

# MARTUCCI DEVELOPMENT

42-44 PONDS DRIVE LARA 3212 VIC

The existing site contains a single storey brick dwelling to be protected + retained. The site is to be further subdivided into 5 separate sites with a central shared driveway, allowing 4 x new townhouses to be built, each with double car garage, living + dining areas at ground floor + 3 x bedrooms + a second living area above.

## SITE

SITE AREA 2068.9 m<sup>2</sup>

## EXISTING CONDITIONS

BUILDING COVERAGE 259.7 m<sup>2</sup> = 12.6%  
 STORIES 1 No.  
 CAR SPACES 2 No.

## NEW CONDITIONS

TOTAL TOWNHOUSE F.E.C.A 928 m<sup>2</sup>  
 TOTAL BUILDING COVERAGE 811.7 m<sup>2</sup> = 39.2%  
 IMPERMEABLE LANDSCAPING 263 m<sup>2</sup> = 12.7%  
 TOTAL SITE PERMEABILITY 994.2 m<sup>2</sup> = 48.1%  
 STORIES 2 No.  
 TOTAL CAR SPACES 11 No. (1 Visitor)

## DRAWING SCHEDULE

1602G CD0.01	COVER SHEET
1602G CD0.02	SITE LOCATION
1602G CD0.03	SITE PHOTOGRAPHY
1602G CD0.04	SITE ANALYSIS
1602G CD0.05	DESIGN RESPONSE
1602G CD0.06	STREETSCAPES
1602G CD1.01	SUBDIVISION PLAN
1602G CD1.02	GROUND FLOOR PLAN
1602G CD1.03	LEVEL 1 FLOOR PLAN
1602G CD1.04	ROOF PLAN
1602G CD1.05	9 AM SHADOW DIAGRAMS
1602G CD1.06	12 PM SHADOW DIAGRAMS
1602G CD1.07	3 PM SHADOW DIAGRAMS
1602G CD2.01	SITE ELEVATIONS 01
1602G CD2.02	SITE ELEVATIONS 02
1602G CD3.01	SITE SECTION
1602G CD4.01	MATERIALS SCHEDULE
1602G CD5.01	3D VIEW FROM PONDS DRIVE
1602G CD5.02	3D VIEW FROM HOVELLS CREEK



**PLANNING - NOT FOR CONSTRUCTION**

REV. DATE	REVISION	INITIAL	SCALE
27.05.16	REVISED ISSUE TO PLANNING CONSULTANT	RC	
02.06.16	PRELIMINARY TOWN PLANNING APPLICATION	RC	NTS
28.07.16	AMENDED TOWN PLANNING APPLICATION	RC	

Friday, 5 August 2016 9:53 AM G:\1602G - Ponds Drive Development\02 CAD\2.3 TP\TP Model\1602G TP Model.pln

**MARTUCCI DEVELOPMENT**  
 42-44 PONDS DRIVE  
 LARA  
 VIC 3212

COVER PAGE  
 TOWN PLANNING

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**SITE LOCATION**

AERIAL PHOTOGRAPHY SOURCE: www.google.com



**SITE CONDITIONS**

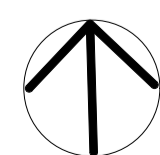
AERIAL PHOTOGRAPHY SOURCE: www.google.com

PLEASE REFER TO **TP0.03** FOR SITE PHOTOGRAPHY

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① 15 HAILAR LANE



② TOP OF HAILAR LANE



③ 13 HAILAR LANE



④ 46 PONDS DRIVE



⑤ VIEW OF SITE FROM HAILAR LANE



⑥ VIEW OF SITE FROM PONDS DRIVE



⑦ 38 PONDS DRIVE



⑧ 32 PONDS DRIVE



⑨ 23 LIME CRESCENT

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**SITE CONTEXT**

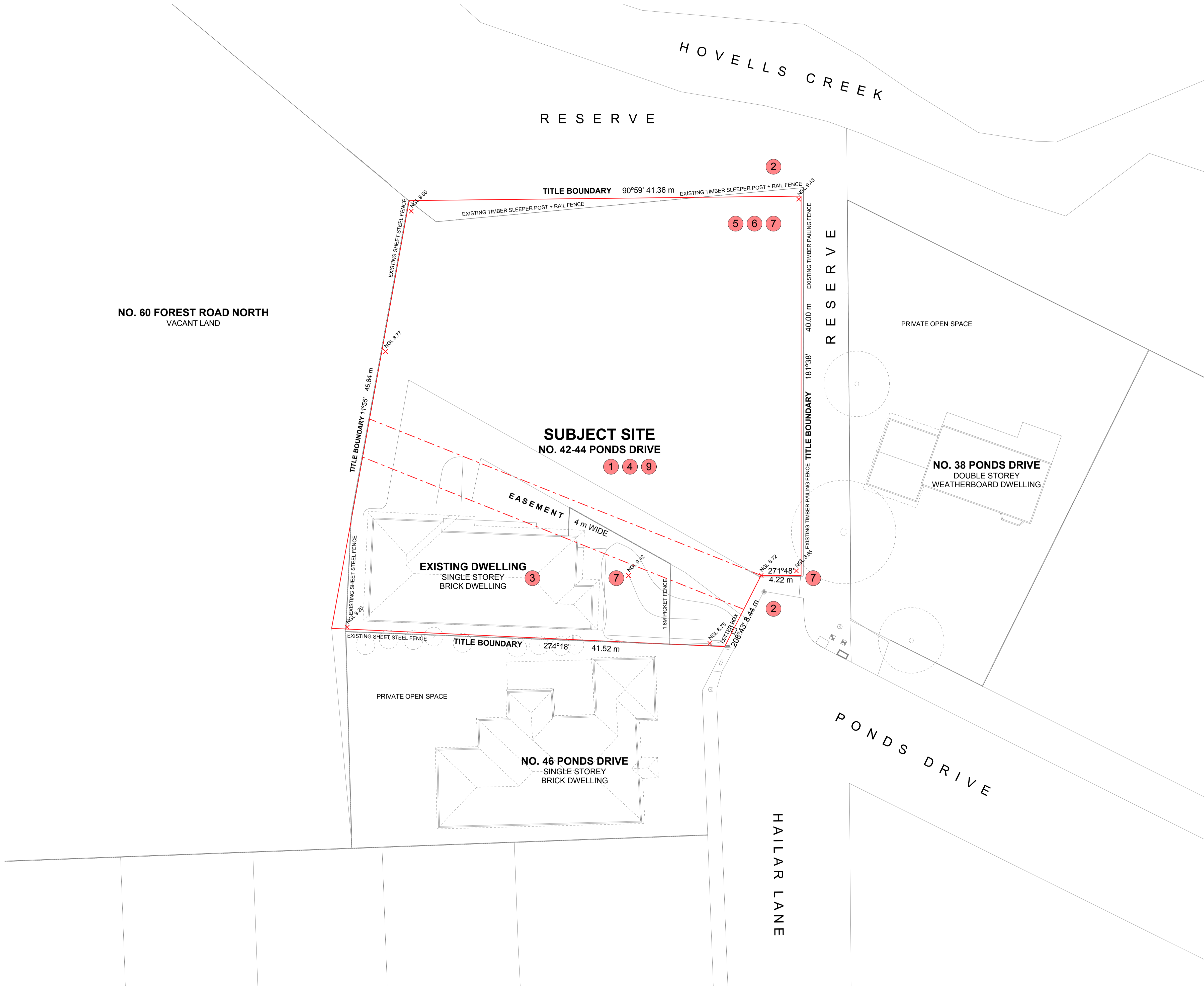
**STREET CHARACTER**

Ponds Drive is characterised by a mix of single- and double-storey detached residential dwellings of varying architectural styles and quality. The streetscape and majority of dwellings in Ponds Drive and the surrounding neighbourhood are fairly new and considered 'reasonably intact'.

Note: Refer to TP0.06 STREETSCAPES for further streetscape details. Refer to Land Surveyors documentation for all feature survey details.

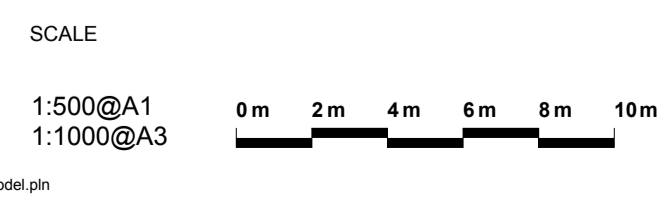
**OPPORTUNITIES**

- 1 Site area = 2068.9 sqm. Part General Residential Zone - Schedule 1 (GRZ10); Part Urban Floodway Zone (UFZ).
- 2 The site's location, at the end of Ponds Drive and in front of Hovells Creek, offers numerous architectural opportunities.
- 3 The subject site is currently occupied by a single storey brick residential building, and central concrete driveway. The existing dwelling is to be protected and retained, whilst the concrete driveway is to be altered, to match existing.
- 4 There are currently no trees located on site.
- 5 Strong outlook opportunities exist to the North towards Hovells Creek and its Reserve.
- 6 The subject site is well served by natural sunlight.
- 7 The highest points of the site are at the top North East corner (RL 9.43) and on top of a small mound towards the front South East corner (RL 9.42). Along with the North West (RL 9.00) and South West (RL 9.20) corners of the block, the site forms an undulating gully reaching from the North West Corner towards the lowest point at the South East corner (RL 8.65), continuing out towards Ponds Drive.
- 8 The subject site is within an urban floodway zone due to its close proximity to Hovells Creek. Cautious planning must be incorporated into any design on this site in accordance with Clause 37.03 - Urban Floodway Zone.



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42-44 PONDS DRIVE  
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VIC 3212

SITE ANALYSIS  
TOWN PLANNING

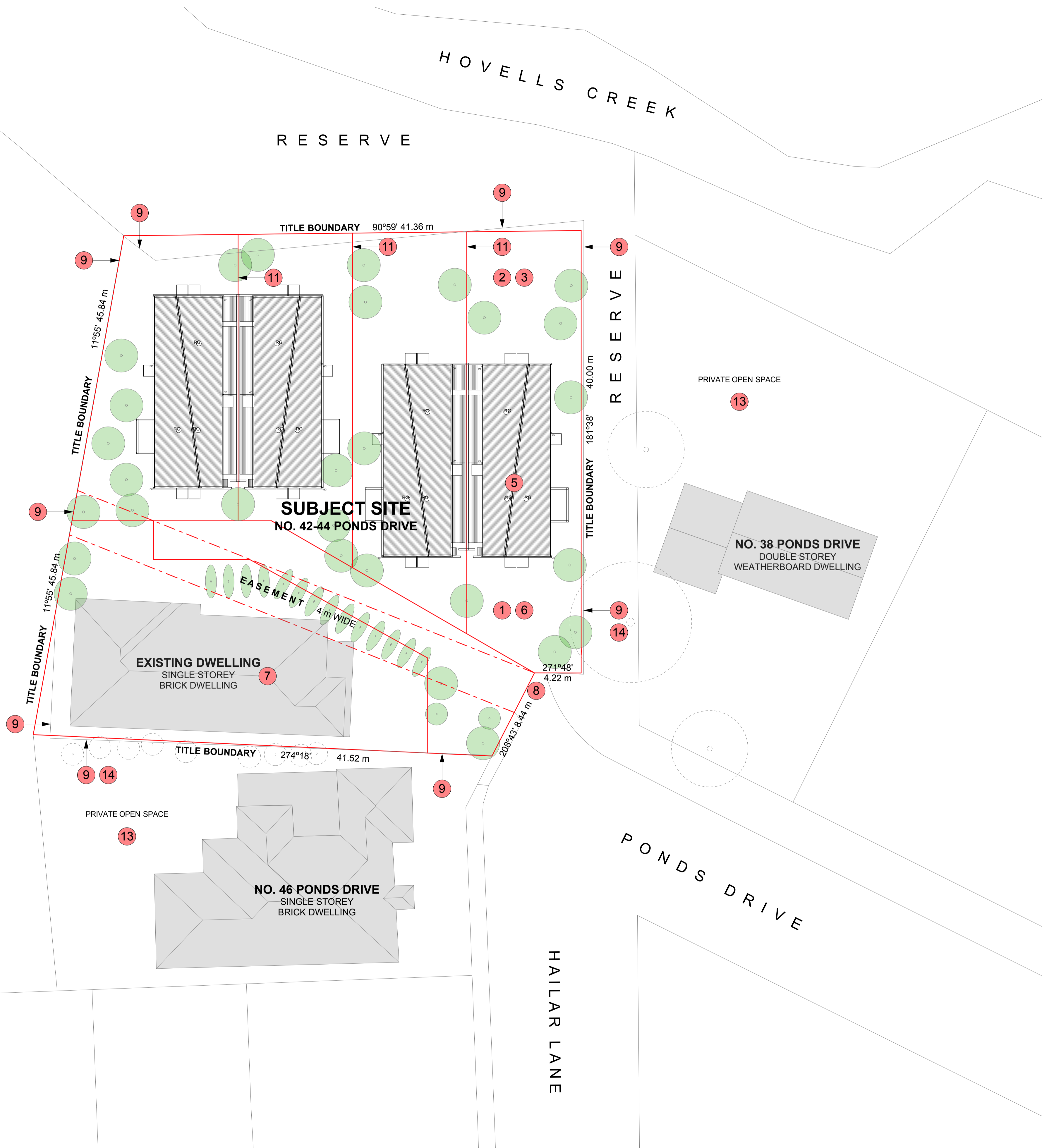
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NO. 60 FOREST ROAD NORTH  
VACANT LAND



**DESIGN RESPONSE**

Building form, orientation and height promote a considerate and contemporary building which seeks to carefully respond to a broad range of design considerations and neighbourhood characteristics.

New building works are intended to be 'visually stimulating' to the surrounding context with the building reading as several smaller forms through articulation, fragmentation and materiality. The total readable building height fronting Ponds Drive is minimised by architectural features and setbacks that establish an appropriately scaled sight line from street level.

Building design seeks to minimise 'readable' building mass with combinations of built form and landscaping throughout this site.

Building setbacks throughout are respectful of the neighbouring properties. Visually the building is 'grounded' at the ground floor, while materiality to the upper level seamlessly blends into the lighter roofing material fabric, to provide a visual 'undoing of building bulk'.

The existing vehicle crossover to Ponds Drive is to be modified to accommodate the entry to the fourth, or western most, townhouse, and the central driveway will be altered further to allow for efficient use of the site + more appropriate siting of the new townhouse dwellings with Private Open Space oriented to the North of site, facing Hovells Creek.

Townhouses are accessed by pedestrians via the central driveway. Entryways + pedestrian paths to individual dwellings will be highly distinguishable from garage entries.

Well lit, spatially fluid internal spaces have strong indoor / outdoor connection and provide high amenity and flexibility.

Setbacks between dwellings, large operable glazing to living spaces, smaller operable glazing to bedrooms + lightwells to upper storey bathrooms are included to maximise natural light penetration and allow cross-ventilation throughout each dwelling.

A diverse material palette allows for thermal massing to the lower level living spaces and lighter construction to the upper levels. Alongside a modern play on the pitched roof typologies of typical residential dwellings in the area, these townhouses aim to meet contemporary building expectations whilst providing a well resolved design response which displays design intelligence, affordability and strong Environmentally Sustainable Design considerations.

Lastly, the slab and driveway are suspended, with the partial relocation of the existing driveway undertaken to increase water flow. The building is to be suspended on a minimal number of pier footings (with an orthogonal geometry) to minimise ground disturbance. These are estimated to be approximately 2 m deep with a 600 mm diameter. No significant excavation - as a result of landscape works - is intended.

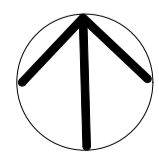
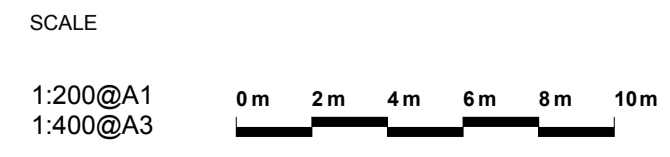
**KEYNOTES**

- 1 DEVELOPMENT DENSITY: MAINTAIN CONSIDERATE SETBACK AND ALTERNATE BUILDING MATERIALS TO LEVEL 1 TO REDUCE READING OF BUILDING MASS
- 2 LANDSCAPE: ENABLE VIEWS OF HOVELLS CREEK
- 3 VEGETATION: INCORPORATE GENEROUS VEGETATION ON GROUND + ALLOW FOR CONSIDERATE SETBACK AND LANDSCAPE OUTLOOK TO THE NORTH.
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- 13 ADJOINING NEIGHBOURING PRIVATE OPEN SPACE TO BE PROTECTED FROM UNREASONABLE OVERLOOKING AND OVERSHADOWING
- 14 EXISTING STREET + NEIGHBOURING TREES TO BE RETAINED AND PROTECTED IN ACCORDANCE WITH RESPONSIBLE AUTHORITIES REQUIREMENTS.

NOTE: ALL ROOF LINES + TREES ARE APPROXIMATE ONLY.  
REFER SURVEYORS DOCUMENTATION FOR ALL FEATURE SURVEY INFORMATION.

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42-44 PONDS DRIVE  
LARA  
VIC 3212

DESIGN RESPONSE  
TOWN PLANNING

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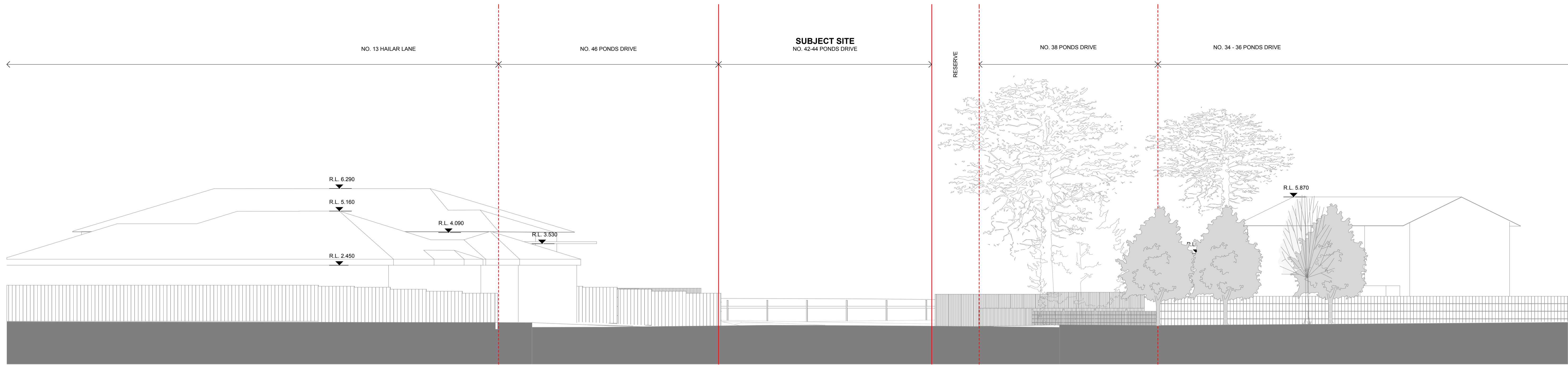
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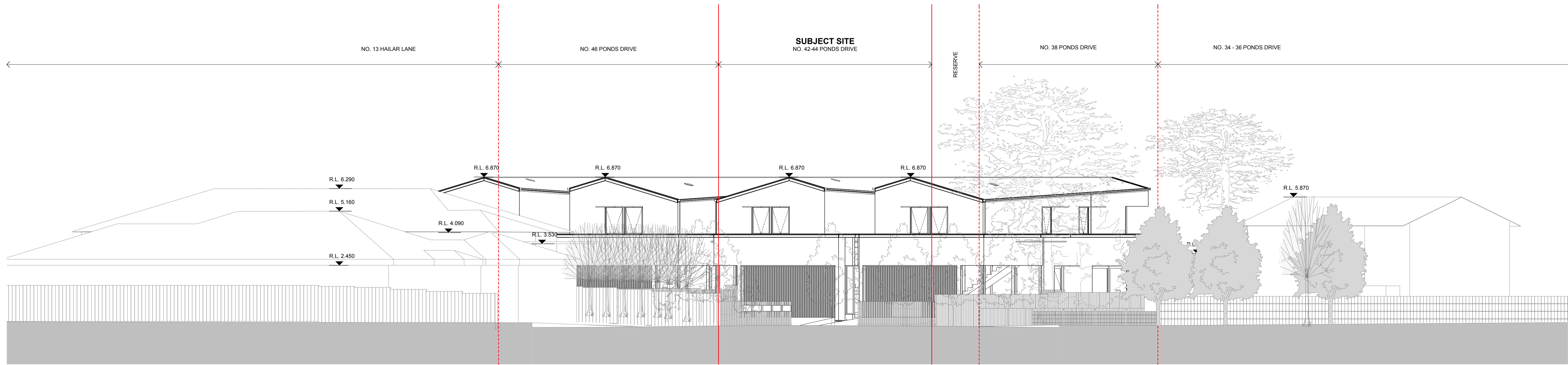
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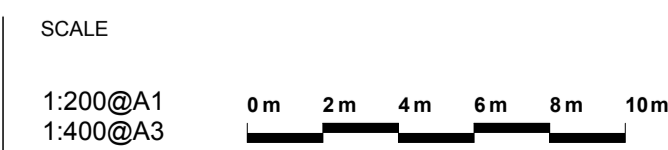
EXISTING STREETScape ELEVATION



PROPOSED STREETScape ELEVATION

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STREETSCAPES  
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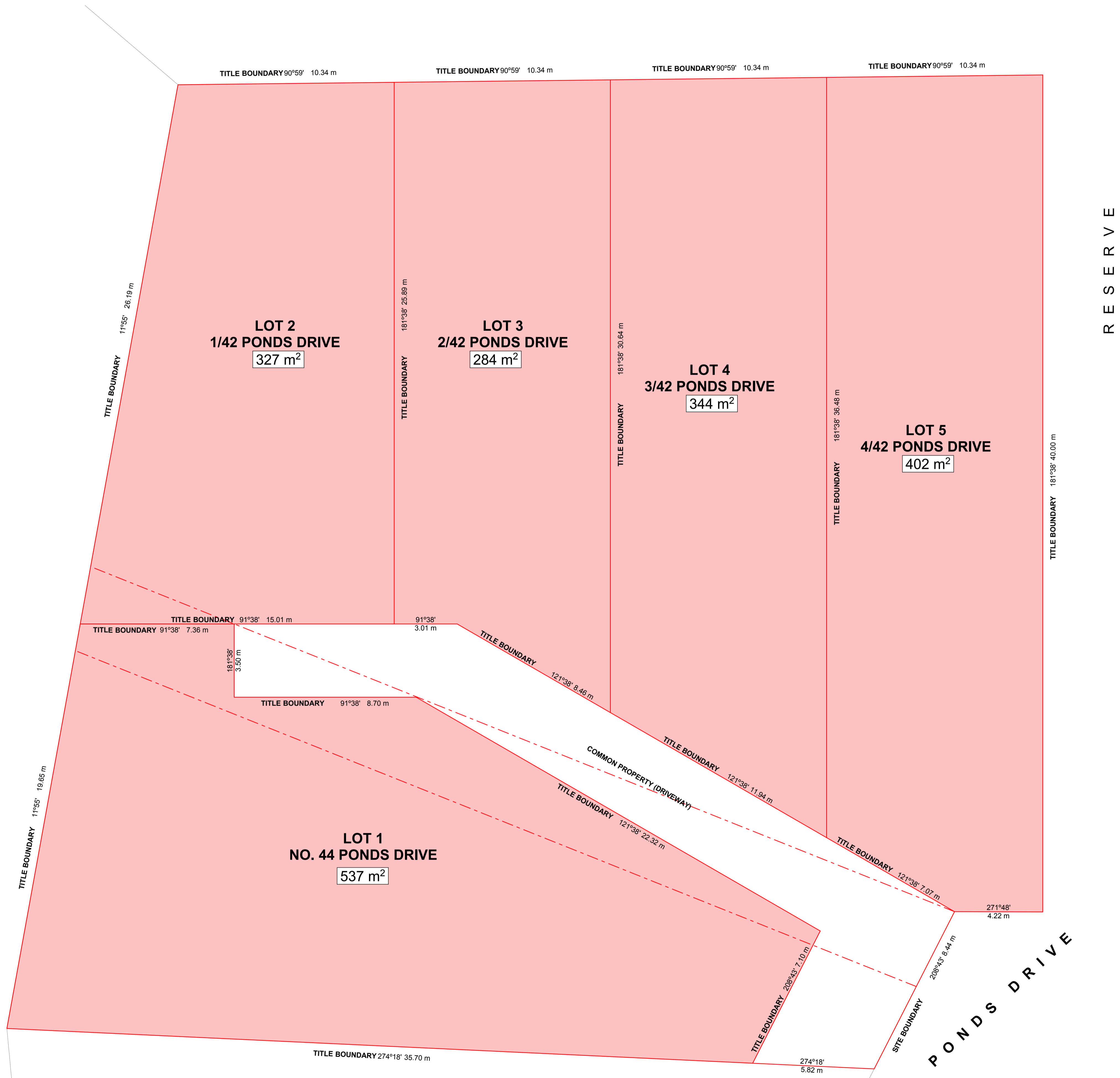
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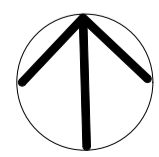
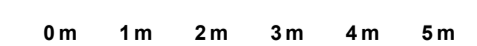
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SCALE  
1:100@A1  
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PLAN OF SUBDIVISION  
TOWN PLANNING

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**KEYNOTES**

- 1 DEVELOPMENT DENSITY: MAINTAIN CONSIDERATE SETBACK AND ALTERNATE BUILDING MATERIALS TO LEVEL 1 TO REDUCE READING OF BUILDING MASS
- 2 LANDSCAPE: ENABLE VIEWS OF HOVELLS CREEK
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**PLAN LEGEND**

- AC AIR CONDITIONER
- BH BULKHEAD
- CL CLOAK CUPBOARD
- CT COOKING TOP
- DP DOWN PIPE
- DR DRYER
- DW DISHWASHER
- OV OVEN
- P TOILET PAN
- PA PANTRY
- PLD PANEL LIFT DOOR
- R ROBE
- RE REFRIGERATOR
- RG ROOF GLAZING
- S SINK
- SH SHOWER
- SL SLIDING WINDOW/DOOR
- T TROUGH
- WM WASHING MACHINE

**ZONING LEGEND**

- SOFT LANDSCAPING
- COMMON AREA - CARPARKING + DRIVEWAY
- NEW TOWNHOUSE FECA
- NEW TOWNHOUSE EXTERNAL COVERED AREA
- JOINERY
- NEW TREES

PLAN OF SURVEY + PLAN OF TITLE RE-ESTABLISHMENT BOTH PREPARED BY SMITH LAND SURVEYORS PTY. LTD. REFERENCE NO. 0359-01F, DRAWN 17-02-2016.

TITLE REF: VOL. X / FOL. X LOT PLAN REF: LOT 2 ON PLAN PS 431989M.

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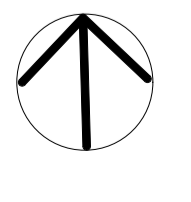
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SCALE
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GROUND FLOOR PLAN  
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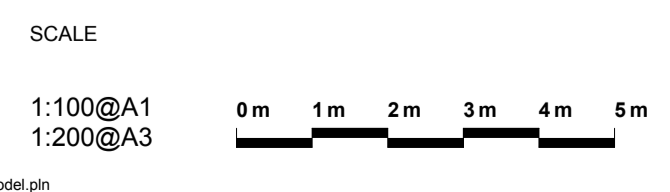
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B	02.06.16	PRELIMINARY TOWN PLANNING APPLICATION	RC	



**MARTUCCI DEVELOPMENT**  
42-44 PONDS DRIVE  
LARA  
VIC 3212

LEVEL 1 FLOOR PLAN  
TOWN PLANNING

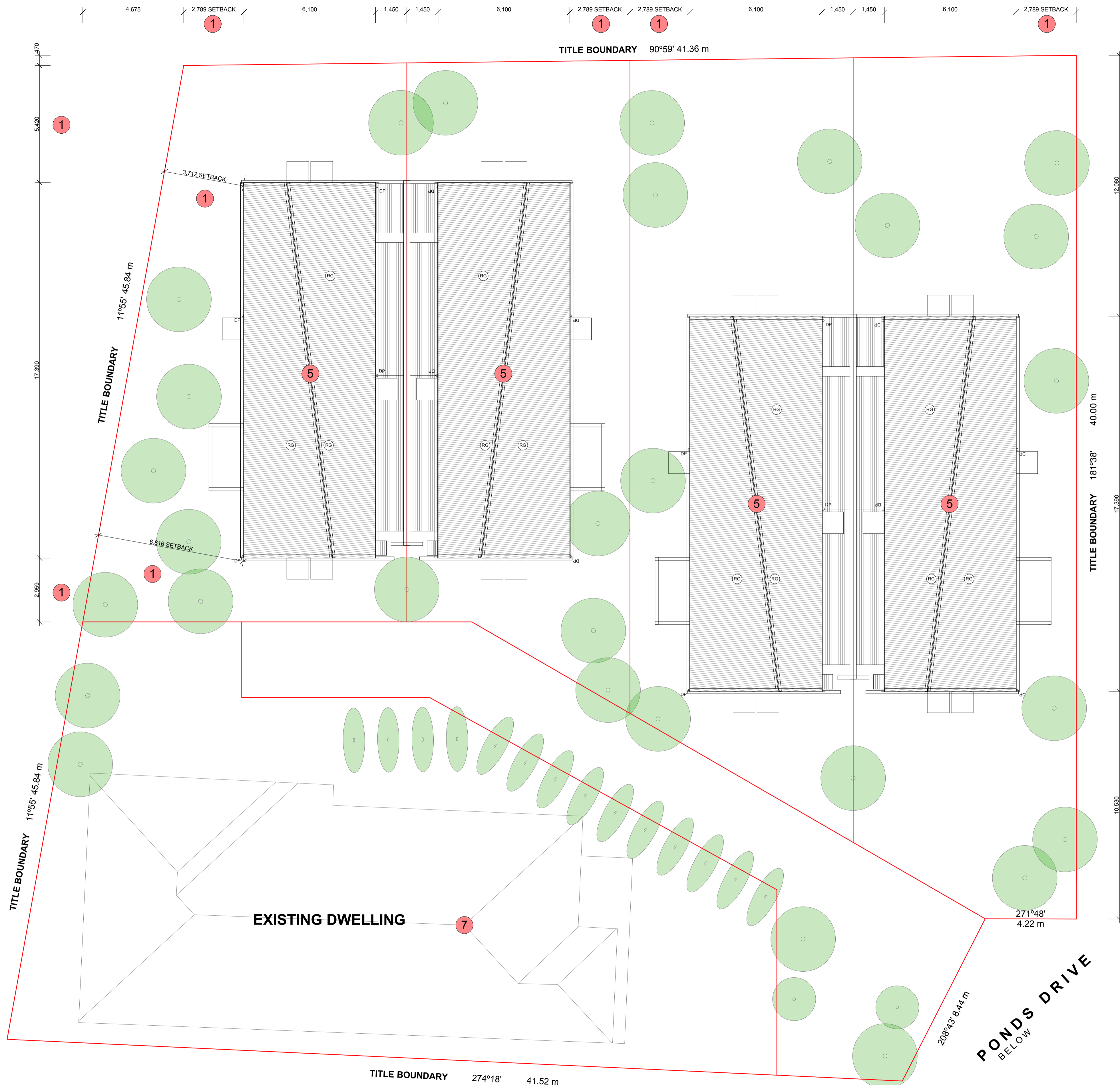
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CHECKED DP

PROJECT NUMBER 1602G  
DATE MAR '16  
REVISION C

**DARYL PELCHEN TECT**

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**KEYNOTES**

- 1 DEVELOPMENT DENSITY: MAINTAIN CONSIDERATE SETBACK AND ALTERNATE BUILDING MATERIALS TO LEVEL 1 TO REDUCE READING OF BUILDING MASS
- 2 LANDSCAPE: ENABLE VIEWS OF HOVELLS CREEK
- 3 VEGETATION: INCORPORATE GENEROUS VEGETATION ON GROUND + ALLOW FOR CONSIDERATE SETBACK AND LANDSCAPE OUTLOOK TO THE NORTH.
- 4 ENTRIES: USE BUILDING ELEMENTS TO PROVIDE WEATHER PROTECTION FOR VISITORS AND OCCUPANTS
- 5 ROOF FORMS: ADOPT MODERN PLAY ON TYPICAL PITCHED METAL ROOF FORMS TO MEET CONTEMPORARY BUILDING EXPECTATIONS
- 6 ACTIVE FRONTAGES: ENCOURAGE SOCIAL INTERACTION THROUGH BUILDING + INTERACTIVE SITE DESIGN
- 7 ALL BUILT FABRIC OF EXISTING DWELLING ON SITE TO BE RETAINED.
- 8 EXISTING CROSSOVER TO BE RETAINED AND WIDENED IN ACCORDANCE WITH THE RESPONSIBLE AUTHORITIES REQUIREMENTS
- 9 EXISTING BOUNDARY FENCING TO BE RETAINED OR REPAIRED TO MATCH EXISTING
- 10 NEW BOUNDARY FENCE TO (EXTENSION OF EXISTING) TO MATCH EXISTING
- 11 NEW SOLID TIMBER PICKET STYLE BOUNDARY FENCE TO BE 1800MM ABOVE NGL IN - PAINT FINISH.
- 12 NEW SEMI TRANSPARENT 50 X 50 MM HORIZONTAL TIMBER BATTEN HIT + MISS STYLE FENCE TO 1800MM ABOVE NGL - PAINT FINISH.
- 13 ADJOINING NEIGHBOURING PRIVATE OPEN SPACE TO BE PROTECTED FROM UNREASONABLE OVERLOOKING AND OVERSHADOWING
- 14 EXISTING STREET + NEIGHBOURING TREES TO BE RETAINED AND PROTECTED IN ACCORDANCE WITH RESPONSIBLE AUTHORITIES REQUIREMENTS.

**PLAN LEGEND**

- AC AIR CONDITIONER
- B BASIN
- BH BULKHEAD
- CL CLOAK CUPBOARD
- CT COOKING TOP
- DP DOWN PIPE
- DR DRYER
- DW DISHWASHER
- OV OVEN
- P TOILET PAN
- PA PANTRY
- PLD PANEL LIFT DOOR
- R ROBE
- RE REFRIGERATOR
- RG ROOF GLAZING
- S SINK
- SH SHOWER
- SL SLIDING WINDOW/DOOR
- T TROUGH
- WM WASHING MACHINE

**ZONING LEGEND**

- SOFT LANDSCAPING
- COMMON AREA - CARPARKING + DRIVEWAY
- NEW TOWNHOUSE FECA
- NEW TOWNHOUSE EXTERNAL COVERED AREA
- JOINERY
- NEW TREES

PLAN OF SURVEY + PLAN OF TITLE RE-ESTABLISHMENT BOTH PREPARED BY SMITH LAND SURVEYORS PTY. LTD. REFERENCE NO. 0359-01F, DRAWN 17-02-2016.

TITLE REF: VOL. X / FOL. X LOT PLAN REF: LOT 2 ON PLAN PS 431989M.

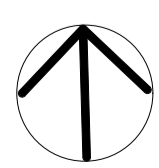
THE LEVELS AND FEATURES SHOWN ON THIS SURVEY PLAN HAVE BEEN LOCATED BY THIS SURVEY. ANY OTHER SERVICES AND FEATURES WHICH MAY BE IN THE AREA HAVE NOT BEEN SHOWN AND NO ATTEMPT TO ASCERTAIN THEIR EXISTENCE HAS BEEN MADE.

LEVELS ARE IN METRES AND TO AN ARBITRARY DATUM.

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REV.	DATE	REVISION	INITIAL
-	23.05.16	ISSUE TO PLANNING CONSULTANT	RC
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SCALE  
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1:200@A3



**MARTUCCI DEVELOPMENT**  
42-44 PONDS DRIVE  
LARA  
VIC 3212

ROOF PLAN  
TOWN PLANNING

DRAWN  
RC  
CHECKED  
DP

PROJECT NUMBER  
1602G  
DATE  
MAR '16

TP1.04  
REVISION  
C

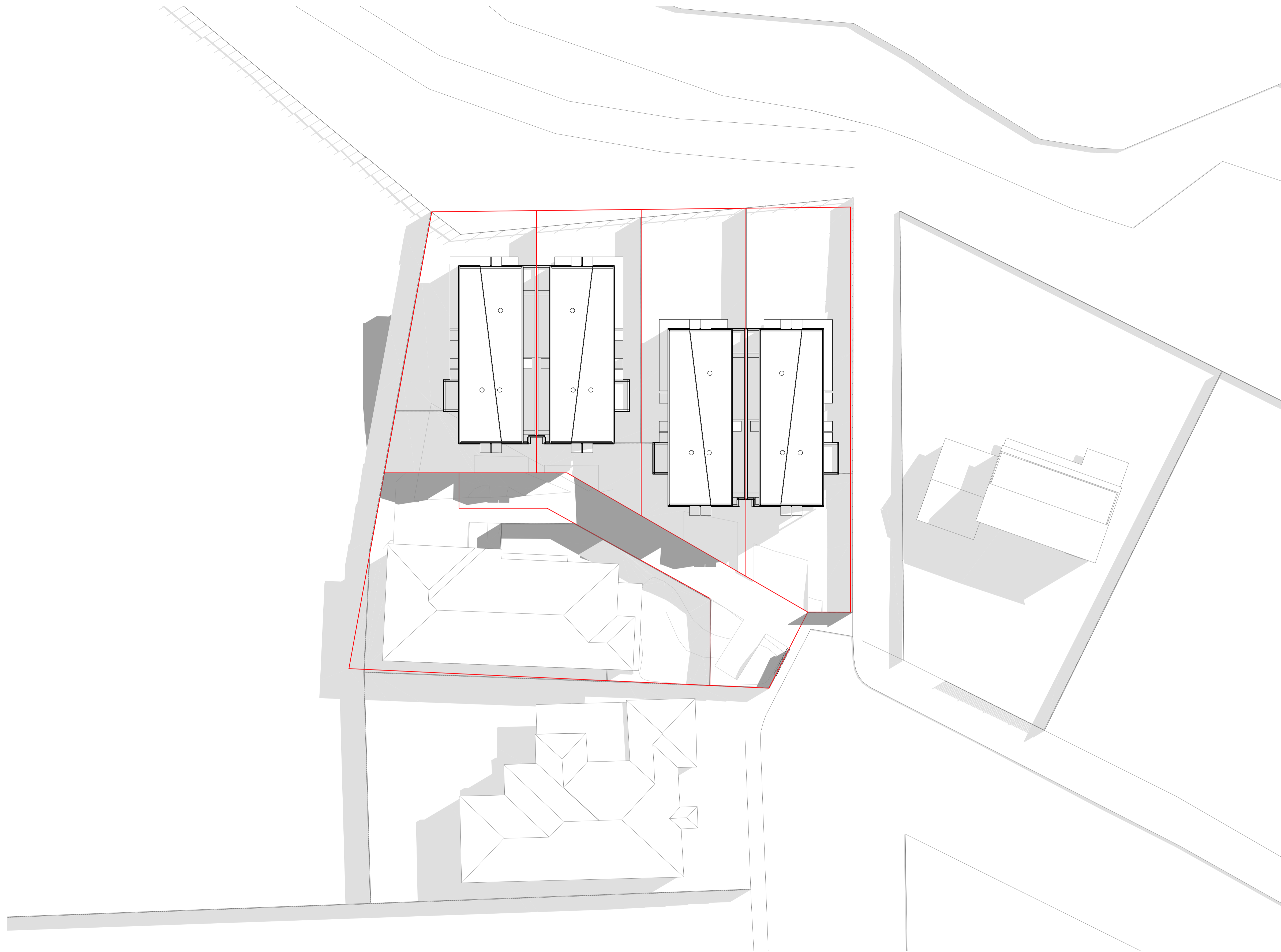


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**SHADOWS LEGEND**

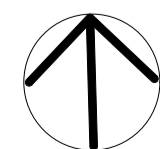
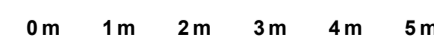
- EXISTING SHADOWS
- NEW SHADOWS TO ADJACENT PROPERTIES



**PLANNING - NOT FOR CONSTRUCTION**

REV.	DATE	REVISION	INITIAL
-	02.06.16	PRELIMINARY TOWN PLANNING APPLICATION	RC
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SCALE  
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1:200@A3



**MARTUCCI DEVELOPMENT**  
42-44 PONDS DRIVE  
LARA  
VIC 3212

9 AM SHADOW DIAGRAM  
TOWN PLANNING

DRAWN  
RC  
CHECKED  
DP

PROJECT NUMBER  
1602G  
DATE  
MAR '16

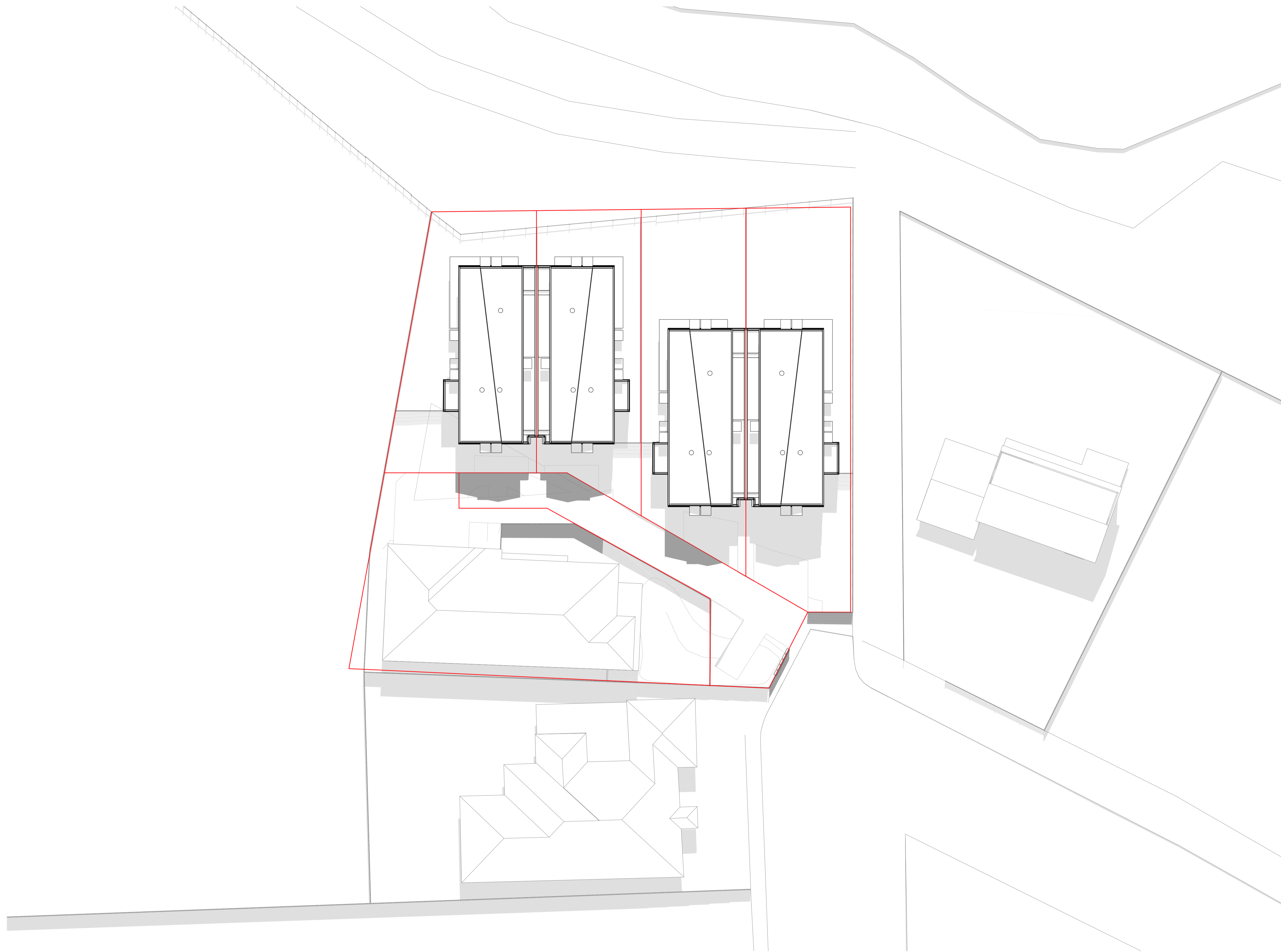
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REVISION  
A



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**SHADOWS LEGEND**

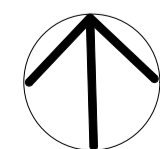
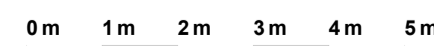
- EXISTING SHADOWS
- NEW SHADOWS TO ADJACENT PROPERTIES



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SCALE  
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1:200@A3



**MARTUCCI DEVELOPMENT**  
42-44 PONDS DRIVE  
LARA  
VIC 3212

12 PM SHADOW DIAGRAM  
TOWN PLANNING

DRAWN  
RC  
CHECKED  
DP

PROJECT NUMBER  
1602G  
DATE  
MAR '16

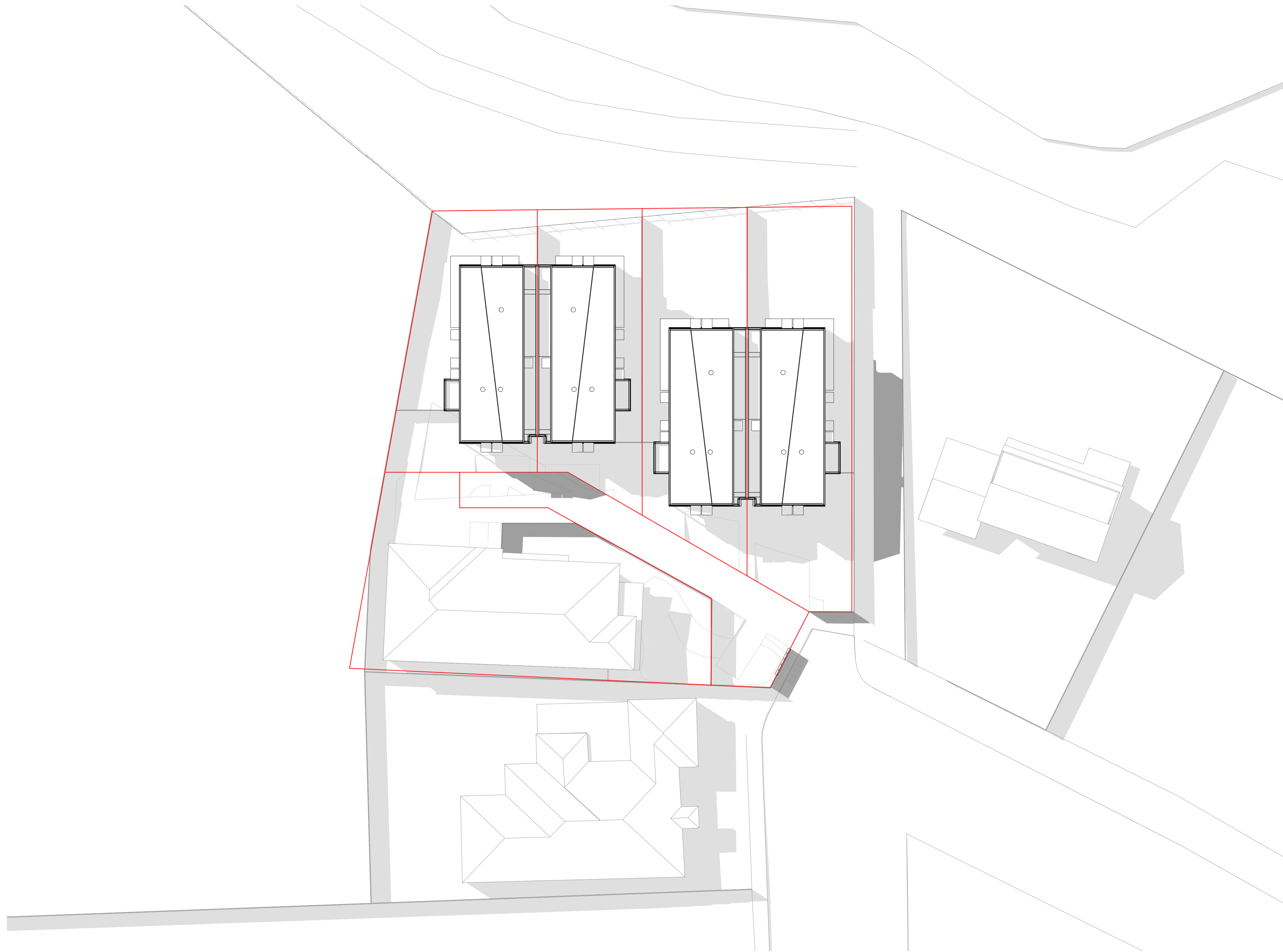
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**SHADOWS LEGEND**

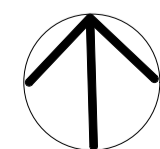
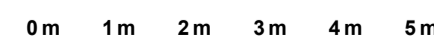
- EXISTING SHADOWS
- NEW SHADOWS TO ADJACENT PROPERTIES



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SCALE  
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 1:200@A3



**MARTUCCI DEVELOPMENT**  
 42-44 PONDS DRIVE  
 LARA  
 VIC 3212

**3 PM SHADOW DIAGRAM**  
 TOWN PLANNING

DRAWN  
 RC  
 CHECKED  
 DP

PROJECT NUMBER  
 1602G  
 DATE  
 MAR '16

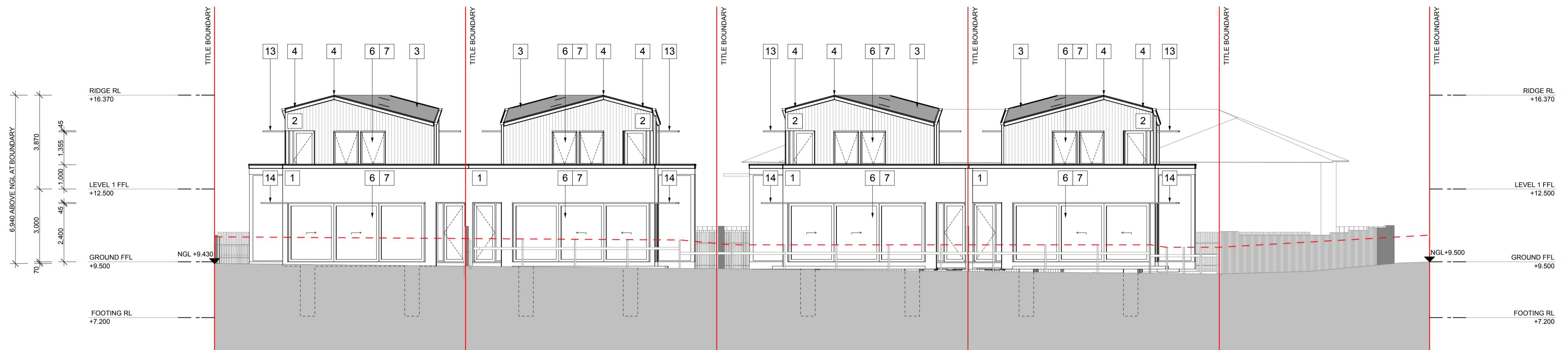
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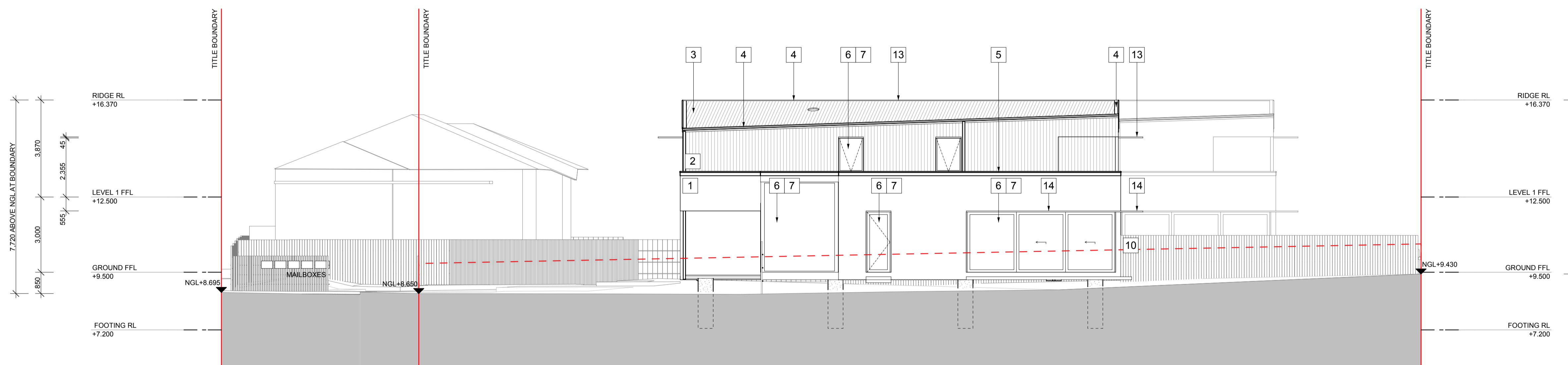
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**MATERIALS & FINISHES SCHEDULE**

- 1 CONCRETE RENDER
- 2 METAL SHEET WALL CLADDING - COLORBOND FINISH
- 3 METAL SHEET ROOFING MATERIAL - COLORBOND FINISH
- 4 ROOF ACCESSORIES TYPE 01 - COLORBOND FINISH
- 5 ROOF ACCESSORIES TYPE 02 - ALUMINIUM / COLORBOND FINISH
- 6 TIMBER WINDOW + DOOR FRAMES - NATURAL STAIN FINISH
- 7 GLAZING - CLEAR LOW-E GLASS
- 8 TIMBER BATTEN CLADDING
- 9 TIMBER DECKING - NATURAL STAIN FINISH
- 10 TIMBER PAILING FENCE - NATURAL STAIN FINISH
- 11 EXPOSED AGGREGATE
- 12 EXPOSED CONCRETE COLUMNS
- 13 FIBRE CEMENT SHEET CLADDING - PAINT FINISH
- 14 FIBRE CEMENT SHEET CLADDING - EXPOSED / PAINT FINISH



NORTH SITE ELEVATION



EAST SITE ELEVATION

**PLANNING - NOT FOR CONSTRUCTION**

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SCALE  
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 1:200@A3  
 0m 1m 2m 3m 4m 5m

**MARTUCCI DEVELOPMENT**  
 42-44 PONDS DRIVE  
 LARA  
 VIC 3212

SITE ELEVATIONS 01  
 TOWN PLANNING

DRAWN  
 RC  
 CHECKED  
 DP

PROJECT NUMBER  
 1602G  
 DATE  
 MAR '16

TP2.01  
 REVISION  
 B

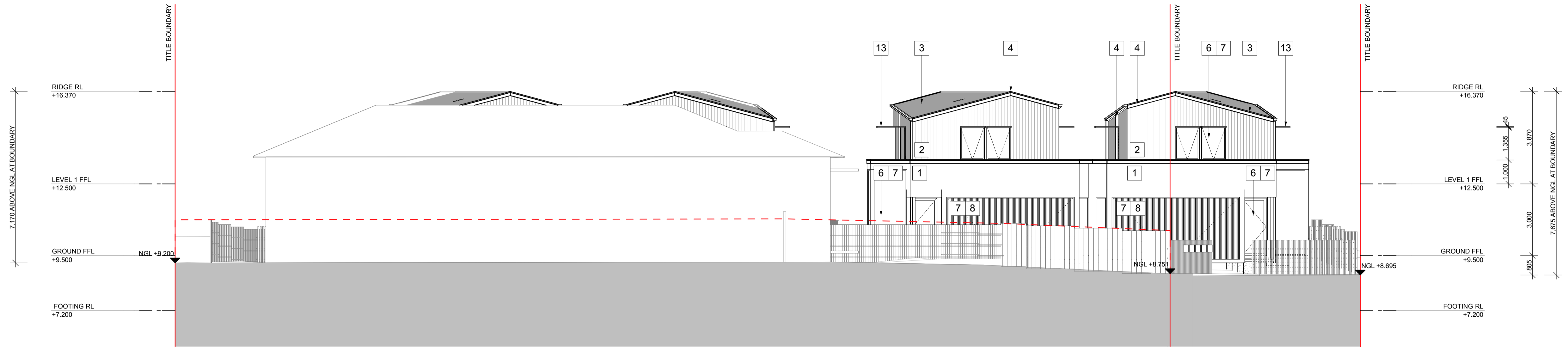


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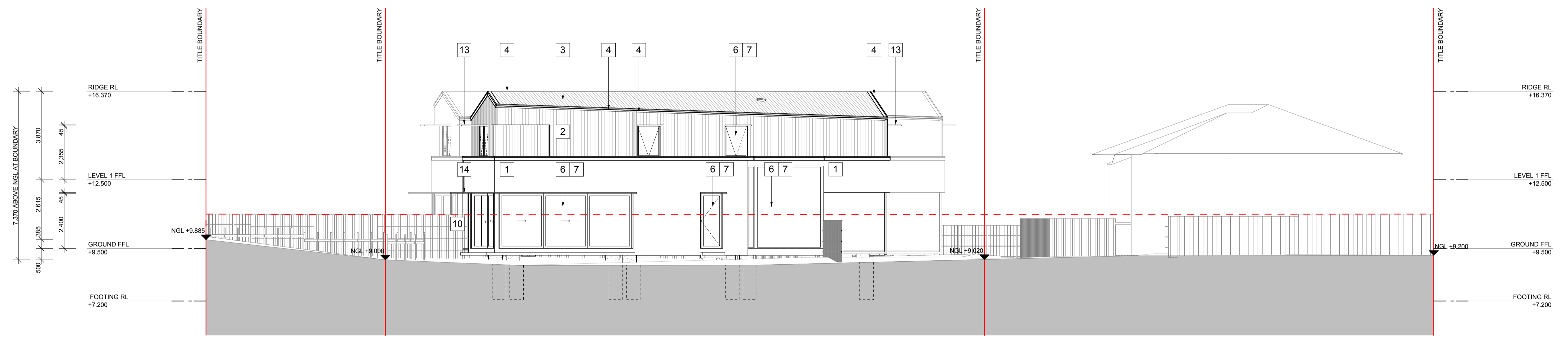
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**MATERIALS & FINISHES SCHEDULE**

- 1 CONCRETE RENDER
- 2 METAL SHEET WALL CLADDING - COLORBOND FINISH
- 3 METAL SHEET ROOFING MATERIAL - COLORBOND FINISH
- 4 ROOF ACCESSORIES TYPE 01 - COLORBOND FINISH
- 5 ROOF ACCESSORIES TYPE 02 - ALUMINIUM / COLORBOND FINISH
- 6 TIMBER WINDOW + DOOR FRAMES - NATURAL STAIN FINISH
- 7 GLAZING - CLEAR LOW-E GLASS
- 8 TIMBER BATTEN CLADDING
- 9 TIMBER DECKING - NATURAL STAIN FINISH
- 10 TIMBER PAILING FENCE - NATURAL STAIN FINISH
- 11 EXPOSED AGGREGATE
- 12 EXPOSED CONCRETE COLUMNS
- 13 FIBRE CEMENT SHEET CLADDING - PAINT FINISH
- 14 FIBRE CEMENT SHEET CLADDING - EXPOSED / PAINT FINISH



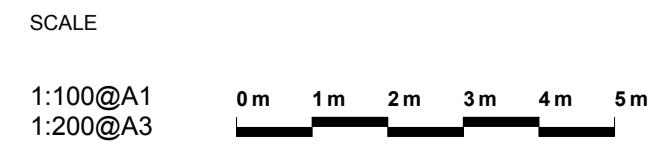
SOUTH SITE ELEVATION



WEST SITE ELEVATION

**PLANNING - NOT FOR CONSTRUCTION**

REV. DATE	REVISION	INITIAL
27.05.16	REVISED ISSUE TO PLANNING CONSULTANT	RC
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28.07.16	AMENDED TOWN PLANNING APPLICATION	RC



**MARTUCCI DEVELOPMENT**  
42-44 PONDS DRIVE  
LARA  
VIC 3212

SITE ELEVATIONS 02  
TOWN PLANNING

DRAWN  
RC

CHECKED  
DP

PROJECT NUMBER  
1602G

DATE  
MAR '16

TP2.02  
REVISION  
B

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**MATERIALS & FINISHES SCHEDULE**

- 1 CONCRETE RENDER
- 2 METAL SHEET WALL CLADDING - COLORBOND FINISH
- 3 METAL SHEET ROOFING MATERIAL - COLORBOND FINISH
- 4 ROOF ACCESSORIES TYPE 01 - COLORBOND FINISH
- 5 ROOF ACCESSORIES TYPE 02 - ALUMINIUM / COLORBOND FINISH
- 6 TIMBER WINDOW + DOOR FRAMES - NATURAL STAIN FINISH
- 7 GLAZING - CLEAR LOW-E GLASS
- 8 TIMBER BATTEN CLADDING
- 9 TIMBER DECKING - NATURAL STAIN FINISH
- 10 TIMBER PAILING FENCE - NATURAL STAIN FINISH
- 11 EXPOSED AGGREGATE
- 12 EXPOSED CONCRETE COLUMNS
- 13 FIBRE CEMENT SHEET CLADDING - PAINT FINISH
- 14 FIBRE CEMENT SHEET CLADDING - EXPOSED / PAINT FINISH



SOUTH WEST SITE SECTION

**PLANNING - NOT FOR CONSTRUCTION**

REV.	DATE	REVISION	INITIAL	SCALE
-	27.05.16	REVISED ISSUE TO PLANNING CONSULTANT	RC	
A	02.06.16	PRELIMINARY TOWN PLANNING APPLICATION	RC	NTS
B	28.07.16	AMENDED TOWN PLANNING APPLICATION	RC	

Friday, 5 August 2016 9:54 AM G:\16020 - Ponds Drive Development\02 CAD\2.3 TP\TP Model\16020 TP Model.pln

**MARTUCCI DEVELOPMENT**  
42-44 PONDS DRIVE  
LARA  
VIC 3212

SITE SECTION  
TOWN PLANNING

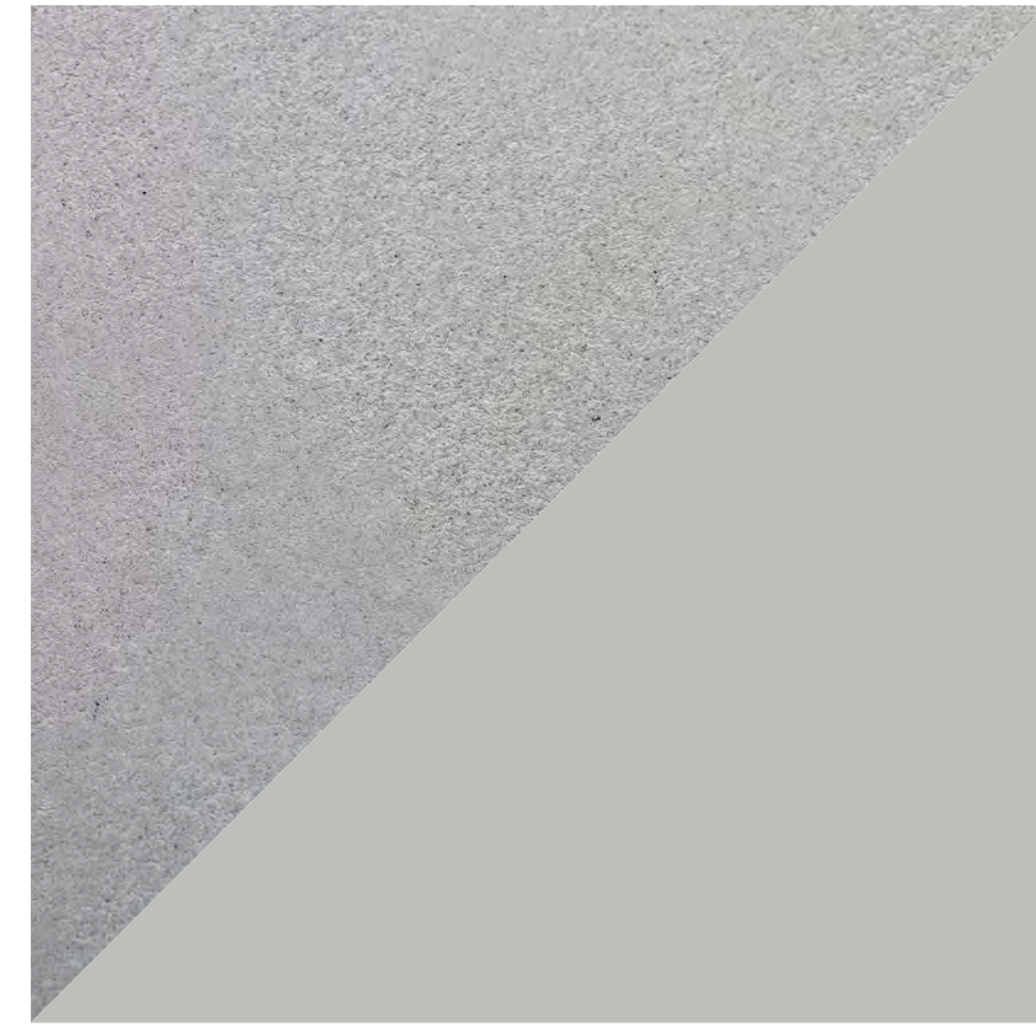
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PROJECT NUMBER  
1602G  
DATE  
MAR '16

TP3.01  
REVISION  
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1 CONCRETE RENDER - IN NATURAL FINISH OR PAINT FINISH TO MATCH COLORBOND 'SHALE GREY'



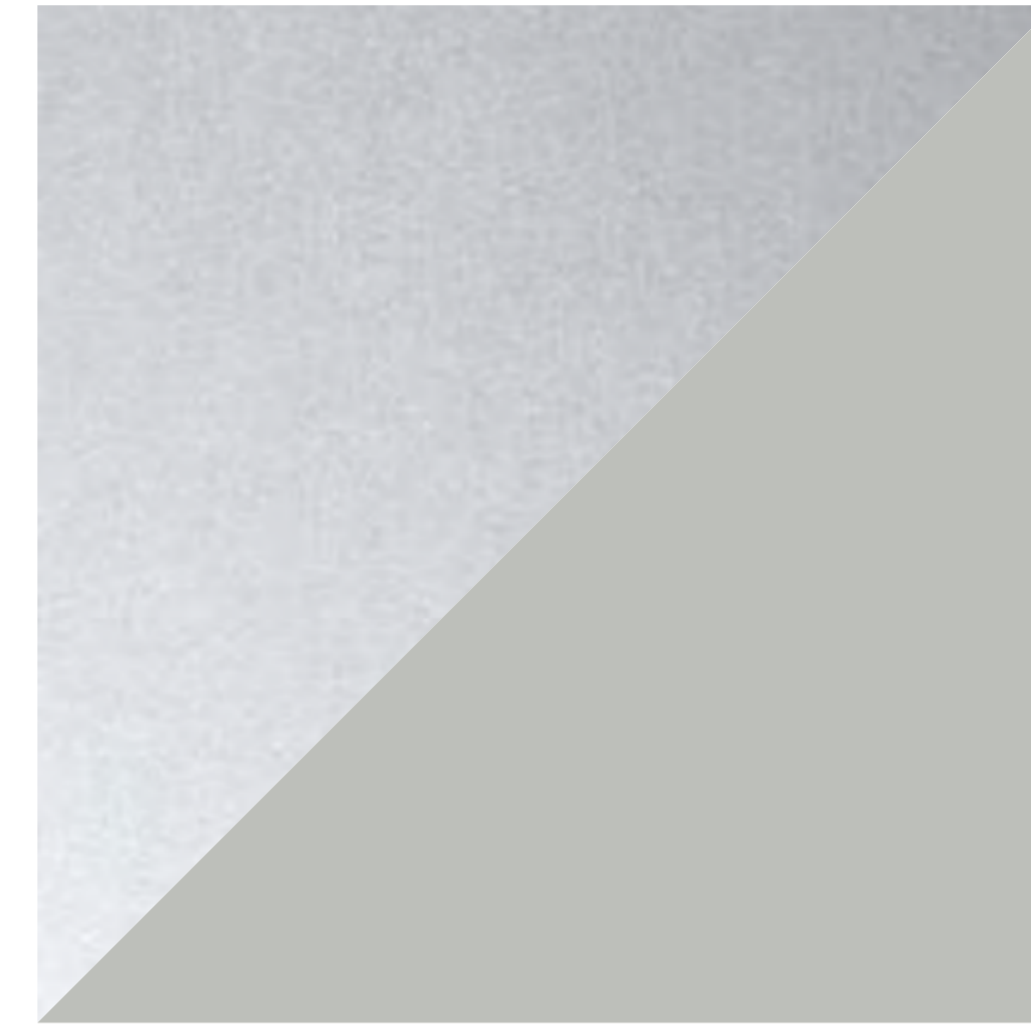
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3 METAL SHEET ROOFING - COLORBOND



4 ROOFING ACCESSORIES TYPE 01 - TO MATCH COLORBOND 'WOODLAND GREY'

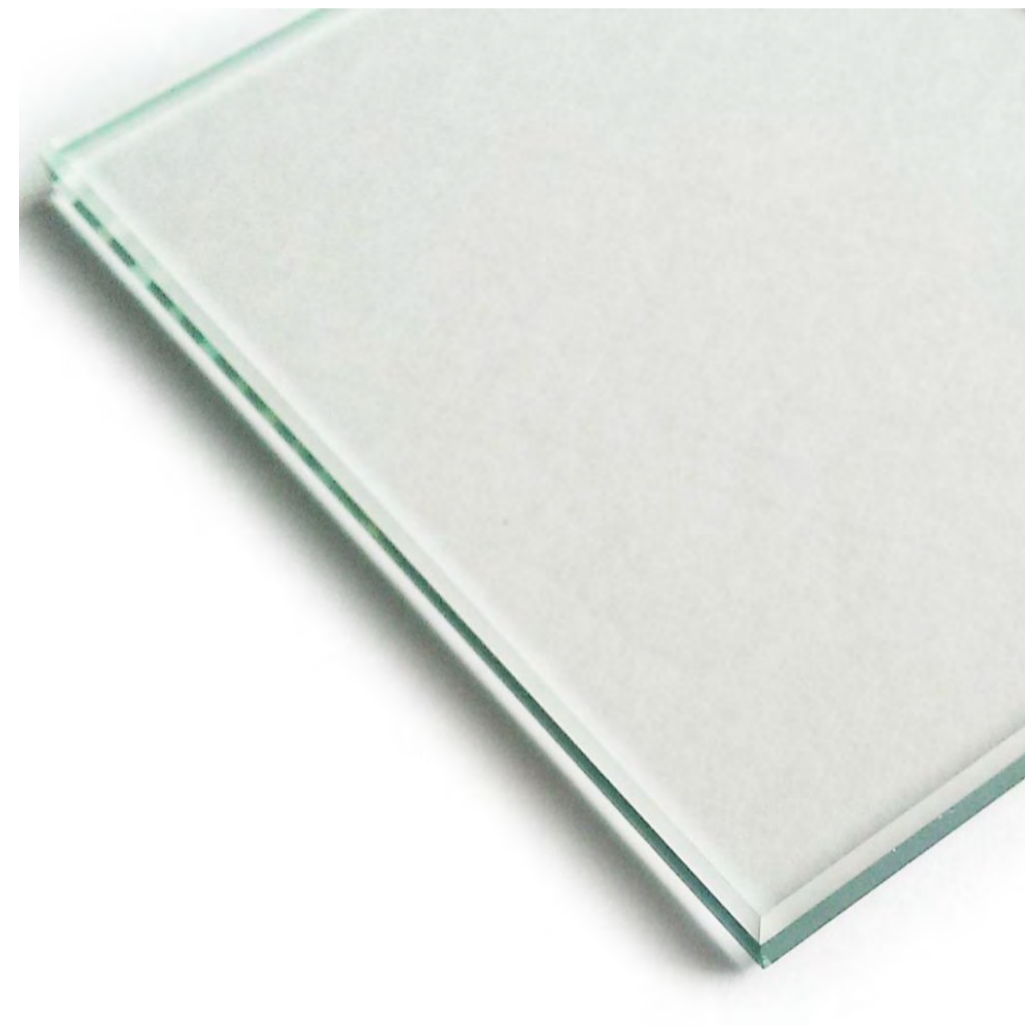
13 FIBRE CEMENT SHEET CLADDING - PAINT FINISH TO MATCH COLORBOND 'WOODLAND GREY'



5 ROOFING ACCESSORIES TYPE 02 - NATURAL ANODISED ALUMINIUM FINISH OR COLORBOND 'SHALE GREY' FINISH



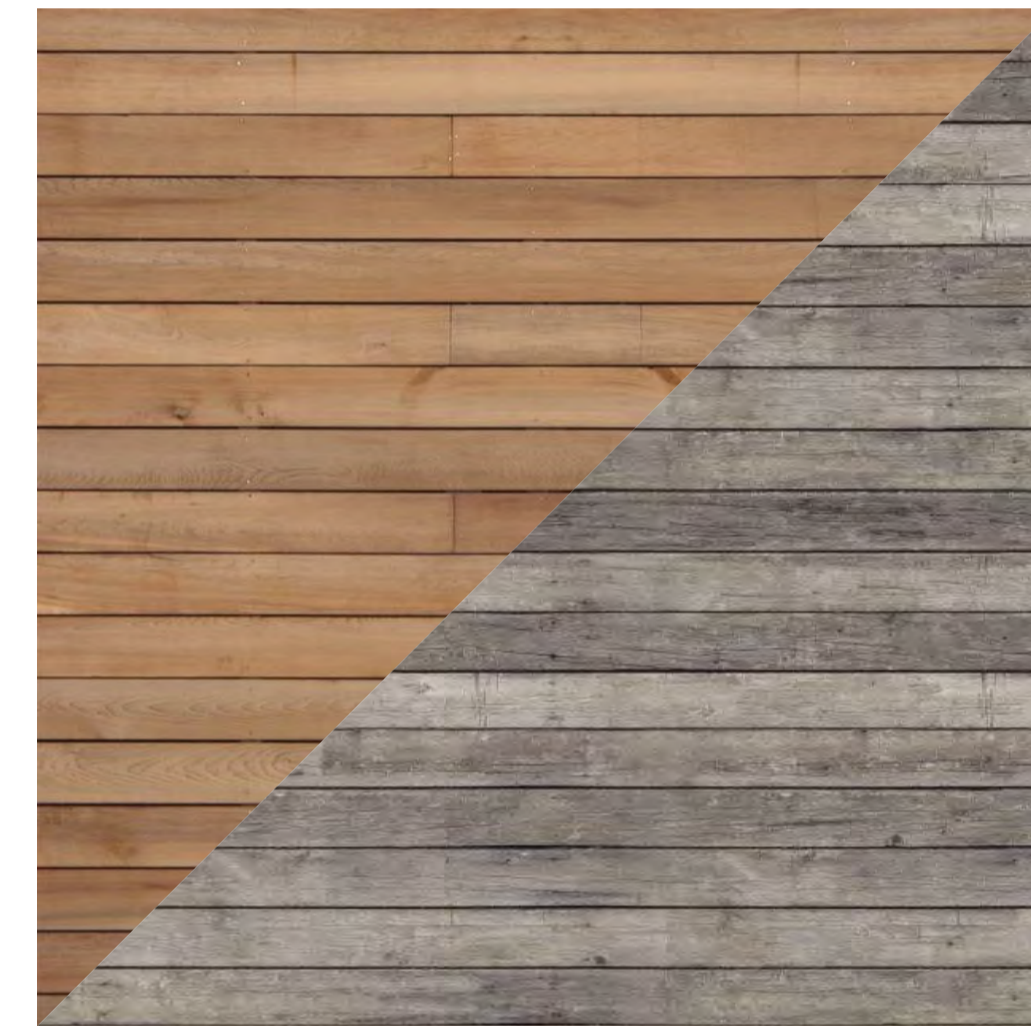
6 TIMBER DOOR + WINDOW FRAMES - NATURAL STAIN FINISH



7 CLEAR LOW-E GLAZING



8 SEMI-TRANSPARENT TIMBER BATTEN CLADDING WITH GLASS BACKING (TO FRONT GATE + GARAGE PANEL LIFT DOOR)



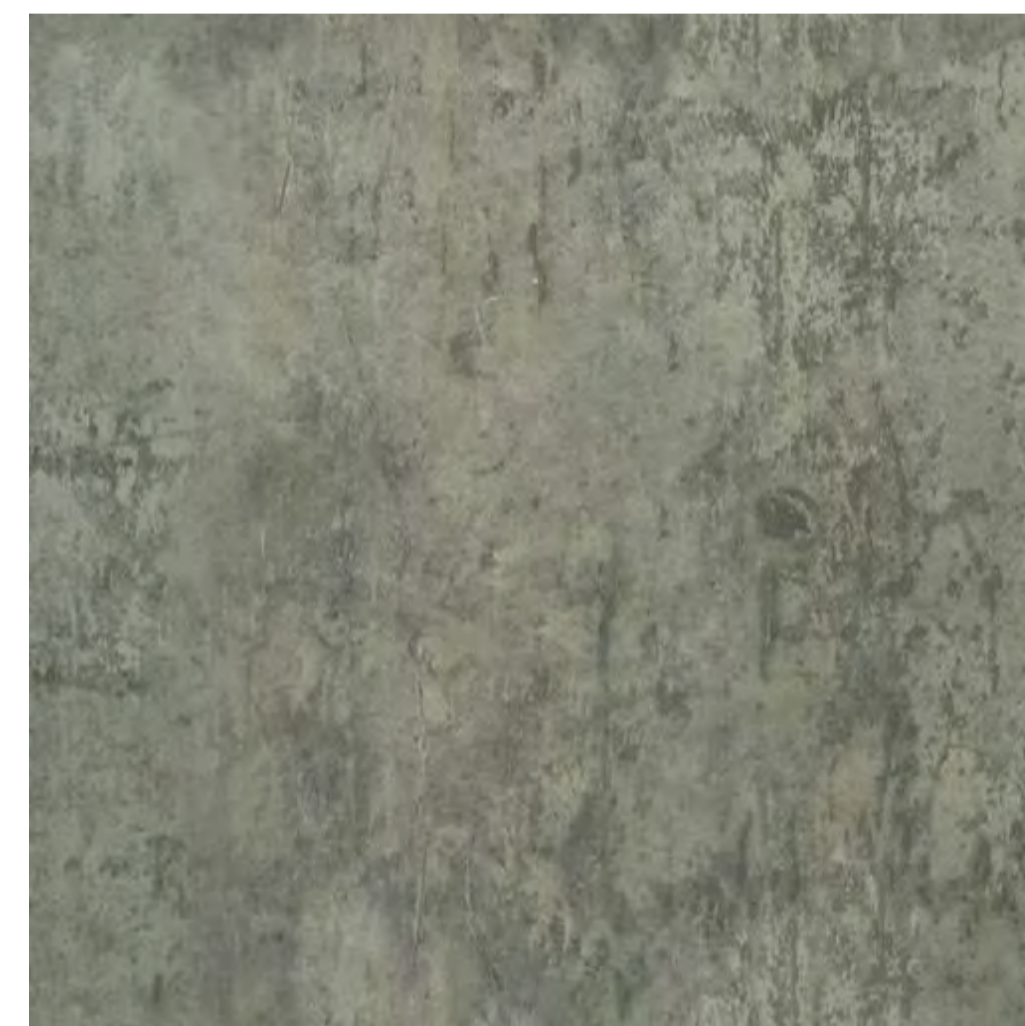
9 TIMBER DECKING - NATURAL STAIN FINISH



10 TIMBER PALING FENCE - NATURAL STAIN FINISH



11 EXPOSED AGGREGATE DRIVEWAY



12 EXPOSED CONCRETE COLUMNS



14 FIBRE CEMENT SHEET CLADDING - IN NATURAL FINISH OR PAINT FINISH TO MATCH COLORBOND 'SHALE GREY'

**MATERIALS & FINISHES SCHEDULE**

- 1 CONCRETE RENDER
- 2 METAL SHEET WALL CLADDING - COLORBOND FINISH
- 3 METAL SHEET ROOFING MATERIAL - COLORBOND FINISH
- 4 ROOF ACCESSORIES TYPE 01 - COLORBOND FINISH
- 5 ROOF ACCESSORIES TYPE 02 - ALUMINIUM / COLORBOND FINISH
- 6 TIMBER WINDOW + DOOR FRAMES - NATURAL STAIN FINISH
- 7 GLAZING - CLEAR LOW-E GLASS
- 8 TIMBER BATTEN CLADDING
- 9 TIMBER DECKING - NATURAL STAIN FINISH
- 10 TIMBER PALING FENCE - NATURAL STAIN FINISH
- 11 EXPOSED AGGREGATE
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- 13 FIBRE CEMENT SHEET CLADDING - PAINT FINISH
- 14 FIBRE CEMENT SHEET CLADDING - EXPOSED / PAINT FINISH

**PLANNING - NOT FOR CONSTRUCTION**

REV. DATE	REVISION	INITIAL	SCALE
02.06.16	PRELIMINARY TOWN PLANNING APPLICATION	RC	NTS

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**MARTUCCI DEVELOPMENT**  
42-44 PONDS DRIVE  
LARA  
VIC 3212

**MATERIALS SCHEDULE**  
TOWN PLANNING

DRAWN RC  
CHECKED DP  
PROJECT NUMBER 1602G  
DATE MAR '16  
TP4.01  
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REV.	DATE	REVISION	INITIAL	SCALE
-	02.06.16	PRELIMINARY TOWN PLANNING APPLICATION	RC	NTS
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B	03.08.16	AMENDED TOWN PLANNING APPLICATION	RC	NTS

Friday, 5 August 2016 9:54 AM G:\1602G - Ponds Drive Development\02 CAD\2.3 TP\TP Model\1602G TP Model.pln

**MARTUCCI DEVELOPMENT**  
 42-44 PONDS DRIVE  
 LARA  
 VIC 3212

3D VIEW FROM BASE OF DRIVEWAY  
 TOWN PLANNING

DRAWN  
 RC  
 CHECKED  
 DP

PROJECT NUMBER  
 1602G  
 DATE  
 MAR '16

TP5.01  
 REVISION  
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 TECT**

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REV.	DATE	REVISION	INITIAL	SCALE
-	03.08.16	AMENDED TOWN PLANNING APPLICATION	RC	NTS

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**MARTUCCI DEVELOPMENT**  
 42-44 PONDS DRIVE  
 LARA  
 VIC 3212

3D VIEW FROM TOP OF DRIVEWAY  
 TOWN PLANNING

DRAWN  
 RC  
 CHECKED  
 DP

PROJECT NUMBER  
 1602G  
 DATE  
 MAR '16

TP5.02  
 REVISION  
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**MARTUCCI DEVELOPMENT**  
 42-44 PONDS DRIVE  
 LARA  
 VIC 3212

3D VIEW FROM HOVELLS CREEK  
 TOWN PLANNING

DRAWN  
 RC  
 CHECKED  
 DP

PROJECT NUMBER  
 1602G  
 DATE  
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TP5.03  
 REVISION  
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