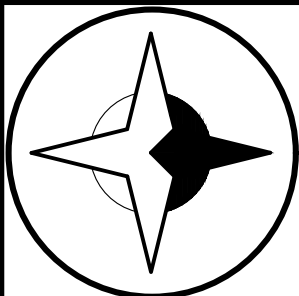
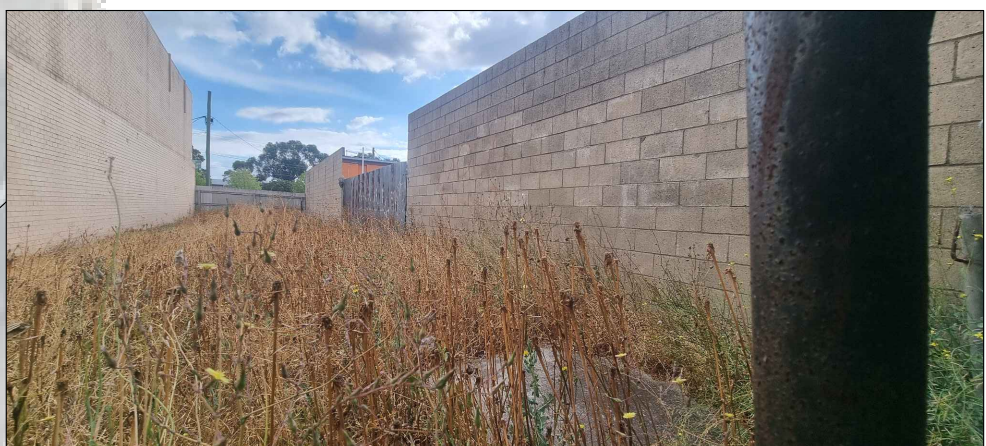
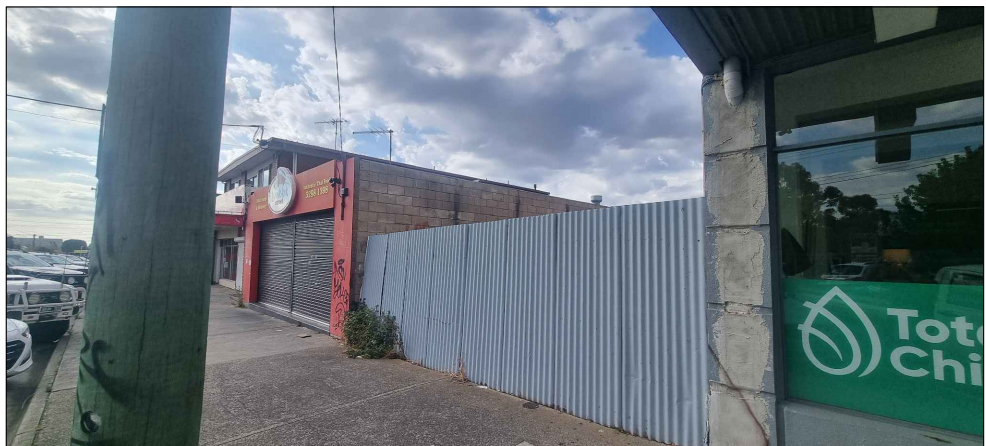
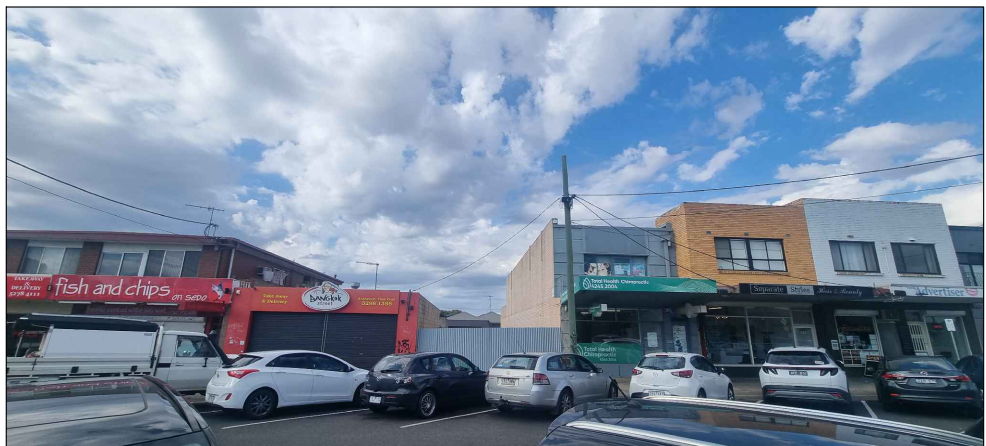
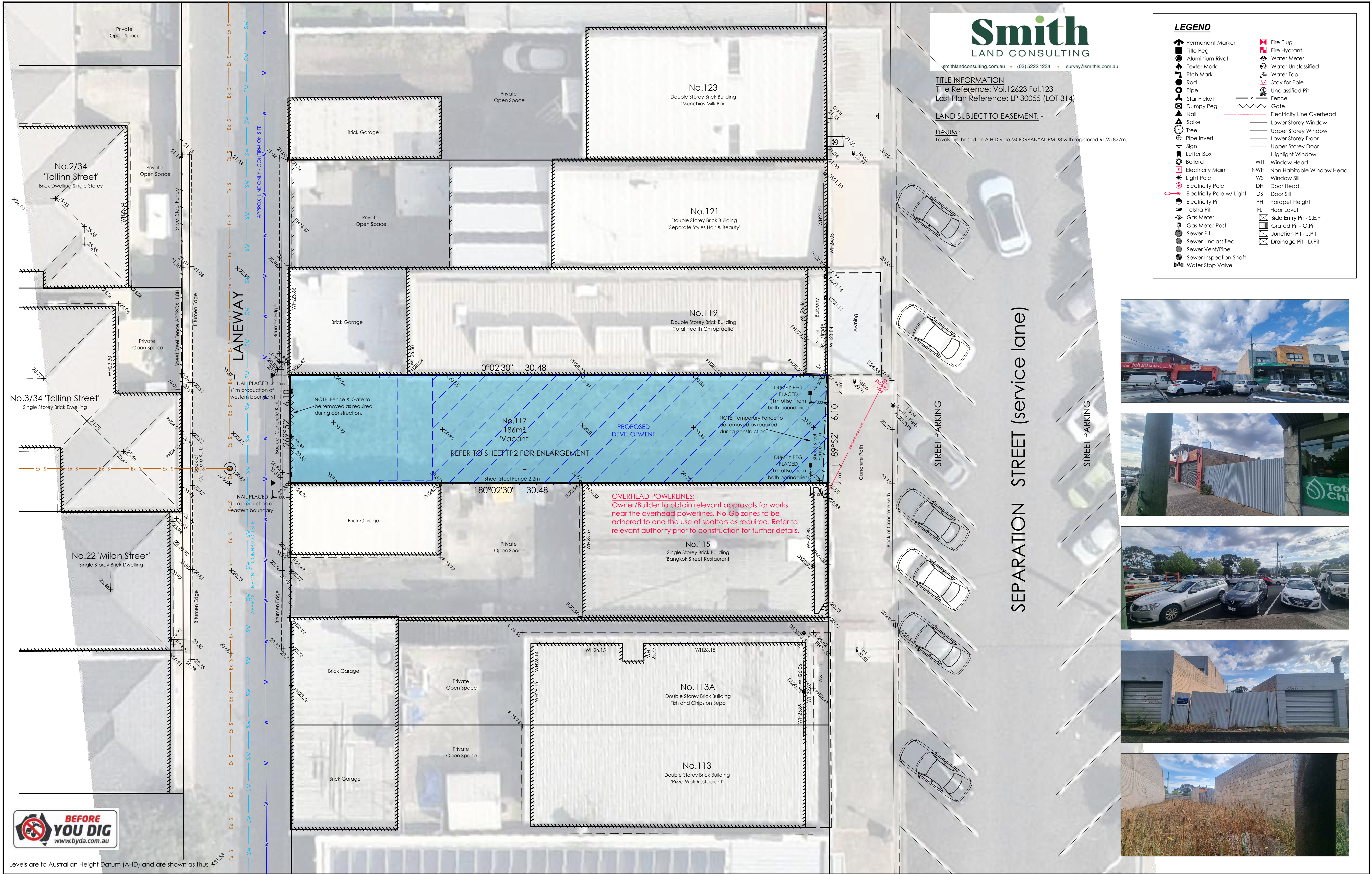
PROPOSED MIXED USE DEVELOPMENT at No. 117 SEPARATION STREET, BELL PARK for VDC GROUP P/L



NOTE: All drawings and images are artistic impressions only, and any design features and colour palettes are for illustration purposes only.

PLANNING DRAWINGS - 18/08/2026

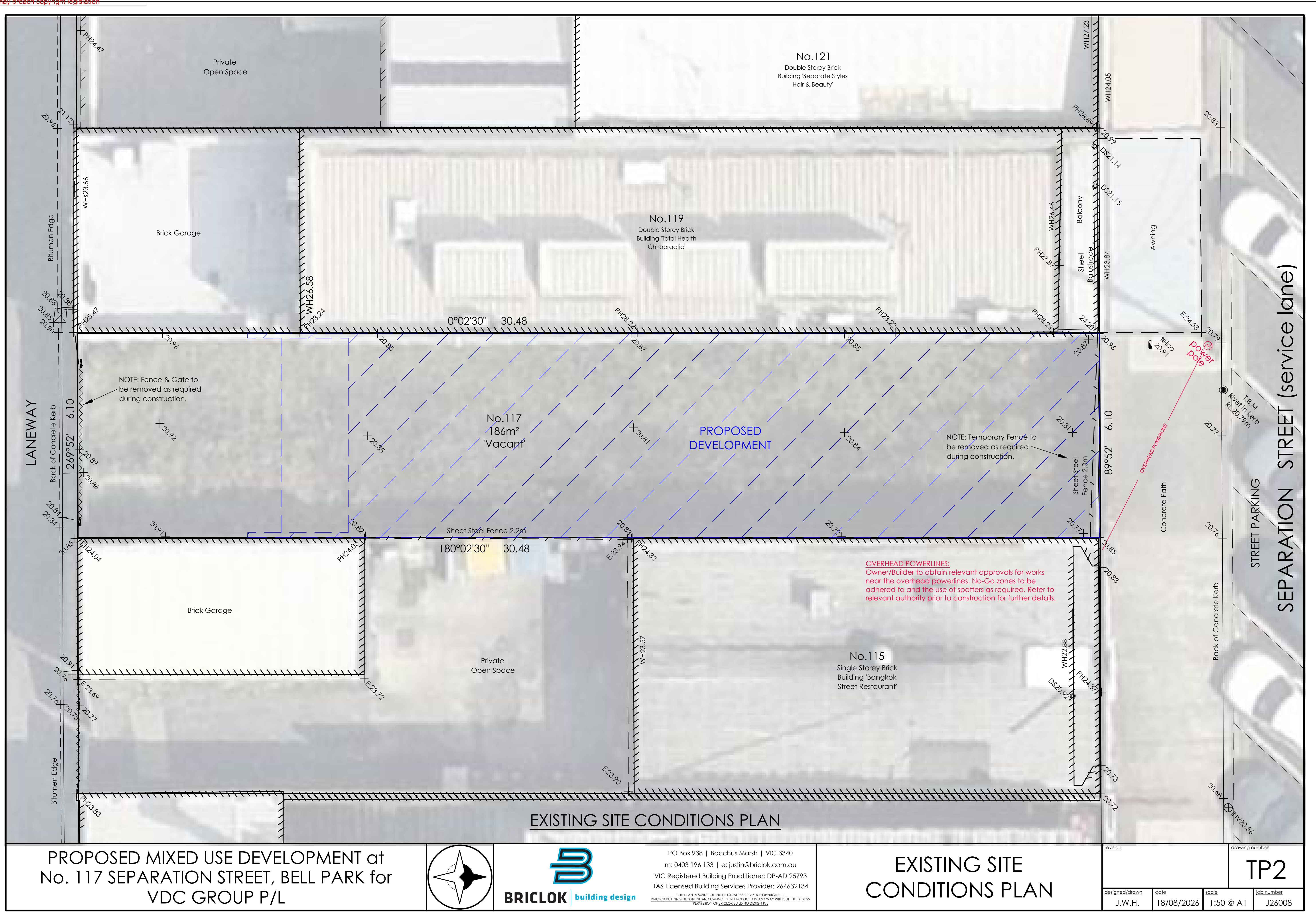
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|------------------------------------|--|
| TP1. EXISTING SITE CONTEXT PLAN | TP8. TRAFFIC TEMPLATES |
| TP2. EXISTING SITE CONDITIONS PLAN | TP9. LANDSCAPING PLAN |
| TP3. PROPOSED SITE PLAN | TP10. OVERLOOKING PLAN |
| TP4. PROPOSED FLOOR PLANS | SD1. SHADOW DIAGRAM - 9AM SEPT.22 (EQUINOX) |
| TP5. ELEVATIONS 1/2 | SD2. SHADOW DIAGRAM - 12PM SEPT.22 (EQUINOX) |
| TP6. ELEVATIONS 2/2 | SD3. SHADOW DIAGRAM - 3PM SEPT.22 (EQUINOX) |
| TP7. ROOF PLAN | |



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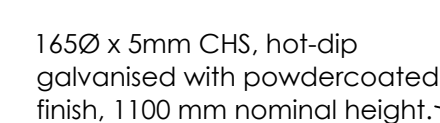
EXISTING SITE
CONTEXT PLAN

revision		drawing number	
		TP1	
designed/drawn	date	scale	job number
J.W.H.	18/08/2026	1:100 @ A1	J26008

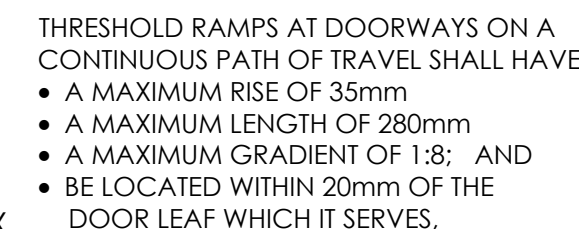




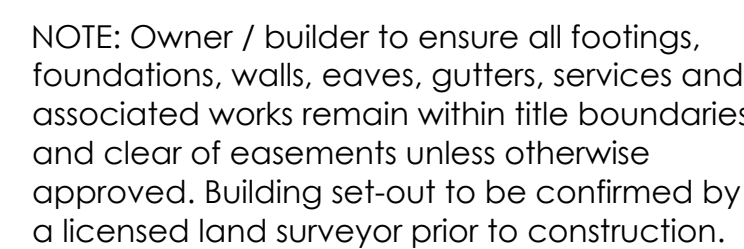
N.T.S.



N.T.S



N.T.S.



No.119
Double Storey Brick
Building 'Total Health
Chiropractic'

Building to comply with NCC 2025 Volume One Section J, approved Section J assessment, ESD Statement, WSUD documentation and relevant consultant requirements.

Building fabric, insulation and glazing to comply with NCC Section J. Provide minimum 10% improvement above NCC 2025 minimum floor and ceiling insulation Total R-Values.

HVAC and electric hot water systems to be selected within one star of the best available product in the relevant range, or within the most efficient 15% where no star rating applies.

Provide LED lighting throughout in accordance with NCC Section J. External lighting common areas and intermittently occupied spaces to incorporate motion, daylight and/or timer controls where applicable.

Provide minimum 2,000 L rainwater tank collecting runoff from the entire roof area for reuse in toilet flushing. Provide overflow and connections in accordance with approved WSUD and hydraulic documentation.

Minimum WELS ratings where provided: Toilets 4 Star; Taps 5 Star; Dishwasher 5 Star.

Provide separate water and electricity utility metering.

Glazing to target minimum 40% Visible Light Transmittance (VLT). Use light internal finishes where practical to assist daylight penetration.

Provide low-VOC paints, adhesives, sealants and flooring in accordance with the approved ESD Statement. Engineered wood products to be certified E0 or better.

Provide staff bicycle parking and four-bin operational waste facilities comprising general waste, recycling, FOGO and glass.

No rainforest timber to be used. Timber framing, where provided, to be FSC, PEFC or AFS certified. Steel to be sourced from an ISO 14001 certified responsible steel maker. Carpet and underlay to have recognised third-party sustainable certification.

Construction waste management to achieve minimum 80% reuse or recycling of construction and demolition waste. Builder to implement appropriate environmental management measures, including erosion and sediment controls.

Provide landscaped/vegetated areas generally in accordance with the approved drawings and ESD Statement.

All ESD initiatives to be installed and maintained in accordance with NCC 2025, approved ESD Statement, Section J assessment, WSUD documentation, manufacturer requirements and relevant consultant documentation.

TOTAL G.F.137m2

F.F.L. 20.90

FF ENTRY

power meter
/ switchboard

G.F. ENTRY

Level paving to entrance door
from external paving with max.
35mm threshold step as per
NCC 2025 & AS1428.1-2009

No.115
Single Storey Brick
Building 'Bangkok
Street Restaurant'

OVERHEAD POWERLINES:
Owner/Builder to obtain relevant approvals for works near the overhead powerlines. No-Go zones to be adhered to and the use of spotters as required. Refer to relevant authority prior to construction for further details.

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PROPOSED SITE PLAN

<u>revision</u> 1		<u>drawing number</u> TP3	
<u>designed/drawn</u> J.W.H.	<u>date</u> 18/08/2026	<u>scale</u> 1:50 @ A1	<u>job number</u> J26008

GENERAL NOTES:

Toilets, amenities, offices and internal rooms to be naturally and/or mechanically ventilated to outside air in accordance with NCC 2025 Vol. One Part F6, AS 1688.2-2024 and AS/NZS 3666.1-2011.

Mechanical ventilation to be confirmed by the mechanical contractor prior to installation. Contractor compliance certification to be provided to the RBS prior to occupancy.

Openings relied upon for natural ventilation, including roller doors, escape doors and operable windows, are to remain open and unobstructed during normal business hours where required to satisfy ventilation calculations.

Sanitary compartment doors to comply with NCC 2025 Vol. One Part F4. Provide removable/lift-off hinges, outward opening doors or other compliant means where required to permit removal of an unconscious person.

Exhaust fans to discharge to outside air and incorporate backdraft shutters or sealing devices where required by NCC 2025 Vol. One Section J.

Artificial lighting to comply with NCC 2025 Vol. One Parts F6 and J7, AS/NZS 1680.0-2009 and electrical design requirements.

Emergency lighting and exit signage to comply with NCC 2025 Vol. One Part E4, AS/NZS 2293.1-2018 and AS/NZS 2293.3-2018.

Glazing, windows and glazed doors to comply with NCC 2025 Vol. One, AS 1288-2021, AS 2047-2014 and project energy efficiency requirements.

Timber work, where applicable, to comply with NCC 2025 Vol. One, AS 1684.2-2021 and/or structural engineer's design.

Termite management, where applicable, to comply with AS 3660.1-2014 and Property Information Certificate/relevant authority requirements.

Floor linings and coverings to comply with NCC 2025 Vol. One C2D11 and Specification 7 for fire hazard properties. Provide evidence of suitability prior to installation where required.

Floor finishes to provide slip resistance suitable for the proposed use and wet/dry conditions in accordance with NCC 2025, AS 4586-2013 and relevant Australian Standards.

Wet areas to comply with NCC 2025 Vol. One Part F2 and AS 3740-2021, including suitable water-resistant/waterproof and impervious wall and floor finishes where required.

Roller doors forming part of a required exit/path of travel or relied upon for natural ventilation are to remain unlocked and open during business hours unless otherwise accepted under an approved Fire Engineering Performance Solution and approved by the RBS.

Electrical switchboards, meters, distribution boards and similar equipment within a required exit or path of travel are to be enclosed in non-combustible construction or fire-protective covering, with openings and doors suitably sealed against smoke spread, in accordance with NCC 2025 Vol. One D3D8.

EXITS:

Illuminated exit signs shown thus 'EXIT' to comply with NCC 2025 Vol. One Part E4 and AS/NZS 2293.1 & 2293.3. Provide internally illuminated LED, maintained exit signs, wall/ceiling mounted, single or double-sided with directional pictograms as required. Signs to be Clevertronics Cleverlit CCLLED or equivalent, 24m viewing distance, C0=D4 / C9=D3.E3.2, IP20. Locate at required exits and where necessary to clearly identify the path of travel. Mount generally not more than 2700mm AFFL unless otherwise permitted by AS/NZS 2293.1.

EMERGENCY LIGHTING:

Emergency lights shown thus 'EM' to comply with NCC 2025 Vol. One Part E4 and AS/NZS 2293.1 & 2293.3. Provide non-maintained LED emergency luminaires with battery backup and automatic operation on failure of normal lighting. Luminaires to be Clevertronics CLIFE Lifelight recessed D40, IP20 or equivalent, mounted at approximately 2700mm AFFL/ceiling height. Maximum indicative spacing 14.8m for D40 at 2.7m mounting height, subject to final layout, obstructions and certified lighting design.

Exit signs and emergency lighting are to be installed, commissioned, labelled, tested and maintained by a suitably qualified electrical contractor in accordance with NCC 2025 Part E4 and AS/NZS 2293.1, 2293.2 & 2293.3. Final locations and quantities to be confirmed by the electrical contractor to achieve compliant coverage and illumination to required areas and paths of travel.

ENTRY DOORS & EGRESS:

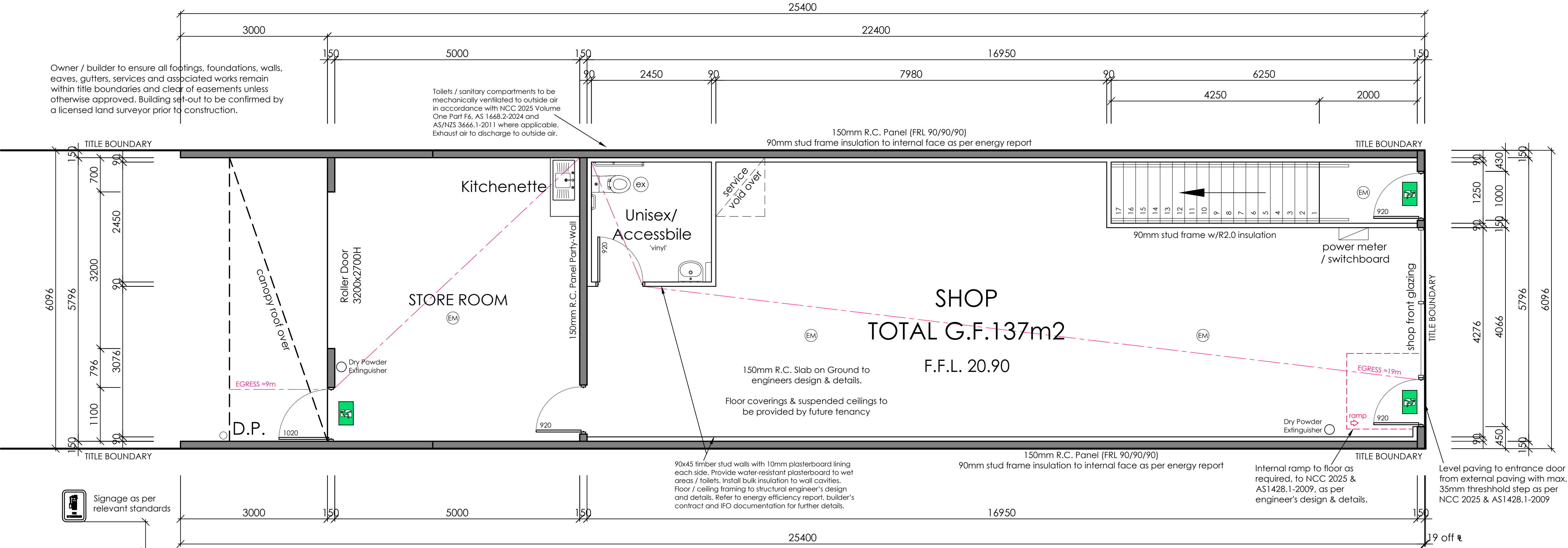
Provide Braille/tactile signage to required exit doors and accessible facilities in accordance with NCC 2025 Vol. One D4D7, Specification 15 and AS 1428.1-2009, including compliant location, mounting height and luminance contrast.

Provide level access to required accessible entrances in accordance with NCC Part D4 and AS 1428.1. Door thresholds to comply with NCC D3D16 and AS 1428.1 where applicable.

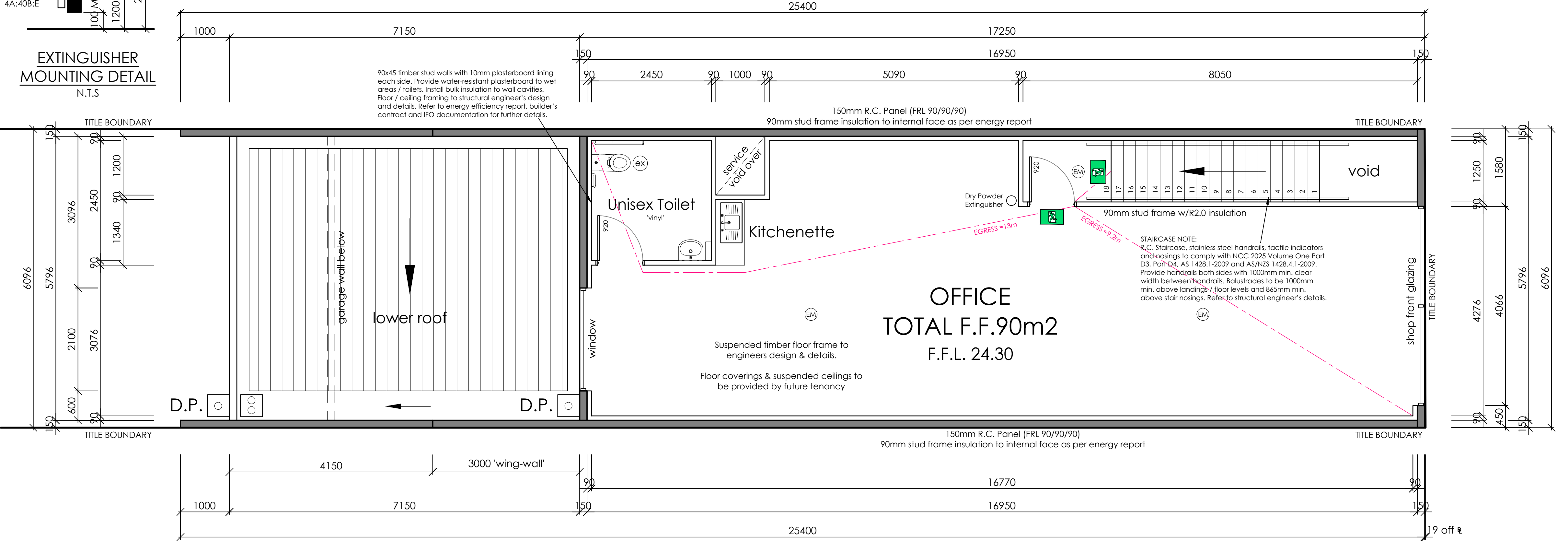
Door hardware to required exits and accessible doors to comply with NCC D3D26 and AS 1428.1. Egress hardware to be readily operable without a key by a single-hand downward action at 900-1100mm AFFL, or single-hand pushing action at 900-1200mm AFFL where permitted. Accessible door handles to provide 35-45mm clearance from the door face/backplate where required.

WALL LEGEND:

150mm PRE-CAST CONCRETE WALLS	
90mm TIMBER STUD WALLS	



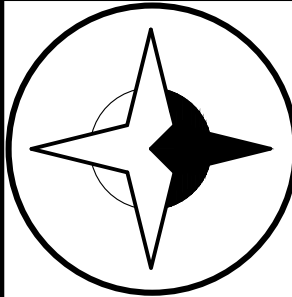
GROUND FLOOR PLAN



FIRST FLOOR PLAN

Note: These drawings are to be read in conjunction with structural & civil engineering, fire service and fire engineering design & details.

PROPOSED MIXED USE DEVELOPMENT at
No. 117 SEPARATION STREET, BELL PARK for
VDC GROUP P/L

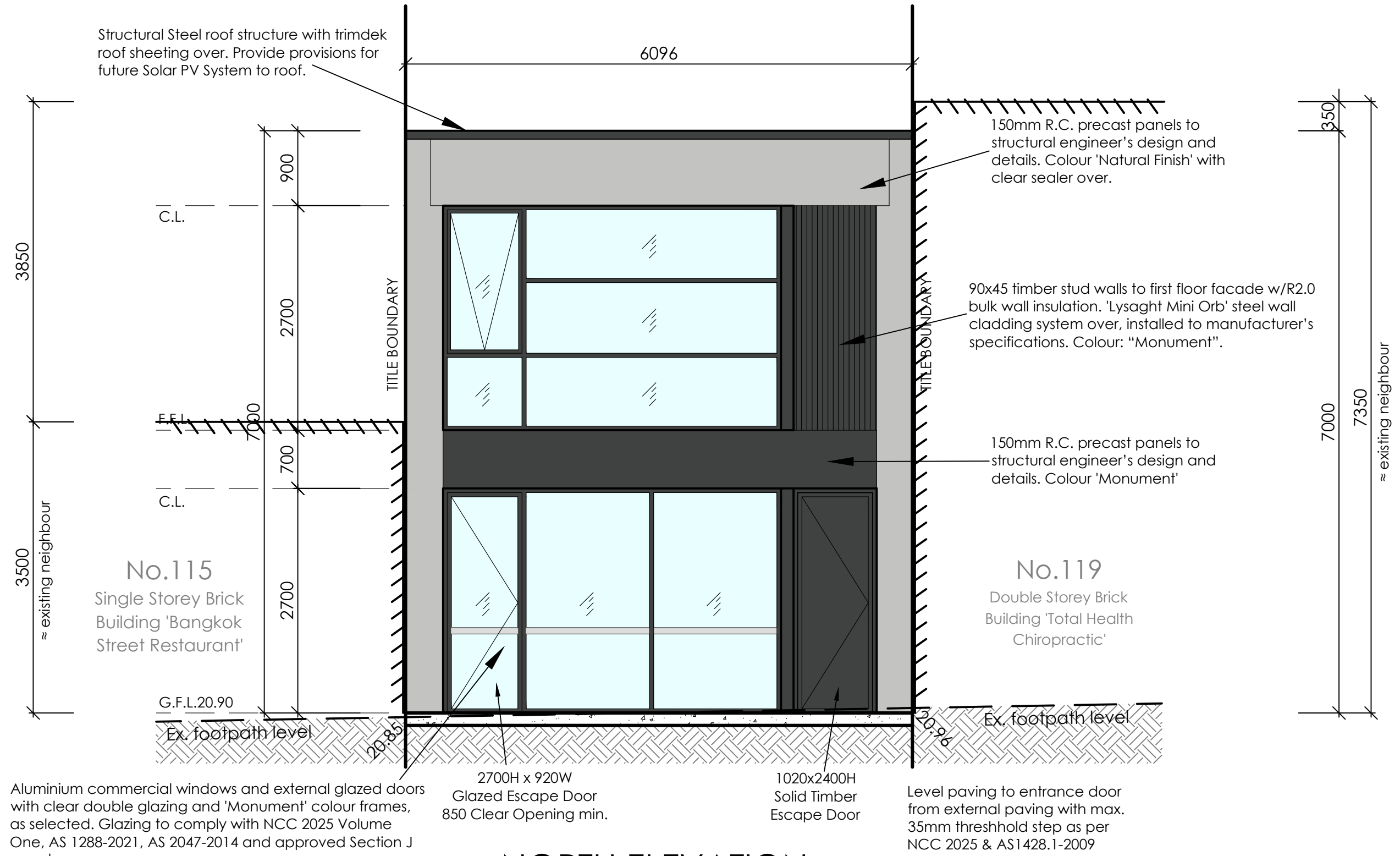


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FLOOR PLANS

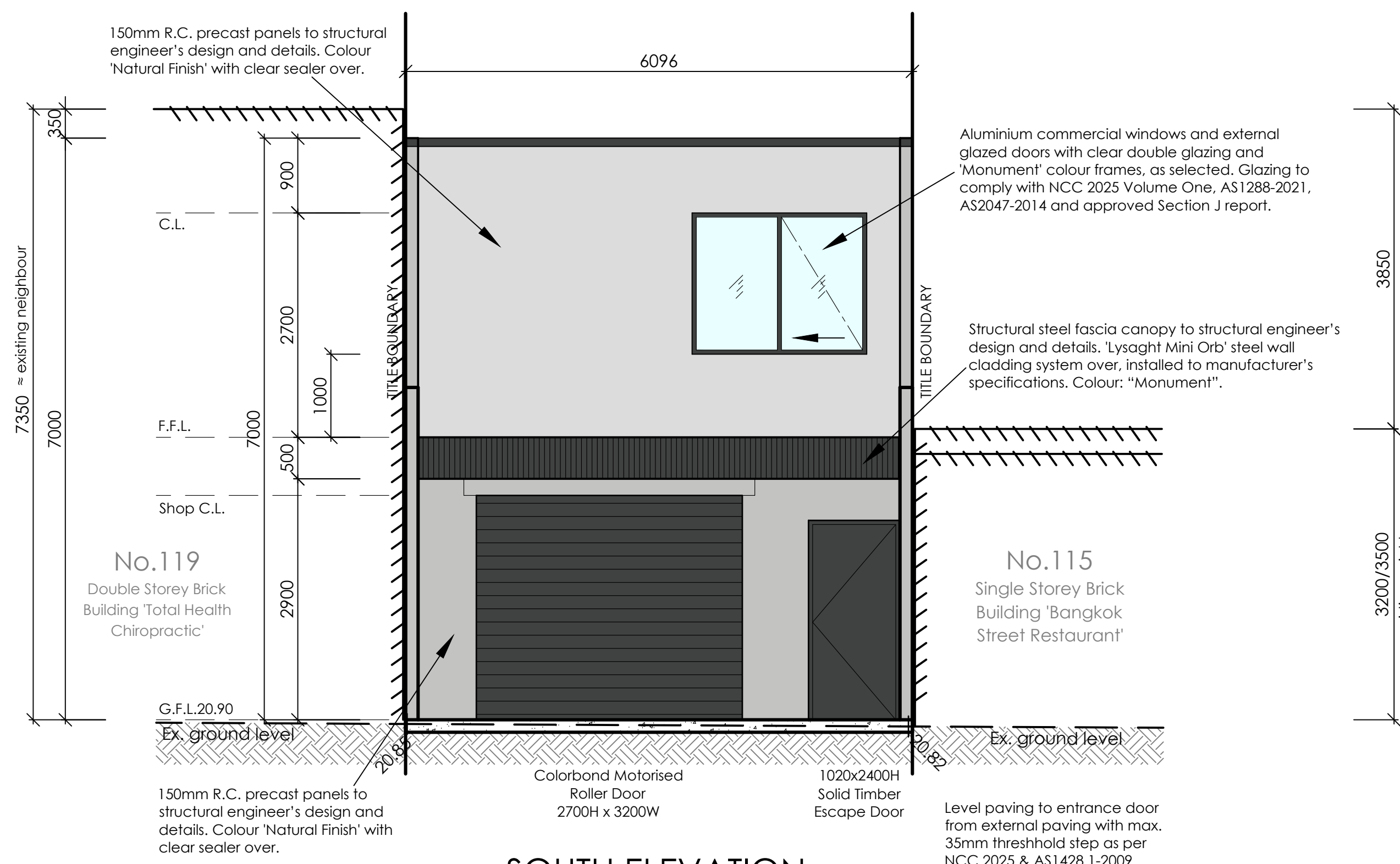
revision			drawing number	
			TP4	
designed/drawn	date	scale	job number	
J.W.H.	18/08/2026	1:50 @ A1	J26008	

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NORTH ELEVATION

'SEPARATION STREET'



SOUTH ELEVATION

'LANE'



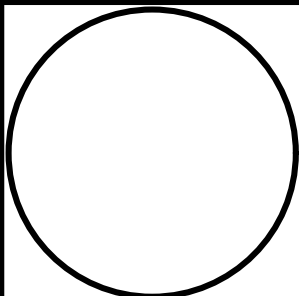
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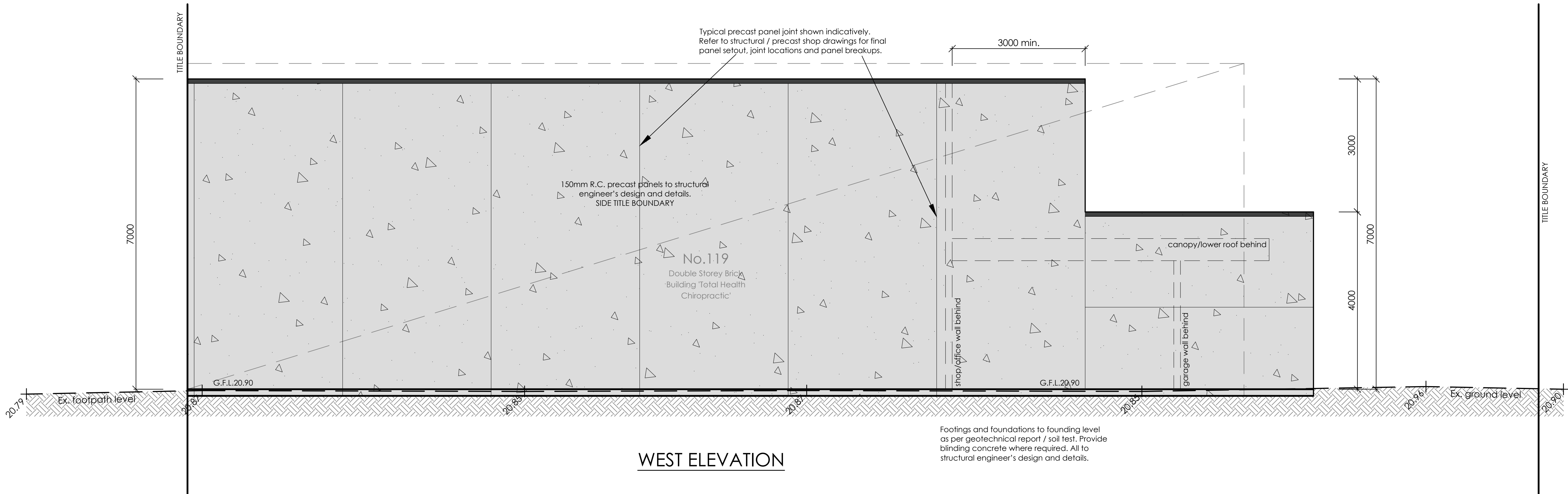
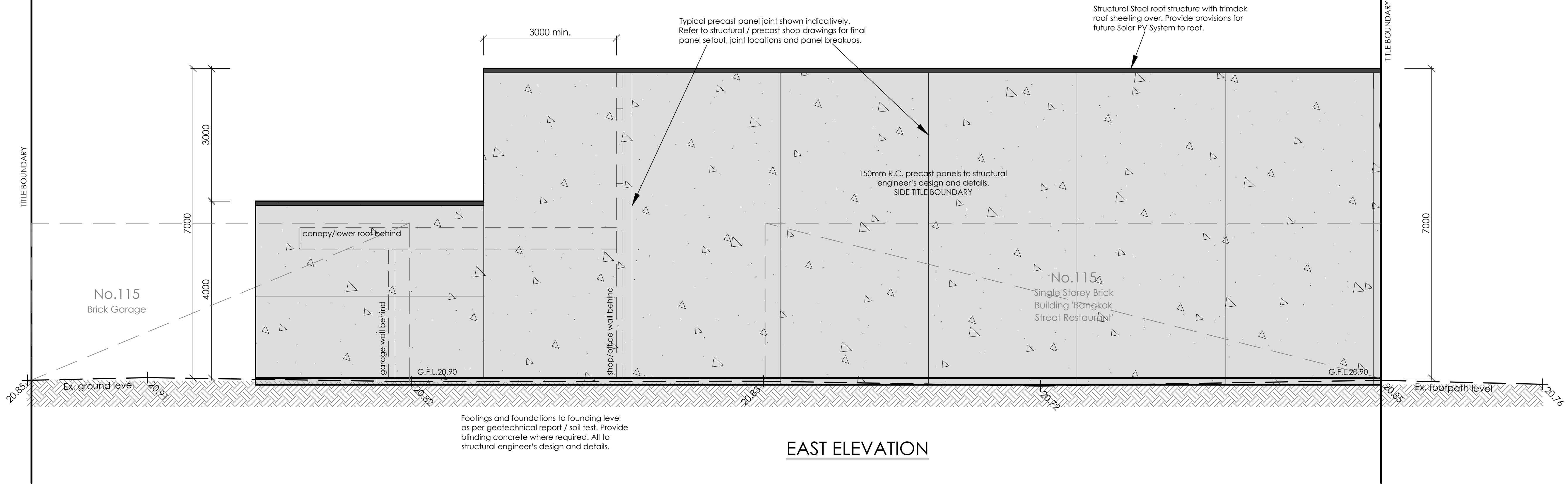


BRICLOK | building design

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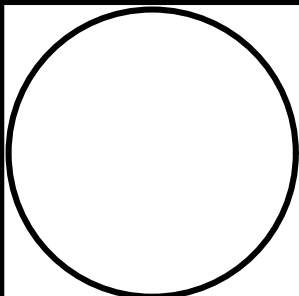
ELEVATIONS 1/2

revision			drawing number	
			TP5	
designed/drawn	date	scale	job number	
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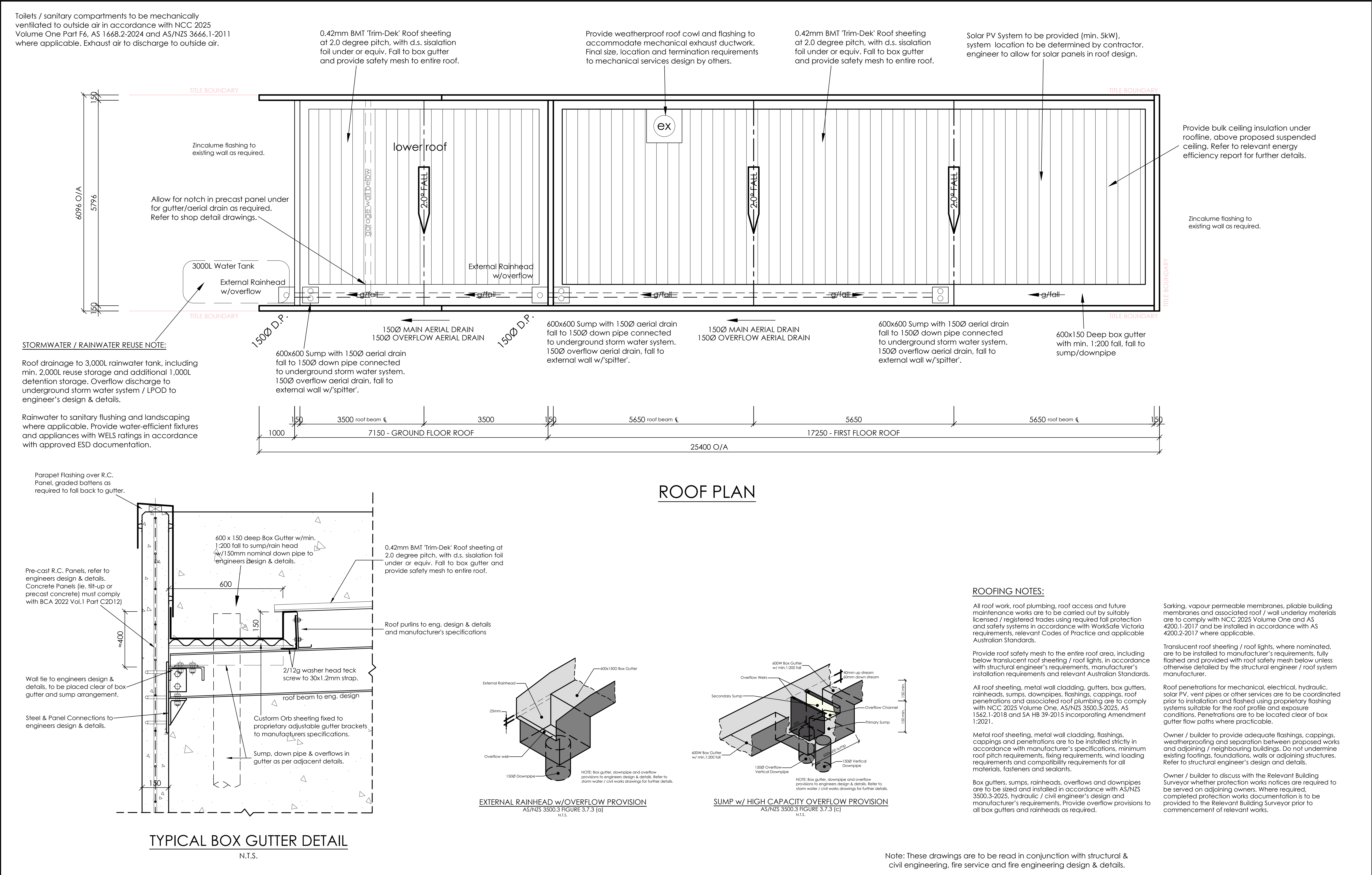


BRICLOK building design

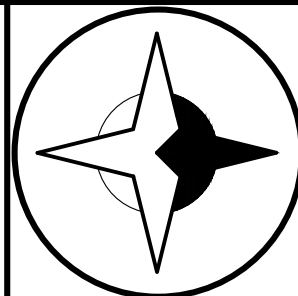
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ELEVATIONS 2/2

revision			drawing number	
			TP6	
designed/drawn	date	scale	job number	
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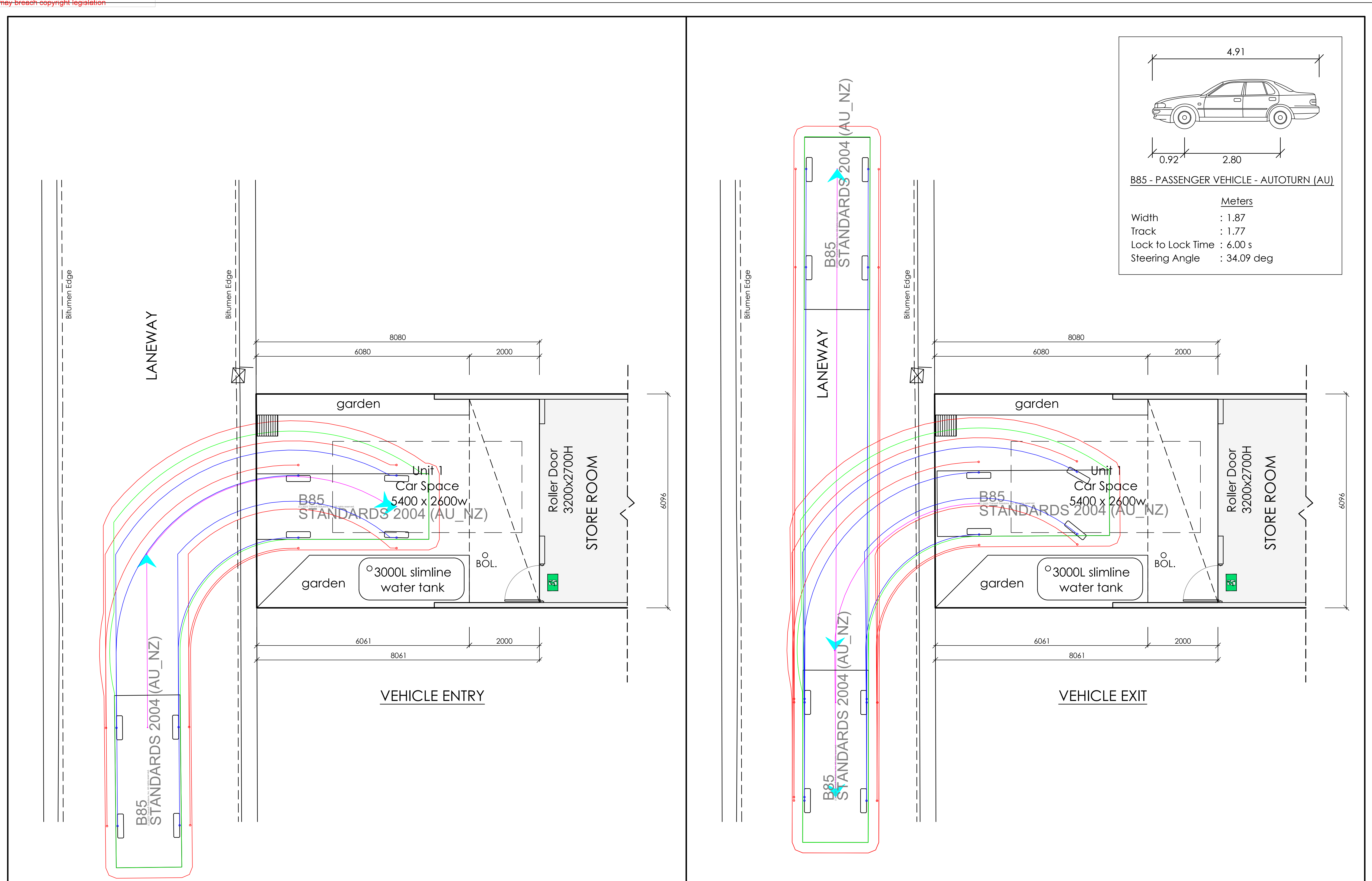
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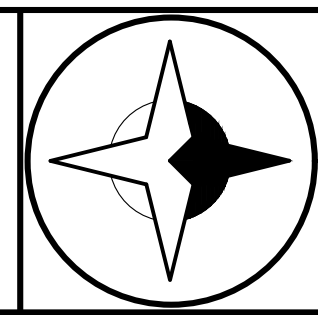
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ROOF PLAN

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			TP7
designed/drawn	date	scale	job number
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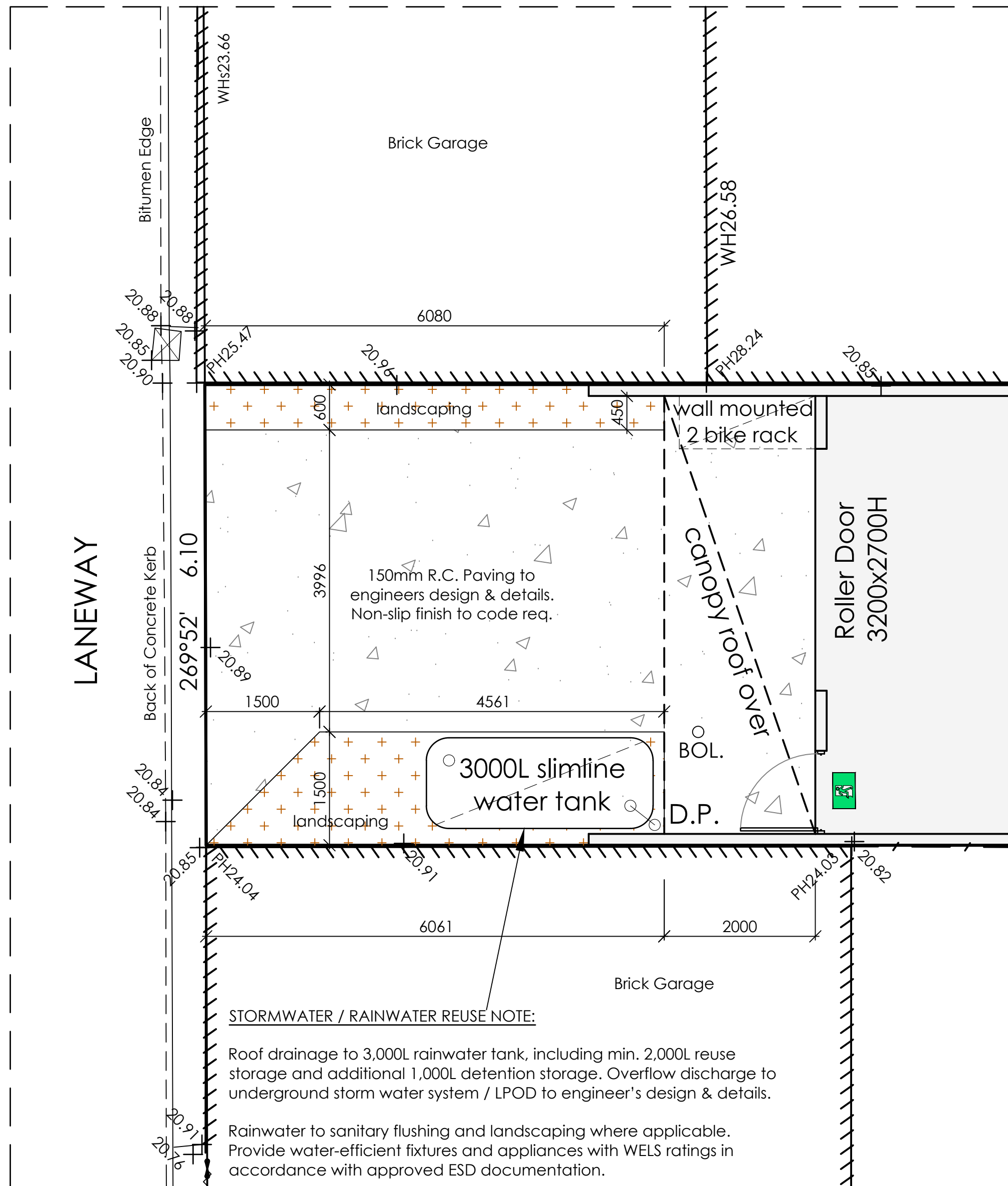


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Legend	
Vehicle Body	—
Wheel Tracks	—
Clearance Lines (300mm)	—

TRAFFIC
TEMPLATES

revision			drawing number	
			TP8	
designed/drawn	date	scale	job number	
J.W.H.	18/08/2026	1:50 @ A1	J26008	



STORMWATER / RAINWATER REUSE NOTE:
Roof drainage to 3,000L rainwater tank, including min. 2,000L reuse storage and additional 1,000L detention storage. Overflow discharge to underground storm water system / LPOD to engineer's design & details.
Rainwater to sanitary flushing and landscaping where applicable. Provide water-efficient fixtures and appliances with WELS ratings in accordance with approved ESD documentation.

LANDSCAPING PLAN

SITE ANALYSIS

TOTAL SITE AREA	= 186 m2
TOTAL GROUND FLOOR AREA	= 137 m2
TOTAL FIRST FLOOR AREA	= 90 m2
TOTAL FLOOR AREA	= 227 m2
73 % TOTAL COVERAGE OF SITE	
PERMEABLE LANDSCAPING AREA	= 11.3 m2 / 6%

PLANT LEGEND:



MIX @ 2 plants / m2 - APPROX. 22 OF 200mm tube stock at planting

Dianella revoluta (Dia rev) - Black Anther Flax-Lily
Mature size: 300mm H x 2m W

Poa labillardieri (Poa lab) - Tussock Grass
Mature size: 800mm H x 800mm W

Themeda triandra (The tri) - Kangaroo Grass
Mature size: 300mm H x 300mm W

DRIVEWAY & PATHS:



150mm R.C. Paving to engineers design & details. Non-slip finish to Building Code Requirements.

GENERAL LANDSCAPING NOTES:

SITE PREPARATION & SOIL WORKS

- Strip existing topsoil to expose compacted subgrade/clay layer.
- Loosen soil to a minimum depth of 200 mm.
- Add clean sandy loam to lawn areas; use river soil/topsoil mix for garden beds.
- After planting and irrigation, backfill and install weed matting and 75 mm mulch.
- Soil to comply with AS 4419 Soils for Landscaping & Garden Use.

PLANTING

- Plant species selected to suit site conditions (sun/shade, moist/dry).
- All plants must be nursery-grown, healthy, pest- and disease-free, and not root-bound.
- Minimum sizes: 300 mm pots for shrubs/groundcovers; 45 L containers for trees.
- Allow for mature spread when spacing plants.
- Planting works to be undertaken by experienced personnel.
- Soil and mulch levels to match top of kerb/paving as shown on plan.

MULCHING

- Apply clean organic mulch to 75 mm depth across all garden beds.
- Mulch must comply with AS 4454 Composts, Soil Conditioners & Mulches.
- Maintain mulch depth to suppress weeds and reduce evaporation.
- Keep mulch clear of plant stems and tree trunks.
- Shrubs, groundcovers and grasses must be drought-tolerant species.

IRRIGATION

- Provide an efficient irrigation system (e.g. drip or low-flow) to all landscaped areas.
- System to minimise overspray onto hard surfaces and buildings.
- Include isolation valves and timers for staged watering.
- System must be operational prior to practical completion.

TREE PLANTING & PROTECTION

- Trees to be double-staked with flexible ties allowing trunk movement.
- Tree Protection Zones (TPZs) must be maintained as per AS 4970 Protection of Trees on Development Sites.
- Maintain required offsets from services, driveways and structures.
- Replace any trees that fail during establishment with the same species and size.

WATER SENSITIVE URBAN DESIGN (WSUD)

- Raingardens, swales or infiltration features to be constructed in accordance with engineers design & details and endorsed plans.
- Inspect and maintain inlets, outlets, filter media and planting regularly to ensure correct function.
- WSUD features form part of the stormwater treatment system and must not be altered or removed without approval.

MAINTENANCE

- Maintain all landscaped areas in good order to the satisfaction of the Responsible Authority.
- Keep beds weed-free; treat persistent weeds with approved herbicide.
- Replace dead or diseased plants promptly with same species and size.
- Carry out regular watering, pruning, fertilising and litter removal.
- Keep garden beds, paved areas and tree pits free of rubbish and debris.

ENERGY EFFICIENCY & SUSTAINABILITY NOTES:

Building to comply with NCC 2025 Volume One Section J, approved Section J assessment, ESD Statement, WSUD documentation and relevant consultant requirements.

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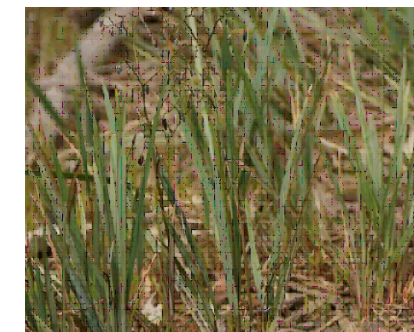
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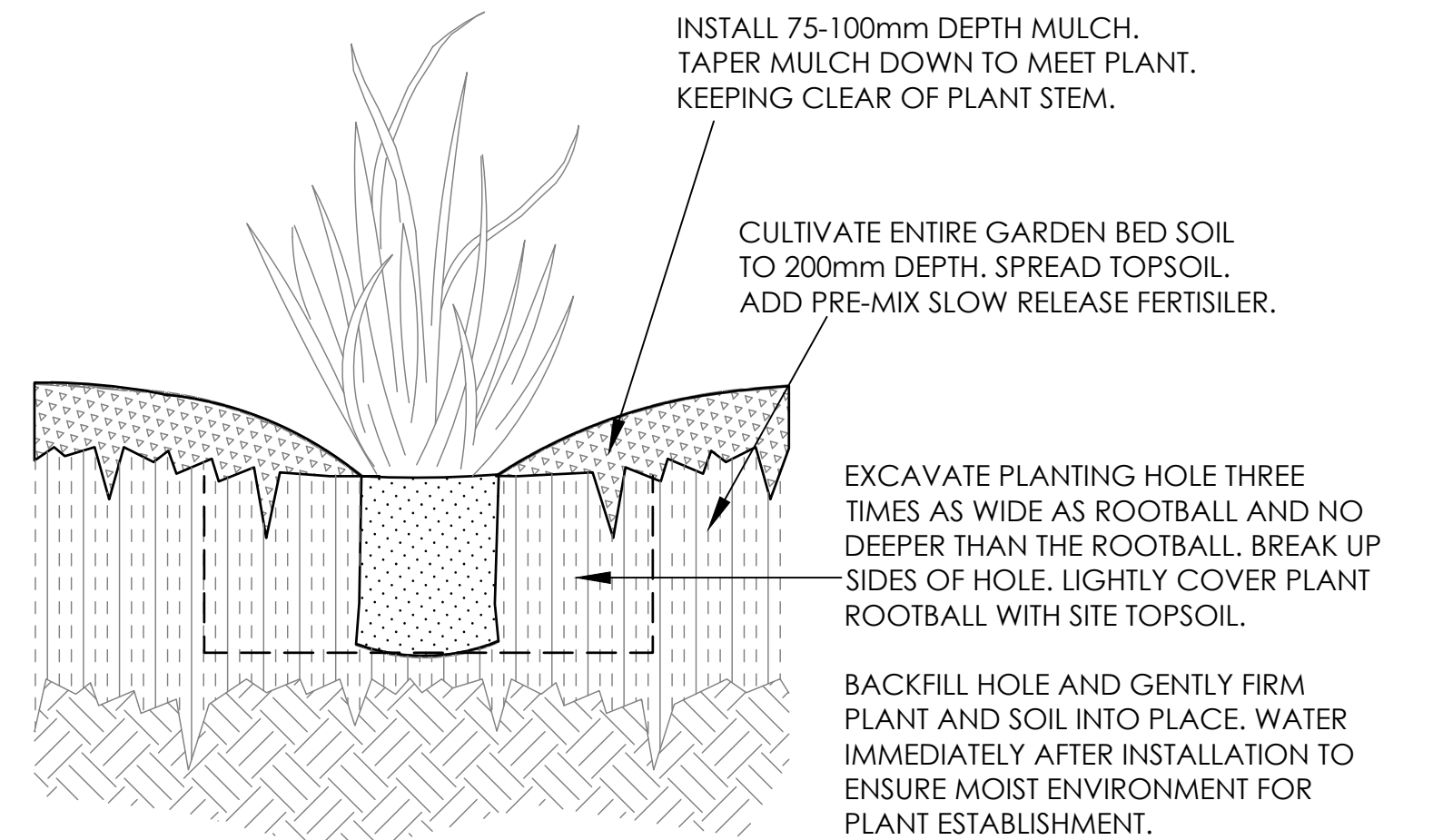
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Black Anther Flax-Lily



Poa labillardieri (Poa lab)
Tussock Grass

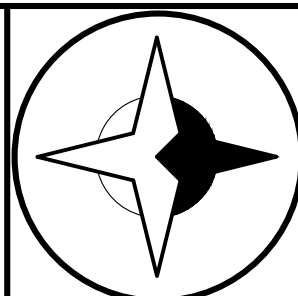


Themeda triandra (The tri)
Kangaroo Grass



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No. 117 SEPARATION STREET, BELL PARK for
VDC GROUP P/L



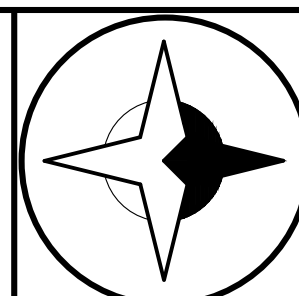
PO Box 938 | Bacchus Marsh | VIC 3340
m: 0403 196 133 | e: justin@briclok.com.au
VIC Registered Building Practitioner: DP-AD 25793
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LANDSCAPING PLAN

revision		drawing number	
		TP9	
designed/drawn	date	scale	job number
J.W.H.	18/08/2026	1:50 @ A1	J26008

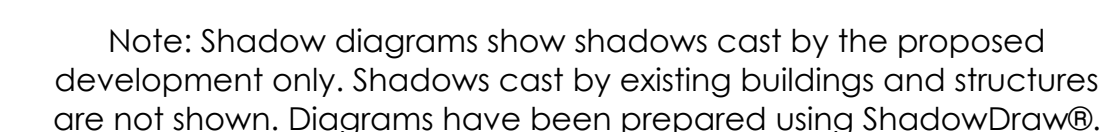


PROPOSED MIXED USE DEVELOPMENT at
No. 117 SEPARATION STREET, BELL PARK for
VDC GROUP P/L

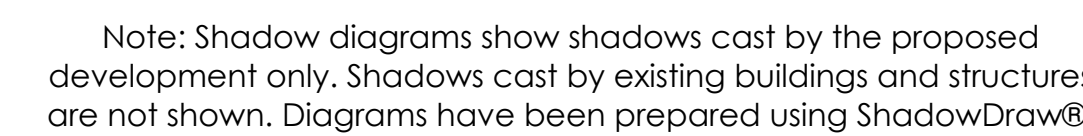


OVERLOOKING PLAN

<u>revision</u> 1		<u>drawing number</u> TP10	
<u>designed/drawn</u> J.W.H.	<u>date</u> 18/08/2026	<u>scale</u> 1:50 @ A1	<u>job number</u> J26008



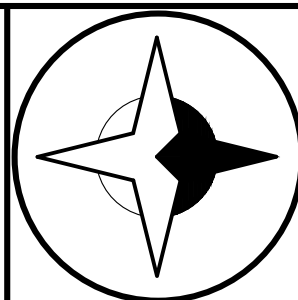
revision 0		drawing number SD1	
designed/drawn J.W.H.	date 18/08/2026	scale 1:100 @ A1	job number J26008



<u>revision</u> -		<u>drawing number</u> SD2	
<u>designed/drawn</u> J.W.H.	<u>date</u> 18/08/2026	<u>scale</u> 1:100 @ A1	<u>job number</u> J26008



PROPOSED MIXED USE DEVELOPMENT at
No. 117 SEPARATION STREET, BELL PARK for
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SHADOW DIAGRAM
3PM SEPT. 22 (EQUINOX)

revision			drawing number	
			SD3	
designed/drawn	date	scale	job number	
J.W.H.	18/08/2026	1:100 @ A1	J26008	

Note: Shadow diagrams show shadows cast by the proposed development only. Shadows cast by existing buildings and structures are not shown. Diagrams have been prepared using ShadowDraw®.