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_ARCHITECTURAL DRAWING LIST			
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TP.00	COVER PAGE	A	Town Planning Set
TP.01	EXISTING LOCALITY PLAN	A	Town Planning Set
TP.02	EXISTING SITE PLAN	A	Town Planning Set
TP.03	EXISTING FLOOR PLANS	A	Town Planning Set
TP.04	DEMOLITION FLOOR PLANS	A	Town Planning Set
TP.05	DEMOLITION ELEVATIONS	A	Town Planning Set
TP.06	DEMOLITION ELEVATIONS	A	Town Planning Set
TP.07	PROPOSED SITE PLAN	A	Town Planning Set
TP.08	PROPOSED FLOOR PLANS	A	Town Planning Set
TP.09	PROPOSED ROOF PLAN	A	Town Planning Set
TP.10	PROPOSED ELEVATIONS	A	Town Planning Set
TP.11	PROPOSED ELEVATIONS	A	Town Planning Set
TP.12	3D VIEWS	A	Town Planning Set

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Project Name: Barwon Road Residence

Address: 1280 Barwon Heads Rd

Client Name:

TOWN PLANNING

Drawn by: KR Scale @ A2: 1 : 1
Checked by: JD Date: AUG 26

COVER PAGE

Project Number:

Sheet Number:

26.011 TP.00

Revision no. A

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No.	Description	Date
A	Town Planning Set	11/08/26
<i>NOT FOR CONSTRUCTION</i>		

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EXISTING LOCALITY PLAN

Project Number: Sheet Number:

26.011 TP.01

Revision no. A

1/08/2026 2:21:39 PM

1 LOCALITY PLAN

1 : 1500

DRAWING LEGEND

W00

A

WINDOW NO.

WINDOW TYPE

DOOR

T1

800

DOOR NO.

DOOR TYPE

DOOR WIDTH

DOOR & WINDOW NUMBERING - REFER TO DOOR & WINDOW SCHEDULE

PP

2

MATERIAL TAG

FFL

FINISHED FLOOR LEVEL

SFL

STRUCTURAL FLOOR LEVEL

FLOOR, WALL AND CEILING FINISHES - REFER TO FINISHES SCHEDULE

FALLS IN WET AREA SCREEDS ARE TO ACHIEVE:

- 1:100 IN GENERAL AREAS

- 1:80 IN ACCESSIBLE WCS

- 1:80 IN SHOWERS

DASHED PINK LINE DENOTES ITEM SUPPLIED BY OWNER / CLIENT. STRUCTURAL AND SERVICE PROVISIONS TO BE MADE BY CONTRACTOR WHERE REQUIRED.

RED HATCH / LINES DENOTE EXISTING WALLS, FITTINGS, DOORS, WINDOWS AND TREES TO BE DEMOLISHED / REMOVED.

DENOTES EXISTING TO REMAIN.

DENOTES NEW WALLS.

EXISTING AREAS

Site Area (incl. Land Aquisition Zone) 5058 m²

Class 1a Residence area 125 m²
Class 9b Hall Area 191 m²
Class 10a non-habitable building 126 m²

Building Site Coverage 8.7%
Impervious Coverage 8.7%

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EXISTING SITE PLAN

Project Number: Sheet Number:

26.011 TP.02

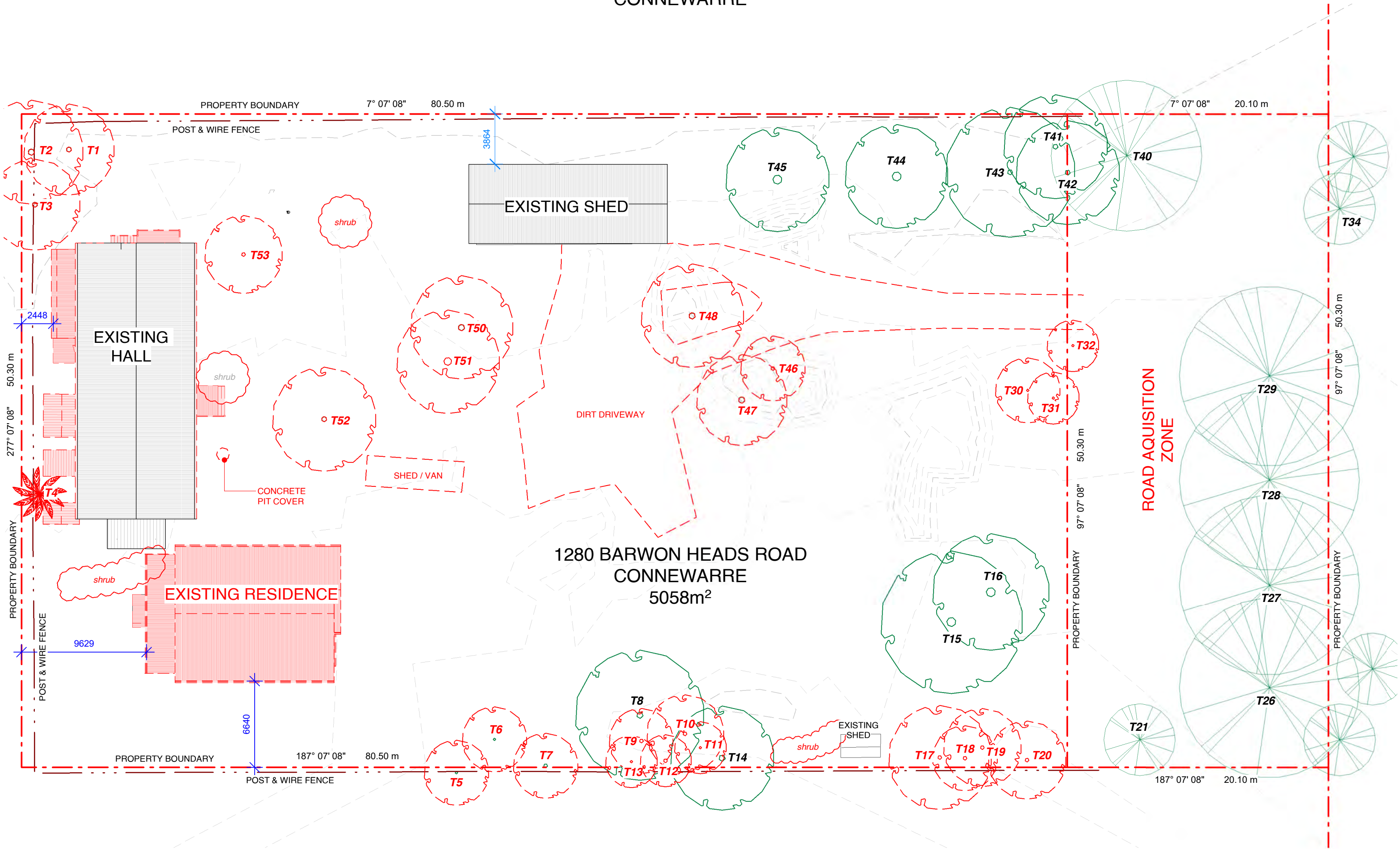
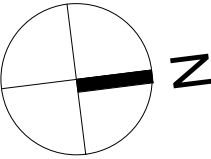
Revision no. A

1272 BARWON HEADS ROAD
CONNEWARRE

1280 BARWON HEADS ROAD
CONNEWARRE
5058m²

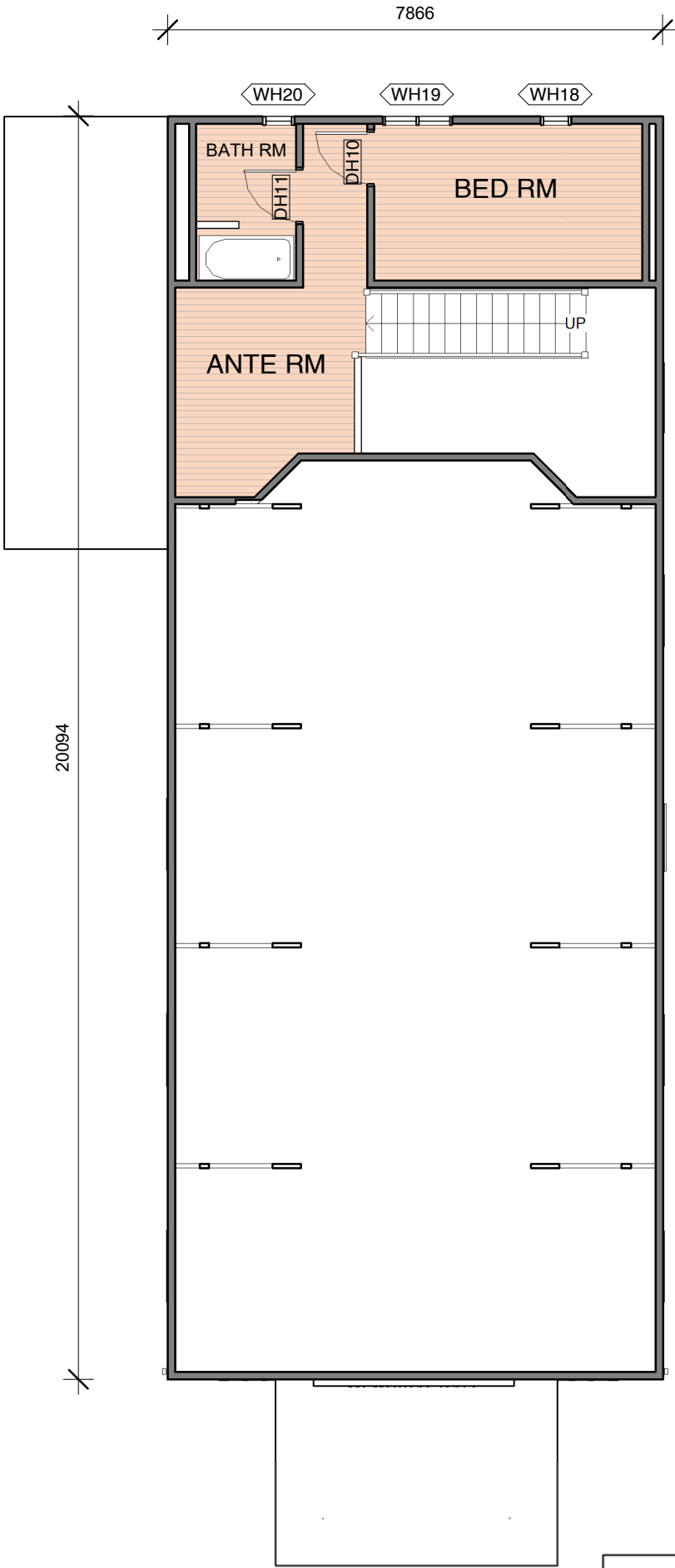
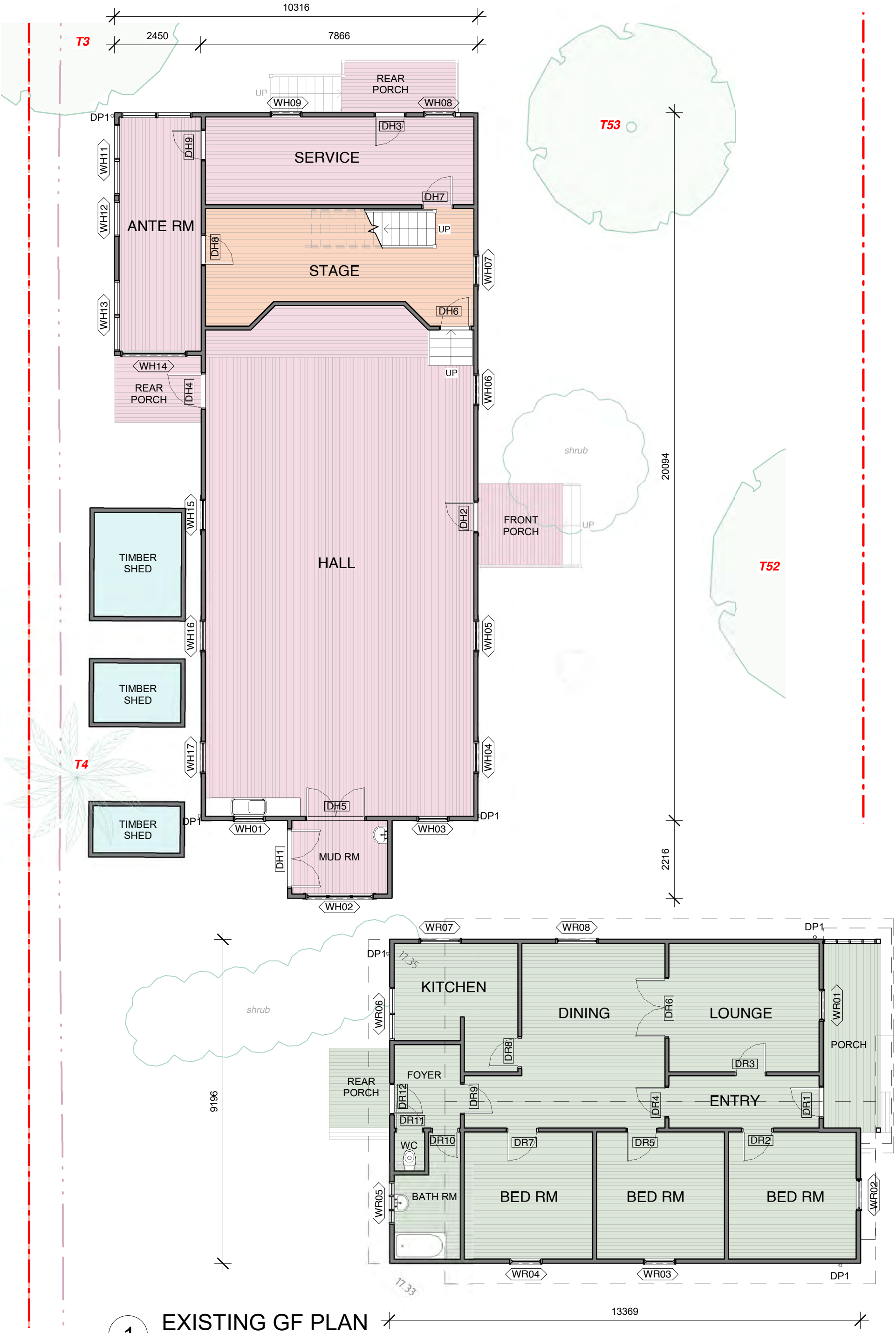
1272 BARWON HEADS ROAD
CONNEWARRE

BARWON HEADS ROAD



1 EXISTING SITE PLAN
1 : 250

NOTE
Site is generally in poor conditon and over grown and needs to be cleaned up and made good for new works and landscaping.
Site is to generally to be removed of all noxious weeds, random grasses, small shrubs, and any non indigenous plants. And nominated trees ready for new works.



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EXISTING AREAS	
Name	Area
Class 1a Porch	13 m²
Class 1a Residence	112 m²
Class 4 Residence	52 m²
Class 9b Hall	151 m²
Class 9b Porch	16 m²
Class 10a Shed	126 m²
TOTAL AREA	471 m²

NOTE: Class 10a Shed area includes a total of 6 sheds across the site.

BUILDING CLASS

- Class 1a
- Class 9b
- Class 4
- Class 10a

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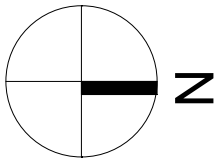
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EXISTING FLOOR PLANS

Project Number: Sheet Number:

26.011 TP.03

Revision no. A



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DOOR NO.
DOOR TYPE
DOOR WIDTH

DOOR & WINDOW NUMBERING - REFER TO DOOR & WINDOW SCHEDULE

MATERIAL TAG

FINISHED FLOOR LEVEL

STRUCTURAL FLOOR LEVEL

FLOOR, WALL AND CEILING FINISHES - REFER TO FINISHES SCHEDULE

FALLS IN WET AREA SCREEDS ARE TO ACHIEVE:
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DENOTES EXISTING TO REMAIN.

DENOTES NEW WALLS.

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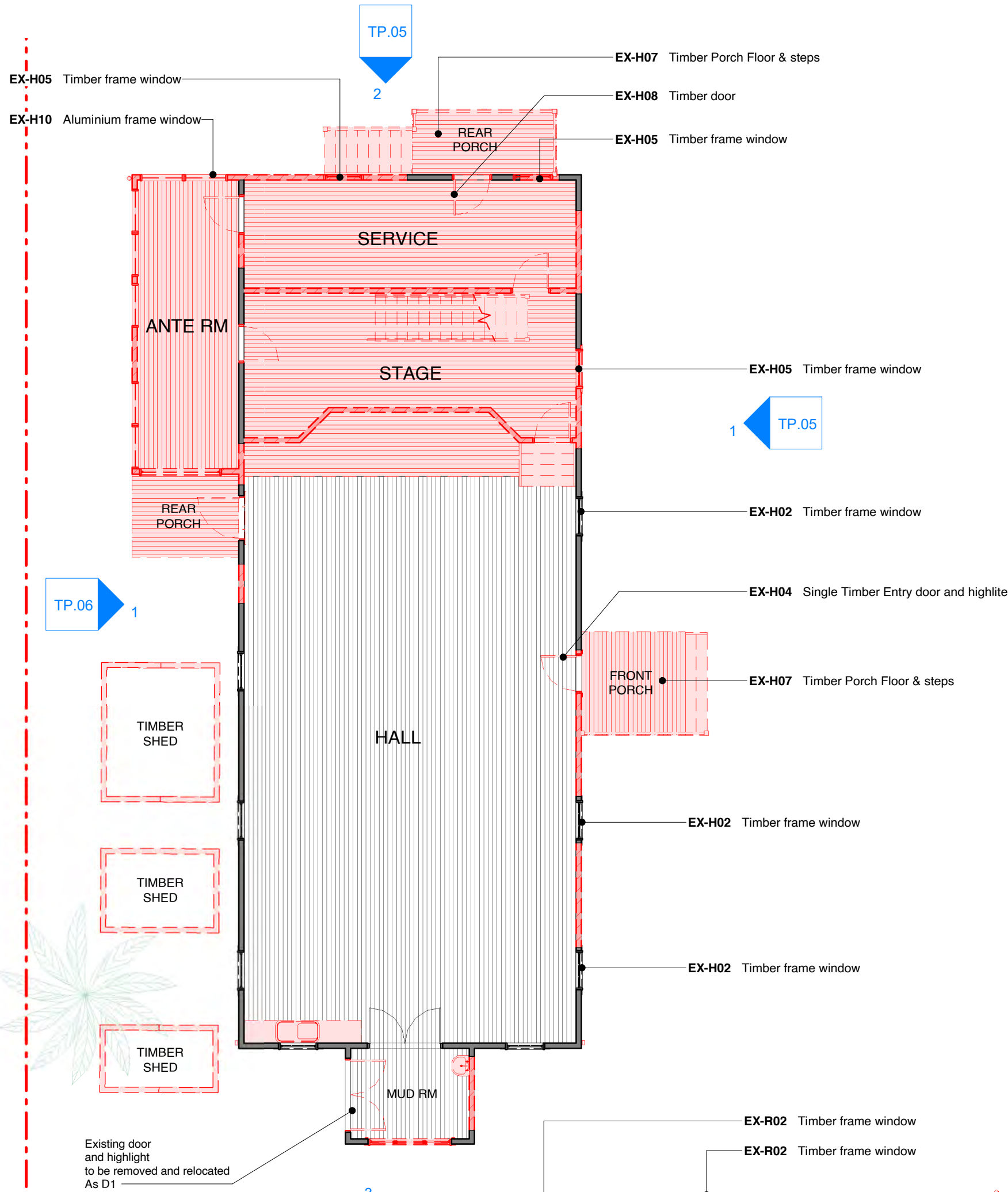
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DEMOLITION FLOOR PLANS

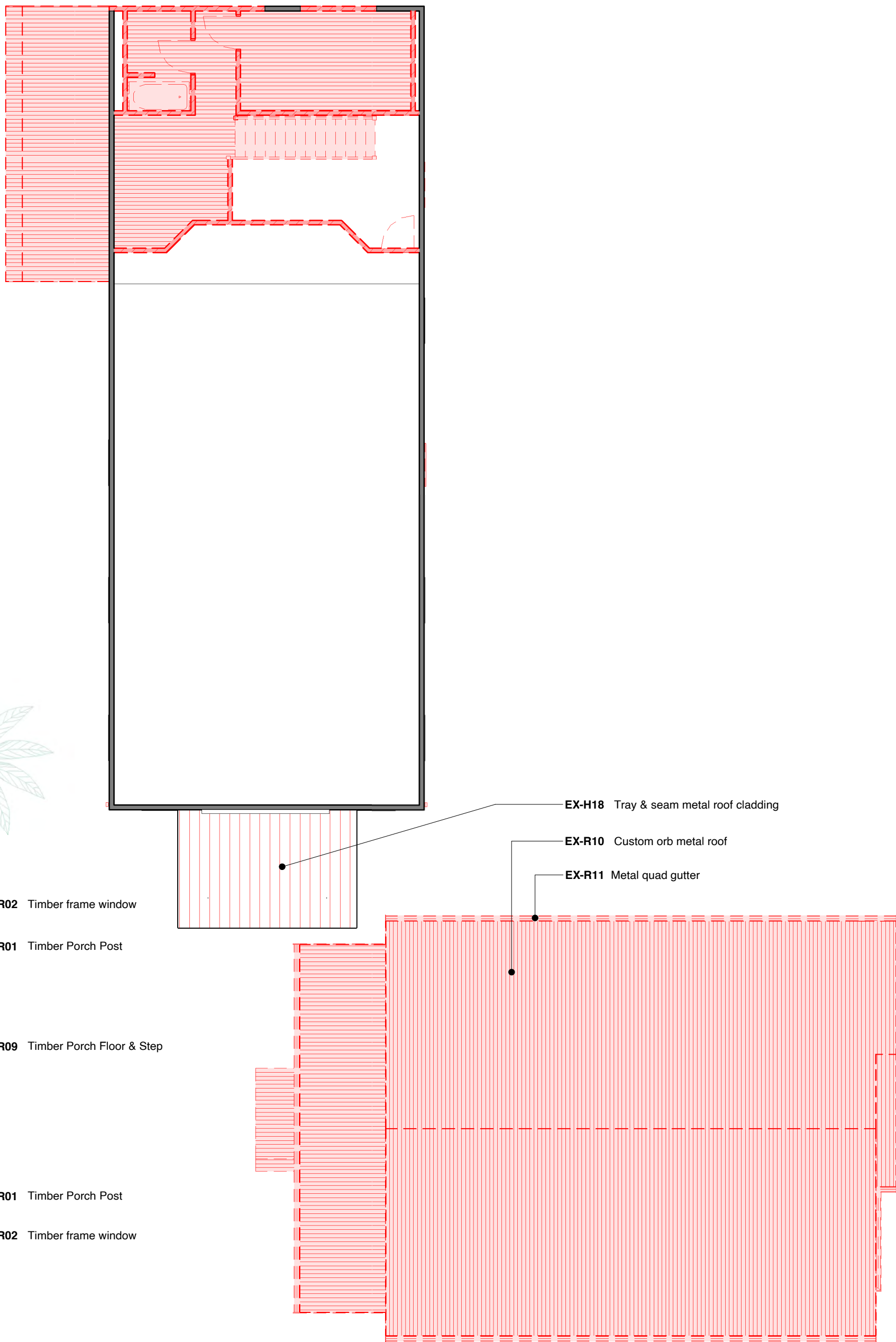
Project Number: Sheet Number:

26.011 TP.04

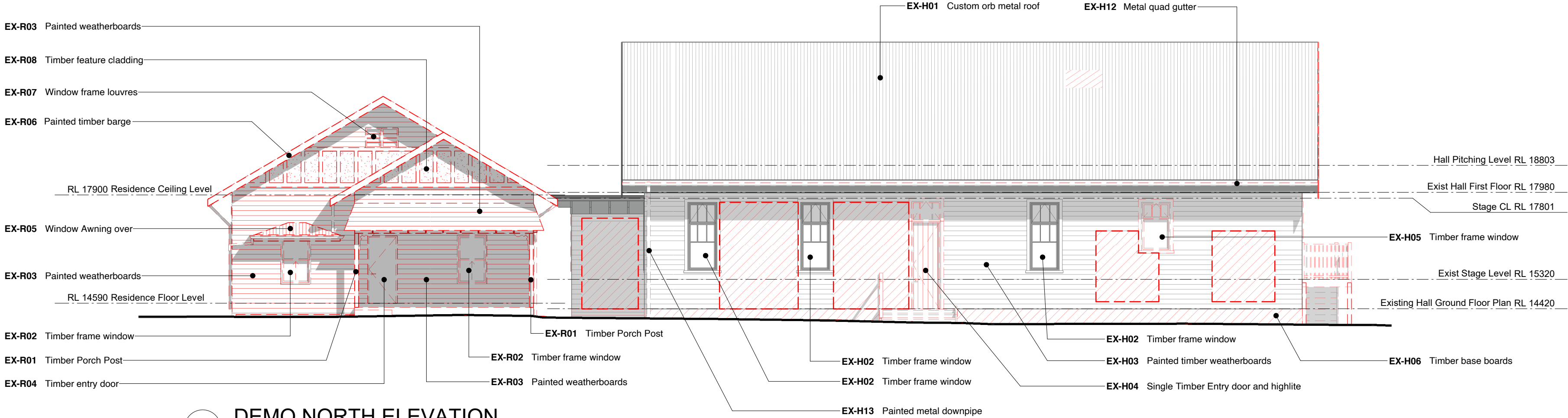
Revision no. A



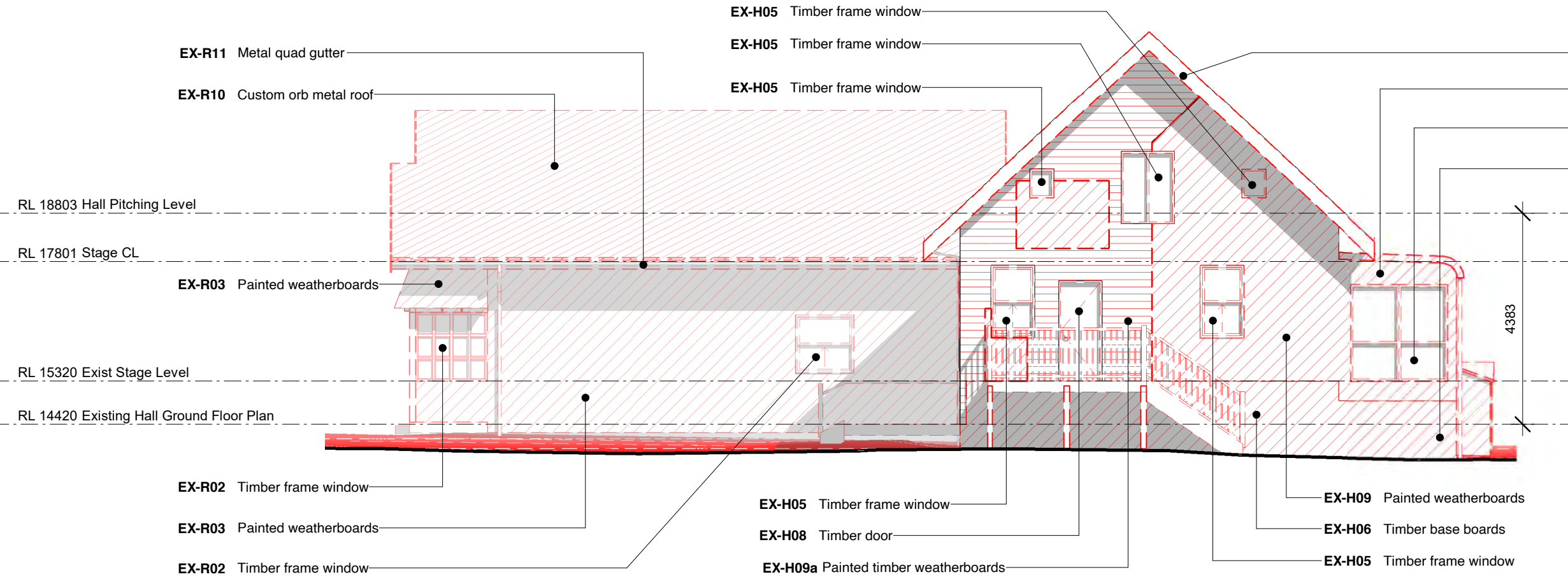
1 DEMO GF PLAN
1 : 100



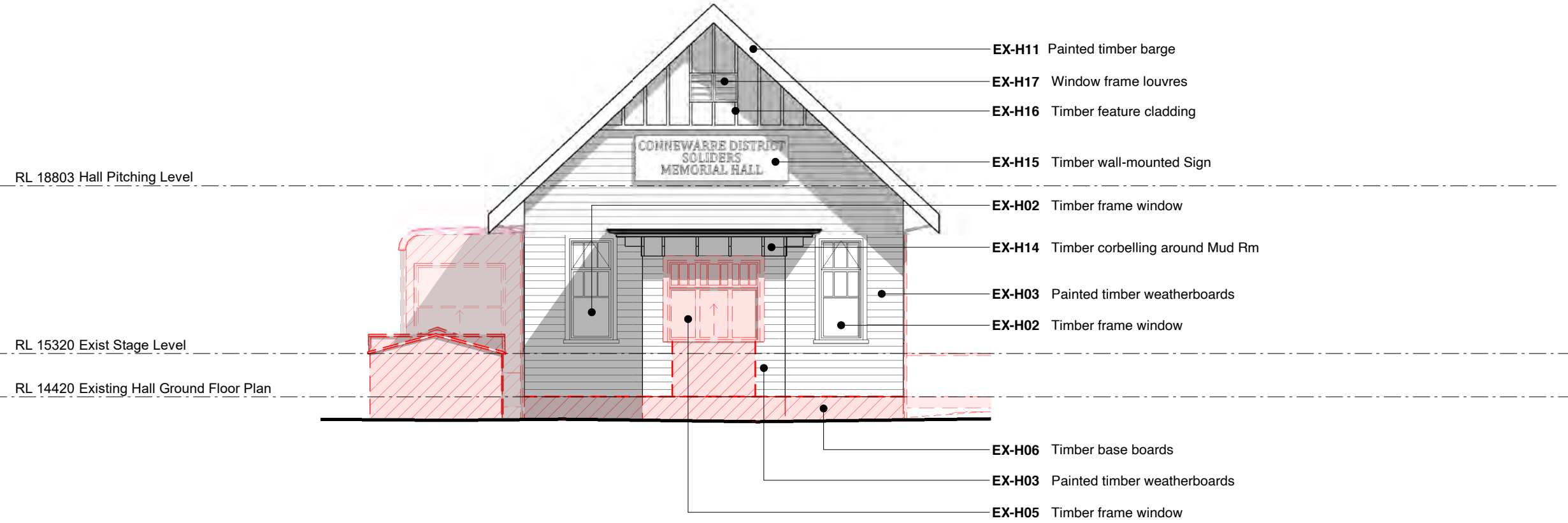
2 DEMO 1F PLAN
1 : 100



1 DEMO NORTH ELEVATION
1 : 100



2 DEMO WEST ELEVATION
1 : 100



3 DEMO HALL EAST ELEVATION
1 : 100

DRAWING LEGEND

WINDOW NO. WINDOW TYPE
DOOR NO. DOOR TYPE
DOOR WIDTH
DOOR & WINDOW NUMBERING - REFER TO DOOR & WINDOW SCHEDULE

PP 2 MATERIAL TAG

FFL FINISHED FLOOR LEVEL
SFL STRUCTURAL FLOOR LEVEL

FLOOR, WALL AND CEILING FINISHES - REFER TO FINISHES SCHEDULE

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- 1:100 IN GENERAL AREAS
- 1:80 IN ACCESSIBLE WCS
- 1:80 IN SHOWERS

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DENOTES NEW WALLS.

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Mark	Description	Itention	Comments
RESIDENCE			
EX-R01	Timber Porch Post	Removed	Building is to be removed
EX-R02	Timber frame window	Removed	Building is to be removed
EX-R03	Painted Weatherboard	Removed	Building is to be removed
EX-R04	Timber entry door	Removed	Building is to be removed
EX-R05	Window Awning over	Removed	Building is to be removed
EX-R06	Painted timber barge	Removed	Building is to be removed
EX-R07	Window frame louvres	Removed	Building is to be removed
EX-R08	Timber feature cladding	Removed	Building is to be removed
EX-R09	Timber Porch Floor & Step	Removed	Building is to be removed
EX-R10	Custom orb metal roof	Removed	Building is to be removed
EX-R11	Metal quad gutter	Removed	Building is to be removed
HALL			
EX-H01	Custom orb metal roof	Restored	Clean existing roof sheeting. Carefully inspect and allow to replace sheets where required.
EX-H02	Timber frame window	Restored	Condition of windows unknown. Restore windows where possible, replace like for like where required. Paint finish. Refer to Proposed Elevations for colour selection.
EX-H03	Painted timber weatherboards	Restored	Replace damaged timber weatherboards with like for like. New paint finish. Refer to Proposed Elevations for colour selection.
EX-H04	Single Timber Entry door and highlite	Removed	Infil opening. New timber weatherboard cladding to match existing weatherboards. Paint finish. Refer to Proposed Elevations for colour selection.
EX-H05	Timber frame window	Removed	Infil opening. New timber weatherboard cladding to match existing weatherboards. Paint finish. Refer to Proposed Elevations for colour selection.
EX-H06	Timber base boards	Removed	Removed to make way for new verandah
EX-H07	Timber Porch Floor & steps	Removed	Removed to make way for new verandah
EX-H08	Timber door	Removed	Infil opening. New timber weatherboard cladding to match existing weatherboards. Paint finish. Refer to Proposed Elevations for colour selection.
EX-H09	Painted weatherboards	Removed	Removed to make way for new extension
EX-H09a	Painted weatherboards	Replaced	Remove existing weatherboards. Infil opening. New timber weatherboard cladding to match existing weatherboards. Paint finish. Refer to Proposed Elevations for colour selection.
EX-H10	Aluminium frame window	Removed	Extension to be removed.
EX-H11	Painted timber barge	Replaced	Condition is poor. Replaced with like for like. Refer to Proposed Elevations for colour selection.
EX-H12	Metal quad gutter	Replaced	Condition is poor. Replaced with like for like. Zincalue finish
EX-H13	Painted metal downpipe	Replaced	Condition is poor. Replaced with like for like. Paint finish to match wall colour.
EX-H14	Timber corbelling around Mud Rm	Restored	New paint finish. Refer to Proposed Elevations for colour selection.
EX-H15	Timber wall-mounted Sign	Restored	New paint finish. Refer to Proposed Elevations for colour selection.
EX-H16	Timber feature cladding	Restored	New paint finish to match existing
EX-H17	Window frame louvres	Restored	New paint finish to match existing
EX-H18	Tray & standing seam metal roof cladding	Replaced	Condition is poor, and covered in rust. Replace with Lysaght Snapseam 265 in Colorbond Zincalume finish

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Client Name:

TOWN PLANNING

No.	Description	Date
A	Town Planning Set	11/08/26
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DEMOLITION ELEVATIONS

Project Number: Sheet Number:

26.011 TP.05
Revision no. A

DRAWING LEGEND

W007 WINDOW NO.
A WINDOW TYPE

D001 DOOR NO.
T1 A1 DOOR TYPE
820 DOOR WIDTH

DOOR & WINDOW NUMBERING - REFER TO DOOR & WINDOW SCHEDULE

PP 2 MATERIAL TAG

FFL FINISHED FLOOR LEVEL

SFL STRUCTURAL FLOOR LEVEL

FLOOR, WALL AND CEILING FINISHES - REFER TO FINISHES SCHEDULE

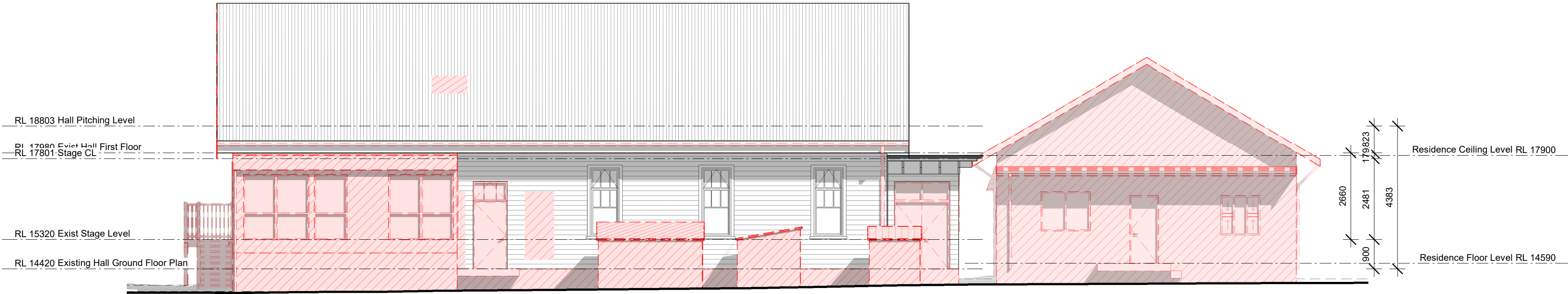
FALLS IN WET AREA SCREEDS ARE TO ACHIEVE:
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- 1:80 IN SHOWERS

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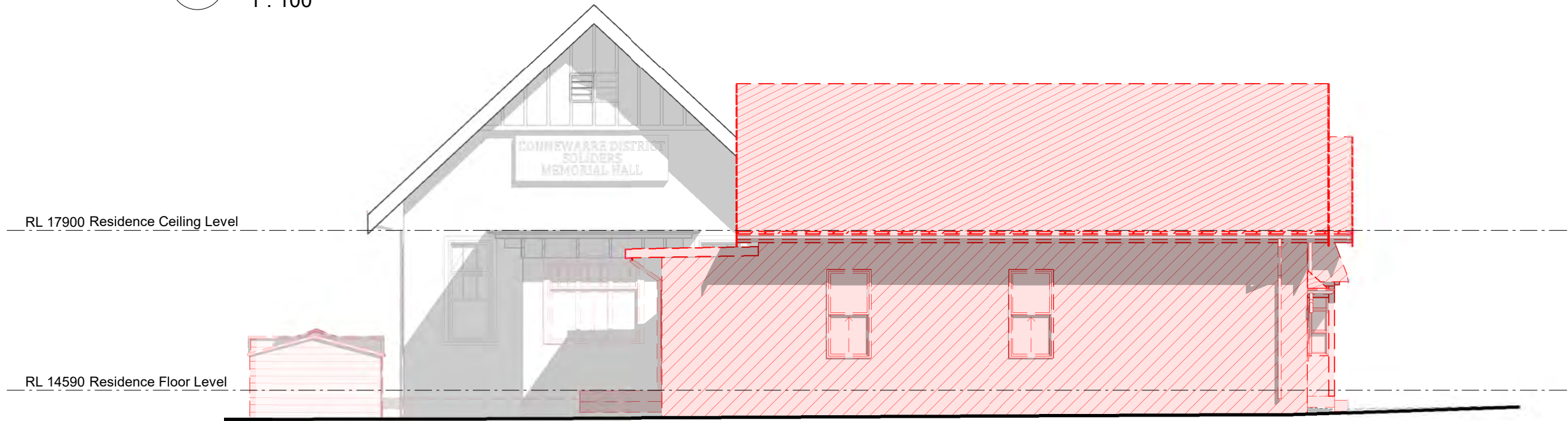
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DENOTES EXISTING TO REMAIN.

DENOTES NEW WALLS.



1 DEMO SOUTH ELEVATION
1 : 100



2 DEMO EAST ELEVATION
1 : 100

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DEMOLITION ELEVATIONS

Project Number: Sheet Number:

26.011 TP.06

Revision no. A

DRAWING LEGEND

W007

WINDOW NO.

W007

WINDOW TYPE

D001

DOOR NO.

D001

DOOR TYPE

D001

DOOR WIDTH

DOOR & WINDOW NUMBERING - REFER TO DOOR & WINDOW SCHEDULE

PP2

MATERIAL TAG

FFL

FINISHED FLOOR LEVEL

SFL

STRUCTURAL FLOOR LEVEL

FLOOR, WALL AND CEILING FINISHES - REFER TO FINISHES SCHEDULE

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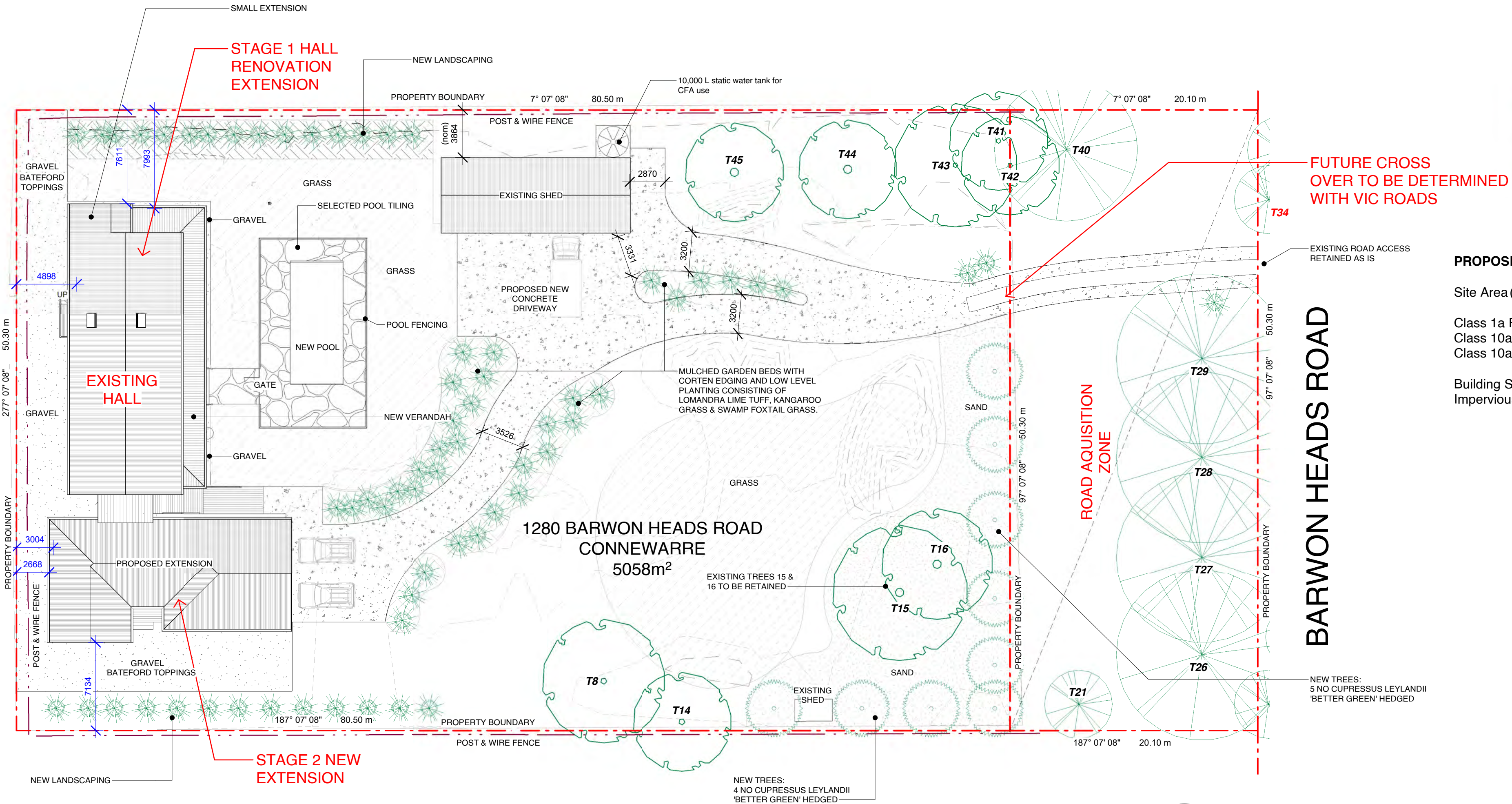
- 1:80 IN SHOWERS

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DENOTES NEW WALLS.



1 PROPOSED SITE PLAN
1 : 250

PROPOSED AREAS

Site Area (incl. Land Aquisition Zone) 5058 m²

Class 1a Residence area 323 m²
Class 10a Private Garage 74 m²
Class 10a non-habitable building 93 m²

Building Site Coverage 9.7%
Impervious Coverage 22.7%

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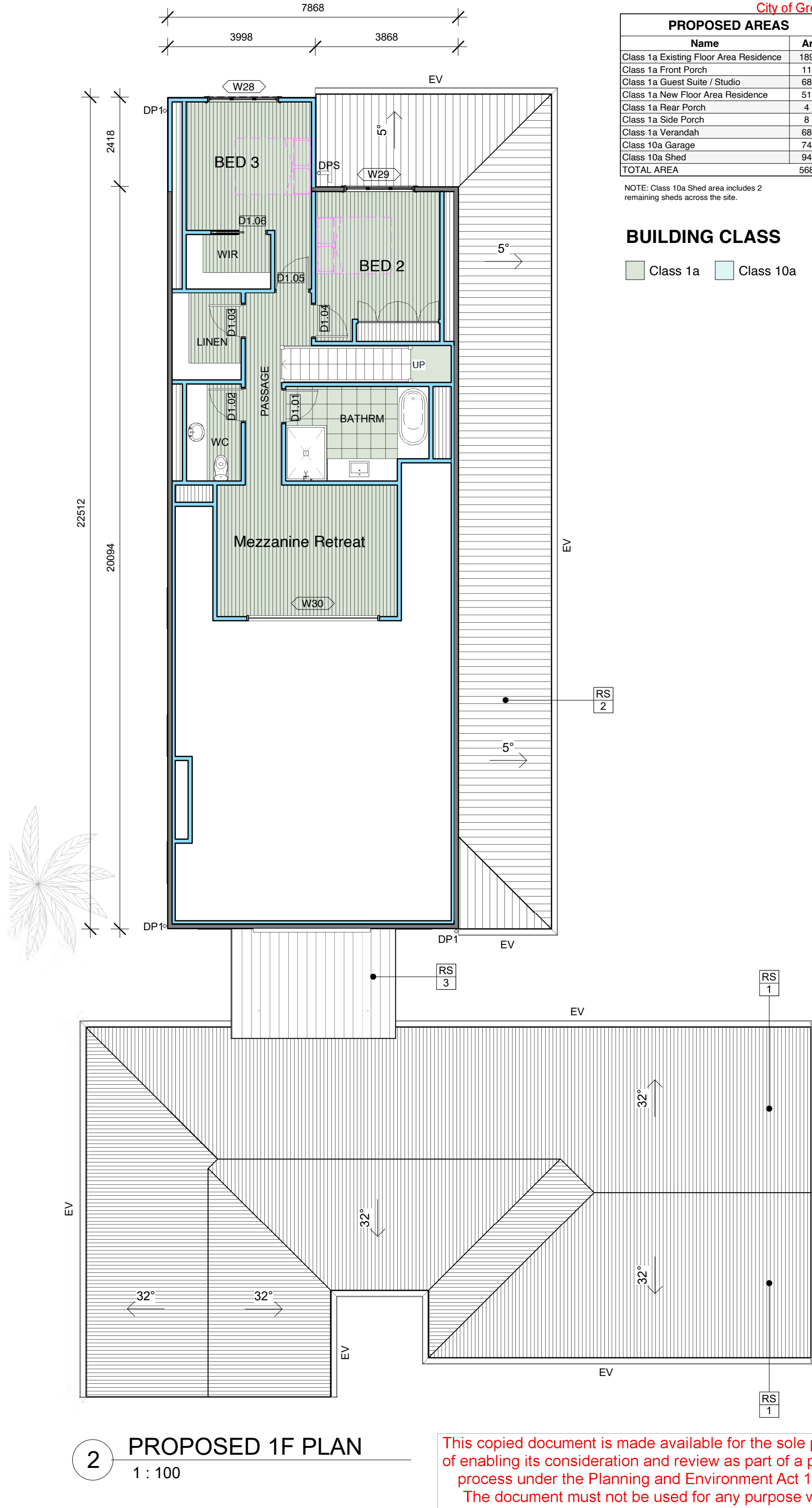
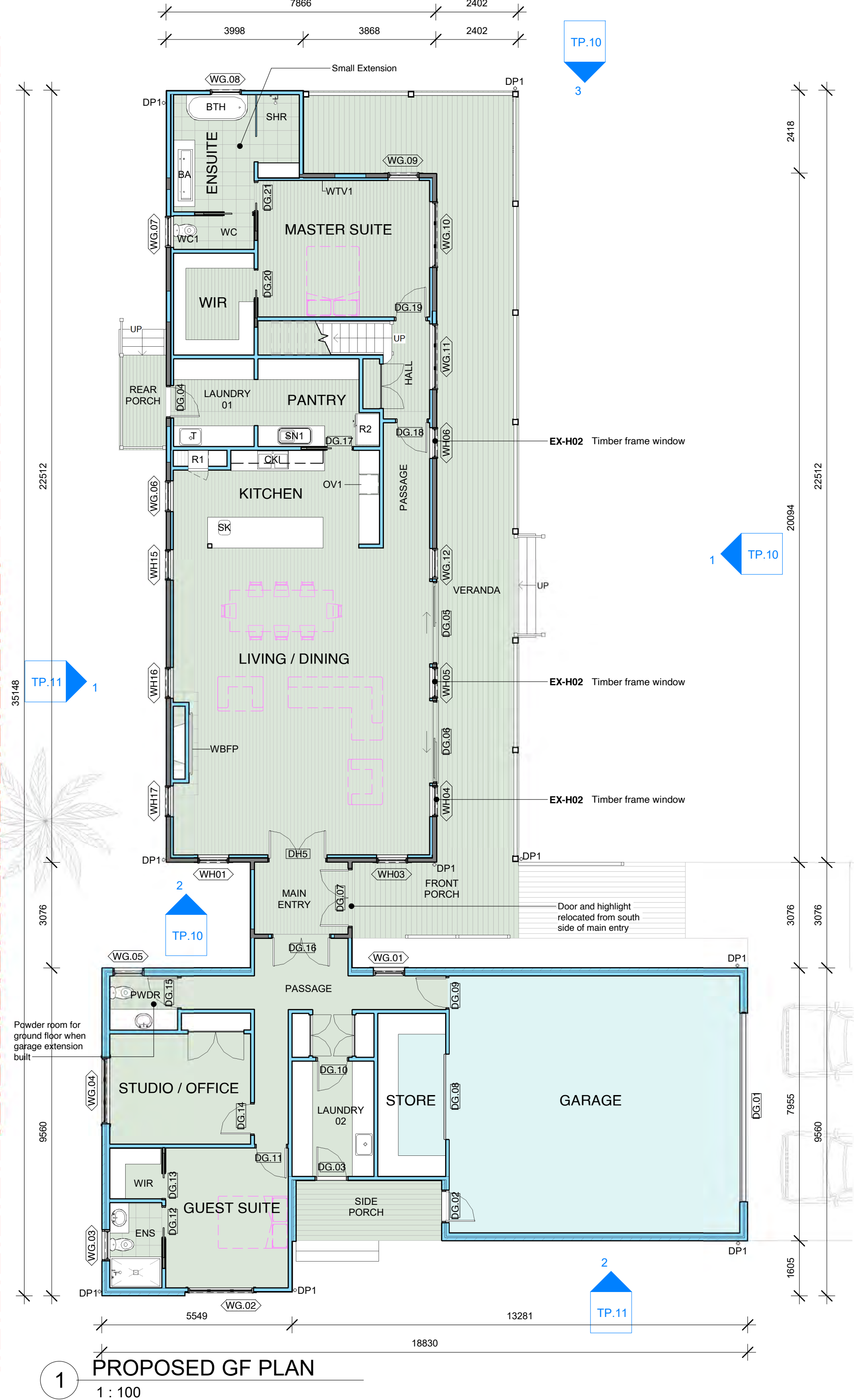
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PROPOSED SITE PLAN

Project Number: Sheet Number:

26.011 TP.07

Revision no. A



PROPOSED AREAS	
Name	Area
Class 1a Existing Floor Area Residence	189 m ²
Class 1a Front Porch	11 m ²
Class 1a Guest Suite / Studio	68 m ²
Class 1a New Floor Area Residence	51 m ²
Class 1a Rear Porch	4 m ²
Class 1a Side Porch	8 m ²
Class 1a Verandah	68 m ²
Class 10a Garage	74 m ²
Class 10a Shed	94 m ²
TOTAL AREA	568 m ²

NOTE: Class 10a Shed area includes 2 remaining sheds across the site.

BUILDING CLASS

Class 1a Class 10a

DRAWING LEGEND

W00 WINDOW NO.
A WINDOW TYPE

D00 DOOR NO.
A DOOR TYPE
600 DOOR WIDTH

DOOR & WINDOW NUMBERING - REFER TO DOOR & WINDOW SCHEDULE

PP MATERIAL TAG
2

FFL FINISHED FLOOR LEVEL

SFL STRUCTURAL FLOOR LEVEL

FLOOR, WALL AND CEILING FINISHES - REFER TO FINISHES SCHEDULE

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DENOTES EXISTING TO REMAIN.

DENOTES NEW WALLS.

KEYNOTE LEGEND

BA	Basin
BTH	Bath
CKI	Cook Top Induction
DP1	Downpipe - Type 1
DPS	Downpipe & Spreader
EV	Eaves gutter
OV1	Oven- Type 1
R1	Refrigerator - Type 1
R2	Refrigerator - Type 2
RS 1	Roofing - profiled sheet metal - Type 1
RS 2	Roofing - profiled sheet metal - Type 2
RS 3	Roofing - profiled sheet metal - Type 3
SK	Sarking
SN1	Sink Type 1
T	Trough
WBFP	Wood Burning Fire Place
WC1	Toilet Type 1
WTV1	Wall Mounted Television-Type 1

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PROPOSED FLOOR PLANS

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26.011 TP.08

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DRAWING LEGEND



DOOR & WINDOW NUMBERING - REFER TO DOOR & WINDOW SCHEDULE



MATERIAL TAG

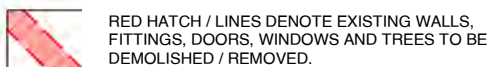
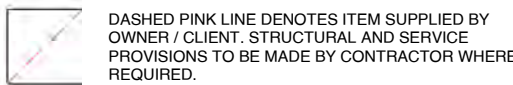
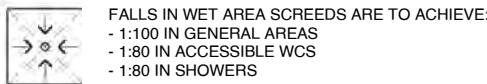


FINISHED FLOOR LEVEL



STRUCTURAL FLOOR LEVEL

FLOOR, WALL AND CEILING FINISHES - REFER TO FINISHES SCHEDULE



DENOTES EXISTING TO REMAIN.



DENOTES NEW WALLS.

KEYNOTE LEGEND

EV Eaves gutter

RS 1 Roofing - profiled sheet metal -Type 1

RS 2 Roofing - profiled sheet metal -Type 2

SKL Sky Light

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Address: 1280 Barwon Heads Rd

Client Name:

TOWN PLANNING

No.	Description	Date
A	Town Planning Set	11/08/26
	NOT FOR CONSTRUCTION	

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Checked by: JD Date: AUG 26

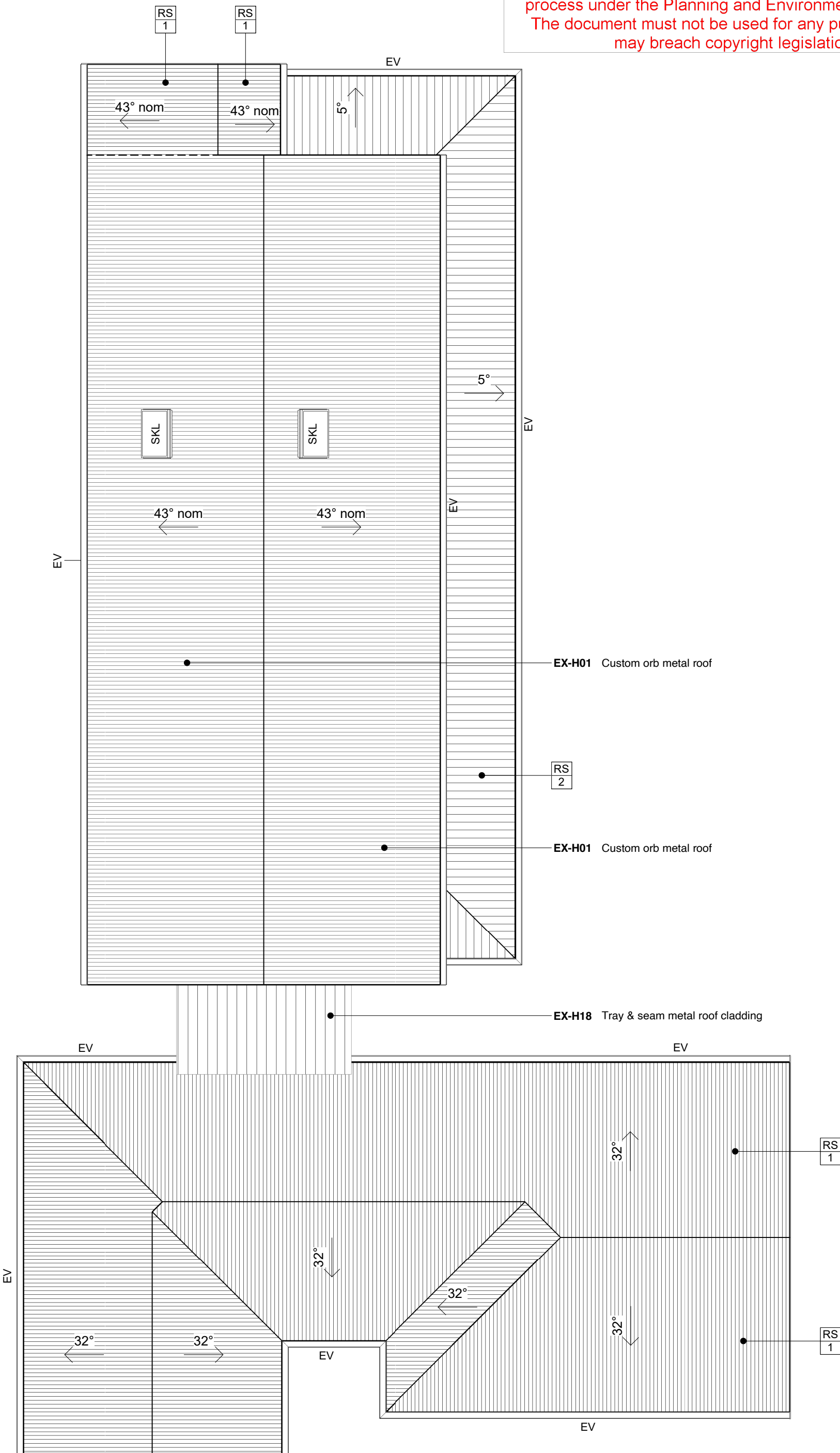
PROPOSED ROOF PLAN

Project Number: Sheet Number:

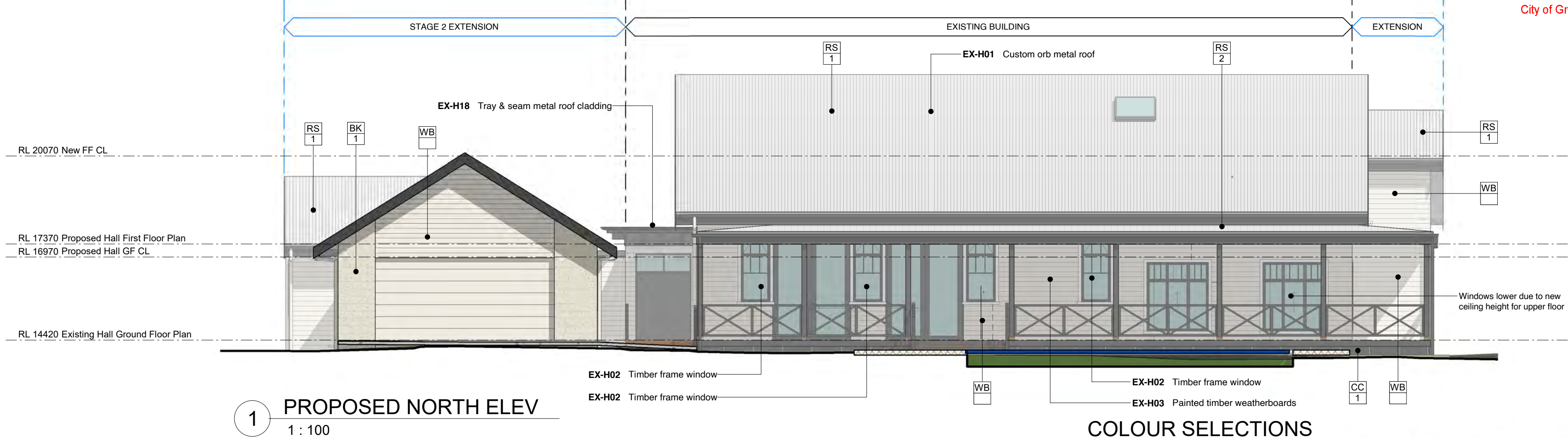
26.011 TP.09

Revision no. A

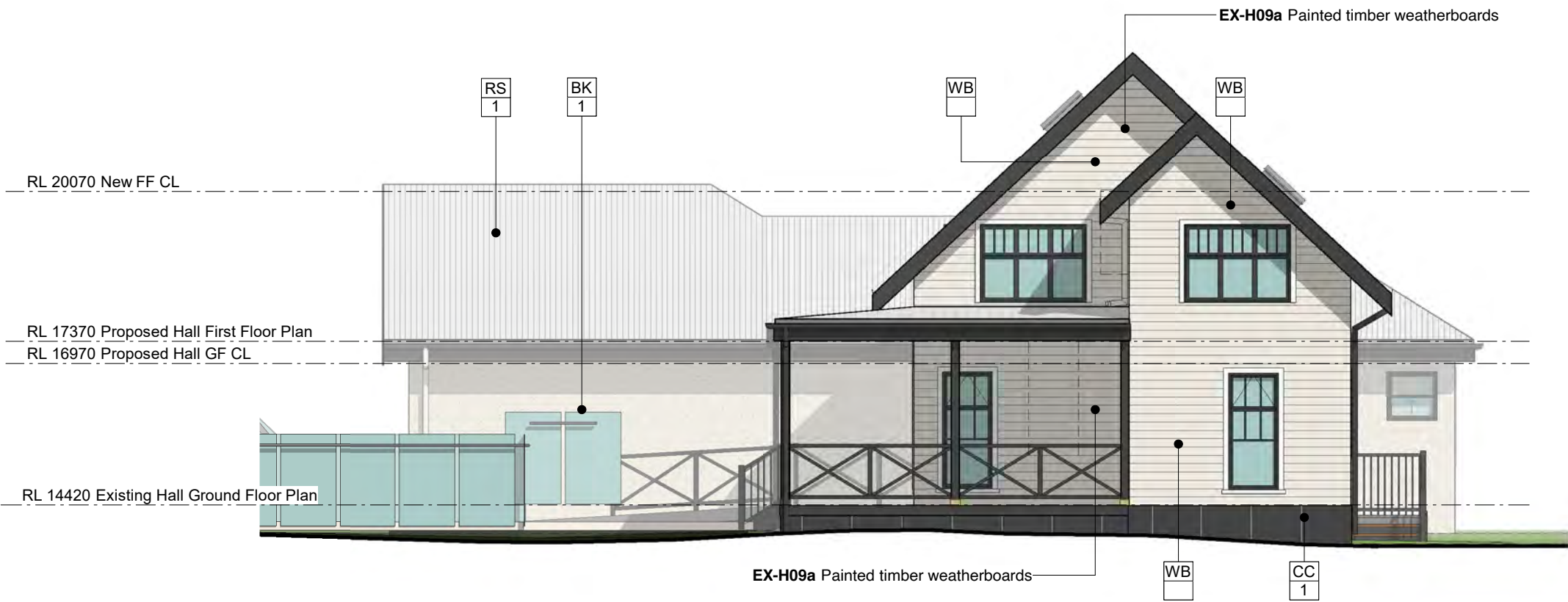
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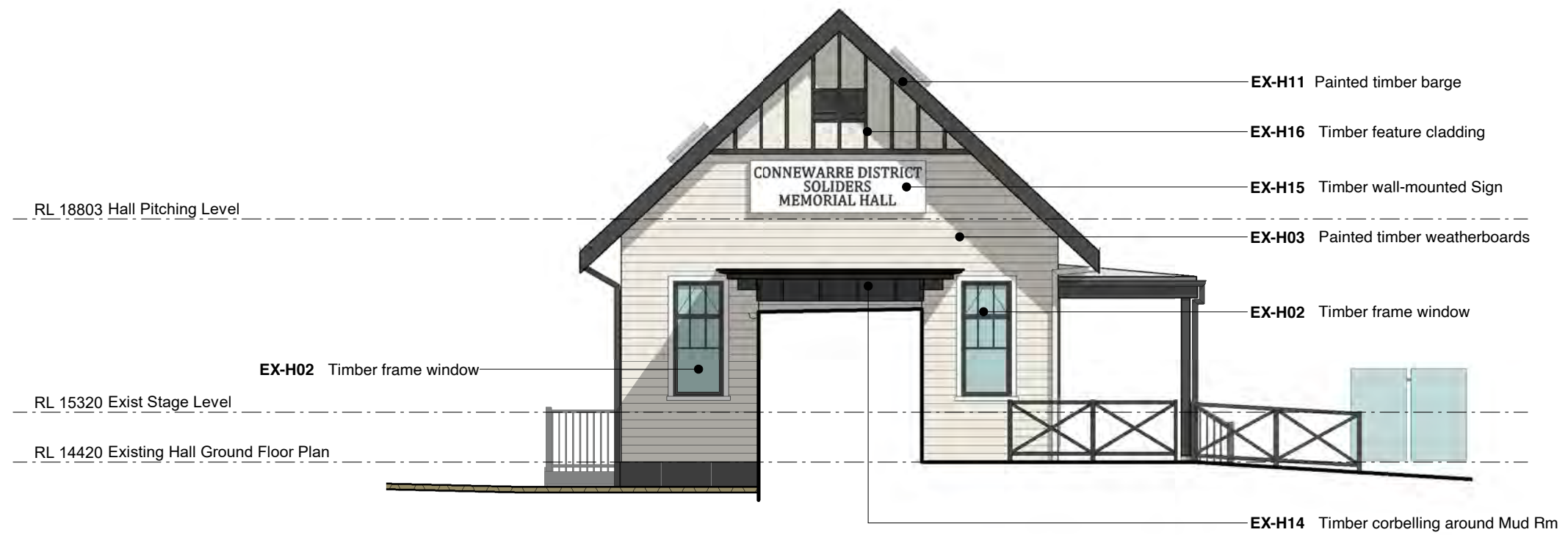
1 PROPOSED ROOF PLAN
1 : 100



1 PROPOSED NORTH ELEV
1 : 100



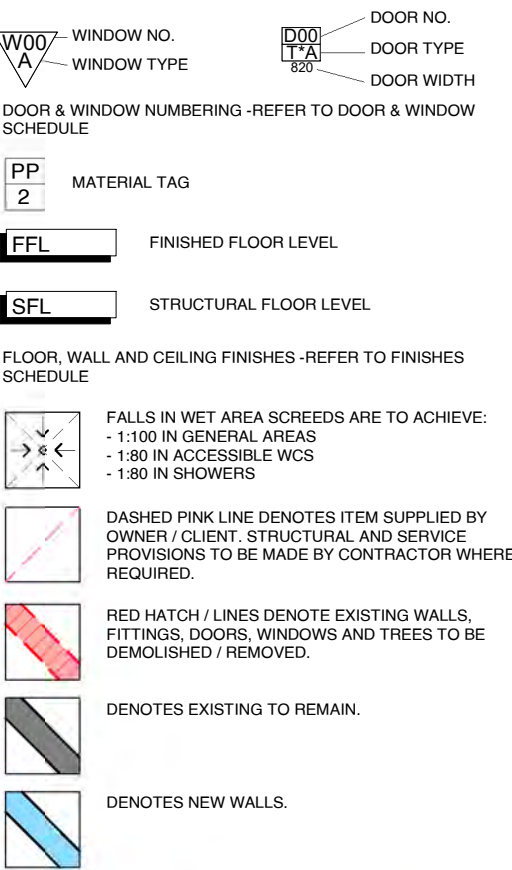
3 PROPOSED WEST ELEV
1 : 100



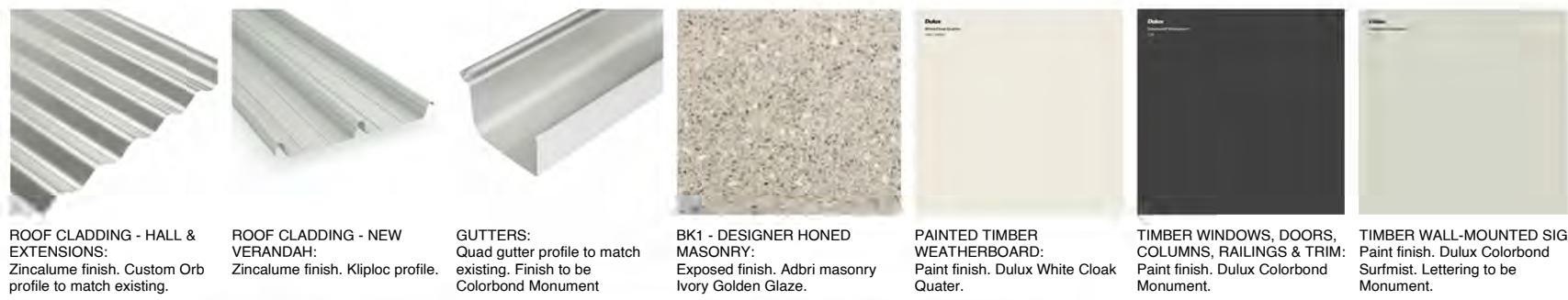
2 PROPOSED HALL EAST ELEV
1 : 100

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DRAWING LEGEND



COLOUR SELECTIONS



Mark	Description	Itention	Comments
RESIDENCE			
EX-R01	Timber Porch Post	Removed	Building is to be removed
EX-R02	Timber frame window	Removed	Building is to be removed
EX-R03	Painted Weatherboard	Removed	Building is to be removed
EX-R04	Timber entry door	Removed	Building is to be removed
EX-R05	Window Awning over	Removed	Building is to be removed
EX-R06	Painted timber barge	Removed	Building is to be removed
EX-R07	Window frame louvres	Removed	Building is to be removed
EX-R08	Timber feature cladding	Removed	Building is to be removed
EX-R09	Timber Porch Floor & Step	Removed	Building is to be removed
EX-R10	Custom orb metal roof	Removed	Building is to be removed
EX-R11	Metal quad gutter	Removed	Building is to be removed
HALL			
EX-H01	Custom orb metal roof	Restored	Clean existing roof sheeting. Carefully inspect and allow to replace sheets where required.
EX-H02	Timber frame window	Restored	Condition of windows unknown. Restore windows where possible, replace like for like where required. Paint finish. Refer to Proposed Elevations for colour selection.
EX-H03	Painted timber weatherboards	Restored	Replace damaged timber weatherboards with like for like. New paint finish. Refer to Proposed Elevations for colour selection.
EX-H04	Single Timber Entry door and highlite	Removed	Infil opening. New timber weatherboard cladding to match existing weatherboards. Paint finish. Refer to Proposed Elevations for colour selection.
EX-H05	Timber frame window	Removed	Infil opening. New timber weatherboard cladding to match existing weatherboards. Paint finish. Refer to Proposed Elevations for colour selection.
EX-H06	Timber base boards	Removed	Removed to make way for new verandah
EX-H07	Timber Porch Floor & steps	Removed	Removed to make way for new verandah
EX-H08	Timber door	Removed	Infil opening. New timber weatherboard cladding to match existing weatherboards. Paint finish. Refer to Proposed Elevations for colour selection.
EX-H09	Painted weatherboards	Removed	Removed to make way for new extension
EX-H09a	Painted weatherboards	Replaced	Remove existing weatherboards. Infil opening. New timber weatherboard cladding to match existing weatherboards. Paint finish. Refer to Proposed Elevations for colour selection.
EX-H10	Aluminium frame window	Removed	Extension to be removed.
EX-H11	Painted timber barge	Replaced	Condition is poor. Replaced with like for like. Refer to Proposed Elevations for colour selection.
EX-H12	Metal quad gutter	Replaced	Condition is poor. Replaced with like for like. Zincalue finish
EX-H13	Painted metal downpipe	Replaced	Condition is poor. Replaced with like for like. Paint finish to match wall colour.
EX-H14	Timber corbelling around Mud Rm	Restored	New paint fin sh. Refer to Proposed Elevations for colour selection.
EX-H15	Timber wall-mounted Sign	Restored	New paint fin sh. Refer to Proposed Elevations for colour selection.
EX-H16	Timber feature cladding	Restored	New paint fin sh to match existing
EX-H17	Window frame louvres	Restored	New paint fin sh to match existing
EX-H18	Tray & standing seam metal roof cladding	Replaced	Condition is poor, and covered in rust. Replace with Lysaght Snapseam 265 in Colorbond Zincalume finish

MATERIAL SCHEDULE

BK 1	Concrete blocks 90mm
CC 1	Compressed cement sheet lining -Type 1
RS 1	Roofing - profiled sheet metal -Type 1
RS 2	Roofing - profiled sheet metal -Type 2
WB	Weatherboard cladding

JDA Architects

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PROPOSED ELEVATIONS

Project Number: Sheet Number:

26.011 TP.10
Revision no. A

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DRAWING LEGEND

W00

A

WINDOW NO.

WINDOW TYPE

000

T-A

820

DOOR NO.

DOOR TYPE

DOOR WIDTH

DOOR & WINDOW NUMBERING -REFER TO DOOR & WINDOW SCHEDULE

PP

2

MATERIAL TAG

FFL

1

FINISHED FLOOR LEVEL

SFL

1

STRUCTURAL FLOOR LEVEL

FLOOR, WALL AND CEILING FINISHES -REFER TO FINISHES SCHEDULE

↔

↔

↔

↔

FALLS IN WET AREA SCREEDS ARE TO ACHIEVE:

- 1:100 IN GENERAL AREAS

- 1:80 IN ACCESSIBLE WCS

- 1:80 IN SHOWERS

—

DASHED PINK LINE DENOTES ITEM SUPPLIED BY OWNER / CLIENT. STRUCTURAL AND SERVICE PROVISIONS TO BE MADE BY CONTRACTOR WHERE REQUIRED.

—

RED HATCH / LINES DENOTE EXISTING WALLS, FITTINGS, DOORS, WINDOWS AND TREES TO BE DEMOLISHED / REMOVED.

—

DENOTES EXISTING TO REMAIN.

—

DENOTES NEW WALLS.

KEYNOTE LEGEND

BK 1

Concrete blocks 90mm

CC 1

Compressed cement sheet lining -Type 1

RS 1

Roofing - profiled sheet metal -Type 1

WB

Weatherboard cladding

COLOUR SELECTIONS

ROOF CLADDING - HALL & EXTENSIONS:
Zincalume finish. Custom Orb profile to match existing.

ROOF CLADDING - NEW VERANDAH:
Zincalume finish. Kliploc profile.

GUTTERS:
Quad gutter profile to match existing. Finish to be Colorbond Monument

BK1 - DESIGNER HONED MASONRY:
Exposed finish. Adbri masonry Ivory Golden Glaze.

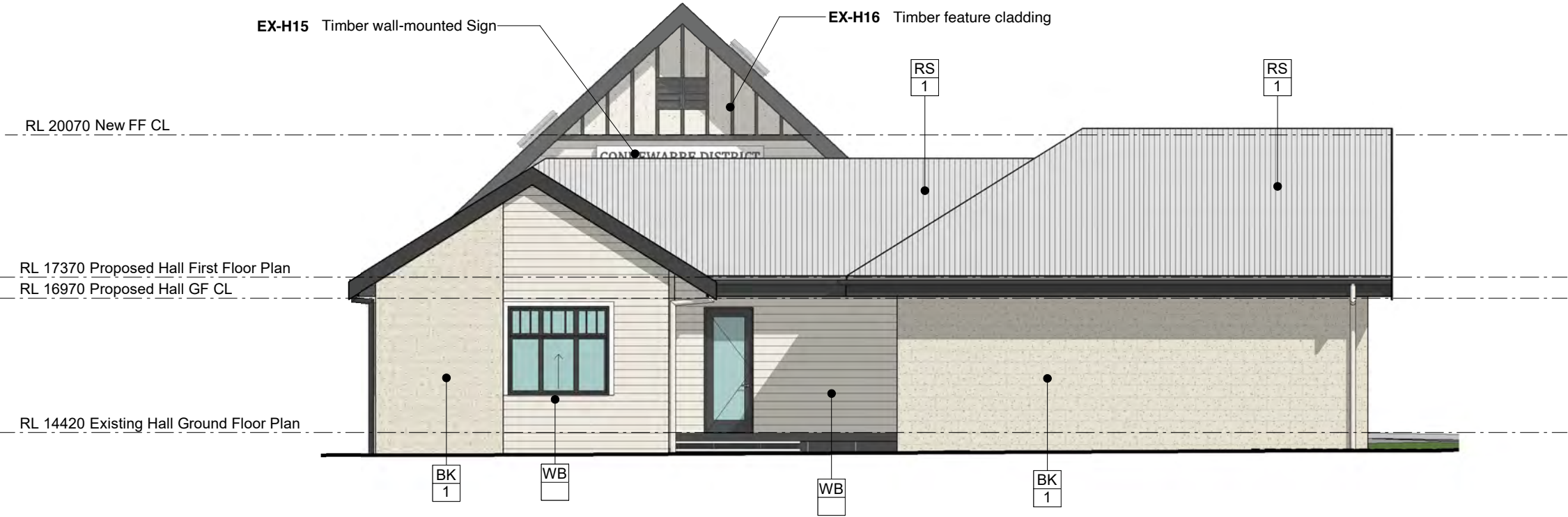
PAINTED TIMBER WEATHERBOARD:
Paint finish. Dulux White Cloak Quater.

TIMBER WINDOWS, DOORS, COLUMNS, RAILINGS & TRIM:
Paint finish. Dulux Colorbond Monument.

TIMBER WALL-MOUNTED SIGN:
Paint finish. Dulux Colorbond Surfist. Lettering to be Monument.



1 PROPOSED SOUTH ELEV
1 : 100



2 PROPOSED EAST ELEV
1 : 100

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PROPOSED ELEVATIONS

Project Number: Sheet Number:

26.011 TP.11
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3D View 1



3D View 2



3D View 3



3D View 4

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3D VIEWS
Project Number: 26.011 Sheet Number: TP.12
Revision no. A