

AMENDMENT

C383GGEE

City of Greater Geelong Advertising Sign Guidelines
May 2022

Mark Marsden- Transect Planning Pty Ltd
Expert Witness Statement

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Introduction

1. I have been instructed in this matter by Peter Smith, Coordinator Strategic Implementation and Rachel Carr, Strategic Planner, Greater Geelong City Council, in relation to Amendment C383ggee to the Greater Geelong Planning Scheme. The instructions letter is in **Attachment A**.
2. I have been asked to prepare an expert witness statement in relation to Amendment C383ggee.
3. The Amendment seeks to implement the City of Greater Geelong Advertising Sign Guidelines (May 2022) by replacing the current guidelines and making related changes to the Greater Geelong Planning Scheme. Specifically, the amendment:
 - Inserts new Clauses 15.01-1L-03 (Signs in urban environments) and 15.01-6L (Signs in rural areas) to require signs in urban and rural areas to comply with the City of Greater Geelong Advertising Sign Guidelines (May 2022).
 - Amends the schedule to Clause 72.04 (Documents Incorporated in this Planning Scheme) by removing Advertising Signage Guidelines, City of Greater Geelong 1997 and replacing it with City of Greater Geelong Advertising Sign Guidelines (May 2022) as an incorporated document.
 - Amends the schedule to Clause 72.08 (Background Documents) by inserting the City of Greater Geelong Advertising Sign Guidelines Review – Issues and Options Paper (May 2022) as a background document.
4. I was engaged by the City of Greater Geelong in 2022 to undertake a peer review of the draft Issues and Options Paper and draft Advertising Sign Guidelines. The Guidelines had been largely prepared by Council's in-house planners and the Advertising Signs Guidelines document was prepared by urban design firm Urban Fold. The advice was provided on 22 May 2022. **See Attachment B**. In summary, the main comments were that:
 - The combination of guidelines for some types of advertising signs and for place based guidelines are appropriate.
 - The use of graphic examples to indicate what should be considered and what should be avoided when preparing an application for an advertising sign is also a very helpful tool that will assist applicants.
 - It would be appropriate that a brief explanation of why a place based approach and how the different local environments were identified.
 - The preferred approach of including the Guidelines in an Incorporated Document with a brief cross reference in the local policy part of the PPF is supported on the basis that it will ensure the Guidelines will have statutory weight and is consistent with DELWP's approach to the PPF framework.
 - The content of the objectives, strategies and guidelines have been prepared by experienced urban designers and will provide a robust framework for considering

the impacts of advertising signs on the different local environments. It is considered that they build upon Clause 52.05 and do not result in unnecessary duplication.

- Some suggestions were made to a few provisions to ensure their intent is clear and are not too restrictive.

5. In preparing my evidence, I have reviewed and had regard to the following documents:

- Amendment C383ggee amendment documentation
- City of Greater Geelong Advertising Sign Guidelines (May 2022)
- City of Greater Geelong Advertising Signs Issues and Options Paper (May 2022)
- Planning Practice Note 13 (PPN13) Incorporated and background documents
- The Greater Geelong Planning Scheme
- Urban Design Guidelines for Victoria
- Local policies for advertising signs, including Casey, Cardinia, Melton, Hume, Whittlesea and Wyndham
- Council delegate report dated 23 August 2023
- The submissions received in response to the exhibition of the Amendment

Expert Witness Statement

The name and address of the expert.

Mark Marsden of 13 Darryl Street, Portarlington Vic 3223

The expert's qualification and experience.

Mark Marsden holds a Graduate Diploma in Urban Planning from Victoria University (formerly Footscray Institute of Technology). He is a fellow of the Planning Institute of Australia and is a member of the Victorian Planning and Environment Law Association.

A Curriculum Vitae is included **Attachment C**.

The expert's area of expertise to make this report.

Mark has a broad range of experience in planning matters with a sound understanding of statutory planning provisions and significant experience in strategic planning and policy development enabling him to comment on a wide range of planning issues.

Other significant contributors to the report.

Not applicable.

Instructions that define the scope of the report

Mark Marsden has been instructed by Peter Smith and Rachel Carr for the City of Greater Geelong.

The identity of any person who carried out tests or experiments upon which the expert has relied on and the qualifications of that report.

Not applicable.

The facts and matters and all assumptions upon which the report proceeds.

Mark Marsden relies upon the reports and documents listed above.

Documents and other materials the expert has been instructed to consider or take into account in preparing his report, and the literature of other material used in making the report.

Mark Marsden has reviewed and taken into account the reports and documents listed above.

A summary of the opinion or opinions of the expert witness

A summary of Mark Marsden's opinions is provided for within section 3.0 of this report.

Any opinions that are not fully researched for any reason

Not applicable.

Questions falling out of the expert's expertise and completeness of the report.

Mark Marsden has not been asked to make comment on any matters outside of his area of expertise. This report is a complete statement of evidence.

Expert Declaration

I have made all the inquiries that I believe are necessary and desirable to prepare and present expert evidence in this matter and no matters of significance which I regard as relevant have to my knowledge been withheld from the Panel.

Mark Marsden

Mark Marsden
2 October 2023

Opinion

Overview

6. I have framed my assessment and evidence around the following questions:
 - Is the Amendment strategically justified?
 - Is the proposal to include the Advertising Signs Guidelines as an Incorporated Document appropriate?
 - Is the proposal to include the Issues and Options Paper as a Background Document appropriate?
 - Is the structure of the Advertising Signs Guidelines appropriate in terms of:
 - A combination of a placed-based and sign-type approach to assessing applications for advertising signs?
 - The use of objectives, strategies and guidelines?
 - Is Clause 15.01-1L-03 Signs in urban environments and Clause 15.01-6L Signs in rural areas appropriate?
 - Issues raised in submissions.
7. Detailed responses to the submissions are included in **Attachment D** of my statement and summarised in Issues Raised in Submissions below.

Is the Amendment strategically justified?

8. I have reviewed the strategic justification for the amendments in accordance with the framework provided by Planning Practice Note 46: Strategic Assessment Guidelines. The significant points of my consideration of these issues are as follows:

Why is an Amendment required?

9. Amendment C383ggee is required to provide a contemporary suite of guidelines on the assessment of advertising sign guidelines into the Greater Geelong Planning Scheme. The existing guidelines were first developed in 1997 and were last amended in 2014. The amendment that occurred in 2014 related to a specific requirement at Kardinia Park only. It is fair to say that there have been significant changes in the nature of advertising signs in the past 25 years, particularly in relation to electronic or digital signage. The 1997 guidelines also includes references to outdated sign types and policies and are inconsistent with other policies in the planning scheme.

10. The Amendment is also required because there is a policy gap at the State level in terms of lack of design guidelines. The Urban Design Guidelines of Victoria contain a short section on ‘Signs and wayfinding”, but these only address a limited number of design issues.

Objectives for planning in Victoria

11. Section 4(1) of the *Planning and Environment Act 1987* sets out the objectives of planning in Victoria. Relevantly, the amendment implements and advances the following objectives:
- To provide for the fair, orderly, economic and sustainable use and development of land.
 - To secure a pleasant, efficient and safe working, living and recreational environment for all Victorians and visitors to Victoria.
 - To conserve and enhance those buildings, areas or other places which are of scientific, aesthetic, architectural or historical interest, or otherwise of special cultural value.
 - To facilitate development in accordance with the objectives [outlined above].
 - To balance the present and future interests of all Victorians.
12. The new Guidelines will provide contemporary guidance for signs to ensure they are appropriately designed, sited and of a scale that complements and enhances site and context in the varied built form environments across the municipality. They will also provide more certainty for promotional sign companies and businesses.
13. It is my opinion that the amendment is generally consistent with the objectives for planning in Victoria.

Environmental, Social and Economic Effects

14. In relation to environmental effects, it is widely accepted that signs can have a significant impact on the public realm and affect streetscapes, landscapes and buildings. Designed well, advertising signs can have a positive impact on the public realm.
15. In relation to economic effects, signs can add vitality to an area and can identify businesses and promote products and events.
16. In relation to social effects, signs may detract from public safety if they are inappropriately and cause distraction. This has been a particular concern in relation to electronic signs. Visual clutter of signs can detract from an area and counter feelings of civic pride.

The Planning Policy Framework

17. The amendment broadly supports and implements a number of relevant objectives in the Planning Policy Framework (PPF).

State provisions

18. In particular, the amendment is consistent with Clause 15.01-1S Urban design – by achieving the objective and relevant strategies including:
- Require development to respond to its context in terms of character, cultural identity, natural features, surrounding landscape and climate.
 - Ensure development contributes to community and cultural life by improving the quality of living and working environments, facilitating accessibility and providing for inclusiveness.
 - Ensure the interface between the private and public realm protects and enhances personal safety.
 - Ensure that development, including signs, minimises detrimental impacts on amenity, on the natural and built environment and on the safety and efficiency of roads.
 - Promote good urban design along and abutting transport corridors.
19. The amendment is consistent with Clause 15.01-6S Design for rural areas – by achieving the objective and strategies, including:
- Ensure that the siting, scale and appearance of development protects and enhances rural character.
 - Protect the visual amenity of valued rural landscapes and character areas along township approaches and sensitive tourist routes by ensuring new development is sympathetically located.
 - Site and design development to minimise visual impacts on surrounding natural scenery and landscape features including ridgelines, hill tops, waterways, lakes and wetlands.
20. The amendment is consistent with Clause 18.01-1S Land use and transport integration – by achieving the objective and relevant strategies including:
- Design the transport system and adjacent areas to achieve visual outcomes that are responsible to local context with particular reference to:
 - Landscaping.
 - The placement of signs.
 - Providing buffer zones and resting places.

Local provisions

21. The amendment accords with Clause 02.03-5 (Built environment and sustainability) of the Municipal Planning Strategy (MPS) strategic directions to:
- Ensure that development enhances Geelong’s sense of place and identity.
 - Encourage all development to provide high quality urban design and landscaping.

22. The amendment is consistent with Clause 11.03-1L Activity Centres in Greater Geelong – by achieving the objective and strategies including:
- Ensure that retail use and development on land within the Residential Growth Zone:
 - Is designed and sited to operate without amenity impacts to neighbouring residents.
23. The amendment is consistent with Clause 15.01-1L-02 Pakington Street North urban design – by achieving the objective and strategies including:
- Discourage signs that dominate the building or streetscape and detract from the pedestrian environment.

Bushfire risk

24. The amendment will not result in any increased bushfire risk.

Compliance with Ministerial Directions

25. The amendment complies with the requirements of the Ministerial Direction the Form and Content of Planning Schemes (section 7(5) of the Act) and is consistent with Ministerial Direction No. 11 Strategic Assessment Guidelines.

Propose use of Ministerial Directions

26. The amendment makes proper use of the Victorian Planning Provisions (VPPs) by implementing the recommendations in the City of Greater Geelong Advertising Sign Guidelines Review – Issues and Options Paper (May 2022) and replacing the current Guidelines with the new Guidelines into the Greater Geelong Planning Scheme, as well as referencing the Issues and Options Paper as a background document.

View of relevant agencies

27. The amendment was subject to the standard public exhibition process to relevant Ministers and government departments/agencies.
28. VicTrack requested some additions to the guidelines. These are considered below.

Resourcing and administrative costs

29. The amendment will not result in additional planning permit applications being lodged with the council. The amendment will provide greater certainty on how the council will exercise its discretion when considering applications for signage. This will result in improved clarity for all parties on council's expectations when lodging applications for signage across the municipality. As a result, it is not expected the amendment will result in any increase in resources or administrative costs for the council.

Is the proposal to include the Advertising Signs Guidelines as an Incorporated Document in Clause 72.04 of the planning scheme appropriate?

30. The Issues and Options Paper identified five options for the implementation of the Guidelines into the Planning Scheme. These are:

- Insert the Guidelines into the planning scheme as an Incorporated Document.
- Reference the Guidelines in the planning scheme as a Background Document.
- Insert the Guidelines into the planning scheme as a local policy.
- Insert the Guidelines as an Incorporated Document in addition to a brief local policy that would cross reference the Guidelines.
- Remove current guidelines (as an Incorporated Document) and insert relevant guidelines in zone or overlay schedules where they currently apply.

31. The Issues and Options Paper recommended the fourth option – ie insert the Guidelines as an Incorporated Document in addition to a brief local policy that would cross reference the Guidelines. This is consistent with the May 2022 peer review advice prepared by Transect Planning that this is the preferred option because:

- An Incorporated Document provides strong statutory weight and will ensure all applications will be assessed against the Guidelines.
- Planning Practice Note 13 Incorporated and background documents state that development guidelines may be considered to be an appropriate incorporated document and that an incorporated document can be used by the responsible authority to guide the exercise of discretion.
- Under the new Planning Policy Framework (PPF), it appears that the preference of DELWP is to not have lengthy local policy provisions in the PPF.
- Precedents have been set for including advertising signage controls in Incorporated Documents (for example, Melbourne Planning Scheme Visy Park Signage, 2012 Royal Parade, Carlton North). There is also greater use of Incorporated Documents under the PPF (for example, Statements of Significance).
- Whilst a disadvantage is that an Incorporated Document cannot be changed without a planning scheme amendment, the Council is able to review the Incorporated Document as part of its four-yearly review of its planning scheme.
- All Incorporated Documents are listed in Clause 72.04 and such documents can be made readily available on Council's web site.

Is the proposal to include the Issues and Options Paper as a Background document in Clause 72.08 of the planning scheme appropriate?

32. Planning Practice Note 13 (PPN13) Incorporated and Background Documents states:

Background documents provide information to assist in understanding the context within which a particular policy or provision has been framed.

33. It is considered the Issues and Options Paper (May 2022) provides important contextual information on why there is a need to introduce an updated guideline on advertising signs and also explains why the proposed mechanism of using an Incorporated Document is appropriate. It is noted that the Warrnambool Planning Scheme includes the Warrnambool City Council Advertising Signage Policy – Background Report (Warrnambool City Council, 2019) is included in the schedule to Clause 72.08. This was inserted as part of Amendment C204warr gazetted on 4 August 2022.

Is the structure of the Advertising Signs Guidelines appropriate in terms of:

- A combination of a placed-based and sign-type approach to assessing applications for advertising signs

34. The Issues and Options Paper notes that there are a number of ways guidelines could be structured. Guidelines could be developed to address one or more of different sign types, zones, areas, locations, built form or categories identified in Clause 52.05 (Signs). The current City of Greater Geelong Advertising Sign Guidelines groups policy guidance in the following structure:

- Categories (as identified in Clause 52.05)
- Heritage overlay areas
- Drysdale commercial area sign controls
- Sign types

35. It also noted there is quite a varied approach to advertising sign policies by Victorian councils. For instance:

- Sign categories (Wyndham and Knox)
- Area types (Melbourne, Greater Dandenong and Banyule)
- Combination of sign and area types (Cardinia, Melton and Monash)
- Issues - such as maintaining active frontages – (Boroondara, Greater Bendigo)

36. The Issues and Options Paper states that the Guidelines could have a structure based on the area types as well as the categories in Clause 52.05. It states that the different area types can enable informed decisions for how advertising signs should be designed and adapted to different locations in the municipality.

37. The Advertising Sign Guidelines have the following structure:

GENERAL GUIDELINES

- Use the general guidelines for all signs

Also use one of the following guidelines, for the category nominated in the zone or zone schedule where the sign will be located:

Commercial areas (Category 1) are divided into two types: Pedestrian Oriented and Highway Oriented Commercial Areas. These are described on pages 14 and 15. Use the Guidelines for the area the sign will be located in only.

CATEGORY AREA GUIDELINES

- Commercial (Category 1)**
Pedestrian Oriented Commercial Area
- Commercial (Category 1)**
Highway Oriented Commercial Area
- Industrial Areas (Category 2)**
- High Amenity Areas (Category 3)**
- Sensitive Areas (Category 4)**

If they apply to the proposed sign, use one or more of the following guidelines:

PARTICULAR GUIDELINES

- Interface Areas**
Signs in a Commercial or Industrial (Category 1 or 2) area, but to or opposite a High Amenity or Sensitive (Category 3 or 4) area.
- Central Geelong**
Signs in the Central Geelong Activity Centre Zone (schedule 1) and Design and Development Overlay (schedules 17 and 46).
- Heritage Places**
Signs in a Heritage Overlay. Please note the requirements of the Heritage Overlay must also be addressed, in addition to these guidelines.
- PAD sites**
Signs located at a freestanding service station, retail premises, freeway service centre, medical centre or veterinary centre.
- Growth Areas**
Signs in greenfield and large infill development areas
- Major Promotion Signs**
- Electronic Signs**

38. The City of Greater Geelong has one of the most diverse environments for a municipality in Victoria: it contains Victoria's second largest city; has traditional, main streets (such as Pakington Street); free-standing shopping centres (such as Waurm Ponds); bulky goods areas (such as North Geelong and Waurm Ponds); older industrial areas (such as Corio and Geelong South); new industrial estates (such as Drysdale); inner and middle suburbs, with significant heritage precincts in the inner areas) and growth areas (Armstrong Creek); an industrial port; coastal areas and coastal villages (Bellarine Peninsula); and rural areas and rural villages (north-west of the municipality, Anakie).
39. With such a diverse environment, my opinion is that having a component of a place-based approach to the Advertising Sign Guidelines is appropriate.
40. I consider the other component of the Guidelines to have sign-type approach to also be appropriate as it links back to the sign categories in Clause 52.05 of the Victoria Planning Provisions (VPPs).
41. Whilst it could be argued that the structure of the Guidelines is complex, the User Guide at the commencement of the document steps out the processes to make application for a sign.

Is the structure of the Advertising Signs Guidelines appropriate in terms of:

- The use of objectives, strategies and guidelines
42. Each section of the Guidelines is divided into objectives, strategies and guidelines.
- **Objectives** specify the outcomes a decision under these guidelines should seek to achieve.
In addition to objectives, **both** strategies and guidelines must both be taken into account when making a decision.
 - **Strategies** describe how the objectives are to be achieved.
 - **Guidelines** provide detailed guidance for how objectives may be achieved.
43. This approach is generally consistent with Planning Practice Note 8 (PPN8 Writing a Local Planning Policy). Under Theme-based policies, it suggests the following approach:
- Policy basis
 - Objectives
 - Policy
 - Guidance on the exercise of discretion
 - Providing criteria or performance measures
 - Decision guidelines

44. Whilst this Practice Note has been effectively superseded by the Planning Policy Framework approved via Amendment C148 in June 2018, the Smart Planning Planning Scheme Rules – Guide for PPF translations Rule No. 5 states:

Local policy must only contain: Policy application, Objective, Strategies, Policy guidelines, Policy documents, maps (it does have to have all these – only what is needed).

45. In my opinion the Guidelines approach to apply objectives, strategies and guidelines is generally consistent with a performance-based approach in the VPP which provides an appropriate balance between certainty and flexibility. The overriding focus of this approach is on the outcome to be achieved and a level of certainty is provided by the strategies and guidelines that explain how the objective can be achieved.

Is Clause 15.01-1L-03 and Clause 15.01-L Signs in urban environments and Signs in rural areas appropriate?

46. Given the PPF structure that has separate sections on urban and rural environments, I consider it appropriate to have separate policy on signs in each section. It is noted the policies are brief and include reference to the Advertising Sign Guidelines May 2022. However, I suggest the following minor modifications to the strategies under both sections:

Strategies

Ensure signs ~~are in accordance with~~ meet the objectives, strategies and guidelines of the City of Greater Geelong Advertising Sign Guidelines (May 2022).

Issues raised in submissions

47. **Attachment D** provides a table that I have taken from the Council delegate report of 30 August 2023 and added a column in which I respond to the Officer response.

48. It is noted that most submissions raised issues about advertising signage in growth areas. Greater Geelong’s current main growth area is Armstrong Creek in the southern parts of the municipality. There are a number of different developers with many subdivisions at various stages of development. Many of the photos in **Attachment F** were taken in the growth areas.

49. Below is a consolidated list of recommendations contained in **Attachment D** of the expert witness statement.

No	Advertising Sign Guidelines	Provision	Recommendation
1	General Strategy No 1	Prioritise business identification signs as the main type of signage.	Amend as follows:

			Discourage promotion signs that may impact on opportunities for business identification signs, particularly where such signs are not related to the land.
2	General Guideline No 2	Signs should only be located on the land to which they relate	Delete
3	General Guideline No 3	Discourage V-shaped signs	Amend as follows: Discourage V-shaped signs on buildings. Free standing V-shaped signs may be supported on corner sites
4	General Guideline No 7	Discourage signs on open sites where they will be a dominant visual element in the landscape and detract from the visual amenity of a road, cycling, pedestrian or rail corridor.	Discourage signs that detract from the visual and landscape amenity of a road, cycling, pedestrian or rail corridor.
5	General Guideline No 10	Discourage signs that require earthworks or the removal of trees or landscaping.	Amend as follows: Encourage signage that retains existing trees and introduces new landscaping and vegetation.
6	General Guideline No 11	Avoid illuminated and electronic signs that: <ul style="list-style-type: none"> • Detract from the overall character of the streetscape; • Will dominate neighbouring non-illuminated signs; • Detract from the architectural style or the heritage character of the building; • Have 'pop out' elements; • Have flickering or flashing content or blank screens, 	Amend as follows: Relocate the detailed guidelines on Electronic signs and illuminated signs in the Electronic signs section. Remove Illuminated signs from the Electronic signs heading. In the General Guidelines section, include the following guidelines:

		<ul style="list-style-type: none"> • including between messages. • Result in glare or include visually obtrusive light fixtures. • Use multiple screens to advertise the same product or service. • Have exposed cabling/conduit systems and junction boxes. 	<p>Encourage electronic signs appropriate for their context and if they meet the electronic signs detailed guidelines, including road safety.</p> <p>Encourage internally illuminated signs that are appropriate for their context and do not detract from the amenity or adversely affect the built environment or safety</p>
7	General Guideline No 11	Avoid illuminated and electronic signs that: Detract from the overall character of the streetscape;	Delete
8	Category 1 Highway Oriented Commercial Areas, Strategy No 4	Avoid signs that result in loss of amenity or adversely affect the natural or built environment, or the safety, appearance or efficiency of a road.	Amend as follows: Avoid signs that result in loss amenity or adversely affect the natural or built environment, or the safety, appearance or efficiency of a road or rail corridor.
9	Industrial Area General Guideline No 3	Signs should not face toward, dominate the outlook from or result in increased illumination to adjoining landscapes, passive open space or nearby dwellings.	Amend as follows: Discourage freestanding signs unless there is no opportunity for signs to be incorporated into buildings, or the building which it relates to on the site is set back from road more than 20 m.
10	Interface Areas Strategy No 1	Ensure signage near passive open space and other sensitive areas is discreet.	Amend as follows: Signs should not dominate the outlook from or result in increased

			illumination to adjoining landscapes, passive open space or nearby dwellings.
11	Growth Areas Objective	To protect areas of new development from a proliferation of advertising signage.	Amend as follows: To ensure that signs promoting new subdivisions in growth areas does not result in an excess number of signs.
12	Growth Areas Strategy No. 1	Encourage signage management plans for new estates or where there are multiple tenancies operating on a single site.	Delete
13	Growth Areas Strategy No. 2	Discourage branding of new estates through signage.	Delete
14	Growth Area Strategies	1. Encourage signage management plans for new estates or where there are multiple tenancies operating on a single site. 2. Discourage branding of new estates through signage.	Delete the two strategies and insert: Ensure a proliferation of signs does not occur that results in visual clutter and detracts from the local environment.
15	Growth Area Guideline No 1	Subdivision and new estate promotion signs should be limited to a maximum of one per road frontage.	Amend as follows: Subdivision and new estate promotion signs on the same estate should be limited to a maximum of one per road frontage. More than sign may be permitted where: <ul style="list-style-type: none"> • Estate frontages that exceed a length of 150 metres; • A 150 metre separation is provided between signs.

16	Growth Area Guideline No 4	150 m separation should be provided between all signs within the same estate and a maximum of 4 in total.	Amend as follows: 150 m separation should be provided between estate promotion signs within the same estate and a maximum of 4 in total.
17	Major Promotion Signs Guideline No 2	Ensure major promotion signs stay relevant and well maintained, by allocating an expiry date to permits of up to 5 years from the date of issue of the permit.	Delete
18	Electronic signs Strategy No 3	Prioritise road safety when considering and assessing applications for electronic signs.	Amend as follows: Prioritise road and rail safety when considering and assessing applications for electronic signs.
19	Electric signs Guideline No 4	Avoid electronic signs in locations where it cannot be demonstrated the risk to road users is low.	Amend as follows: <ul style="list-style-type: none"> • Avoid electronic signs in locations where it is demonstrated that the safety risk to road users does not meet relevant criteria.

Conclusions

50. My conclusions are summarised below:

- The amendment is strategically justified.
- The proposal to include the Advertising Signs Guidelines as an Incorporated Document is appropriate.
- The proposal to include the Issues and Options Paper as a Background Document is appropriate.
- The structure of the Advertising Signs Guidelines in terms of a combination of a placed-based and sign-type approach to assessing applications for advertising signs is appropriate.

- The use of objectives, strategies and guidelines within the Advertising Sign Policy incorporated document is appropriate.
 - Subject to recommended changes to various objectives, strategies and guidelines as summarised in paragraph 47, I consider that the Amendment will deliver a net community benefit and sustainable development.
51. I have made all inquiries that I believe are desirable and appropriate and that no matters of significance which I regard as relevant have to my knowledge been withheld from the Panel.

Mark Marsden
Director
Transect Planning
2 October 2023

Attachment A- Instructions

Refer to – Transect Planning Expert Witness Instructions 1pdf 4 September 2023

CITY OF GREATER GEELONG

PO Box 104,
Geelong VIC 3220
DX 22063 Geelong

P: 03 5272 5272
E: contactus@geelongcity.vic.gov.au
www.geelongaustralia.com.au



Mark Marsden
Transect Planning Pty Ltd
PO Box 17
PORTARLINGTON VIC 3223

14 September 2023

Our Ref: D23-447878.
Direct Ph: (03) 5272 4357

Dear Mark,

Re: Amendment C383ggee Panel Hearing - Expert Witness Instructions

I refer to our recent discussions in relation to Amendment C383 to the Greater Geelong Planning Scheme (**Amendment**).

As you are aware, the Amendment proposes to add the *City of Greater Geelong Advertising Sign Guidelines (May 2022)* as an incorporated document to the Greater Geelong Planning Scheme, insert the *City of Greater Geelong Advertising Sign Guidelines Review – Issues and Options Paper (May 2022)* as a background document, and insert new clauses 15.01-1L-03 and 15.01-6L to require signs in urban and rural areas to comply with the updated Advertising Sign Guidelines (May 2022).

You are briefed to review the Amendment documentation as a planning expert and prepare an expert witness statement in relation to the upcoming Panel Hearing for the Amendment. The particulars of your brief are outlined in further detail below.

Background

Council is the Planning Authority for the Amendment, which seeks to implement the City of Greater Geelong Advertising Sign Guidelines (May 2022). Specifically, the amendment:

- Inserts new Clauses 15.01-1L-03 (Signs in urban environments) and 15.01-6L (Signs in rural areas) to require signs in urban and rural areas to comply with the City of Greater Geelong Advertising Sign Guidelines (May 2022).
- Amends the schedule to Clause 72.04 (Documents Incorporated in this Planning Scheme) by removing Advertising Signage Guidelines, City of Greater Geelong 1997 and replacing it with City of Greater Geelong Advertising Sign Guidelines (May 2022) as an incorporated document.
- Amends the schedule to Clause 72.08 (Background Documents) by inserting the City of Greater Geelong Advertising Sign Guidelines Review – Issues and Options Paper (May 2022) as a background document.

History

In 2021/2022 the City conducted a review of the Advertising Signage Guidelines (City of Greater Geelong 1997) which are currently included in the Greater Geelong Planning Scheme as an incorporated document to guide decision making. The review found there is a need to update the current guidelines for a number of reasons, including:

- The current guidelines are over 20 years old.
- There have been numerous changes to the planning scheme since this time, including to the number and types of commercial zones, as well as to the advertising sign particular provision (Clause 52.05).
- The evolving nature of advertising signage and urban design requires updated direction for planning permit applications.

An Issues and Options Paper was prepared, which outlines the current policy and statutory context, issues and case studies of signage in the municipality. It recommends new guidelines be prepared, as well as a short local policy provision for advertising signs. The structure recommended for the new Guidelines would be based on different area types identified in Greater Geelong, such as pedestrian oriented commercial areas including High Street in Belmont and Ormond Road in East Geelong, as well as Highway oriented commercial areas, such as Waurin Ponds Shopping Centre or Leopold Gateway Plaza.

New Advertising Sign Guidelines have been prepared collaboratively with Urban Design consultants Urban Fold, based on the recommended structure and issues identified in the Issues and Options Paper.

The Amendment

On 28 February 2023, Council resolved to prepare and exhibit Amendment C383ggee to implement the City of Greater Geelong Advertising Sign Guidelines (May 2022) into the Greater Geelong Planning Scheme.

Amendment C383 was exhibited from 18 May to 26 June 2023. Eight submissions were received. Eight submissions were received during the exhibition period. Each of these eight submissions seek changes to the amendment with seven objecting submissions from land developers or their consultants and one supportive submission from VicTrack which also requested changes.

In general, the submissions addressed common issues, namely concerns that the Guidelines were overly restrictive and argued for a finer-grain approach. There was push back against sections of the Guidelines seen to have an unduly negative restriction on the 'branding' of growth area developments. Questions were raised around the specific distances in a number of guidelines. Concerns were also raised that guidelines regarding electric signs were too restrictive.

The consistent themes in the comments and objecting submissions include:

- The proposed Growth Area Sign guidelines are too restrictive;
- The proposed Major Promotion Sign guidelines are too prescriptive;
- The guidelines relating to electronic signs do not sufficiently account for technological developments, and;
- The guidelines do not allow for sufficient flexibility in response to place and context.

On 30 August 2023, Council (under delegation) considered all submissions and resolved to refer the matter to a Planning Panel.

Brief

The key objectives of your brief are to:

1. Review the Issues and Options Paper
2. Review the Advertising Sign Guidelines
3. Review all submissions to the Amendment
4. Review Council's delegate report and response to submissions
5. Compare Greater Geelong's guidelines against other advertising sign guidelines
6. Provide your opinion on the amendment particularly as they relate to your expertise in planning matters.
7. Prepare an expert witness report in accordance with the Planning Panels Victoria expert evidence guidelines which addresses the above and has regard to:
 - 7.1 whether or not the Amendment addresses VPP Practice Notes and Ministerial Directions:
 - 7.2 any other matters which you consider arise from the Amendment documentation and background material
 - 7.3 the matters raised in submissions to the amendment as they relate to the amendment.
8. Discuss your findings with Council representatives in the week of 25 September 2023.
9. Provide a draft expert evidence statement for review by **9am Friday 29 September 2023**.
10. Provide a final expert evidence statement for circulating by **12 noon Monday 2 October 2023**.
11. Review other expert witness reports prepared on behalf of other parties.
12. Present your evidence at the Panel Hearing on **16 October 2023** (to be confirmed after directions hearing).

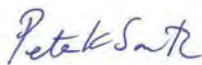
Documents

The relevant amendment documentation and Council officer reports are available electronically on the [Amendment C383ggee](#) webpage.

Copies of all submissions are attached.

If you have any queries, please contact me or Rachel Carr, Strategic Planner by email rachel.carr@geelongcity.vic.gov.au or telephone 5272 4357.

Yours sincerely



PETER SMITH

COORDINATOR STRATEGIC IMPLEMENTATION

CITY DEVELOPMENT

Attachment B- Peer Review Advice May 2022

Refer to Greater Geelong Review of Signs Policy – Peer Review pdf – April 2022



PEER REVIEW OF GREATER GEELONG 'S
ADVERTISING SIGN ISSUES AND OPTIONS
PAPER AND DRAFT GUIDELINES

Mark Marsden

Transect Planning Pty Ltd

1. Introduction

Transect Planning has been engaged to undertake a peer review of Greater Geelong City Council's (Council) draft Advertising Sign Guidelines (January 2022). Two documents have been provided for the peer review:

- Advertising Sign Guidelines Review: Issues and Options Paper
- Advertising Sign Guidelines (January 2022)

Both the Issues and Options Paper and draft Guidelines have been prepared by Urban Fold on behalf of Council. Urban Fold is an urban design consultancy that has experience and expertise in a number of fields, including place-based design guidelines. The Issues and Options Paper (Paper) informs the draft Guidelines.

2. Background

Council's current advertising sign guidelines were first introduced in 1997. Only one minor amendment to these guidelines has occurred since that time. As noted in the Paper, these guidelines are out of date due to a number of factors, including changes to the:

- built form environment
- planning policy context
- the planning framework
- nature of advertising signage, particularly electronic signs.

3. Issues and Options Paper

The Paper addresses the following issues:

- identify the general nature of issues where advertising signs are having an adverse impact on local environments
- provide an overview of the different physical environments within the municipality where a tailored response to assessing the impacts of advertising signs is appropriate
- identify the deficiencies with the existing policy framework as well as the planning controls in Clause 52.05 of the Victoria Planning Provisions (VPPs)
- provide case studies in Greater Geelong and some other municipalities where approved advertising signs have had a poor impact on local environments, and where specific issues have been raised
- statutory options to implement the Guidelines into the planning scheme
- recommended option for implementation of the Guidelines into the planning scheme.

3.1 Comments

The main purpose of the Paper is to inform both the content of the draft Guidelines and how the Guidelines can be most effectively implemented into the planning scheme.

3.1.1 Issues section

The Issues section includes the following analysis:

- Common issues relating to impacts of advertising signs in all areas
- Grouping of issues relevant to different environment settings
- Statutory and policy framework
- Case studies in Greater Geelong
- Case studies in other municipalities
- New technology and digital signage

Some commentary and suggestions are provided below on the Issues section:

It would be helpful if images were inserted to provide a graphical demonstration of the nature of issues identified in the text. Whilst images are used in the Greater Geelong case studies, these images could be inserted into the analysis where the issues are identified.

With respect to the case studies of the other municipalities, it is not clear how the first and second examples are relevant to the Greater Geelong experience as they are concerned with advertising signage at tram stops and Telstra public phone booths, which are unique issues to the Melbourne CBD.

The third example does not include any indication as to the outcome of the decision and how it may be relevant to the Greater Geelong context.

The fourth example should also provide an indication as to the outcome of the decision and how it may be relevant to the Greater Geelong context.

Having regard to the above comments, the relevant case studies could potentially be revised and inserted into the analysis where the issues are identified and deleted as a separate section.

With respect to the section describing the different local environments, it would be helpful if a brief introduction is provided on why the different local environments form the basis of the place-based guidelines. In other words, the different local environments explain the essential characteristics of a range of urban and rural precinct types to assist in understanding the typical character, scale and form of an area to enable informed decisions in relation to how advertising signage should be designed and adapted to different locations in Greater Geelong.

Underpinning this brief explanation it would also be appropriate to provide a brief explanation on how the different local environments were identified.

3.1.2 Options section

Three options (plus sub-options) are flagged, namely:

Option 1 Implementation into the planning scheme

- 1a. Include new guidelines in the planning scheme as an incorporated document
- 1b. Include new guidelines in the planning scheme as a background document
- 1c. Use new guidelines as an adopted or information document that is not included in the planning scheme

Option 2 In addition to developing new guidelines, include a specific signs local policy.

Option 3a Prepare a local policy only and not provide new guidelines

Option 3b. Remove (but do not replace) current guidelines.

It is considered that option 1c may not be appropriate to be included under Option 1 given it is suggesting that the Guidelines not be included in the planning scheme.

It may be clearer to identify the options as follows:

Option 1 – Insert the Guidelines into the planning scheme as an Incorporated Document

Option 2 – Reference the Guidelines in the planning scheme as a Background Document

Option 3 – Insert the Guidelines into the planning scheme as a local policy (Clause 22 in pre PPF format or Clause 15.01 Built Environment in post PPF).

Option 4 – Insert the Guidelines as an Incorporated Document in addition to a brief local policy that would cross reference the Guidelines.

Option 5 – Remove current guidelines (i.e. Incorporated Document) and insert Guidelines in relevant zone or overlay schedules (where they currently apply).

It is considered the analysis that identifies the advantages and disadvantages is clear and provides sufficient justification for the preferred option (included in the Recommendations section). It is agreed that Option 4 should be the preferred option because:

- An Incorporated Document provides strong statutory weight and will ensure all applications will be assessed against the Guidelines.
- Planning Practice Note 13 *Incorporated and background documents* state that development guidelines may be considered to be an appropriate incorporated document and that an incorporated document can be used by the responsible authority to guide the exercise of discretion.
- Under the new Planning Policy Framework (PPF), it appears that the preference of DELWP is to not have lengthy local policy provisions in the PPF.
- Precedents have been set for including advertising signage controls in Incorporated Documents (for example, Melbourne Planning Scheme Visy Park Signage, 2012 Royal Parade, Carlton North). There is also greater use of Incorporated Documents under the PPF (for example, Statements of Significance).

- Whilst a disadvantage is that an Incorporated Document cannot be changed without a planning scheme amendment, the Council is able to review the Incorporated Document as part of its four-yearly review of its planning scheme.
- All Incorporated Documents are listed in Clause 72.04 and such documents can be made readily available on Council's web site.

It may be appropriate that the Issues and Options Paper is formally recognised as a Background document on the basis that it informs that the nature of the Guidelines in the Incorporated Document.

4. Advertising Sign Guidelines (January 2022)

The Guidelines provide a mix of place-based guidelines and specific guidelines for major promotion signs and electronic signs.

Commentary is provided on each section of the Guidelines below:

4.1 User Guide

The User Guide is a very useful introduction to the Guidelines given the complexity of the planning framework in which both State and local requirements and policies apply. The User's Guide provides clear guidance on the Clause 52.05 requirements and how the Guidelines are to apply for different types of signs in the different local environments.

Further, the Guidelines make it very clear that the objectives, strategies and guidelines must all be considered when assessing an application for a sign. This will avoid confusion that exists under Clause 55, for example, where there are different opinions as to whether a standard must be met to satisfy an objective.

4.2 General guidelines

It is considered appropriate to have a general set of guidelines that apply to all advertising signs in the municipality. These provisions provide a higher order set of guidelines that are relevant no matter what the place-based context.

Whilst Clause 52.05 contains decision guidelines for all signs and for some different types of signs, it is considered the proposed general guidelines build upon and complement the Clause 52.05 guidelines.

4.3 Place-based approach guidelines

As indicated above in the commentary on the Issues and Options Paper, it would be appropriate to provide a brief explanation in the Issues and Options Paper as to why a place-based approach is appropriate and how the different local environments have been identified.

Category 1 – Commercial Areas – pedestrian oriented

Second point objective and strategy 4 use the term ‘view’ – a more appropriate term in the context may be ‘visibility’. The term ‘view’ is usually applied in the context of an object or scene.

Category 2 – Commercial Areas – highway oriented

Objective 1 states:

To ensure signage is subordinate to the built form and landscape context in which it is located

Associated guidelines are also provided.

Whilst the objective and guidelines are understood, it would not be surprising if this proposal is challenged for being too restrictive. Many buildings in this context are low-scale (usually of an equivalent two storey building height) and are well setback from the road. It may be argued that limiting freestanding signs to an equivalent two storey building height may not provide sufficient visibility along high speed environments. A potential option may be to craft a provision that any sign that exceeds dominant building height of an area will only be considered in circumstances where overall visual impact is acceptable and where visibility is required to ensure road safety.

Alternatively, a guideline could restrict freestanding signs to 7 metres as has been proposed for freestanding signs for pad sites. Many pad sites also exist in high speed commercial environments.

Another strategy and guideline that may be worth considering is to ensure that freestanding signs outside shopping centres (such as Waurn Ponds) is to advertise the centre and major tenancies and not contain too many individual businesses.

Major promotion signs

It may be worth including a strategy and guideline that supports promotion signs that provide architectural interest or promote local identity. One such example is the promotion sign at the Geelong Harness and Greyhound Centre. This sign helps promote Geelong’s identity with its light blue and white horizontal stripes and is more architecturally interesting than most signs in the built environment.

Electronic signs

Whilst Clause 52.05 contains general decision guidelines on the impact of road safety, the Victorian Civil and Administrative Tribunal has considered a number of cases where the impact of electronic signs on road safety has been addressed. See, for example, *Gatt v Melbourne CC* [2011] VCAT 1101, *Fivex Pty Ltd v Melbourne CC* [2011] VCAT 1104 and

Westfield Limited v Manningham CC (Red Dot) [2011] VCAT 1341. It may be appropriate to include a strategy and guidelines that require road safety issues to be addressed.

Other issues

The Guidelines may be criticised for too much duplication in that many strategies and guidelines are repeated in the various sections of the document. However, the structure of the document directs applicants and decision makers to the relevant part of the document and, on balance, it is better that all relevant objectives, strategies and guidelines pertaining to a particular type of sign and in a particular local context are in the same part of the document.

Given the Guidelines are still to go through an exhibition process, it may be appropriate to indicate that the Guidelines are still in draft (or final draft) form.

Clause 52.05 was changed from 'Advertising Signs' to 'Signs' with the approval of Amendment a VC142 in January 2018. DEWLP may insist the naming of the policy and document is changed to 'Signs' to ensure consistency with the VPP. Despite this, 'Advertising Signs' is a more appropriate description as the main purpose of Clause 52.05 and local planning policies on signage does relate to advertising signs, as distinct from other types of signs (e.g. road signs).

5. Conclusions

The Issues and Options Paper identifies the concerns with the nature of some advertising signs are having on the different local environments and the need to prepare new guidelines that are to be implemented into the new PPF framework.

The combination of guidelines for some types of advertising signs and for place based guidelines are appropriate. Some types of signs, particularly promotion signs and electronic signs, have unique issues that should be addressed no matter what the context. Place based guidelines will enable informed decisions in relation to how advertising signage should be designed and adapted to different locations.

The use of graphic examples to indicate what should be considered and what should be avoided when preparing an application for an advertising sign is also a very helpful tool that will assist applicants.

It would be appropriate that a brief explanation of why a place based approach and how the different local environments were identified would be appropriate.

The preferred approach of including the Guidelines in an Incorporated Document with a brief cross reference in the local policy part of the PPF is supported on the basis that it will ensure the Guidelines will have statutory weight and is consistent with DELWP's approach in the PPF framework.

The content of the objectives, strategies and guidelines have been prepared by experienced urban designers and will provide a robust framework for considering the impacts of advertising signs on the different local environments. It is considered that built upon Clause 52.05 and do not result in unnecessary duplication. This report provides some suggestions be made to a few provisions to ensure their intent is clear and are not too restrictive.

6. Recommendations

- That Council consider making some amendments to the Issues and Options Paper as identified in the body of this report
- That Council consider making some amendments to the Guidelines as identified in the body of this report
- That Council proceed with a planning scheme amendment to introduce the Guidelines into the Greater Geelong Planning Scheme
- That Council consider making the Issues and Options Paper as a background document

Attachment C- Mark Marsden CV

Refer to Mark Marsden Curriculum Vitae pdf

Mark Marsden BA (Hons) Grad Dip (Urb Plan) MBA FPIA MVPELA

PROFILE

Mark has 35 years' experience as a planner working in local government and State Government, including senior roles at Wyndham, Moreland, Boroondara and Ballarat. He was also a senior Panel member at Planning Panels Victoria for over six years. Mark is managing editor of Victorian Planning Reports, which has produced two comprehensive guides on planning decisions and Panel reports and provides regular editorial comment on significant Tribunal decisions and Panel reports. He is a former president of the Local Government Planners Association (LGPA) and a sessional lecturer at RMIT. Over this time he has built up considerable knowledge on leadership, management, planning issues, policy development, policy implementation and statutory planning.

TRANSECT PLANNING PTY LTD

Mark established Transect Planning in July 2019. It is a sole practice with a main focus on supporting public sector clients on a range of strategic and statutory planning projects. He has also been engaged by a number of private clients to assist lodging planning applications and representation at VCAT.

RELEVANT RECENT PROJECTS – TRANSECT PLANNING

- Maribyrnong City Council - Maribyrnong Planning Scheme PPF Translation – Peer Review 2022-23
- Department of Transport and Planning - Regional Planning Partnerships Program - Queenscliffe Planning Scheme Review 2023
- Department of Transport and Planning – Guidelines for the Application of the Heritage Overlay 2023
- Knox City Council – representation at VCAT in relation to a multi-dwelling development at 1 Michelle Drive, Scoresby 2023
- DELWP Regional Planning Partnerships - statutory planning assistance to Mansfield Shire Council – 2022
- Merri-bek City Council - Navigating local and state government processes and requirements: Production of guidance information new and expanding businesses 2022
- Greater Geelong City Council – Peer review of Advertising Sign Guidelines 2022
- Department of Environment, Land, Water and Planning - Review of Heritage Overlay Options Paper 2021
- Horsham C81hors - – prepare planning scheme amendment documentation and representation at Planning Panels 2021-23
- DELWP Regional Planning Partnerships - statutory planning assistance to Glenelg Shire Council 2020
- Maribyrnong City Council - Significant Tree Register Statutory Implementation Options Paper 2019
- Greater Geelong City Council – representation at VCAT in relation to a Residential Hotel at 39-45 Gordon Street, Geelong West 2021
- Hindmarsh Rural Council – planning advice on a range of planning applications – 2019- on-going

PROFESSIONAL QUALIFICATIONS

- Masters of Business Administration (Federation University – Ballarat)
- Graduate Diploma Urban Planning (Victoria University – Melbourne)
- Bachelor of Arts (Honours) (LaTrobe University - Melbourne)

PROFESSIONAL ASSOCIATIONS

- Former president of Local Government Planners Association
- Former sessional lecturer at RMIT
- Managing Editor of Victorian Planning Reports
- Member of Victorian Planning and Environmental Law Association
- Fellow of Planning Institute of Australia

EMPLOYMENT HISTORY

WYNDHAM CITY COUNCIL

Special Projects Planner

July 2019 – to Date (Part-time)

- Projects include Wyndham Stadium Concept Master Plan and Incorporated Document; Project brief for Oakbank Precinct Structure Plan and Riverdale Town Centre Urban Design Framework. Main responsibilities include co-ordination of background reports; preparation of Incorporated Document and planning scheme amendment documentation; tender of Social and Economic Impact Assessment, and coordination of Council approvals relevant to project. Other projects include planning scheme review, Housing and Neighbourhood Character Strategy, Infrastructure Implications of Increased Density; various planning scheme amendments.

WYNDHAM CITY COUNCIL

Coordinator Urban Transformation

May 2017 to January 2019

- Projects include Activity Centres Planning Framework; Manor Lakes Structure Plan; Housing and Neighbourhood Character Strategy; City Forest and Habitat Strategy; Significant Tree Register; Industrial Land Use Survey; various site specific planning scheme amendments

MORELAND CITY COUNCIL

Unit Manager - Amendments

City Strategy and Design

February 2014 – May 2017

- Delivery of five major amendments – Lygon Street Heritage Study, Brunswick Structure Plan, Coburg Structure Plan, the Moreland Apartment Design Code and the Neighbourhood Centres Strategy
- Also assisted in a wide range of other projects, including MSS review, ESD policy and planning scheme amendment, implementation of new residential zones, review of Pentridge Masterplan and design guidelines

PLANNING PANELS VICTORIA

Senior Panel Member – October 2005- June 2012

February 2010 – July 2013

- Chaired Panel hearings into a wide range of policy reviews, environmental effects statements, major infrastructure projects and combined amendments/permits

- Reviewed and updated Planning Panel Members Manual
- Chaired stakeholder workshop on performance of Planning Panels Victoria
- Led and implemented administrative processes review

CITY OF BALLARAT

General Manager Planning and Environmental Services

January 2000 – August 2004

- Responsible for a number of business units – strategic planning, statutory planning, building services, environmental health, capital works, civic design and local laws
- Main challenges were to plan for growth, improve design of development, implement heritage controls, deliver capital works budget, improve customer service, ensure budget and reporting compliance
- Major achievements were preparation of growth area structure plans, implementation of heritage controls, introduction of design awards and improved performance on meeting capital works budgets
- Lead internal process improvement initiatives to improve customer focus and service delivery

CITY OF BOROONDARA

Manager Statutory Planning

July 1997 – December 1999

- Manage large team of statutory planners
- Led major project on process improvement, accountability and increased delegation
- Responsible for decisions on major development applications either under delegation or to Council (with recommendations)

CITY OF MORELAND

Manager Planning and Building

May 1995 – August 1997

- Manage statutory planning and building services team
- Main focus was on recruitment, business planning and integration of previous individual municipal systems
- Responsible for decisions on major development applications either under delegation or to Council (with recommendations)

MUNICIPAL ASSOCIATION OF VICTORIA

Senior Policy Officer

July 1989 – July 1997

- Advocacy on planning issues for local government
- Build relationships between State and local government
- Professional development of local government planners

CITY OF BRUNSWICK

Planning officer

June 1987 – June 1989

- Assessment of planning applications

Attachment D – Response to submissions

Refer to Attachment D pdf

Attachment D

No.	Submitter	Submission	Officer response (from Delegate report 30 August 2023)	Transect Planning opinion
1	Armstrong Creek Development Corporation Pty Ltd	<p>The submitter objects to the contents of the Guidelines on the basis that they do not recognise and encourage the importance of well-designed signage within urban growth areas and take a blanket approach, rather than a best-practice place based response. In particular, the submitter requests the alteration or deletion of:</p> <ol style="list-style-type: none"> 1. General guidelines <ul style="list-style-type: none"> ⇒ Signs should only be located on land to which they relate ⇒ Discourage 'v' shaped signs ⇒ Avoid illuminated and electronic signs 2. Growth area strategies <ul style="list-style-type: none"> ⇒ Encourage signage management plans for new estates or where there are multiple tenancies operating on a single site. ⇒ Discourage branding of new estates through signage. 3. Major promotion sign guidelines 	<p>Significant care was taken in the preparation of the new guidelines to accommodate a place-based approach which creates outcomes that support the council strategies for the development and realisation of the built environment. The below summarises the officer response to each point raised in the submission:</p> <ol style="list-style-type: none"> 1. Council is willing to remove the guideline that 'Signs should only be located on land to which they relate'. <p>Council affirms the guideline discouraging 'v' shaped signs. Council will consider rewording the guideline regarding illuminated and electronic signs for improved clarity or moving it to the electronic signs chapter.</p> <ol style="list-style-type: none"> 2. Council is willing to remove the strategy encouraging signage management plans due to increased impact on Council resources. 	<p>1. General Guideline No.2 that signs should only be located on land which they relate may be generally appropriate for business identification signs. However, it is agreed that the guideline limiting signs to the land in which they relate is potentially overly restrictive in a growth area context, particularly as there may be occasions where future residential land is within fragmented rural land holdings. As noted by Submitter 3, this Guideline may be conflict with Growth Area Guidelines 2 and 3, with Guideline 3 referring to "Offsite estate promotional signs..."</p> <p>Further, the guideline is problematic for promotion signs as such signs maybe promoting a produce or event not related to the land.</p> <p>It is recommended General Guideline No 2 be deleted.</p> <p>2. General Guideline No.3 discourages V-shaped signs. This is not an uncommon design guideline in council advertising sign guidelines. See for</p>

No.	Submitter	Submission	Officer response (from Delegate report 30 August 2023)	Transect Planning opinion
		<p>⇒ Major Promotion Signs should be spaced at least 1 km from any other Major Promotion Sign on the same road.</p> <p>⇒ Ensure major promotion signs stay relevant and well maintained, by allocating an expiry date to permits of up to 5 years from the date of issue of the permit.</p> <p>⇒ Avoid more than one major promotion sign at any intersection.</p>	<p>Council affirms the strategy to 'Discourage branding of new estates through signage'.</p> <p>3. Council affirms the major promotion sign guidelines listed.</p>	<p>example, Banyule, Casey and Cardinia (Attachment E to expert witness statement). However, it is acknowledged that V-shaped signs are more inappropriate in the context of buildings and main street streetscapes. Because buildings are symmetrical, symmetrical layouts will be more appropriate. It is recommended this Guideline be amended as follows:</p> <p>Discourage V-shaped signs on buildings.</p> <p>Free standing V-shaped signs may be supported on corner sites.</p> <p>3. It is noted that the General Guideline No.11 on illuminated and electronic signs include a detailed set of guidelines, whereas the other guidelines in this section are more general. It is suggested that the detailed guidelines on illuminated and electronic signs be relocated to Section 13 Electronic signs. Further, it is not appropriate to mix electronic and illuminated signs guidelines given they have their own definitions in Clause 73.02 (Electronic signs and</p>

No.	Submitter	Submission	Officer response (from Delegate report 30 August 2023)	Transect Planning opinion
				<p>Internally illuminated signs) and their potential different impacts.</p> <p>It is recommended that:</p> <p>Relocate the detailed guidelines on Electronic signs and illuminated signs in the Electronic signs section.</p> <p>Remove Illuminated signs from the Electronic signs heading.</p> <p>General Guidelines section include the following replacement guidelines:</p> <p>Encourage electronic signs appropriate for their context and if they meet the electronic signs detailed guidelines, including road safety.</p> <p>Encourage internally illuminated signs that are appropriate for their context and do not detract from the amenity or adversely affect the built environment or safety.</p> <p>4. Strategy No.1 under Growth Areas is to encourage signage management plans for new estates or where there are multiple tenancies operating on a single site is supported in principle as it allows for a more strategic consideration for signs. However, the</p>

No.	Submitter	Submission	Officer response (from Delegate report 30 August 2023)	Transect Planning opinion
				<p>strategy does not make clear whether such a requirement needs to be lodged with Council. Council's position that this guideline be deleted is supported.</p> <p>Delete Strategy No 1 under Growth Areas</p> <p>5. Most signage of new estates will have an element of branding, whether it is by name or logo. It is noted that the Issues and Options Paper does not identify branding as an issue for growth areas.</p> <p>Under Growth Areas, it is recommended Strategy No 2 be deleted.</p> <p>6. Guideline No.1 under Major Promotion Signs states that there should be a 1 km space between such signs on the same road. It is noted that City of Casey has the following design guideline:</p> <ul style="list-style-type: none"> • Is sited away from other Major Promotion or promotion signs or other advertising signs to ensure they do not dominate the streetscape or landscape.

No.	Submitter	Submission	Officer response (from Delegate report 30 August 2023)	Transect Planning opinion
				<p>It is considered that spacing between Major Promotion Signs is not unreasonable to avoid the proliferation of such signs and that specifying a 1 km distance provides a metric in which to assess whether or not it is appropriate to support an application for such a sign. It is noted this provision is a guideline, not a mandatory requirement. My opinion is that this guideline should be retained.</p> <p>6. The 5-year expiry date for Major Promotion signs is contrary to Clause 52.05-9 (Signs) of the Victoria Planning Provisions, which requires a mandatory condition of an expiry date of 15 years (which can be varied to not less than 10 years and no more than 25 years). It is noted that Planning Practice Note 8 (PPN8) Writing a Local Planning Policy that an LPP should not repeat or contradict controls in a zone or should not repeat or contradict controls in an overlay. Whilst PPN8 is silent on whether an LPP should not repeat or contradict a Particular Provision, my</p>

No.	Submitter	Submission	Officer response (from Delegate report 30 August 2023)	Transect Planning opinion
				<p>opinion is that it would be inappropriate to contradict a State particular provision. Should the 5-year expiry somehow find its way into the planning scheme via the Incorporated Document, I note that section 7(4) of the <i>Planning and Environment Act 1987</i> states:</p> <p>If there appears to be an inconsistency between different provisions of a planning scheme-</p> <ul style="list-style-type: none"> (a) The scheme must, so far as practicable, be read to resolve the inconsistency (b) Subject to paragraph (a) – <ul style="list-style-type: none"> (i) The State standard provisions prevail over the local provisions. <p>Recommendation: Under Major Promotion Signs, delete Guideline No 2.</p> <p>7. The guideline to avoid more than Major Promotion sign at any intersection is consistent with the objective to avoid major promotion signs that dominate the surrounding area. The proliferation of Major Promotion Signs at an intersection</p>

No.	Submitter	Submission	Officer response (from Delegate report 30 August 2023)	Transect Planning opinion
				could also potentially affect road safety. It is noted that the provision is a Guideline and that it may be possible to apply for more than one Major Promotion sign and the onus will be on the applicant to justify more than one such sign.
2	Core Projects	<p>The submitter objects to the contents of the Guidelines on the basis that their restrictiveness may negatively impact communication with the community.</p> <p>In particular, the submitter requests the alteration of deletion of:</p> <ol style="list-style-type: none"> 1. General guidelines ⇒ As per Submission 1 2. Category 1 Commercial area strategy ⇒ Limit use of electronic signs 3. Commercial area guideline ⇒ Strongly discourage major promotion signs in Pedestrian Oriented Commercial Areas outside Central Geelong. 4. Industrial area guideline ⇒ Avoid freestanding signs unless there is no opportunity for signs to 	<p>In addition to the relevant comments above in response to Submission 1, the below summarises the officer response to each point raised in the submission:</p> <ol style="list-style-type: none"> 2. Council affirms the strategy to limit the use of electronic signs 3. Council affirms the guideline to strongly discourage major promotion signs in Pedestrian Oriented Commercial Areas outside Central Geelong. 4. Council affirms the guideline to avoid freestanding signs unless there is no opportunity for signs to be incorporated into buildings, or the building which it relates to on the site is set back from road more than 20m. 5-6. As per Submission 1 response above. 	<p><i>Refer to the comments above where the same issue is raised in submission. Comments in relation to additional issues raised are as follows:</i></p> <p>8. Strategy No.3 in Pedestrian Oriented Commercial Areas is to limit the use of electronic signs. The Issues and Options Paper identifies that animated signs and large signs (particularly electronic and illuminated ones) can dominate and have a major detrimental impact on these types of centres.</p> <p>It is noted that the strategy is to limit these type of signs, not to prohibit them and that one of the Guidelines is to have no more than one electronic sign displayed per building. It is considered this Strategy is not unreasonable and my opinion is that it be retained.</p>

No.	Submitter	Submission	Officer response (from Delegate report 30 August 2023)	Transect Planning opinion
		<p>be incorporated into buildings, or the building which it relates to on the site is set back from road more than 20m.</p> <p>5. Growth area strategies ⇒ As per Submission 1</p> <p>6. Major promotion sign guidelines ⇒ As per Submission 1</p> <p>7. Electronic signs ⇒ Avoid electronic signs in locations where it cannot be demonstrated the risk to road users is low.</p>	<p>7. Council affirms the guideline regarding electronic signs and road user risk, which is supported by the Victorian Road Safety Strategy 2021-2030 (Department of Transport, 2021), VicTrack Rail Development Interface Guidelines (VicTrack, 2019), and the findings of <i>Westfield Limited v Manningham</i> (Red Dot) [2011] VCAT 1341.</p>	<p>9. Guideline No.3 in Industrial Areas is to avoid freestanding signs unless there is no opportunity for signs to be incorporated into buildings, or the building it relates to on the site is setback from a road more than 20m. It is considered the Guideline is reasonable, however given its application in industrial areas that the word 'avoid' be replaced with 'discourage'.</p> <p>Recommendation Under Industrial Areas, amend General Guideline No 3 to: Discourage freestanding signs unless there is no opportunity for signs to be incorporated into buildings, or the building which it relates to on the site is set back from road more than 20 m.</p> <p>10. Guideline No.4 under Electronic Signs is to avoid electronic signs in locations where it cannot be demonstrated the risk to road users is low. Comments about this Guideline are provided below (Submitter No.5)</p>

No.	Submitter	Submission	Officer response (from Delegate report 30 August 2023)	Transect Planning opinion
3	DFC (Project Management) Pty Ltd	<p>The submitter objects to the contents of the Guidelines on the basis that they are overly restrictive to a degree that they are inconsistent with signage policy applied across Victoria in urban and growth area settings. In particular, the submitter requests the alteration of deletion of:</p> <p>1. General guidelines ⇒ Signs should only be located on land to which they relate ⇒ Discourage multiple promotion signs that are advertising the same or similar message on a single site or visible across multiple sites. ⇒ Discourage signs on open sites where they will be a dominant visual element in the landscape and detract from the visual amenity of a road, cycling, pedestrian or rail corridor. ⇒ Discourage 'V' shape signs.</p> <p>2. Growth area objectives ⇒ To protect areas of new development from a proliferation of advertising signage.</p>	<p>In addition to the relevant comments above, the below summarises the officer response to each point raised in the submission:</p> <p>1. Council affirms the guideline to discourage multiple promotion signs that are advertising the same or similar message on a single site or visible across multiple sites. Council is willing to consider an alteration to the guideline regarding signs on open sites, in the form of the following "Discourage signs that detract from the visual and landscape amenity of a road, cycling, pedestrian or rail corridor.", or similar.</p> <p>2. Council affirms the objective to protect areas of new development from a proliferation of advertising signage.</p> <p>3. As per Submission 1 response above</p> <p>4. Council affirms all the growth area sign guidelines listed.</p> <p>5. As per Submission 1 response above</p>	<p><i>Refer to the comments above where the same issue is raised in submission. Comments in relation to additional issues raised are as follows:</i></p> <p>11. General Guideline No.7 is to discourage signs on open sites where they will be a dominant visual element in the landscape and detract from the visual amenity of a road, cycling, pedestrian or rail corridor. The submitter suggests deleting "on open sites where they will be a dominant visual element". Council officers have agreed to amend this guideline, which I consider reasonable. It is recommended the Guideline be amended as per the Council's officer's suggestion, as follows:</p> <p>Discourage signs that detract from the visual and landscape amenity of a road, cycling, pedestrian or rail corridor.</p> <p>12. General Guideline No.8 is to discourage multiple promotion signs that are advertising the same or similar message on a single site or visible across multiple sites.</p>

No.	Submitter	Submission	Officer response (from Delegate report 30 August 2023)	Transect Planning opinion
		<p>3. Growth area strategy ⇒ Discourage branding of new estates through signage.</p> <p>4. Growth area guidelines ⇒ Subdivision and new estate promotion signs should be limited to a maximum of one per road frontage. ⇒ 250 m separation should be provided between all off site estate promotional signs, and a maximum of 4 in total. ⇒ 150 m separation should be provided between all signs within the same estate and a maximum of 4 in total. ⇒ The height or width of a promotion sign should not exceed 6 m and the total advertisement area should not exceed 8 square metres. ⇒ Ensure promotional signage stays relevant and well maintained, by allocating an expiry date to permits of up to 5 years from the date of issue of the permit.</p> <p>5. Major promotion sign guidelines</p>		<p>The submitter considers this Guideline raises concerns when applied to a growth area setting given the size of a particular “site”. It is stated that the number and content of promotional signs will be largely controlled by the provisions of Clause 52.05 and other guidelines referenced within the Guidelines document.</p> <p>The Issues and Options Paper identifies a concern relating to visual clutter resulting from excessive numbers and sizes of signs, as well as their placement (such as where they block out a competing sign).</p> <p>Whilst Clause 52.05-8 (Decision guidelines) contains a guideline on “the cumulative impact of signs on the character of an area or route, including the need to avoid visual disorder or clutter of signs”, it is considered that proposed General Guideline is more specific in that it references the number of signs and signs containing the same message. My opinion is that this guideline should be retained.</p>

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		<p>Ensure major promotion signs stay relevant and well maintained, by allocating an expiry date to permits of up to 5 years from the date of issue of the permit.</p>		<p>13. The objective in Growth Areas is to protect areas of new development from a proliferation of advertising signage.</p> <p>The submitter considers this guideline is overly negative and Council should recognise the necessary role signage has within a growth area.</p> <p>To achieve more positive wording, it is recommended that the objective be re-worded as follows:</p> <ul style="list-style-type: none"> • To ensure that signs promoting new subdivisions in growth areas does not result in an excess number of signs. <p>Given the suggestions above to delete the two existing strategies in Growth Areas, it is recommended a new strategy be inserted as follows:</p> <ul style="list-style-type: none"> • Ensure a proliferation of signs does not occur that results in visual clutter and detracts from the local environment. <p>14. Guideline No.1 is to limit subdivision and new estate promotion signs to a maximum of one per road frontage. The submitter states Wyndham allows one sign per 150</p>

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				<p>metres (up to a maximum of four signs) and Melton allows off-site signs.</p> <p>It is noted that despite Guideline No.1, Guideline No.4 states that a 150 m separation should be provided between all signs within the same estate and a maximum of 4 in total.</p> <p>Other Council policies are:</p> <p>Hume: Are located at least 150 metres from any other subdivisional promotion sign and 250 metres from a sign advertising the same estate.</p> <p>Cardinia: Only display one sign per road frontage. Where the property has a road frontage of more than 150 metres multiple signs may be erected provided there is a minimum of 150 metres distance between each sign, with a total of not more than 4 signs per frontage.</p> <p>Casey: For larger scale estates, major promotion or large-scale promotional signs should be located 250 metres apart.</p> <p>Compared to Hume and Casey in particular, which require a 250 metre</p>

No.	Submitter	Submission	Officer response (from Delegate report 30 August 2023)	Transect Planning opinion
				<p>separation, Greater Geelong's 150 metre separation is reasonable.</p> <p>Attachment F shows in the expert witness statement five estate promotion signs plus sales office bunting/signage in Donnybrook within approx. 1.1 kms, which is one sign per 220m apart (ie exclusive of sales office) or 183m apart (inclusive of sales office, which includes signage and bunting).</p> <p>It is recommended that Guideline No 1 be deleted and Guideline No 4 be amended as follows:</p> <ul style="list-style-type: none"> • Subdivision and new estate promotion signs on the same estate should be limited to a maximum of one per road frontage. More than sign may be permitted where: <ul style="list-style-type: none"> ○ Estate frontages that exceed a length of 150 metres; ○ A 150 metre separation is provided between signs. <p>15. Guideline No.3 requires a 250 metre separation between off-site</p>

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				<p>signs and limiting the maximum number of signs to four. The submitter questions whether it is reasonable to apply a blanket approach to both a 50 lot and a 1,000 lot estate.</p> <p>Other Council policies in growth areas do not appear to have any similar policies, though it is noted that: Cardinia has the following guideline:</p> <ul style="list-style-type: none"> • Be located on the subject land that is being subdivided or sold. <p>And Wyndham contains the following policy guideline:</p> <ul style="list-style-type: none"> • Supporting off-site estate signs where: <ul style="list-style-type: none"> ○ The signs are located at least 200 metres from any other promotion sign advertising the same estate. ○ No more than four signs are erected per estate. ○ The signs are located within three kilometres

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				<p>of the subdivision to which they relate.</p> <p>My opinion that a policy allowing off-site signs with a 250 metre separation signs with a maximum of four signs is not unreasonable and should be retained.</p> <p>16. Guideline No.4 requires all signs to have a minimum 150 metre separation and a maximum of four signs. The submitter questions whether this guideline applies to <i>all</i> signs, or just estate promotion signs. The submitter suggests the guideline be amended to estate promotion signs and that the maximum number of four signs be deleted. I clarified with Council and they interpret this guideline to be referring to estate promotion signs only.</p> <p>It is recommended Guideline No 4 be further amended to:</p> <ul style="list-style-type: none"> • 150 m separation should be provided between estate promotion signs within the same estate and a maximum of 4 in total.

No.	Submitter	Submission	Officer response (from Delegate report 30 August 2023)	Transect Planning opinion
				<p>17. Guideline No.5 limits promotion signs to 8 square metres and to a height of six metres. The submitter states this guideline is unnecessary and should be deleted as the controls at Clause 52.05 sufficiently control total advertisement area.</p> <p>Other Council policies are: Casey: no guideline Cardinia: 10 square metres Hume: 8 square metres Whittlesea: no guideline Melton: not exceed 21 square metres Wyndham: discourage new estate signage larger than 25 square metres.</p> <p>It is evident there is significant variation in the council policies above. My opinion is that 8 square metres is not an unreasonable size when considered together with the guideline that allows a maximum of four signs. Further, most signs are likely to be erected in an evolving residential context. Attachment F shows examples of estate promotion signs in the Armstrong Creek growth area.</p>

No.	Submitter	Submission	Officer response (from Delegate report 30 August 2023)	Transect Planning opinion
4	Jinding Australia c/- Spiire	<p>The submitter objects to the contents of the Guidelines on the basis that they are overly prescriptive and do not provide appropriate flexibility for reasonable levels of estate signage and place-based assessments. The submitter implies an unreasonable prejudice within the proposed Guidelines against promotion signs.</p> <p>In particular, the submitter requests the alteration of deletion of:</p> <ol style="list-style-type: none"> 1. General strategies ⇒ Prioritise business identification signs as the main types of signage. 2. General guidelines ⇒ Signs should only be located on the land to which they relate. 3. Growth area strategy ⇒ Discourage branding of new estates through signage. 4. Growth area guidelines ⇒ Subdivision and new estate promotion signs should be limited to a maximum of one per road frontage. 	<p>In addition to the relevant comments above, the below summarises the officer response to each point raised in the submission:</p> <ol style="list-style-type: none"> 1. The strategy to prioritise business identification signs is consistent with the site context report requested in signage applications and as such no changes are accepted. 2-3. As per Submission 1 response above 4. As per Submission 3 response above 	<p><i>Refer to the comments above where the same issue is raised in submission. Comments in relation to additional issues raised are as follows:</i></p> <p>18. General Strategy No.1 prioritises business identification signs as the main type of signage. The submitter objects to this strategy and refers to the finding of the Tribunal in <i>Kings Funeral Services v Greater Geelong CC (Red Dot)</i> [2008] VCAT 487 that the policy framework does not discriminate one type of sign over another.</p> <p>It is acknowledged that there is no State policy or policy in Clause 52.05 that prioritises one type of sign over another.</p> <p>Council's response states that the strategy to prioritise business identification signs is consistent with the site context report requested in signage applications and as such no changes are accepted.</p> <p>Whilst noting State policy and Clause 52.05 and the Tribunal decision <i>Kings Funeral Services</i>, it is interesting to note there is a general, similar</p>

No.	Submitter	Submission	Officer response (from Delegate report 30 August 2023)	Transect Planning opinion
		<p>⇒ 250 m separation should be provided between all off site estate promotional signs, and a maximum of 4 in total.</p> <p>⇒ 150 m separation should be provided between all signs within the same estate and a maximum of 4 in total.</p> <p>⇒ The height or width of a promotion sign should not exceed 6 m and the total advertisement area should not exceed 8 square metres.</p>		<p>objective in some other council advertising sign policies. For instance, Casey's vision on advertising signs is:</p> <ul style="list-style-type: none"> Promotion and visibility of local businesses and organisations to create vibrant, accessible and thriving shopping and employment precincts and complement the character & amenity of places. <p>Hume's first strategy is:</p> <ul style="list-style-type: none"> Encourage signs to be located on the land to which they relate. <p>Melton's first general sign strategy is:</p> <ul style="list-style-type: none"> Advertise and identify the business and service provided on the site and not details of products sold. <p>Whittlesea has the following strategy:</p> <ul style="list-style-type: none"> Encourage signs that identify the business conducted on the property, rather than other promotions, to avoid visual clutter. <p>Whilst it is acknowledged there is no policy basis to discriminate one type of sign over another, it would be</p>

No.	Submitter	Submission	Officer response (from Delegate report 30 August 2023)	Transect Planning opinion
				<p>concerning to have a proliferation of promotion signs that undermines the impact of business signs.</p> <p>It is considered that a business seeking to identify their business should not be disadvantaged by a promotion sign, especially if the promotion relates to a business or product not related to the land.</p> <p>Accordingly, it is recommended that the Strategy be amended as follows: Discourage promotion signs that may impact on opportunities for business identification signs, particularly where such signs are not related to the land.</p>
5	Lovely Banks Development Group Pty Ltd c/- Peter Jewell	The submitter recognises the need to update the Guidelines however objects to the proposed contents on the basis that they are inflexible and take a blanket approach, rather than a best- practice place-based response, particularly in relation to electronic signage and other technological developments which may impact signage.	In addition to the relevant comments above, the below summarises the officer response to each point raised in the submission: 1. The strategy to prioritise business identification signs is consistent with the site context report requested in signage applications and as such no changes are accepted. 2-3. As per Submission 1 response above	<p><i>Refer to the comments above where the same issue is raised in submission. Comments in relation to additional issues raised are as follows:</i></p> <p>19. General Guideline No.11 is to avoid illuminated and electronic signs that:</p> <ul style="list-style-type: none"> • detract from the overall character of the streetscape; <p>The submitter states that the illumination of a sign, or whether it</p>

No.	Submitter	Submission	Officer response (from Delegate report 30 August 2023)	Transect Planning opinion
		<p>In particular, the submitter requests the alteration of deletion of:</p> <ol style="list-style-type: none"> 1. General guidelines ⇒ As per Submission 1 2. Commercial Areas strategy ⇒ As per Submission 2 3. Commercial Area guideline ⇒ As per Submission 2 4. Industrial area guideline ⇒ As per Submission 2 5. Growth area strategies ⇒ As per Submission 1 6. Growth area guidelines (all) ⇒ Subdivision and new estate promotion signs should be limited to a maximum of one per road frontage. ⇒ Offsite estate promotional signs should be located within 1.6 km or the closest major intersection (whichever is closer) of the exterior boundary of the subdivision development to which they relate. ⇒ 250 m separation should be provided between all off site estate promotional signs, and a maximum of 4 in total. 	<p>4. As per Submission 3 response above.</p> <p>In addition to the relevant comments above, the below summarises the officer response to each point raised in the submission:</p> <p>6. Council affirms the growth area sign guidelines listed.</p>	<p>will be electronic in nature, has little to do with the potential visual impact on a setting.</p> <p>It is agreed that the illumination of a sign or whether it is electronic has little to do with the visual impact of an area. It is noted that there are other sub-guidelines under Guideline No 11 to avoid illuminated or electronic signs that detract from the architectural style or heritage character of the buildings, as well as guidelines to deal with the potential amenity impacts of such signs.</p> <p>It is recommended this sub-guideline be deleted.</p> <p>20. In Category 1 Commercial areas > Pedestrian oriented commercial areas Strategy No.3 is to Limit use of electronic signs.</p> <p>The Issues and Options Paper identifies the following issue in such areas:</p> <ul style="list-style-type: none"> • Animated signs and large signs (particularly electronic and illuminated ones) can dominate and have a major

No.	Submitter	Submission	Officer response (from Delegate report 30 August 2023)	Transect Planning opinion
		<p>⇒ 150 m separation should be provided between all signs within the same estate and a maximum of 4 in total.</p> <p>⇒ The height or width of a promotion sign should not exceed 6 m and the total advertisement area should not exceed 8 square metres.</p> <p>⇒ Ensure promotional signage stays relevant and well maintained, by allocating an expiry date to permits of up to 5 years from the date of issue of the permit.</p> <p>⇒ Avoid trailer mounted signs or any form of moveable signage associated with land sales.</p> <p>7. Major promotion signs ⇒ As per Submission 1</p> <p>8. Electronic signs</p> <p>⇒ As per Submission 2</p>		<p>detrimental impact on the types of these centres.</p> <p>The submitter states that the “blanket ban” suggested in the guidelines does not reflect contemporary best practice and will hinder technological progress.</p> <p>It is considered that the guideline is not proposing a blanket ban, but is seeking to limit their use.</p> <p>Any application for an electronic sign can be assessed against the 12 guidelines in this section. No change is recommended.</p> <p>21. In Category 1 Commercial areas > Pedestrian oriented commercial areas Guideline No.12 is to strongly discourage major promotion signs ... outside Central Geelong.</p> <p>The Issues and Options Paper states:</p> <ul style="list-style-type: none"> • Large signs are disproportionate to their host building and streetscape. <p>The submitter states that Major promotion signs have been found to be entirely appropriate in such locations by the Tribunal in many instances.</p>

No.	Submitter	Submission	Officer response (from Delegate report 30 August 2023)	Transect Planning opinion
				<p>Major Promotion signs are signs greater than 18 square metres and by virtue of their size, may be inappropriate in fine-grain streetscapes. Further, it is noted that the Guideline is to “strongly discourage” such signs, not prohibit them. No change is recommended.</p> <p>22. Under Electronic Signs, Guideline No.4 is to avoid electronic signs in locations where it cannot be demonstrated the risk to road users is low.</p> <p>The Issues and Options paper identifies road safety impacts as an issue for New technology and digital signs.</p> <p>The submitter states an assessment of whether an electronic sign is a traffic hazard is determined by DoT where the proposed sign is adjacent a Road Zone. The submitter considers the use of the word ‘low’ is confusing and adds no value to this consideration.</p> <p>Whilst it is considered that the purpose of this Guideline is appropriate and is generally consistent with the Decision</p>

No.	Submitter	Submission	Officer response (from Delegate report 30 August 2023)	Transect Planning opinion
				<p>guidelines in Clause 52.05-8 that seek to ensure signs are not a safety hazard, it is recommended it be amended as follows:</p> <ul style="list-style-type: none"> • Avoid electronic signs in locations where it is demonstrated that the safety risk to road users does not meet relevant criteria.
6	Property Council of Australia	<p>The submitter objects to the contents of the Guidelines on the basis that they are overly restrictive and may undermine the purpose of advertising signage as a vital economic factor. In particular, the submitter requests the alteration of deletion of:</p> <p>1. General guidelines ⇒ As per Submission 1</p> <p>2. Commercial Areas strategy ⇒ As per Submission 2</p> <p>3. Commercial Area guideline ⇒ As per Submission 2</p> <p>4. Industrial area guideline ⇒ As per Submission 2</p> <p>5. Growth area strategies ⇒ As per Submission 1</p>	All points raised in this submission have been addressed above.	<p><i>Refer to the comments above where the same issue is raised in submission. Comments in relation to additional issues raised are as follows:</i></p>

No.	Submitter	Submission	Officer response (from Delegate report 30 August 2023)	Transect Planning opinion
		6. Growth area guidelines (all, with focus on the below)		
7	VicTrack	<p>The submitter generally supports the Guidelines but makes some suggestions to ensure rail safety is sufficiently addressed.</p> <ol style="list-style-type: none"> 1. Requests further consideration of rail safety within the general guidelines. Provides suggested wording accordingly. 2. Suggests addition of new general guideline “Discourage signs that will adversely affect the safety and operation of public transport and roads” 	<p>The need to sufficiently address rail safety is acknowledged.</p> <ol style="list-style-type: none"> 1. The requested changes are acceptable. 2. Addition of new guideline acceptable 	<p><i>Refer to the comments above where the same issue is raised in submission. Comments in relation to additional issues raised are as follows:</i></p> <p>23. It is agreed that the proposed changes suggested by the submitter should be amended. Therefore, it is recommended that under Category 1 Highway Oriented Commercial Areas, Strategy No.4 be amended as follows:</p> <p>Avoid signs that result in loss of loss [sic] amenity or adversely affect the natural or built environment, or the safety, appearance or efficiency of a road or rail corridor.</p> <p>24. It is recommended that under Electronic signs Strategy 3 is amended as follows:</p> <p>Prioritise road and rail safety when considering and assessing applications for electronic signs.</p>
8	Villawood Properties c/- Mesh	The submitter recognises the need to update the Guidelines however objects to the proposed contents on the basis that as written, they	In addition to the relevant comments above, the below summarises the officer response to each point raised in the submission:	<p><i>Refer to the comments above where the same issue is raised in submission. Comments in relation to additional issues raised are as follows:</i></p>

No.	Submitter	Submission	Officer response (from Delegate report 30 August 2023)	Transect Planning opinion
		<p>may result in outcomes which unnecessarily restrict signs where they would otherwise be accepted. In particular, the submitter requests the alteration of deletion of:</p> <ol style="list-style-type: none"> 1. General strategies ⇒ As per Submission 4. 2. General guidelines. ⇒ Discourage multiple promotion signs that are advertising the same or similar message on a single site or visible across multiple sites. ⇒ Discourage 'V' shape signs. ⇒ Discourage signs that require earthworks or the removal of trees or landscaping. 3. Interface area strategy ⇒ Ensure signage near passive open space and other sensitive areas is discreet. 4. Interface area guidelines ⇒ Signs should not face toward, dominate the outlook from or result in increased illumination to adjoining landscapes, passive open space or nearby dwellings. 5. Growth area guideline 	<ol style="list-style-type: none"> 1. As per Submission 4 response above. 2. Council acknowledges the objection to the guideline "Discourage signs that require earthworks or the removal of trees or landscaping and proposes a more positive framing as follows "Encourage signage that retains existing trees and introduces new landscaping and vegetation.", or similar. 3. Council is willing to make minimal alterations which clarify the wording of the strategy to ensure signage near passive open space and other sensitive areas is discreet. 4. Council may be willing to consider an alteration to the interface guideline regarding signs facing open space etc, in the form of the following "Signs should not dominate the outlook from or result in increased illumination to adjoining landscapes, passive open space or nearby dwellings.", or similar. 	<p>25. General Guideline No.10 is to discourage signs that require earthworks or the removal of trees or landscaping. The submitter states that it is not clear why signs requiring earthworks and landscaping are discouraged, noting they are often acceptable outcomes. Council officers suggests that the Guideline be reworded into a more positive language, as follows:</p> <ul style="list-style-type: none"> • Encourage signage that retains existing trees and introduces new landscaping and vegetation. <p>It is recommended that Council's amendment to this guideline be supported.</p> <p>27. Under Interface Areas Strategy No. 1 is to ensure signs near passive open space and other sensitive areas is discreet. Guideline No.1 is that signs should not face toward, dominate the outlook from or result in increased illumination to adjoining landscapes,</p>

No.	Submitter	Submission	Officer response (from Delegate report 30 August 2023)	Transect Planning opinion
		<p>⇒ Offsite estate promotional signs should be located within 1.6 km or the closest major intersection (whichever is closer) of the exterior boundary of the subdivision development to which they relate.</p>	<p>5. As per growth area responses above.</p>	<p>passive open space or nearby dwellings.</p> <p>The submitter is concerned for their impact on activity centres which adjoin open spaces. The colocation of activity centres and community centres with open spaces is a desirable land use outcome frequently sought by Precinct Structure Plans (PSPs).</p> <p>Council suggests alternative wording, as follows:</p> <ul style="list-style-type: none"> • Signs should not dominate the outlook from or result in increased illumination to adjoining landscapes, passive open space or nearby dwellings. <p>It is understood that the strategy relates to passive open space, not active open space or where community centres where PSPs often encourage colocation.</p> <p>It is recommended that Council's amendment to the guideline be supported.</p>

Attachment E – Other council advertising sign guidelines

Refer to Casey Advertising Sign Guidelines February 2020 pdf; Casey Advertising Sign Design Guide September 2021; Melton Planning Scheme Clause 15.01-1L-04 Signs pdf; Hume Clause 15.01-1L-05pdf; Whittlesea Clause 15.01-1L pdf and Wyndham Clause 15.01-1L-02 pdf



Advertising Signage Design Guidelines

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Prepared by:

Planning Strategy and Urban Design, Cardinia Shire Council.

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ABN: 32 210 906 807

20 Siding Avenue, Officer

PO Box 7, Pakenham Vic 3810

(DX 81006)

Phone: 1300 787 624

Email: mail@cardinia.vic.gov.au

Web: cardinia.vic.gov.au

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1 Introduction

This policy applies to outdoor signs on all land within Cardinia Shire Council. The terms used in this policy have the same meaning as specified in Clause 73.03 Land use terms of the Planning Scheme. The assessment criteria in Clause 52.05 Signs should also be considered in conjunction with these guidelines.

1.1 Purpose of Guidelines

Signs have an important role in the built environment. Advertising signs are essential in identifying, communicating and marketing businesses, institutions and buildings across the municipality. Advertising signs have a significant impact on the public realm and the quality of the streetscape and the building with which they are visually associated.

Well designed and integrated signage in appropriate locations can add colour, vibrancy and interest to an area. A proliferation of, poorly designed and located signs can significantly detract from the attractiveness and amenity of the Shire's urban and rural environments and gateways, as well as reducing the effectiveness of signs. Council considers it necessary to plan for the management of advertising signage in the built environment to balance the expectations of business and economic development with that of the broader community.

The 2018 review of Municipal Strategic Statement identifies the need to ensure that signs do not detract from the character or appearance of a locality, building or site, but integrate with building, landscape design and architecture. In addition, that an advertising signs policy be prepared to ensure good urban design outcomes and manage inappropriate and inefficient signage that degrades the character of streetscapes and public spaces.

The *Advertising Signage Design Guidelines* have been written to provide guidance for the design and placement of signs that are appropriate for

various forms of development and context, and to assist developers, building owners, building tenants, planning permit applicants and residents in understanding what type of signs are supported and are not supported in Cardinia Shire. The illustrations in this document are a visual aid to demonstrate examples of good and bad signs that anyone wanting to display one or more signs should consider before submitting a planning application.

1.2 Vision

The *vision* for Advertising Signage within Cardinia Shire Council is:

- **Encourage the development of signage which reflects and respects the context, having regard to built form height and massing, subdivision grain, landscape, road hierarchy, openness of the environment and heritage attributes.**
- **Protect the important view lines and vistas to key buildings, heritage and landscape qualities which are a highly valued part of the municipality.**
- **Manage transport corridors with a focus on maintaining road safety, visual order and avoiding clutter.**
- **Promote economic development and provide equitable identification and marketing of businesses in Cardinia Shire Council.**

1.3 Objectives

The core *objectives* for the advertising policy are to:

- Require advertising signage to respond and enhance the character, scale, architectural quality and appearance of a building, site and landscape setting.
- Allow for the reasonable identification and marketing of businesses in Cardinia Shire.
- Embed stronger urban design emphasis into policy.
- Ensure that signs are designed, positioned and displayed in an appropriate and attractive manner.
- Maximise the effectiveness of signs by minimising and consolidating signage to avoid visual clutter.
- Provide flexibility within the policy for dealing with changing modes of communication and new technologies.
- Encourage signs that contribute positively to the day and night image of activity centres and town centres.
- Support signs that contribute to the interest, vitality, and improve the quality of commercial and industrial areas.
- Ensure that signs enhance residential areas and other high amenity built and natural areas and do not detract from the appearance or character of the area.
- Improve the appearance of Shire gateways through the effective, sensitive display of signs and the avoidance of proliferation and visual clutter.
- Encourage the continual renewal and maintenance of existing signage structures to ensure their presentation does not detract from the urban setting.

1.4 Planning Permit

When to use the guidelines

Clause 52.05 Signs of the Cardinia Planning Scheme specifies those signs, which require a planning permit. Clause 73.03 Land Use Terms of the Cardinia Planning Scheme defines the signage terms used in relation to outdoor advertising.

These guidelines operate in conjunction with the Planning Scheme provisions, by setting out the parameters which Council (in exercising its discretion) will assess planning permit applications. Applicants **must use the Guidelines** as a basis for designing advertising signs that require a planning permit including new signage and/or modifying or replacing existing signage in Cardinia Shire.

The key requirements and design performance standards of these design guidelines will form a new Local Policy - Advertising Signs at Clause 22 of the Cardinia Planning Scheme.

This document will be used by Council Officers in assessing planning permit applications for advertising signs to ensure consistency with Council Policy. It is noted that Council encourages use of the guidelines whether a permit is required or not.

Do I need a Planning Permit?

To determine whether a planning permit is required for an advertising sign, please contact Cardinia Shire Council's Statutory Planning team on 1300 787 624.

You may be eligible for a VicSmart Planning Permit application to display a sign. You can learn more about the VicSmart process by visiting Council's website www.cardinia.vic.gov.au

2 Policy

2.1 General

It is policy that advertising sign proposals are assessed against the following criteria, that the sign/s:

1. Advertise and identify the business and service provided on the site and not details of product/s sold.
2. Avoid excessive or repetitive advertising on a building or site.
3. Be located within the site the business operates on.
4. Not be located on a road reserve, unless above a Verandah / Awning or Verandah Fascia & Under Verandah sign types.
5. Be integrated with existing buildings and structures rather than erected as stand-alone structures, except for free-standing promotional Pole signs.
6. Be carefully designed to integrate with heritage buildings or objects to ensure the building's and architectural features and detailing are not obscured.
7. Be legible and concise in content and are designed taking into account how they will be viewed and read from different modes of travel.
8. Be erected in a manner such that they are at a safe clearance above the footpath (a minimum of 2700mm from ground level) and are set back at least 750mm from the kerb line if the signs are located on street-fronting development and protrude from the property boundary.
9. Not protrude above rooflines or parapets, or beyond the edges of fascia or walls of the host building.
10. Not compromise the structural integrity and safety of the host building/structure.

11. Not impair the effectiveness of the surrounding security and emergency signs.

12. Not affect road safety. A sign is a safety hazard if the sign:

- Obstructs a driver's line of sight at an intersection, curve or point of egress from an adjacent property.
- Obstructs a driver's view of a traffic control device, or is likely to create a confusing or dominating background which might reduce the clarity or effectiveness of a traffic control device.
- Could dazzle or distract drivers due to its size, design or colouring, or it being illuminated, reflective, animated or flashing.
- Is at a location where particular concentration is required, such as a high pedestrian volume intersection.
- Is likely to be mistaken for a traffic control device, because it contains red, green or yellow lighting, or has red circles, octagons, crosses, triangles or arrows.
- Requires close study from a moving or stationary vehicle in a location where the vehicle would be unprotected from passing traffic.
- Invites drivers to turn where there is fast moving traffic or the sign is so close to the turning point that there is no time to signal and turn safely.
- Is within 100 metres of a rural railway crossing.
- Has insufficient clearance from vehicles on the carriageway.
- Could mislead drivers or be mistaken as an instruction to drivers.

13. Complement the architectural design, form and scale of the host building or land and not obscure a building's architectural form, features or glazed surfaces.

14. Consist of materials and colours that have sufficient contrast between the background and the letters/symbols so that they are

legible/readable both during the day as well as the night, and eliminate glare.

15. Consider Ecologically Sustainable Development (ESD) principles in the use of materials and lighting to achieve energy efficiency.
16. Provide adequate space for all occupancies to display signage where a building or site is occupied by more than one business.
17. Be innovative in design and enrich pedestrian visual experience.
18. Conceal electrical services to a sign.
19. Be designed and placed in a manner that accounts for the long-term maintenance needs and the ease of changing messages if reusing the existing mountings and service installations.
20. Not detract from the appearance or character of the area in residential areas and other high amenity areas.
21. Protect areas of environmental and natural significance by limiting signage within, adjoining or facing these areas.
22. Be compatible with and complement the type, design and character of existing signs in the streetscape and surrounding area.
23. Enhances major entrances / gateways to the municipality by positively contributing to urban design.

3 Sign Types

This section details the requirements relating to specific types of signs, and includes the details for each sign type including term, definition and design guidelines. The outdoor advertising terms and definitions are in accordance with Clause 73 Outdoor Advertising Terms of the Cardinia Planning Scheme.

3.1 Above Verandah/ Awning Sign

A sign above a verandah or, if no verandah, that is more than 3.7 metres above pavement level, and which projects more than 0.3 metres outside the site.

Design guidelines:

Above Verandah/Awning signs should:

- Be limited to one sign per site, or one sign per occupancy where there is more than one tenant in the building and the sign does not create visual clutter.

3.2 Animated Sign

A sign that can move, contains moving or scrolling parts, changes its message, flashes, or has a moving or flashing border.

Design guidelines:

Animated Signs are strongly discouraged in sensitive areas such as residential, rural and conservation zoned areas, heritage places and green wedge areas which have advertising signage controls.

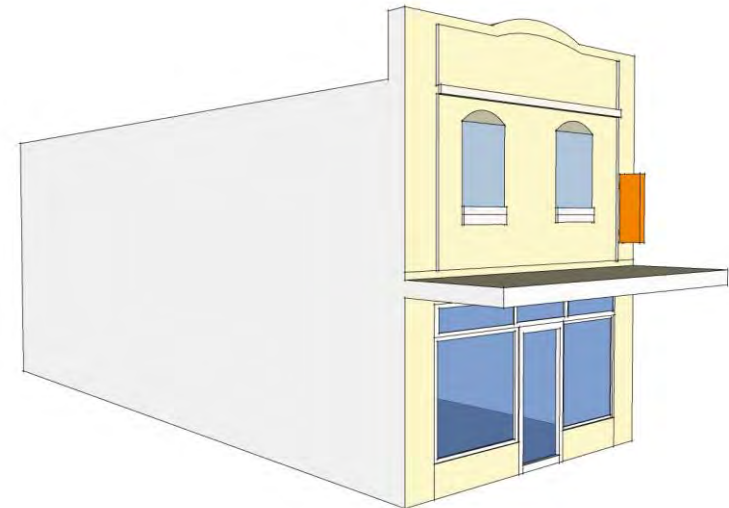


Figure 1. Above Verandah / Awning Sign

Animated Signs must:

- Be limited to one per premises.
- Not be located on the roof of a building, above an awning or verandah.
- Not use animated effects such as 'fade', 'zoom' or 'fly-in'.

Animated Signs should:

- Not be adjoining or facing dwellings or public parks / reserves.
- Be static with a minimal number of changes per day. Where changing messages are appropriate a minimum dwell time of not lesser than 45 seconds should be applied, with no blank screen between messages.

NOTE: Where relevant, the signage requirements and performance standards of Sections 3.6 Electronic Signs applies.

3.3 Bunting Sign

An advertisement that consists of bunting, streamers, flags, windvanes, or the like.

Design guidelines:

Bunting Signs must:

- Provide or be directly associated with clear identification of a business on site.

Bunting Signs should:

- Be limited to one per premises.
- Contribute to the visual appearance and amenity of commercial or industrial site.
- Be not located in sensitive land use areas.



Figure 2. *Animated Sign*

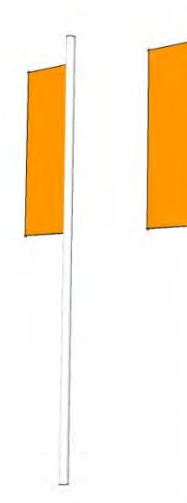


Figure 3. *Bunting Sign*

3.4 Business Identification Sign

A sign that provides business identification information about a business or industry on the land where it is displayed. The information may include the name of the business or building, the street number of the business premises, the nature of the business, a business logo or other business identification information.

Design guidelines:

Business Identification Signs must:

- Be limited to a maximum of two signs per tenancy where sign is at ground level of a building.
- Be located on the wall / façade of a building or within a 5 metre distance of the building on the site in which the business operates where no parapet exists.
- Be placed at a minimum height of 2.7m clear above the footpath (if applicable) and not project more than 1 metre.

Business Identification Signs should:

- Be placed on the parapet of a building whether it is single or double storey.
- Be located on the façade of the building or on any approved Pole / Panel Sign when designed for freestanding retail centres and for major tenant businesses.
- Be located within a recess or in a specific and designated location that respects the character and scale of the building when designed as part of a new development.
- Not be exceeding 30% of the combined (street-facing) façades on which that signage is located.
- Be clear in its font and print, contain few words and be colour contrasted so to be readable.
- In a freestanding retail centre, be limited to one sign per business / tenancy when where multiple tenancies have direct frontages to car parking areas or streets and the signage is consistent and equally proportional with adjoining businesses.



Figure 4. Business Identification Sign

3.5 Direction Sign

A sign not exceeding 0.3 square metres that directs vehicles or pedestrians. It does not include a sign that contains commercial information.

Design guidelines:

Direction Signs should:

- Not exceed 0.3 square metres in signage area.
- Not exceed more than one sign per business and be displayed on the subject site, unless it can be demonstrated that additional signs are required (i.e. to accurately locate the business).
- Provide a directional message only, and should not promote a business or a product.

NOTE:

Direction signs are used to direct vehicles and or pedestrians within a private property. They do not include signs that contain commercial information, although there are occasions when the business identification logo is integrated with a direction sign.

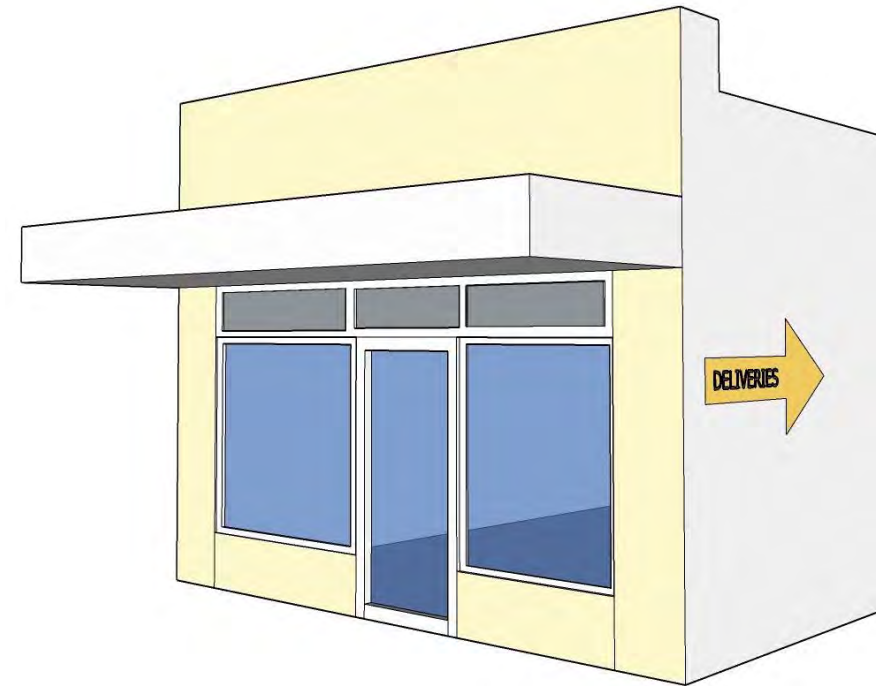


Figure 5. *Direction Sign*

3.6 Electronic Sign

A sign that can be updated electronically. It includes screens broadcasting still or moving images.

Design guidelines:

Electronic Signs must:

- Meet the relevant road authority guidelines where the sign is located adjacent any road.
- Ensure the level and intensity of illumination treatment does not result in light spill, distracting glare and does not affect the amenity of surrounding areas.
- Be designed to ensure the location and size of the sign is appropriate and does not cause distraction to road users.
- Have a minimum dwell time of 45 seconds with no blank screen between messages.

Electronic Signs should only be located in:

- Major Activity Centres if a community benefit can be demonstrated.
- Land adjacent to a freeway which does not have an interface with rural, Green Wedge Zone or any Residential use.
- Schools.

Electronic Signs greater than 18 square metres must:

- Provide 25% of the screen time for a community benefit i.e. is used to screen real time information (such as time, weather, or news headlines), is used to broadcast major events (such as sporting or cultural events), and / or offers free advertising for local community organisations or events.
- Not displaying alcohol and gambling related promotions.



Figure 6. *Electronic Sign*

3.7 Home Occupation Sign

A sign at a dwelling that advertises a home occupation carried on in the dwelling, or on the land around the dwelling.

Design guidelines:

Home Occupation Signs should:

- Face the road with the highest amount of traffic flow.
- Be located at the front of the property, within the landscaping treatment and be no higher than 2 metres above the footpath level if it is a freestanding sign.
- Be professionally designed and printed.
- Not be artificially lit or consist of any bunting, flags or streamers.

3.8 Floodlit Sign

A sign illuminated by external lighting provided for that purpose.

Design guidelines:

Floodlit Signs must:

- Be limited to one sign per site.

Floodlit Signs should:

- Be compatible with, and relevant to the location, type, use and opening hours of the business.
- Be designed at a scale and size which does not dominate the streetscape and has considered the surrounding built form and land uses.
- Ensure the intensity of illumination does not cause light spill and result in loss of amenity to the surrounding area.



Figure 7. Home Occupation Sign

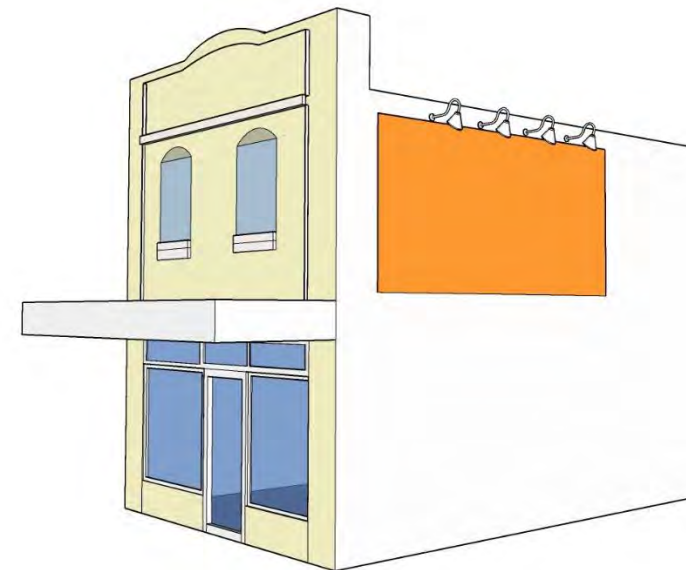


Figure 8. Floodlit Sign

- Provide baffled treatment to avoid distracting glare to surrounding areas. (Including motorists and road related areas).
- The effectiveness and legibility of neighbouring signs are protected.
- Designed so no cabling and light fixtures are exposed.
- The numbers and sizes of floodlights are appropriate to the scale of the sign.

Note: The requirements in Section 3.6: Electronic Signs also applies.

3.9 High Wall Sign

A sign on the wall of a building so that part of it is more than 10 metres above the ground.

Design guidelines:

High Wall signs must:

- Be displayed on a building which is greater than 3-4 storeys in height or at a location which supports a prominent sign and is located within a retail / commercial activity centre or industrial area.
- Be located along the building frontage (where relevant), and the size must be proportionate to the building and surrounding built form.
- Not protrude above the wall height and be fixed to the wall.
- Only display appropriate information relating to that particular business.

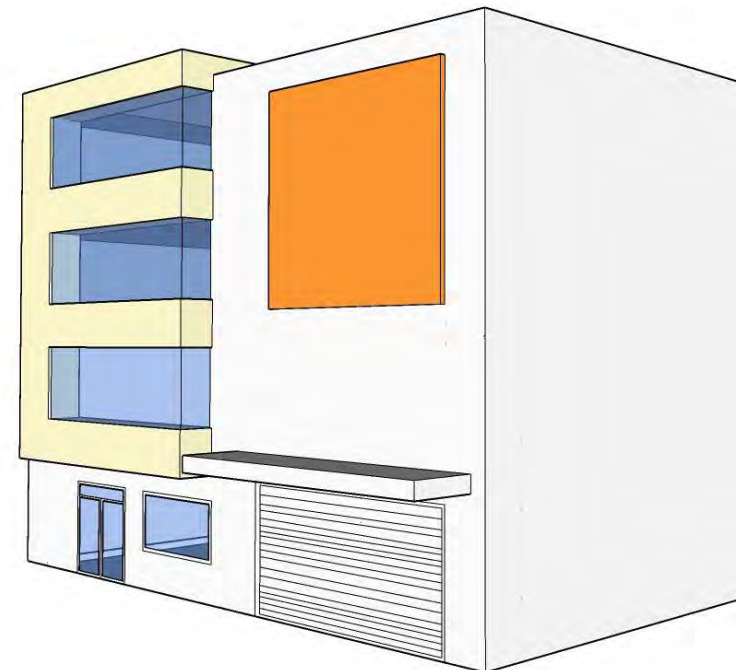


Figure 9. High Wall Sign

3.10 Reflective Sign

A sign finished with material specifically made to reflect external light.

Design guidelines:

Reflective Signs must:

- Be limited to one per site / business / development.
- Not dominate the building(s).

3.11 Internally Illuminated Sign

A sign illuminated by internal lighting or which contains lights or illuminated tubes arranged as an advertisement.

Design guidelines:

Internally Illuminated Signs should:

- Be located at ground level in an activity centre.
- Be compatible with, and relevant to the type, use and opening hours of the business.
- Enhance the architectural style, heritage and or the character of the building.
- Integrate their light fixtures, cabling systems and junction boxes within the sign structure.
- Not interfere with the effectiveness and legibility of neighbouring signs.
- Avoid flashing light and animation.
- Ensure baffled treatment is provided to avoid the unnecessary spill of light and distracting glare.

Note: The requirements in Section 3.6 Electronic Signs also applies.

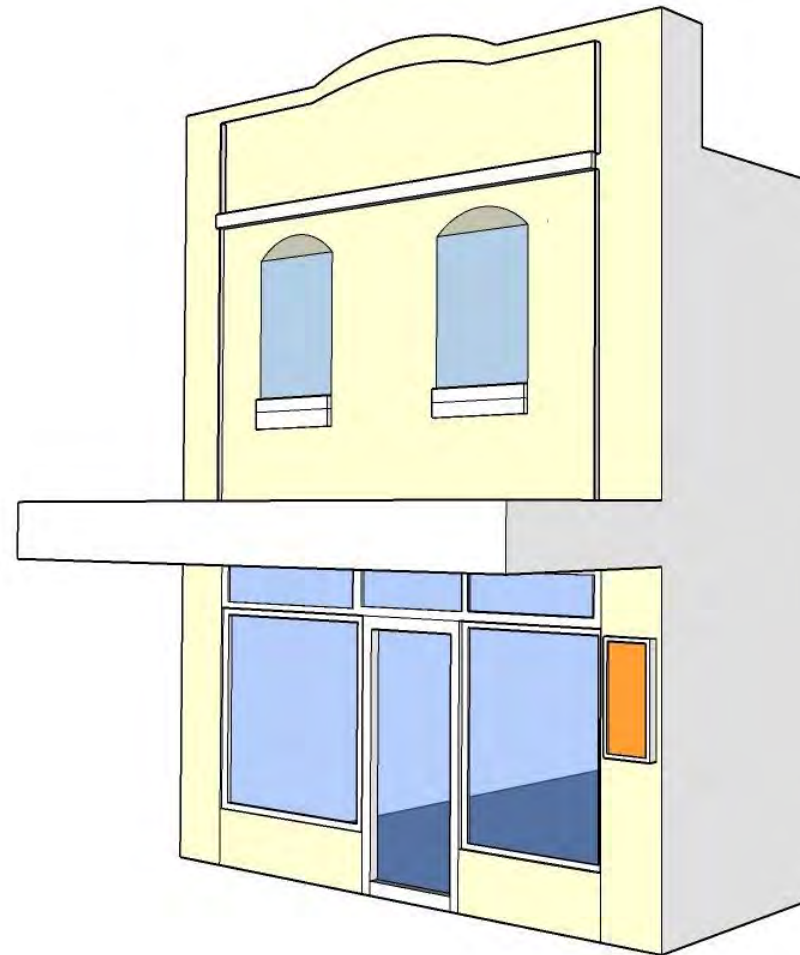


Figure 10. Internally Illuminated Sign

3.12 Panel Sign

A sign with an advertisement area exceeding 10 square metres.

Design guidelines:

Panel Signs must:

Be placed on a large-scale industrial / commercial use building with a significant frontage to a road in the Road Zone Category 1 (RDZ1) or Category 2 (RDZ2).

- Be limited to only one sign per building, unless a building has dual frontage (corner site), then one sign may be permitted on each frontage.
- Refer to one business only.
- Be attached to the building to which the sign relates.
- Not extend above the roofline of the building.
- Not obscure activity inside the building or restrict street surveillance from buildings.

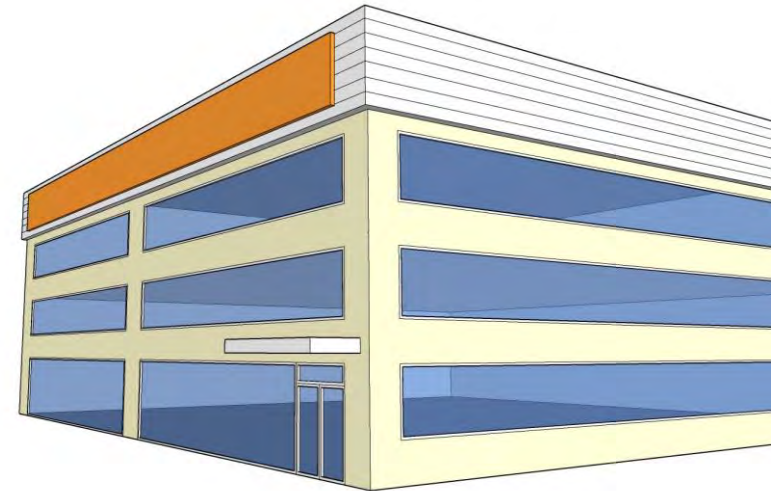


Figure 11. Panel Sign

3.13 Pole Sign

A sign:

- a) on a pole or pylon that is not part of a building or another structure;
- b) that is no more than 7 metres above the ground;
- c) with an advertisement area not exceeding 6 square metres; and
- d) that has a clearance under it of at least 2.7 metres.

Design guidelines:

Pole Signs should:

- Be restricted to one sign per group of premises (i.e. one Pole Sign for a group of shops, industrial or restricted retail premises).
- Be incorporated into the landscape treatment.
- Ensure the signage structure does not protrude over a footpath, road or adjoining property.
- Include the name / location of the retail centre (if applicable) on the sign as the first (top) item on the pole and only major tenants are advertised on that sign.
- Consolidate signs where possible and have regard to the size and number of Pole Signs on adjoining properties.

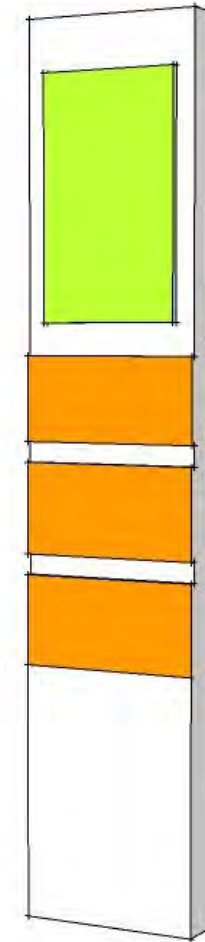


Figure 12. Pole Sign

3.14 Sky Sign

A sign:

- a) on or above the roof of a building, but not a verandah;
- b) fixed to the wall of a building and which projects above the wall; or
- c) fixed to a structure (not a building) so that part of it is more than 7 metres above the ground.

Design guidelines:

Sky Signs on or above the roof of a building, but not a verandah should:

- Identify the major tenants of a shopping centre.
- Only be located at the main entry points for a shopping centre.

Sky Signs fixed to the wall of a building and which projects above that wall should:

- Identify the major tenants of a shopping centre.
- Only be located at the main entry points for a shopping centre.

Sky Signs fixed to a structure (not a building) so that part of it is more than 7 metres above the ground should:

- Only be permitted for identification at the major entry points / gateways to an activity centre or townships.

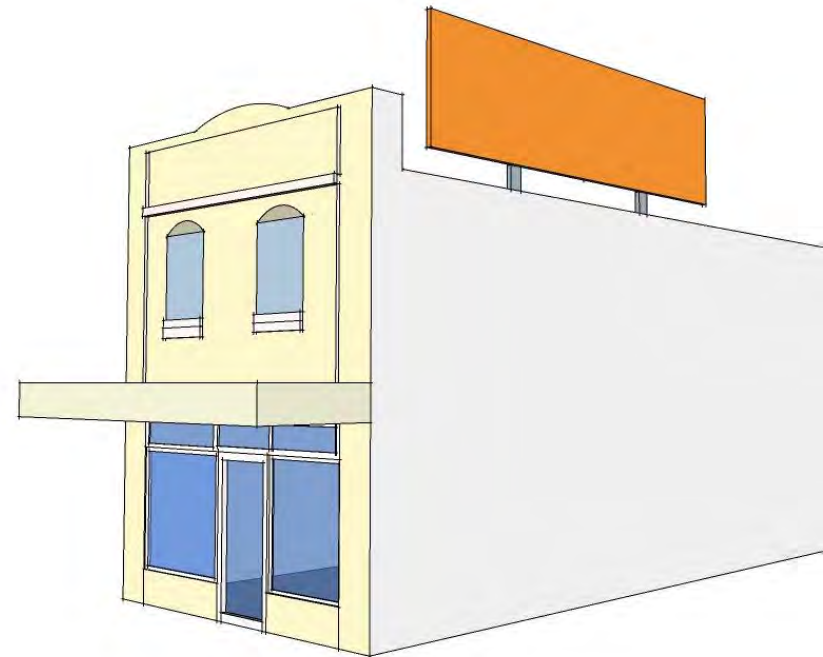


Figure 13. Sky Sign

3.15 Verandah Fascia & Under Verandah Sign

Sign located under the verandah or displayed along the fascia of the verandah. These are to include signs (no more than 3.7m above pavement level) where no below no verandah exists.

Design guidelines:

Verandah Fascia and Under Verandah Signs should:

- Be at least 2.4 metres above the footpath level
- Not project further than the verandah level.
- Not exceed 0.5 metres in height and 0.3 metres in depth for an Under Verandah Sign.
- Have a maximum height of 0.5 metres for a Verandah Fascia Sign.

3.16 Promotion Sign

A sign of less than 18 square metres that promotes goods, services, an event or any other matter, whether or not provided, undertaken or sold or for hire on the land or in the building on which the sign is sited.

Design guidelines:

Promotion Signs that are not located on the same land as the place of business are discouraged with the exception of those listed under Section 3.17 (subdivision and new estate signs) of these guidelines.

Subdivision and New Estate Promotion Signs must:

- Be temporary and relate to Sale Offices and Display Villages or promotion of residential and industrial subdivisions. The signage must be removed once land sales have ceased, or when the planning permit expires (whichever comes first).

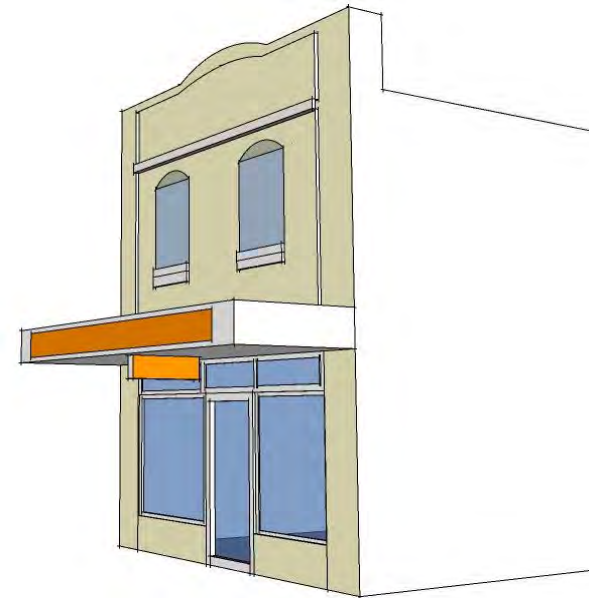


Figure 14. Verandah Fascia & Under Verandah Sign

Subdivision and New Estate Promotion Signs should:

- Be located on the subject land that is being subdivided or sold
- Not be an Internally Illuminated, Floodlit, Animated, Electronic, or a Reflective Sign and have no additions, flags, streamers or appurtenances added to the sign.
- Only display one sign per road frontage. Where the property has a road frontage of more than 150 metres multiple signs may be erected provided there is a minimum of 150 metres distance between each sign, with a total of not more than 4 signs per frontage.
- Be removed and the subject site be reinstated, prior to the issuing of a Statement of Compliance for the final stage of subdivision to the satisfaction of the Responsible Authority for promotional signs relating to subdivision.
- Be setback a minimum distance of 10 metres from the title boundary for signs located adjacent to a declared Freeway and/or Highway.
- Have a minimum separation distance of 150 metres between any subdivision and/or new estate Promotion Signs.
- Have a maximum advertising area of 10 square metres.
- Have a minimum setback of 500 metres from an on-off ramp of a Freeway.

Promotional Signs (including signage on trailers) which does not relate to product, goods or services offered for sale on the land) will not be supported.

Council will not support the display or parking of moveable signage, including trailer signage on any land, including Vic Roads or Council road reserves.

NOTE: Where relevant, the requirements in Section 3.12 Panel Sign and Section 3.13 Pole Sign also applies.

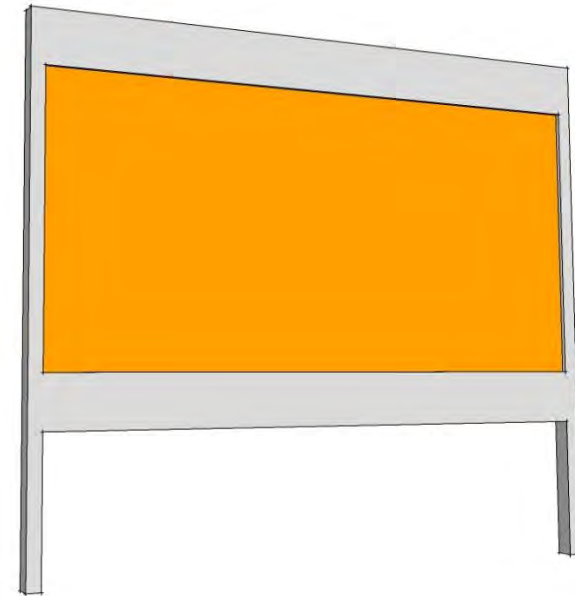


Figure 15. Promotion Sign

3.17 Major Promotion Sign

A sign which is 18 square metres or greater that promotes goods, services, an event or any other matter, whether or not provided, undertaken or sold or for hire on the land or in the building on which the sign is sited.

Design guidelines:

All Major Promotion Signs for Subdivision and New Estates must comply with the requirements of Section 3.16 Promotion Signs and the following additional conditions.

Major Promotion Signs must:

- Be located within Major Activity Centres and or abut declared freeways and highways.
- Take into consideration any requirements of VicRoads, for signs along the freeways and highways.
- Not exceed a total of 21 square metres of advertising area.

Major Promotion Signs should:

- Not dominate the streetscape or landscape.
- Have concealed supports, cabling, lighting and electrical.

NOTE: Where relevant, the requirements in Section 3.12 Panel Sign also apply.



Figure 16. Major Promotional Sign

4 Design Guidelines for Specific Land Use

Different land uses have individual characteristics and this section outlines the requirements relating to signs located on different land uses and includes details for each sign type.

4.1 Commercial (Shop & Office) Areas

Design Guidelines

Signage located in commercial (shop and office) areas should:

- Stimulate interest in the business or service provided on the site and enhance and contribute to the vitality and visual amenity of the commercial area.
- Not occupy more than 50% of the wall area above a verandah, or if no verandah 50% of the total front facade wall.
- Not occupy more than 50% of an awning.
- Be no more than eight square metres of the preferred signage type (see below) for premises with a frontage of less than five metres.
- Be limited to only the front façade of a building where it has a direct frontage to a road or car parking area for painted corporate colours on the exterior of a building.
- Avoid Above Verandah, Sky, High Wall and Bunting Signs that are actively discouraged and are considered inappropriate for this location.

Preferred signage types:

Verandah Fascia Signage
Under Verandah Signage
Business Identification Signage
Internally Illuminated Signage

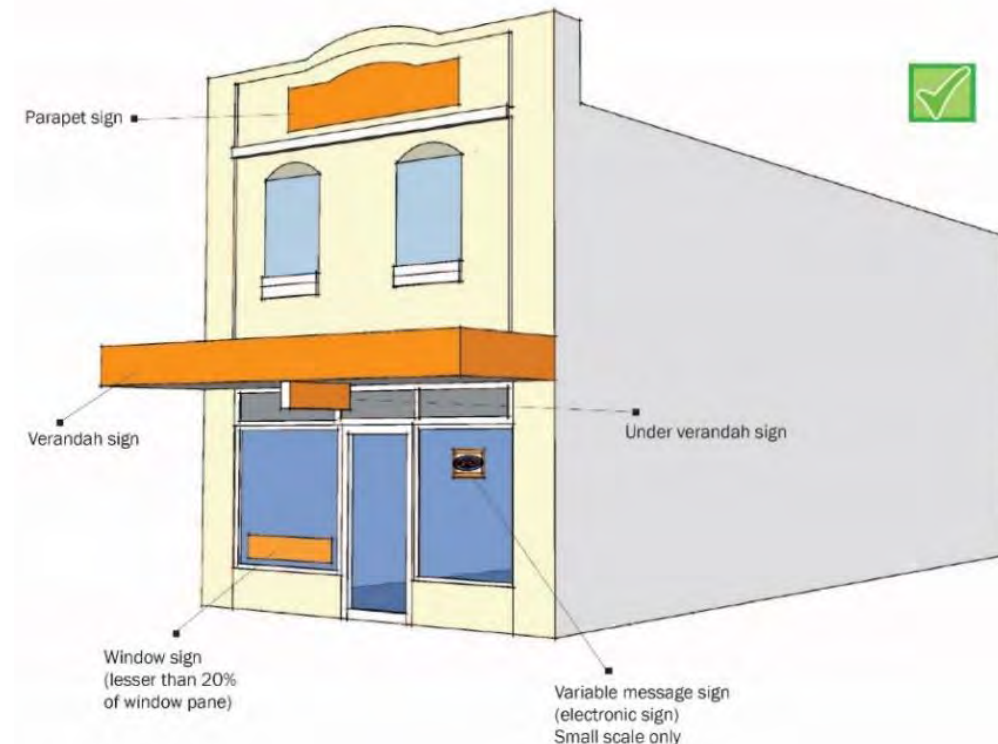


Figure 17. Encouraged Sign Types for Shops with verandah (Double Storey)

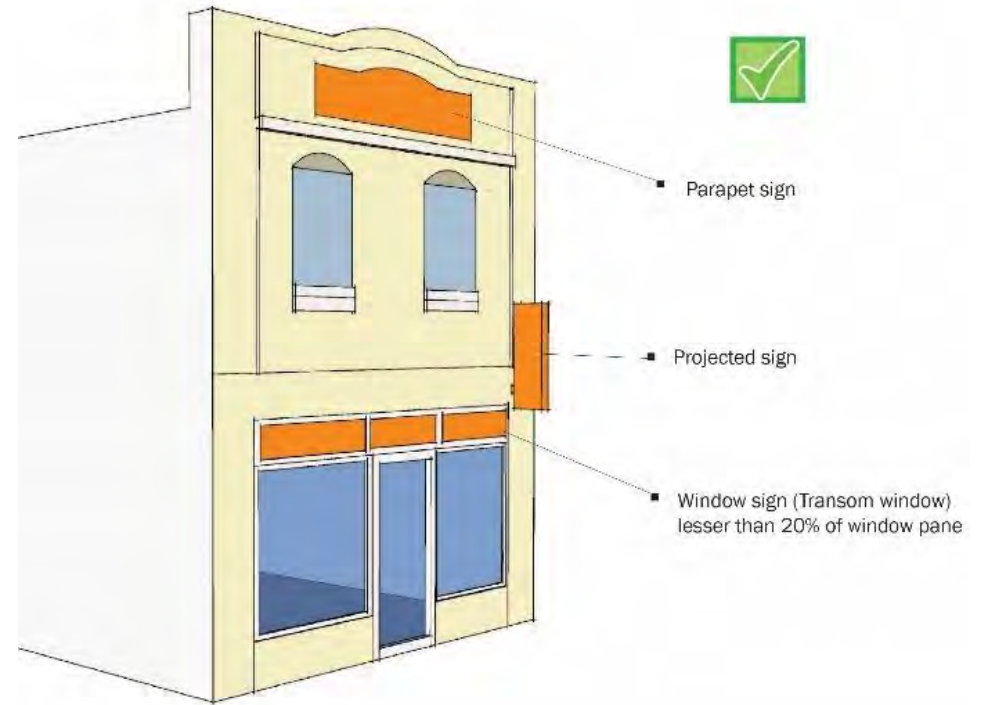
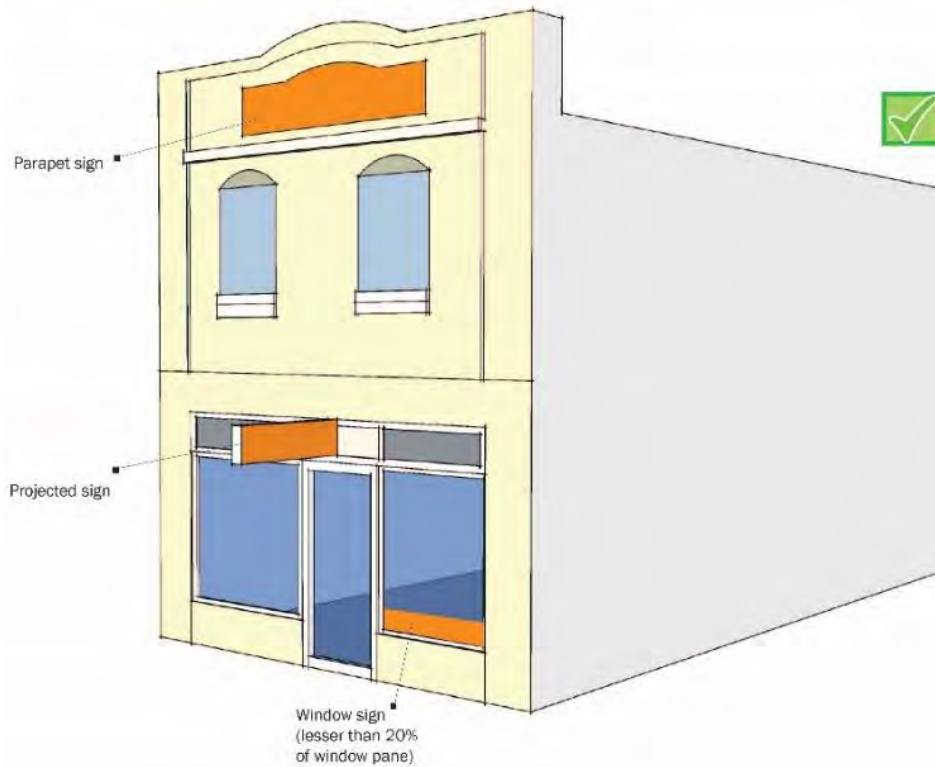


Figure 18. Encouraged Sign Types for Shops without verandah (Double Storey)

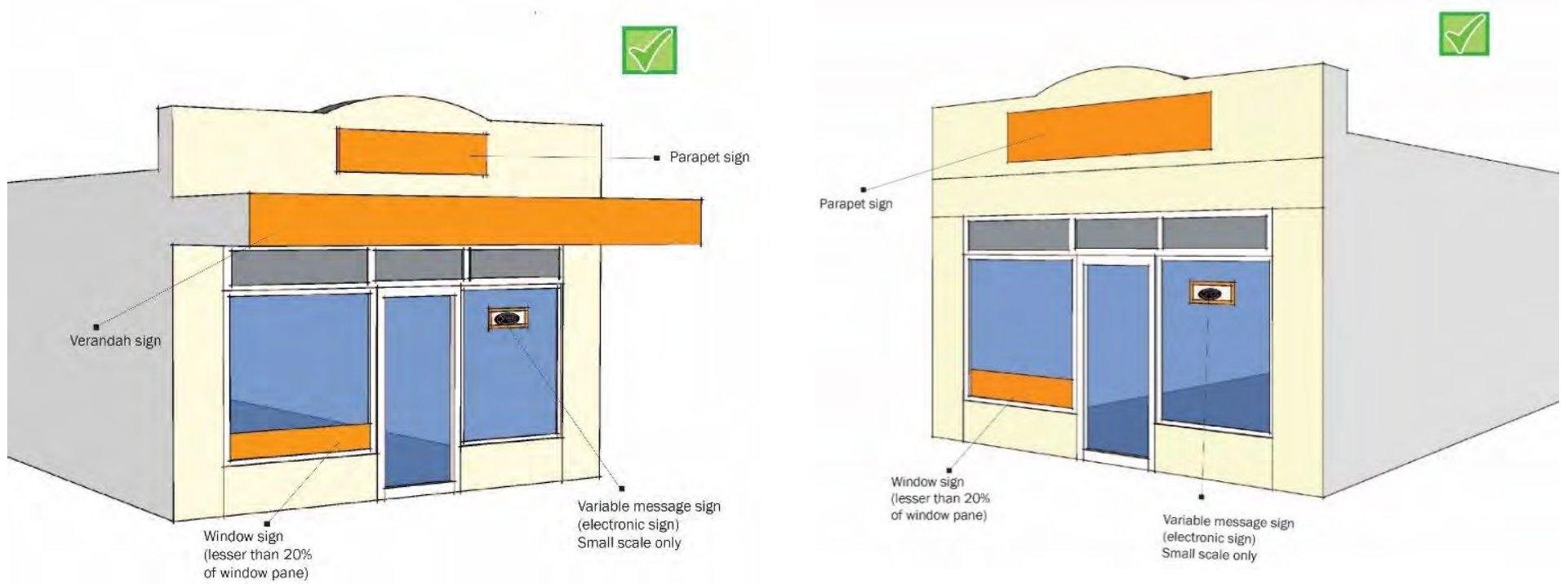


Figure 19. Encouraged Sign Types for Shops (Single Storey)

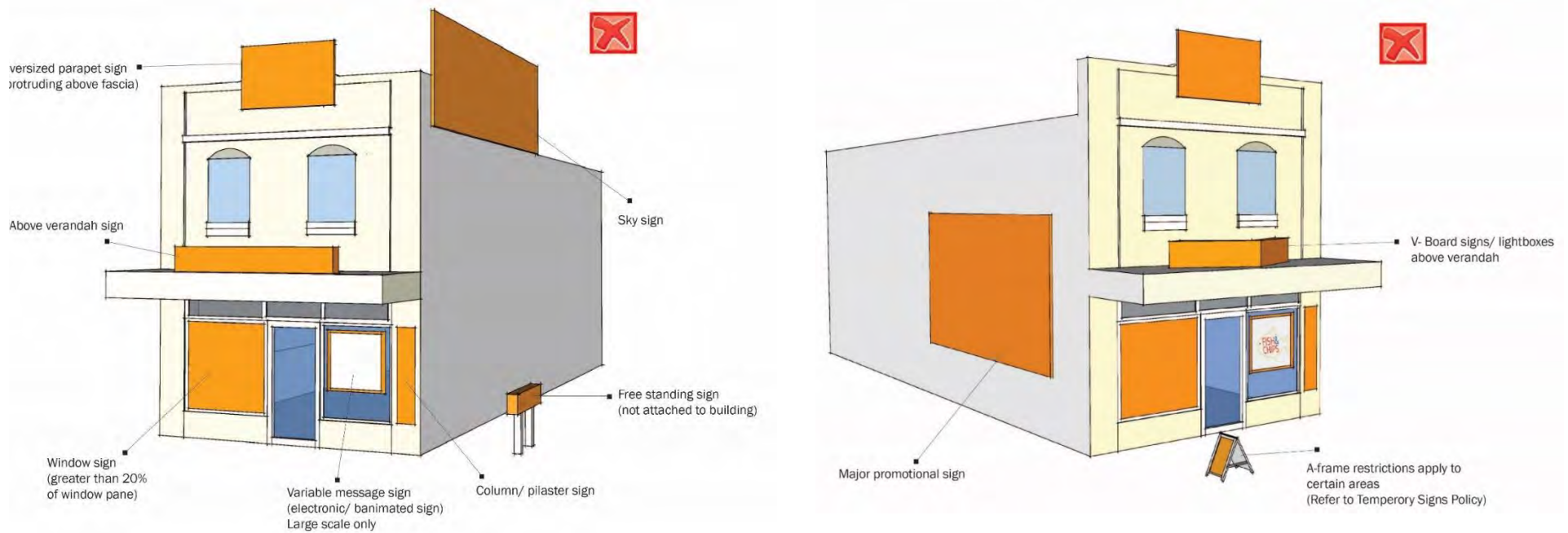


Figure 20. Discouraged Sign Types

4.2 Shopping Centres (Activity Centres, Town Centres)

Shopping centres include free standing retail centres located on a prominent corner site and/or adjoining a Road Zone Category 1 or 2 (RDZ1 or RDZ2), large and neighbourhood Activity Centres (that generally have one central built form area but are comprised of a number of tenancies), and traditional main streets within townships. These shopping centres have a high degree of visibility from the surrounding area.

Design guidelines:

Free-Standing Shopping Centre Signs should:

- Be incorporated into the design of the building form.
- For an individual business, advertising on the exterior of a building should only be permitted where the tenancy has direct external frontage to a carpark. Business Identification Signs should be consistent and uniform in size and preferably located on the businesses verandah fascia or parapet.
- Business Identification Signs on external walls should:
 - Be proportional to the building and is positioned on the building facade.
 - Designed into and complement the architecture of the building.
 - Not protrude above the roofline.
 - Identify the name of the shopping centre.

Specific Guidelines for Activity Centres

This applies to Major Activity Centres and Activity Centres as identified in the Cardinia Planning Scheme.

Pole and Free-Standing Panel Signs should:

- Be limited to one sign per road frontage.

- Display the name of the shopping centre at the top of the sign and list tenants of the site beneath the name of the shopping centre.
- Be incorporated into the landscaping treatment.

Specific Guidelines for Neighbourhood Centres

This applies to Neighbourhood Centres as identified in the Cardinia Planning Scheme.

Pole and Free-Standing Panel signs should:

- Be limited to one sign per centre.
- Display the name of the shopping centre at the top of the sign and list tenants of the site beneath the name of the shopping centre.
- Be incorporated into the landscaping treatment.
- Have a maximum height of six metres.
- Not have adverse impacts upon residential amenity.

Preferred Signage Types

Verandah Fascia Signage
Under Verandah Signage
Panel Signage
Pole Signage
Directional Signage
Business Identification Signage
Internally Illuminated Signage



Figure 21. *Encouraged Sign Types for Shops in Town Centres*

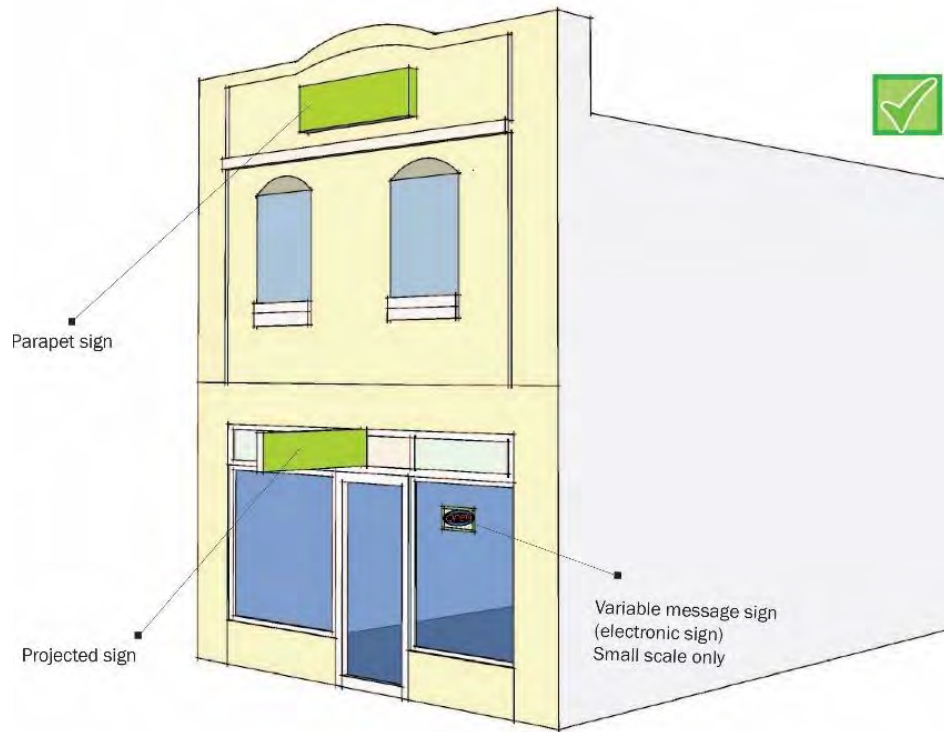


Figure 22. Encouraged Illuminated Sign Types for Shops (without a verandah)

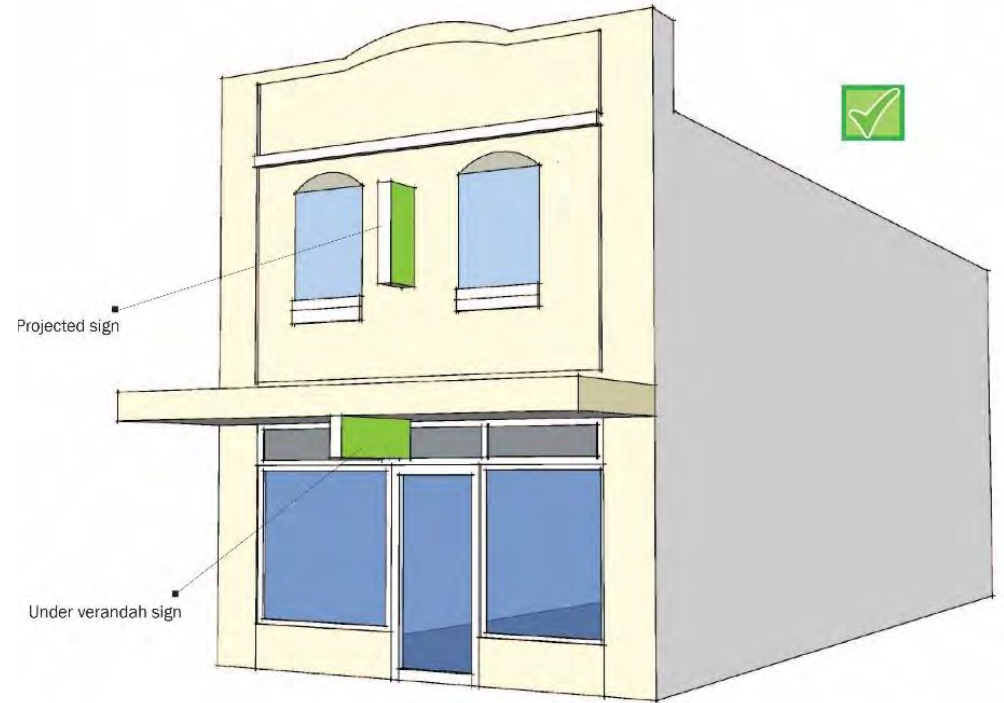


Figure 23. Encouraged Illuminated Sign Types for Shops (with a verandah)

4.3 Free Standing 'Pad' Sites

Pad sites include freestanding service stations, retail premises, freeway service centre, office (medical centre) and veterinary centre land uses. Generally, pad sites are located on prominent corner sites and/or on freeways, highways and main roads.

Design guidelines:

- Business Identification Signs on external walls must:
 - Not protrude above the roofline.
 - Identify the name of the tenants (or business logo) only.
- Pole/Pylon and Free-Standing Panel Signs must:
 - Be limited to one sign per road frontage.
 - Be less than seven metres in height.
 - Be incorporated into the landscaping treatment.
 - Not have adverse impacts upon residential amenity.
- Direction Signs for a pad site must:
 - Be limited to one per road entry point.
 - Not exceed 0.3 square metres in size.
- Internally Illuminated, Floodlit, Animated, Electronic and Reflective Signs are highly discouraged on sites or in locations where they will impact upon residential amenity.

Free-Standing Pad Site Signs should:

- Contribute to good urban design outcomes.
- Be designed to minimise visual clutter and unnecessary repetitiveness.
- Be incorporated into the design of the building form.
- Be designed so the signage does not obscure views from windows to, or passive surveillance of, pedestrian activity areas, car parking areas and streets.
- Business identification signs should be consistent and uniform in size and preferably located on the businesses verandah fascia or parapet.

- For an individual business, the painting of corporate colours on the exterior of a building is considered to be signage and should be limited to the front façade of the tenancy where it has frontage to a car parking area or road.

Preferred Signage Types

Verandah Fascia Signage
Under Verandah Signage
Panel Signage
Pole Signage
Directional Signage
Business Identification Signage
Internally Illuminated Signage

4.4 Industrial and Restricted Retail Areas

Design guidelines:

Signs on land zoned for industrial and restricted retail uses should:

- Be located on buildings, awnings or within built elements.
- Be limited to the front and sides of buildings. Business Identification Signs are discouraged at the rear of buildings.
- Should not appear as a dominant feature of building facades, walls, parapets or landscaped surroundings.
- Have a maximum area of 10 square metres.
- Where frontage greater than 40 metres and is set back by 10m or more from a road, consideration will be given for signage with a maximum area of 20 square metres.
- Not include Above Verandah (or roof), Sky, Bunting, Animated, Electronic and Reflective Signs due to the adverse impact such signs have on visual amenity and result in visual clutter in industrial and restricted retail areas.

Signs in **industrial areas** must:

- Where multiple tenants exist on a site, coordinate one main pole/ pylon / free standing panel sign to identify the various businesses located within the site.
- Pole Signs in industrial areas must:
 - Be located at large free standing premises fronting a Road Zone Category 1 (RDZ1) and be well set back from the road.
 - Display only business identification information and are limited to one Pole Sign per premises.
 - Be shared between tenants in industrial estates.
 - Be incorporated into a landscaped area.
 - Be less than seven metres in height.
- Signs on Industrial buildings (or complexes) that are freestanding should:
 - Be limited to one Pole/ Pylon Sign or Free-Standing Panel Sign may be permitted provided it is no greater than seven metres in height, and identifies the company name and logo only.
 - Where dual road frontage, a Fascia / Wall Mounted Sign is permitted on each road abuttal (provided the road is located at the front or the side of the site) which identifies the company name (and logo if applicable).

Signage in **restricted retail** areas must:

- Where there is a grouping of restricted retail premises (such as in a homemaker centre) business identification signage will only be permitted where the retail premise has direct frontage to the exterior of the centre on to a carpark. Signs within the grouping should be consistent and uniform in area and preferably located on the building's verandah fascia / parapet area.
- For individual restricted retail premises, the advertising area will not exceed 12 square metres for the premise.

- Where restricted retail premises are collocated (i.e. homemaker centre), only one major Pole or Free-Standing Panel sign will be allowed to provide a register of business. The sign must be no greater than seven metres in height.
- For free-standing restricted retail sales premises, one Pole Sign is permitted, but only when the site's frontage exceeds 40 metres in length.

Preferred Signage Types

Business Identification Signage
Verandah Fascia Signage
Pole Signage
Direction Signage
Internally Illuminated Signage

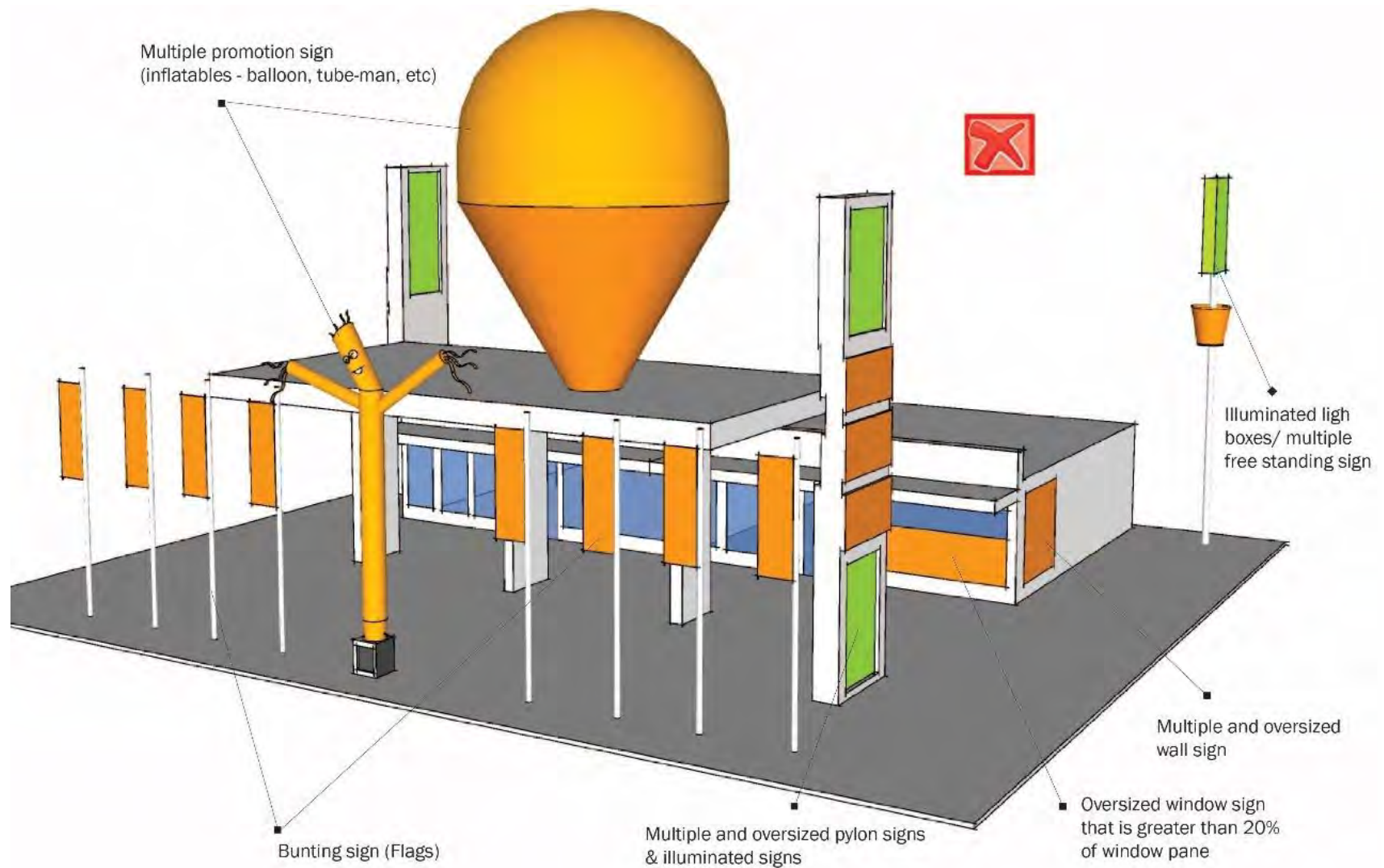


Figure 24. Discouraged Sign Types for Pad Sites, Industrial & Restricted Retail



Figure 25. Encouraged Sign Types for Pad Sites, Industrial & Restricted Retail

4.5 Residential Areas

A range of uses can be located within residential areas which require advertising signage, including but not limited to home occupation, and non-residential uses such as nursing homes, medical centres and childcare centres. The expectation in residential areas is a high level of amenity, privacy, and no visual intrusion from advertising signs or illumination.

Design guidelines:

Signs in residential areas should:

- Be minimised so it does not detract from the residential amenity of the area.
- Be designed to be compatible with the surrounding residential area.
- Not be Internally Illuminated, Floodlit, Animated, Electronic or Reflective Signs unless it can be demonstrated that there is no adverse impact upon residential amenity.

Signs in residential areas must:

- Be limited to one business identification sign with an area of less than three square metres.
- If the signage is free standing signage must:
 - Be located at the front of the building
 - Be located on the street with the greatest amount of traffic (if the site has more than one street frontage)
 - Be no higher than two metres above footpath level
 - Be incorporated into the landscape treatment

Preferred Signage Types

Business Identification Signage
Direction Signage



Figure 26. Encouraged Sign Types for Residential Area

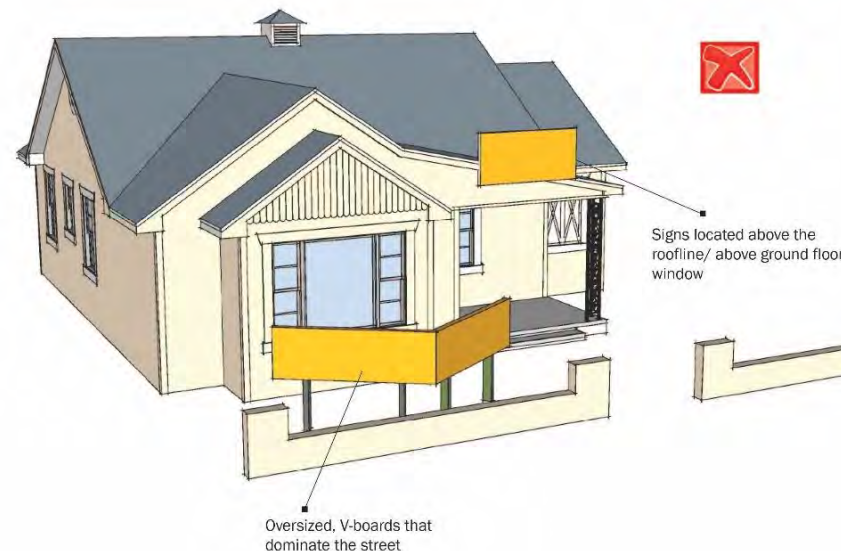


Figure 27. Discouraged Sign Types for Residential Area

4.6 Display Homes Villages & Land Sales Offices

Display home villages are typically located within new residential estates. Signage in these areas should be minimised so it does not detract from the residential amenity of the area and must not be located on a Council road reserve

Design guidelines:

Signs for display home villages and land sales offices should:

- Be designed to minimise visual clutter and unnecessary repetitiveness.
- Direction Signs should not exceed 0.3 square metres in size.
- Be displayed only for the length of time that the land is being used for a display home.
- Not be internally illuminated, Floodlit, Animated, Electronic or Reflective Signs.
- Not be trailer signs or any form of moveable signage on the land being subdivided or any other land including road reserves.

Preferred Signage Types

Promotion Signage
Direction Signage
Pole Signage

4.7 Rural Areas

Land that is zoned for agricultural/ rural purposes should be identified as areas which have limitations on the type of signage permitted within them. A variety of businesses operate in rural areas such as farming, farm machinery repairs, boarding kennels, and equine facilities etc. which require business identification signage. Signs in these areas should be minimised to minimise the impact that signs may have on the surrounding area.

Design guidelines:

Signs in rural areas must:

- Be limited to one Business Identification Sign per site, which identifies the business or service provided (but not a product).
- Not be an Internally Illuminated, Floodlit, Animated, Electronic or a Reflective Sign.
- Where signage is free standing, it should be located at the front of the property and no more than two metres above ground height.

Signs in rural areas should:

- Be of a low scale to respect the rural character of the surrounding area.
- Be incorporated into the landscape treatment along the boundary of the property.
- Signage colours should be compatible with the surrounding landscape character.

Preferred Signage Types

Business Identification Signage
Direction Signage

5 Advertising Signage Planning Application Checklist

This checklist applies to applications where a new or replacement advertising sign requires a planning permit under the provisions of the Cardinia Planning Scheme.

5.1 What information is required to be submitted with my application?

Clause 52.05 Signs and Sub Clause 52.05-2 Requirements of the Cardinia Planning Scheme sets out the application requirements that must accompany a planning permit application for advertising signage.

The following additional information is required to be provided for a planning permit application for one or more signs:

- A written submission addressing the following:
 - How the proposal meets the requirements of the Cardinia Planning Scheme including the provisions of Clause 52.05 Signs.
 - How the proposal meets the requirements of the Advertising Signage Design Guidelines and/or the Advertising Signs local policy at Clause 22.
- Electronic copies of a fully dimensioned site layout plan at a scale of 1:100. The plans should show:
 - The title boundaries and dimensions.
 - The exact position of all existing and proposed signage on the land.
 - Details of any signs to be retained or removed.
 - Exact dimensions of the signage, including the height, width and depth of all features of the signage.
 - Total percentage of wall area or awning occupied by the sign (wall area includes total wall area above a verandah, or if no verandah, total facade wall).
- Front, side and rear elevations of the signage (or location on a building if applicable) including exact height dimensions and the distance from natural ground level.
- The setback of the sign(s) from all property boundaries.
- The location of the sign(s) in relation any buildings on the application site. If the sign is placed on a wall of a building, this should also be noted on the plan.
- A context plan to show the location of the signs in context of the general area and must show the following:
 - Any existing sign(s) or proposed sign(s) for the same business / development which are located within 500 metres of the proposed sign.
 - If applicable, the proposed sign' distance from a decision making point on the freeway / highway.
 - Any other requirements for specific sign types and specific land uses as detailed in these Guidelines.
 - The location of the proposed sign on the site or building and distance from property boundaries.
 - The location and size of existing signage on the site including details of any signs to be retained or removed.
 - The location and form of existing signage on abutting properties and in the locality.
 - The location of closest traffic control signs.
 - Identification of any view lines or vistas that could be affected by the proposed sign.
- The dimensions, height above ground level and extent of projection of the proposed sign.
- The height, width, depth of the total sign structure including method of support and any associated structures such as safety devices and service platforms.
- Details of associated on-site works.
- The colour, lettering style and materials of the proposed sign.
- The size of the display (total advertising area including all sides of a multi-sided sign).

- The location of any corporate logo box and proportion of display area occupied by such a logo box.
- The relationship to any significant or prominent views and vistas.
- Any landscaping details.
- Some signage may require building permits to ensure that they are safe. Detailed design drawings should be included.

- For Animated or Electronic Signs, a report addressing the decision guidelines at Clause 52.05-3 Referral of applications relating to road safety.

- For any sign over 18 square metres in area:
 - A description of the existing character of the area including built form and landscapes.
 - The location of any other signs over 18 square metres, or Scrolling, Electronic or Animated Signs within 200 metres of the site.
 - Any existing identifiable advertising theme in the area.
 - Photo montages or a streetscape perspective of the proposed sign.
 - Level of illumination including:
 - lux levels for any sign on or within 60 metres of a road zone, a residential zone, public use zone or Business 5 Zone;
 - The dwell and change time for any non-static images.

- If the application proposes a number of signs in various locations of a locality / the municipality, an additional context plan should also be submitted to illustrate this.
- Details of each proposed signage, including dimensions, elevation plans and information on any non-static images or lighting (if applicable).
- The type and level of illumination (if any), including lux levels for any sign within 60 metres of any land in a road, residential, Mixed Use, Public Use or Urban Growth Zone.
- Details of any form of baffles and the times at which the sign would be illuminated.

ADVERTISING SIGNS

DESIGN GUIDE

September 2021





DOCUMENT CONTROL

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Acknowledgement

The City of Casey proudly acknowledges the traditional owners, Casey's Aboriginal communities and their rich culture and pays respect to their Elders past, present and future. We acknowledge Aboriginal people as Australia's first peoples and as the traditional owners and custodians of the land on which we work and live.

This Advertising Sign Design Guide was prepared by the City of Casey's City Design & Construction department in collaboration with Growth and Investment, City and Asset Planning, and Planning and Building departments.

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What is a Design Guide?

The Design Guide is a technical document which provides a series of good design principles and set of recommendations on how to achieve good design outcomes.

1. INTRODUCTION

The City of Casey Advertising Sign Design Guide (the Guide) applies to all outdoor advertising signs in Casey. The Guide provides supportive design recommendations to the sign policy and can be referred to when preparing planning application permits for signs.

1.1 Purpose of Guide

Signs are essential in identifying, communicating, and promoting businesses and institutions in Casey. It has a significant impact on the public realm and the quality of the built-form that signs are visually associated or integrated with. If designed, planned, and presented well, can add vibrancy and interest to the built-form, streetscape or area. Council considers the need to manage and plan for signs to ensure promotion of businesses across the municipality is effective, attractive and contributes to a pleasant amenity for the community.

A recommendation from the Casey Planning Scheme review in 2018 suggested that a review of the current policy is overdue. Although the existing policy had minor updates in 2019 as part of stage 1 implementation, a full review has led to the preparation of this Guide document.

This Guide will provide guidance for the design, location, and specification of signs appropriate for the business or development in relation to its site context and environment. This will assist developers, landowners, tenants, operators, planning permit applicants and the Casey residents.

1.2 How to Use this Document

The Design Guide includes design principles and supportive illustrations which can assist on the preparation of a planning application. Details regarding design principles and supportive illustrations can be found in the Guide.

Using the terms as required:

These terminologies below are considerations when proposing or assessing signs.

Design quality:

- Refers to use of materials, colour, graphic design and lighting, and including supporting structure and fixing detail.
- It is important that signs contribute to achieving a good design quality in relation to its host building or site context.

In-scale with host building:

- Have dimensions related to the building's dimensions and its primary façade elements (e.g. windows, structural bays, parapets, floor-to-floor height, verandahs, etc.)
- Respect proportions and composition of the building
- Does not obscure or dominate any architectural features
- Maintains the design coherence of the structure to which it is attached and is well-integrated with its façade
- Refers to the relationship of the sign to its surrounding context on not being oversized or dominant. A well-proportionate sign should not undermine the architectural features (e.g. columns, window fenestrations, doors etc.) of the host building. Signs located on the roof or apex of the building dominates the host building as well.

Relationship to the surrounding context

- Respects the type and scale of adjacent buildings and activities and the character of the locality.

Visual Clutter:

- Visual Clutter is a proliferation of signs and other objects (e.g. street lights, power lines and poles) that undermines the aesthetic qualities of an area. It occurs where there is a large quantity of closely spaced or overlapping signs with various designs, at competing scales and located haphazardly.

Visual Obtrusiveness

- It is directly linked to the scale, location, prominence of the sign, and intensity of any illumination.
- Highly visible signs that are oversized, brightly illuminated and/or moving can quickly become visually obtrusive.

Well-designed

- Designed artistically or skilfully planned to look attractive or to serve its purpose well.
- It can be synonymous with having a “good design.”

1.3 Vision

The City of Casey recognises the need for:

Promotion and visibility of local businesses and organisations to create vibrant, accessible and thriving shopping and employment precincts and complement the character and amenity of places & spaces.

1.4 Objectives

The main objectives for the Design Guide are the following:

- Ensure signs are designed, located and displayed in an appropriate and attractive manner
- Ensure signs complement the style and character of the building, abutting buildings and the overall streetscape
- Respect and enhance the character, scale, architectural quality and appearance of the host building and its site
- Ensure signs do not cause loss of amenity or have a detrimental impact on the natural or built environment, nevertheless encourage sign features that can contribute to the interest and vitality of the area
- Enhance the appearance of the City of Casey's key nodes through effective and sensitive display of signs and avoiding visual clutter through consolidation of signs.



2. SIGN CHARACTERISTICS

2.1 Sign qualities and features

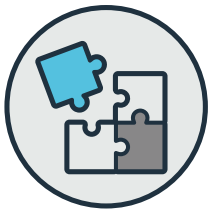
Visual qualities of a sign are:

- Its scale and location relative to the host building/site
- Its relationship to the surrounding character of that area
- Its proximity to, and relationship with other visible other signs

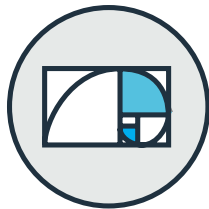
Important features of a sign include the following:

- materials
- graphics
- colour
- lighting
- animation
- supporting structure

2.2 Design Principles



Integrated within its context



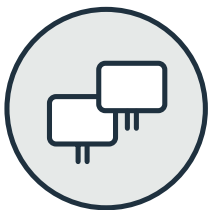
Compatible with scale design and visual character of a building



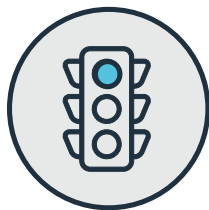
Complement character of surroundings



Not visually obtrusive



Does not create visual clutter



Respect traffic and pedestrian safety



Design quality and well-maintained



Respect the amenity of residential, sensitive uses or character areas

3. SIGN TYPES

This section provides an overview of certain sign types that are not comprehensively covered in the Casey Planning Scheme. This will help respond to relevant issues and gaps regarding advertising signs within Casey. It includes definitions as per the planning scheme, followed by general design guidelines for each sign type supported by three-dimensional diagrams. The subsequent section details design guidelines for specific land uses. Both should be used as reference when preparing or assessing planning applications relating to signs.



Figure 1: All Sign types

3.1 Animated Sign

A sign that can move, contains moving or scrolling parts, changes its message, flashes, or has a moving or flashing border.

Design Guidelines:

Animated signs are encouraged where:

- It is limited to one per premises
- It is not located on the roof of a building or above a verandah
- It does not conceal views to the street and prohibit visual surveillance and activation
- It has minimal number of changes per day.

Note:

According to Clause 52.05 of the Casey Planning Scheme, a planning permit application to construct or put up for display an animated or electronic sign within 60 metres of a freeway or arterial road declared under the *Road Management Act 2004* must be referred in accordance with section 55 of the *Planning and Environment Act 1987* to the Department of Transport as a referral authority as specified in Clause 66.03 of the Planning Scheme. The Department as a referral authority would not be supportive of signs being flashing or containing moving/animated images.

3.2 Business Identification Sign

A sign that provides business identification information about a business or industry on the land where it is displayed. The information may include the name of the business or building, the street number of the business premises, the nature of the business, a business logo or other business identification information.

Can be referred to any of the following signs installed:

- Above-verandah
- Under a verandah (Under-verandah sign)
- On a Fascia (Fascia sign)
- Within a Parapet (Parapet sign)
- Projecting on a wall (Wall-projecting sign)
- As Freestanding (i.e. Pole sign and Panel sign).

Design Guideline:

- Signs located under a verandah should:
 - Hung over the footpath at right angles to the building is preferred not to exceed 0.3 by 1.20 metres.



Figure 2: Under-verandah sign clearance

- Not exceed 0.5 metres in height within a transom area (*refer to figure 3*)
 - Have at least 2.70 metres clearance from the footpath (*refer to figure 4*)
- Signs should be within the width of the fascia (*refer to figure 5*).

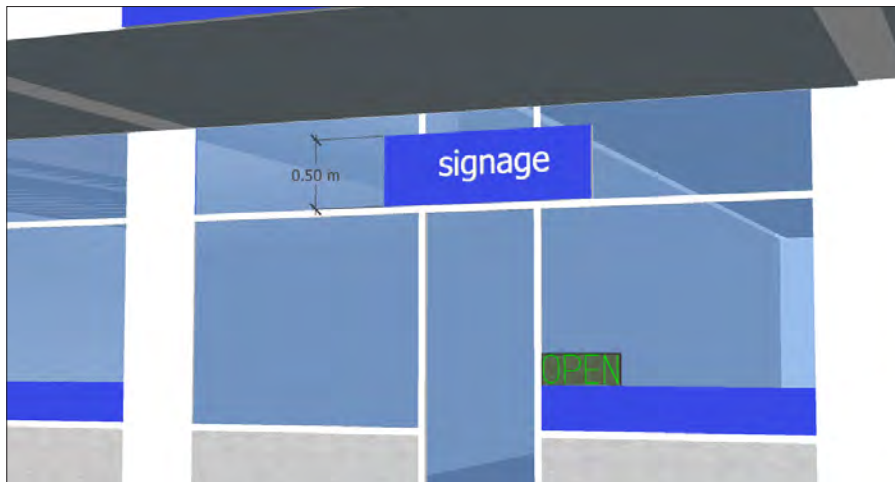


Figure 3: Transom area
(Business Identification Sign)



Figure 4: Under-verandah sign at
right angle to building



Figure 5: Sign on a fascia

3.3 Electronic Sign

A sign that can be updated electronically. It includes screens broadcasting still or moving images.

Design Guidelines:

- Should be located adjacent to a freeway or main roads which is not in a residential area where it does not create a road safety hazard and meets relevant Department of Transport (DOT) requirements.

For **electronic signs** greater than 18 square metres in area, the following additional requirements are encouraged:

- A minimum dwell time and lux level illumination as per DoT Standard or equivalent as changed from time to time
- The sign should not display alcohol and gambling-related promotions.

Note:

Guidance on whether a sign is likely to be considered a road safety hazard can be found in Clause 52.05-8 of the Casey Planning Scheme.

As part of its requirements for operational parameters for electronic signs, the Department of Transport may require, amongst other things, the provision of a Lighting Compliance Report, and for the sign operator to keep a Lighting Compliance Record of the operation of the sign to be provided to the Department when requested.

3.4 High Wall Sign

A sign on the wall of a building where part of it is more than 10 metres above the ground.

Design Guidelines:

Where high wall signs are proposed they should:

- Be displayed on a building greater than 3-4 storeys in height or at a location that supports a prominent sign
- Not protrude beyond the building.



Figure 6: High wall signs

3.5 Major Promotion and Promotion Sign

Major Promotion signs are 18 square metres or greater and **Promotion sign** are less than 18 square metres. Both sign types may promote goods, services, events or any other matter, whether or not provided, undertaken or sold/for hire on the specific land or building on which the sign is situated.

Design Guidelines:

Major Promotional Signs are discouraged unless:

- Is sited away from other Major Promotion or promotion signs or other advertising signs to ensure they do not dominate the streetscape or landscape.
- Is promoting a new residential estate and is consistent with the following guidelines:
 - Encourage the development of estate sign strategies to provide a consolidated approach.
 - Located on the subject land that is being subdivided or sold, unless it meets the requirements for off-site* sign
 - Not exceed the maximum area of 21 square metres (per sign face)
 - Not located within a road reserve or land affected by the Public Acquisition Overlay
 - Not be internally illuminated, floodlit, animated, electronic, or have reflective signs
 - Have no additions, flags, streamers or appurtenances added to the sign
 - Additional assessment requirements below for **Off-site*** signs:

Off-site* major promotion and promotion signs should be assessed against the following criteria:

- a. Signs not on the subject site should be located within 5 kms from the site boundary of the subdivision or development
- b. Freestanding off-site major promotion or large-scale promotional signs should be located at least 250m from other freestanding similar signs along the same road to avoid a proliferation.
- c. Any application for off-site signage for land or development sales must show the location for all other existing and proposed sites for signage for the same business or development.

* Off-site refers to signs that are outside the boundary of the site.

3.6 Pole and Panel Signs

Pole sign:

- on a pole or pylon that is not part of a building or another structure
- that is no more than 7 metres above the ground
- with an advertisement area not exceeding 6 square metres, and
- that has clearance under it of at least 2.7 metres.

Panel sign:

A sign with an advertisement area exceeding 10 square metres.

Design Guidelines:

Panel signs should:

- Ensure a hierarchy of information by branding the centre/precinct as the dominant feature and minimise the number of tenancies listed. (*refer to figure 4*)
- Have regard to the shape, size and form of signs on adjoining properties or premises so that it does not contribute to visual clutter.

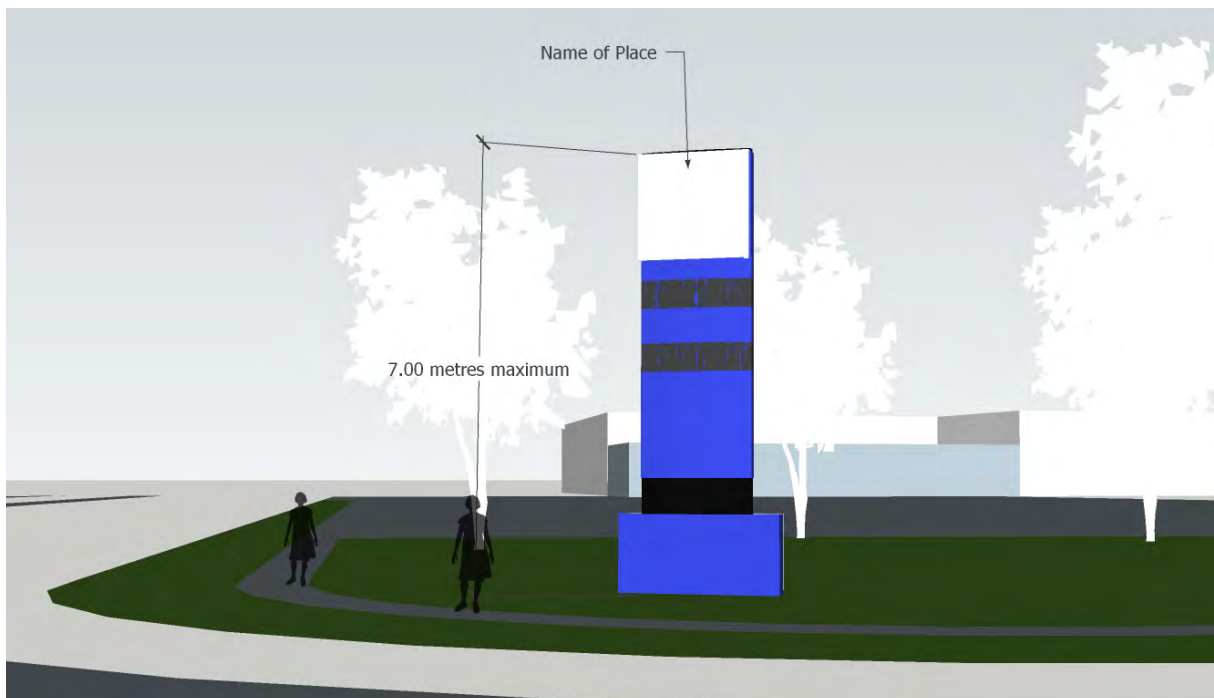


Figure 7: Panel sign showing a hierarchy of information

4. PERFORMANCE CRITERIA – SPECIFIC LAND USE AREAS

Land uses have characteristics that warrant individual attention. This section includes the following details for each sign type. Guidelines per land use as mentioned in this section and sign types in section 3.0 should both be used as a reference when assessing planning application relating to signs.

The table below is a summary of preferred signs and discouraged signs. Some discouraged signs may be permissible under the Planning scheme but is discouraged within the municipality. Planning applications relating to Promotion, Major Promotion, animated, illuminated, and floodlit signs are required to comply with the decision guidelines stipulated in the scheme.

	Above Verandah	Business Identification	Direction	Pole	Internally Illuminated	Panel	Promotion
Commercial	✗	✓	✓	✓	✓	✓	✗
Industrial	✗	✓	✓	✓	✓	✓	✗
Restricted Retail	✗	✓	✓	✓	✓	✓	✗
Residential	✗	✓	✓	✗	✗	✗	✗
Pad Sites	✗	✓	✓	✓	✓	✓	✗
Display Villages & Land Sales	✗	✓	✓	✗	✗	✗	✓
Rural	✗	✓	✓	✗	✗	✗	✗
Areas of Heritage Significance	✗	✓	✓	✗	✗	✗	✗
Service Station	✗	✓	✓	✓	✗	✓	✗

✓ preferred ✗ discouraged

4.1 Commercial and Retail Areas

Commercial areas primarily offer office space with other complementary uses such as business, health, educational, and community. More recently these centres are self-contained buildings with carparking facilities or off-road car parking areas.

Retail areas are detailed in the City of Casey's Activity Centres Strategy.

Design Objectives:

- Add visual interest and enhance the commercial centre's character and vitality
- Effectively promote goods and services to attract patrons to business areas.

Design Guidelines:

Sign design should:

- Promote the name of the centre or place and appear larger than the major commercial or retail anchor.
- Primarily display the company name/logo and nature of business.
- Be integrated with the building facade and coordinated in terms of colour, graphic content and placement
- Use high-quality materials for the main business sign on the façade of the building to appear attractive.
- Make the sign readable and identifiable at night and use standard acceptable levels. Low levels of illumination (backlit) behind the signs, (e.g. pinned letters) may be permitted.
- Not dominate the site or surrounding context when using corporate colours on the exterior of a building. This can be applied to areas with the highest road exposure.



Figure 8: Encouraged appearance with branding colours



Figure 9: Discouraged appearance with branding colours

Sign display area should:

- Not cover the entire fascia and use colour schemes that will dominate the streetscape
- Not cover more than 50 percent of the parapet wall or any architectural features of the building on each premises (refer to figure 10)
- Not detract from using windows for the display of goods and ensure a display area of no more than 20 percent. (Refer to figures 14 and 15 – Encouraged signs)



Figure 10: Parapet Wall Signs showing sign display area

Sign design for a corner integrated panel sign should:

- Not exceed the height of 7 metres and placed at corners of major road intersections or at key transport nodes as shown on figure 11.
- Be integrated to one panel sign for multiple premises/tenants in a commercial centre or site to avoid visual clutter.
- Not cause confusion or glare to motorists such as electronic signs and animated signs; hence, both are discouraged at a major intersections or key transport nodes.



Figure 11: Signs at major intersection

Commercial Centre (clustered) or in an Activity Centre:

- Should have a maximum of one pole sign per group of premises along a main road.
A lower secondary panel sign may be permitted for a corner site that has two road access.



Figure 12: Pole Sign with two road abutments

Sign Placement along a main road should:

- Be in an acceptable distance to ensure that it does not clutter the streetscape.

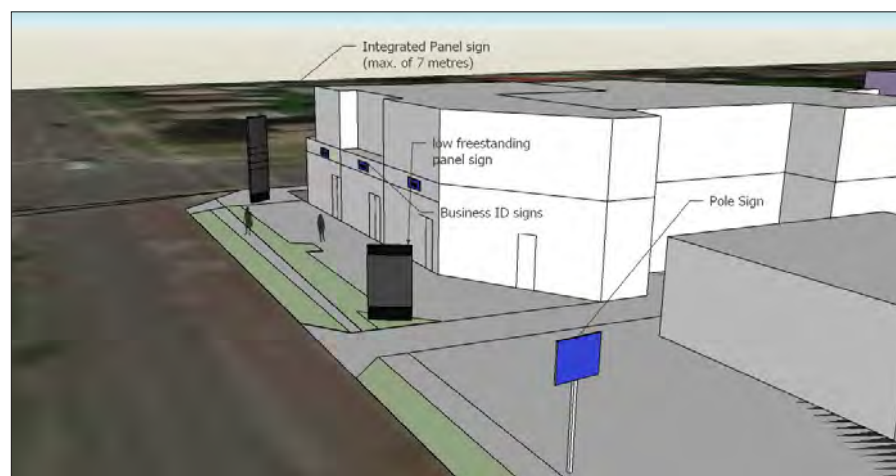


Figure 13: Encouraged placement of signs along a main road

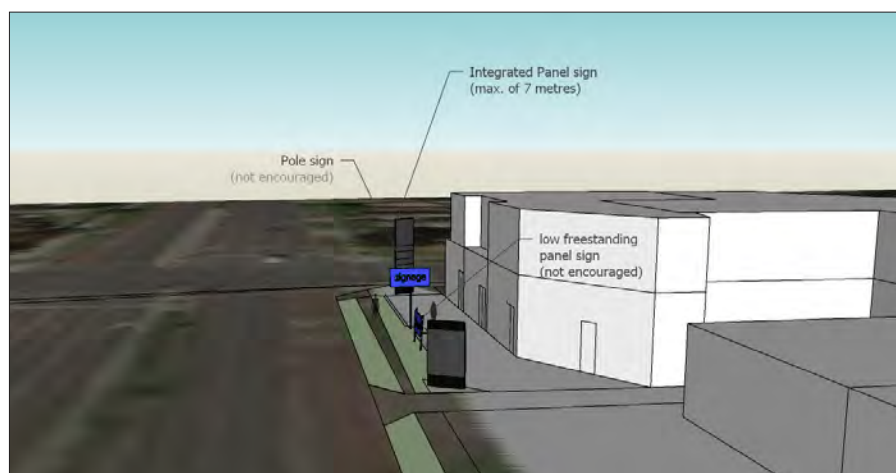


Figure 14: Discouraged placement of signs along a main road



Figure 15: Preferred signage layout for single storey shopfront



Figure 16: Double-storey encouraged signs with verandah



Figure 17: Encouraged signs single-storey without verandah



Figure 18: Encouraged signs double-storey without verandah



Figure 19: Appropriate sign arrangement with verandahs

Discouraged Signs

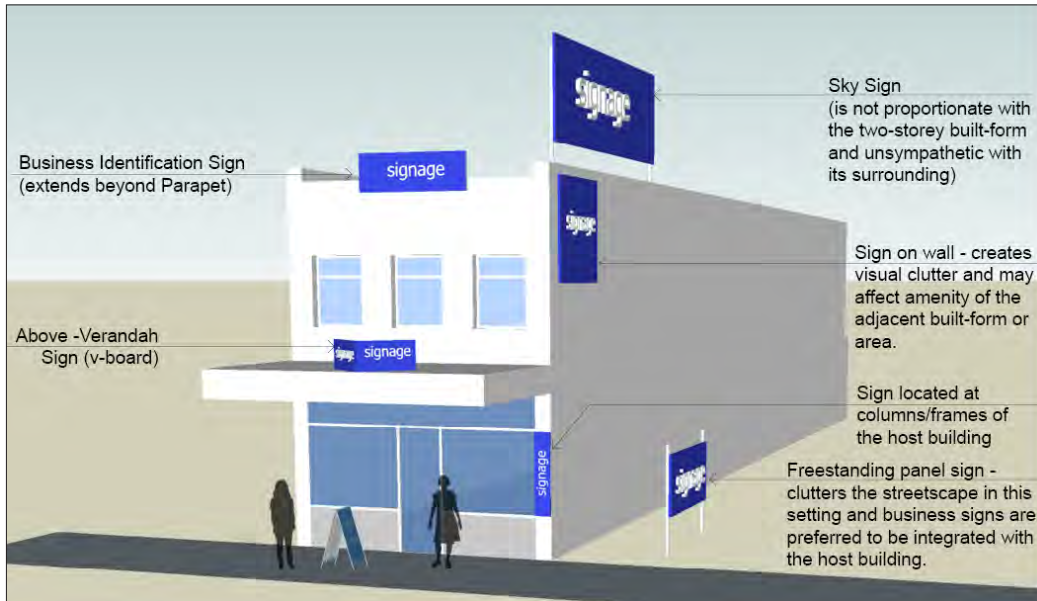


Figure 20:
Discouraged signs
within or adjacent
to a built-form or
streetscape



Figure 21:
Discouraged signs
(temporary signs
and bunting signs)



Preferred:

- Pole sign
- Panel sign
- Business identification sign
- Under verandah sign
- Direction sign
- Internally illuminated sign



Discouraged:

- Above-verandah signs (V-board)
- Sky signs
- High wall signs
- Bunting signs

4.2 Industrial and Restricted Retail Areas

Industrial areas vary greatly in architectural expression, the scale of buildings, siting of buildings, landscaping and mix of uses. They are sometimes developed without a design theme to architecturally designed and landscaped in order to project a desirable, well-managed working environment.

Design guidelines:

Signs should meet the following general conditions:

- Be limited to the front and sides of buildings where it is visible from street
- Business identification sign discouraged at the rear of buildings
- Non-industrial uses must refer to applicable guidelines in section 4.1 for Commercial and retail areas or as per use.

Signs specifically for the Industrial area should consider the following guidelines:

- Main **business sign** should have:
 - A maximum area of ten square metres
 - A maximum area of twenty square metres may be permitted if the front building setback from road is greater than forty metres.
- Where an industrial building is freestanding with dual frontage, a sign on the fascia may be permitted on each road abuttal (provided the road is located at the front or at the side of the site)
- For industrial estates, sign and wayfinding should be considered
- For industrial estates, one pole sign or business registry may be considered providing that the sign should:
 - Be located within the landscape treatment within the estate entry property boundary
 - Not exceed three square metres for business registry
 - Not exceed six square metres for pole sign (e.g. entry pylon sign)
 - Only be used to identify the name of an industrial estate and its occupancies.

Signs specifically for restricted retail areas should respond to the following guidelines:

- A grouping of restricted retail premises (such as in a homemaker centre) signs should be consistent and uniform in the area and preferably located on the building's fascia or parapet area where the retail premises has direct frontage to the exterior of the centre on to a carpark.
- For individual restricted retail premises:
 - Should not exceed ten square metres of display area
 - For premises with a frontage of greater than 40 metres and appropriately setback from the road, signs may be up to twenty square metres of display area.
- For homemaker centres:
 - Sign location should be consistent and preferably located on the host building's parapet area and wall as illustrated on figure 22.



Figure 22: Restricted retail signs with uniform and consistent arrangement of signs

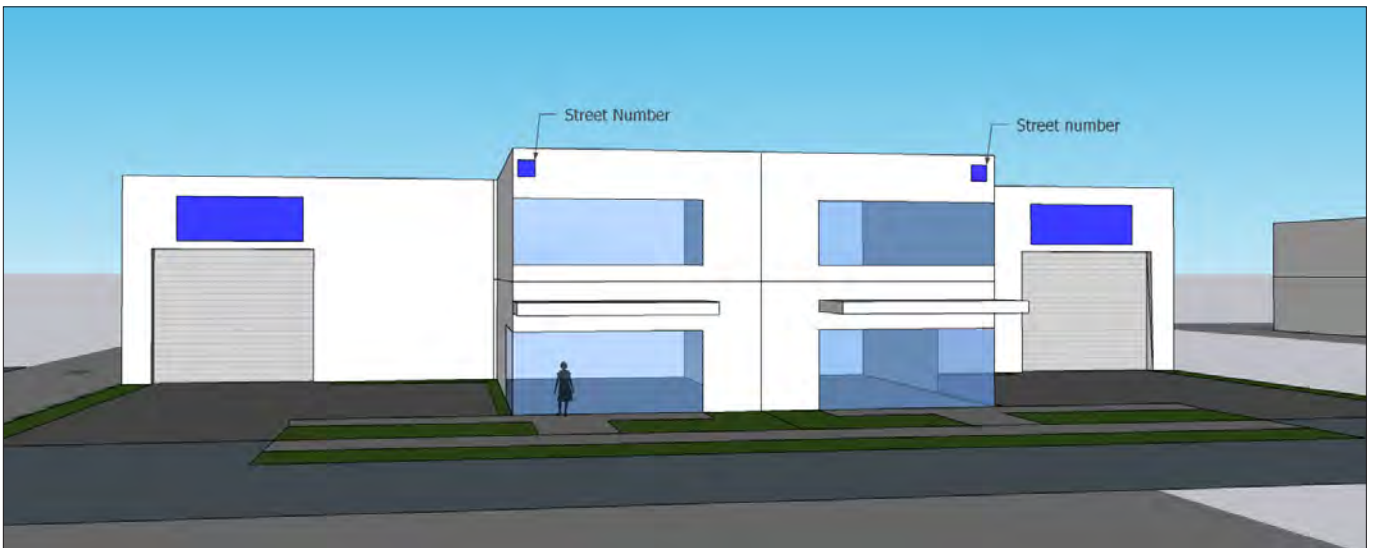


Figure 23: Location of business signs and address for Industrial buildings



Preferred:

- Pole sign
- Panel sign
- Business identification sign
- On a Fascia
- Direction sign
- Internally illuminated sign



Discouraged:

- Sky sign
- Bunting sign
- Animated sign
- V-board sign
- Electronic sign
- Reflective sign

4.3 Residential Areas

Signs are generally discouraged within residential areas. Some uses located in this zone require signs including but not limited to home occupation, and non-residential uses such as nursing homes, medical centres, retail premises and childcare centres.

Design should consider its impact on the amenity of the residential area with no visual intrusion from advertising signs or its illumination.

Design guidelines:

Signs specifically for **residential areas** should respond to the following guidelines:

- Should not exceed a total of 2 square metres for small-scale non-residential uses
- Should limit to two signs under 1000 square metres land.
- Should not be placed above windows or doorways unless they are building names
- If **freestanding**, a sign should:
 - Be located within site at the front of the building, parallel or at a 90-degree angle to the street except for a sign on a corner site (*refer to figures 24 and 25*)
 - Be located on the street with the greatest amount of traffic (if the site has more than one street frontage)
 - Not exceed 1.8 metres in height and not exceed two square metres in area
 - Be incorporated into the landscape treatment of the site to soften its visual impact
 - Not use v-board signs and above the roofline (*refer to figure 26*).



Preferred:

- Business identification sign
- Direction sign



Discouraged:

- Floodlit sign
- Animated sign
- Electronic sign
- Reflective sign



Figure 24: Encouraged sign parallel to the street at residential areas



Figure 25: Sign can be right angle to the street at residential areas



Figure 26: Discouraged signs within residential areas at residential areas

4.4 Freestanding 'Pad' Sites

Generally, 'pad' sites are located on prominent corner sites or on freeways, major arterial roads or gateways which have high visibility to consumers or users. Quantity, location and design of signs are critical to ensure that it does not contribute to existing visual clutter of the area.

Design Guidelines:

Signs specifically for **freestanding pad sites** should respond to the following guidelines:

- Be designed to minimise visual clutter and unnecessary repetitiveness
- Be designed to avoid obscuring views from windows to enable surveillance of pedestrian activity within adjacent areas and the street
- Identify the name or logo of the tenant/business only to minimise visual clutter
- Be consistent and uniform in size and preferably located below the verandah or parapet
- Use of corporate colours on the exterior of a building considered part of the sign should be limited to areas of the front façade or elevation with major road exposure, however, it should not dominate.



Preferred:

- Pole sign
- Business identification sign
 - Under verandah sign
- Direction sign
- Internally illuminated sign
- Panel Sign



Discouraged:

- Electronic sign
- Reflective sign

4.5 Display Home Villages & Land Sales Office

Display homes villages and land sales office are typically located within new residential estates. Residential areas expect a high amenity level, privacy, and minimal visual intrusion from signs or light spillage.

Therefore, signs should be minimised in these areas so it does not detract from the residential amenity of the area.

Design Guidelines:

Signs specifically for **display home villages and land sales offices** should respond to the following guidelines:

Residential Estate Promotion signs:

- For large scale estates, major promotion or large-scale road side promotional signs should be located at least 250 metres apart.
- Ensure that the total amount of signs proposed within the display village and sales office should not be excessive and detrimental to the amenity and safety of the area.
- Signs located along Freeways and major arterial roads must be setback a minimum of 10 metres from the title boundary of private land
- Provide direction sign where car parking is not visible from the street or one-way traffic.

Builders signs within the display village should:

- Have one promotion sign which identifies the builder and/or the name of the display home located in the in the front setback .
- Have the identification sign less than two square metres
- Have one pole sign in the front setback of each display home, which identifies the name of the builder. Up to two banners are permitted on each pole (one banner with the name of the display village/estate, and the other banner with the builder's name).

Direction signs:

- Be used to identify the car park and the pedestrian access to the village
- Be. 0.3 square metres or under.



Preferred:

- Business identification sign
- Direction sign
- Promotion sign



Discouraged:

- Floodlit sign
- Electronic sign
- Reflective sign
- Animated sign

4.6 Rural Areas

Rural areas have varied landscapes that reflect the natural characteristics of a region as well as the farming, grazing, horse agistment, kennels, market gardening and flower growing, with substantial areas of open space/parklands:

As mentioned above, Zones are considered sensitive areas and may include environmental significance therefore should have clear limitations to minimise any visual impact to the amenity and surrounding area. Installation of signs should be strategically planned to ensure that it is sympathetic to the character of Rural zones. Careful consideration of the nature and quality of the landscape, streetscape, rural corridors including immediate views, vistas and adjacent low scale built-form, is essential when selecting appropriate to the subject site.

Design Guidelines:

Signs specifically for **rural areas** should respond to the following guidelines:

- Ensure a freestanding sign is:
 - Located at the front of the property
 - Not more than two metres above ground height
- Low key in appearance, with consideration to their shape, colour, material and construction
- Coordinated with tourism signs and refer to relevant state guidelines.



Preferred:

- Business identification sign
- Direction sign



Discouraged:

- Internally illuminated sign
- Floodlit sign
- Animated sign
- Electronic sign
- Reflective sign
- Major promotion sign
- Promotion sign

4.7 Areas of Heritage Significance

There are comparatively few examples of buildings or sites of heritage significance within the City of Casey. Nevertheless, these areas are sufficiently valued by the community to be worth conserving. Development that enhances their character should be encouraged.

Heritage areas may include individual buildings or townships, streetscapes or precincts of architectural, historical, scientific or landscape importance, and areas where there is a concentration of particular use. Such sites may be listed as heritage items (historic buildings, sites or conservation areas, heritage overlays in the planning scheme) or designated under other legislation. There are limited opportunities for signs in this area.

Design Guidelines:

Signs specifically for **Areas of Heritage Significance** should respond to the following guidelines:

- Use appropriate material, colour selection and font style ranges that will blend in with the building of heritage significance or place
- Retain signs that contribute to the heritage value of the building or premise (refer to relevant local or state policy or guideline)
- Be placed in locations on the building or item which would traditionally have been used as display area
- Preferred location of signs at ground level



Figure 28: Encouraged location of signs for heritage built-form



Figure 29: Discouraged placement of Signs for heritage built-form



Preferred:

- Business identification sign
- Direction sign



Discouraged:

- Internally illuminated sign
- Floodlit sign
- Animated sign
- Electronic sign
- Reflective sign
- Major promotion sign
- Promotion sign

4.8 Service Stations

Service station sites are normally reasonably large sites with visually open areas. They usually have a convenience shop component and other ancillary activities (e.g. workshop, car wash etc.). The majority of older stations are within established and new residential estates and some are within activity centres, commercial and industrial zones.

Design Guidelines:

Signs specifically for **service station** areas should respond to the following guidelines:

- Limit to one fascia/wall sign per freestanding building on the same site (e.g. car wash, workshop)
- Limit one business identification sign per street frontage (including pricing board).
- Limit to one pole sign when permitted.
- Design of the main panel sign should include company name and logo, pricing board and major tenants located within the development site.
- Limit to one sign for commercial and retail uses (e.g. takeaway shops) and refer to other applicable guidelines in section 4.1 – Commercial and retail area
- Use of corporate colours on the exterior of a building considered part of the sign should be limited to areas of the front façade or elevation with major road exposure. However, it should not dominate.

Pole and panel signs should:

- Be less than 7 metres in height
- Be incorporated in a landscape treatment



Preferred:

- Business identification sign
 - Under Verandah
 - On a Fascia
- Pole sign



Discouraged:

- Promotion sign
- Major Promotion sign

5. APPENDIX:

Good design is:



innovative



a useful product



aesthetic



honest



long-lasting



thorough



unobtrusive



makes a product understandable



environmentally friendly



as little design as possible

Source: Dieter Rams, 1970.

Contact the City of Casey:

Web: casey.vic.gov.au

Email: caseycc@casey.vic.gov.au

Phone: 03 9705 5200

Post: PO Box 1000, Narre Warren VIC 3805

NRS: 133 677 (for the deaf, hearing or speech impaired)

Customer Service Centres:

Narre Warren: Bunjil Place, Patrick Northeast Drive

Cranbourne: Cranbourne Park Shopping Centre

ABN: 43 320 295 742



TIS: 131450 (Translating and Interpreting Service) المترجم الفوري 翻译 مترجم شفاهى ਦੁਬਾਰੀਆ ಯಶਸ འོལ་འོལ་

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15.01-1L-04

Signs

General signs strategies

Advertise and identify the business and service provided on the site and not details of products sold.

Locate signs within the site the business operates on.

Provide adequate space for all occupancies to display signs where a building or site is occupied by more than one business.

Avoid signs that obscure a building's architectural form, features or glazed surfaces.

Avoid signs that protrude above rooflines or parapets, or beyond the edges of fascia or walls of the host building.

Design sign supporting structures so they do not visually detract from the façade of the building.

Conceal electrical services to a sign.

Design and locate signs to account for the long-term maintenance needs and the ease of changing messages when reusing the existing mountings and service installations.

Protect areas of environmental and natural significance by limiting signage adjoining or facing these areas.

Incorporate pole and free-standing panel signs into the landscaping treatment of Neighbourhood Centres, Metropolitan Activity Centres, Major Activity Centres, free-standing pad sites and in industrial and restricted retail areas.

Incorporate signs into the architectural design of the building form.

Avoid signs that obscure passive surveillance of pedestrian activity areas, car parking areas and streets.

Commercial (shop and office) strategies

Facilitate business identification signs that are consistent and uniform in size.

Locate business identification signs on the building's verandah fascia or parapet.

Limit individual business advertising on the exterior of the building to tenancies that have direct external frontage to a carpark for free standing shopping centres.

Discourage signs on external walls of free-standing pad sites from displaying information other than the names of the tenants or their business logo.

Limit the painting of corporate colours on the exterior of a building to the front façade of the tenancy where it has frontage to a car parking area or road for free standing pad sites.

Commercial (shop and office) policy guidelines

Consider as relevant:

- Whether signs on the façade of commercial buildings should be limited to occupy no more than 50 per cent of the wall area above the verandah, or if there is no verandah, 50 per cent of the total façade wall.
- Whether signs in commercial areas should be limited to:
 - Occupy no more than 50 per cent of an awning.

- A maximum of eight square metres where the frontage of the building is less than five metres long.
- Whether pole and free-standing panel signs display the name of the shopping centre at the top of the sign and list tenants of the site beneath the name of the shopping centre.
- Whether pole and free-standing panel signs in free-standing shopping centres should be limited to:
 - One sign with a maximum height of six metres, in Neighbourhood Centres.
 - One sign on a RDZ1 and RDZ2 road in Metropolitan Activity Centres and Major Activity Centres.
- Whether pole and free-standing panel signs in free-standing pad sites should be limited to one sign per road frontage.
- Whether direction signs in free-standing pad sites should be limited to one per road entry point.

Industrial and restricted retail strategies

Limit signs to the front and side of buildings.

Design pole and free-standing panel signs to be:

- Located on main roads and set back from the road.
- Used to display only business identification information.

Where there is a grouping of restricted retail premises (such as a homemaker centre), business identification signs should only be located on the exterior of the building where the business has a direct frontage to the outside of the centre.

Discourage pole signs for individual premises within a homemaker centre.

Encourage communal or precinct-based directory signs for an industrial building or estate to be located in a landscaped area.

Industrial and restricted retail premises policy guidelines

Consider as relevant:

- Limiting pole and free standing panel signs to:
 - One sign per premises where buildings are free-standing, or one sign for a group of premises (such as an estate or homemaker centre).
 - Less than seven metres in height.
- Limiting signs to a maximum of 20 square metres for any industrial premises or free-standing restricted retail premises that has a frontage greater than 40 metres and is well set back from a road.
- Limiting communal or precinct-based directory signs for an industrial building or estate to a maximum of 3 square metres in advertising area.
- Limiting the advertising area of all signs to a maximum of 12 square metres for any individual restricted retail premises.
- Limiting all other signs for an industrial premises to be a maximum of 10 square metres in area.

Residential areas strategies

Support signs that are affixed to the building.

Locate free-standing signs in front of the building, in a landscaped area and facing the street with the greatest amount of traffic (if the site has more than one street frontage).

Discourage internally illuminated, floodlit, animated, electronic and reflective signage in residential areas.

Residential areas policy guidelines

Consider as relevant:

- Whether signs should be limited to one business identification sign with an area of less than three square metres.
- Limiting free-standing signs to be no higher than two metres above natural ground level.

Display homes and villages strategies

Locate any promotion signs at the entry to the display village.

Support on-site direction signs where it identifies the car park and pedestrian entry to the display village.

Display signs only for the length of time the land is being used for a display home.

Support fixed pole signage with banner flags in display villages.

Display homes and village policy guidelines

Consider as relevant:

- Discouraging more than one display village promotion sign per display village.
- Limiting the number of display home promotion signs that identify the name of the builder or the name of the display home to no more than one sign per display home.
- Within a display village, limiting the number of display home promotion signs that identify the name of a builder to no more than one sign per building that is not a display home.
- Limiting display home promotion signs to be less than two square metres in area.

Subdivision and new estate promotion signs strategies

Locate subdivision and new estate promotion signs on the subject land that is being subdivided or sold.

Provide promotion signs for a residential estate only where the estate has a frontage to a freeway or highway.

Support on-site promotion signs that include fixed pole signs with banners along the main entrance road to the estate.

Discourage signs to be located within a road reserve.

Subdivision and new estate promotion signs policy guidelines

Consider as relevant:

- Limiting major promotion signs to not exceed 21 square metres in area per sign face.
- Whether on-site promotion signs for new estates should be limited to one sign per road frontage, unless the road frontage is greater than one kilometre in length in which case two signs may be considered.
- Encouraging signs to be set back a minimum of five metres from the title boundary. This setback is increased to 10 metres from highways and freeways.
- Whether signs not on the subject site should be a maximum of five kilometres from the boundary of the subdivision or development to which they relate.
- Encouraging off-site promotion signs for a development to be:
 - Limited to three in number, with a minimum separation distance of one kilometre between each sign.
 - Located at least 250 metres from any other subdivision or new estate promotion sign for a different development.
 - Set back 500 metres from on-ramps on freeways.

Rural and green wedge areas strategies

Support low scale signs in rural areas that respect the rural character.

Locate free-standing signs at the front of the property, incorporated into the landscape treatment.

Encourage colours that are compatible with the colour palette of the surrounding landscape.

Rural/green wedge areas policy guidelines

Consider as relevant:

- Discouraging more than one business identification sign to be located on any site.
- Limiting free-standing signs to be no more than two metres above ground level.

Policy document

Consider as relevant:

- *Advertising Signage Design Guidelines* (Melton City Council, 2017)

15.01-1L-05

13/07/2023
C219melt

Signs at gateway entrances

Objective

To encourage signs that enhance major gateway entrances to the City.

Strategies

Discourage major promotion signs and sky signs:

- In gateway locations.
- On empty sites that are devoid of built form, such as paddocks, where they will be a dominant visual element in the landscape and detract from the visual amenity of a road or rail corridor.

Discourage signs with distracting elements such as bunting, floodlit, animated, electronic and reflective signs.

Policy document

Consider as relevant:

- *Advertising Signage Design Guidelines* (Melton City Council, 2017)

Expiry

The local policy (Clause 15.01-1L-05) expires three years from the date of gazettal of Amendment C219melt.

Signs

Strategies

Encourage signs to be located on the land to which they relate.

Ensure signs displayed on buildings do not:

- Cover up any important facades or parapets.
- Protrude above the height of the building roofline.

Ensure any multi-premises bulky goods development provides appropriate directional signage to assist with the movement of pedestrian and vehicular traffic.

Avoid signs in the Sunbury Town Centre that:

- Obscure views of the steam locomotive water towers, Sunbury Railway Station, Mt. Holden or surrounding hills.
- Are flashing or animated.

Avoid promotion, animated, sky, floodlit, reflective and pole signs in Neighbourhood Activity Centres.

Support 'off-site estate promotion signs' (signs related to new subdivision estates that are not located on the subject land) that avoid dominating their surroundings and avoid visual disorder or clutter.

Policy guidelines

Consider as relevant:

- Providing for off-site estate promotion signs that:
 - Do not exceed six metres width or height.
 - Have an individual panel area no greater than eight square metres.
 - Provide an unobstructed area of two metres below the sign panel.
 - Are located at least 150 metres from any other subdivisional promotion sign and 250 metres from a sign advertising the same estate.
 - Are limited to a maximum of four for a particular subdivision.
 - Are located within four kilometres of the subdivision to which they relate.
 - Avoid locations along freeways and highways.
- Providing for illuminated signs in Industrial or Business Park areas that is:
 - Enclosed within an internally lit box or sensitively designed with spot lighting.
 - Freestanding, low level and integrated with planting in front setback areas.
- Limiting signs in Business Parks to one sign located in the front setback area (not including any standard business signage provided by the park's developer).

- Providing for under-verandah signs that are:
 - At least 2.7 metres above the ground to ensure that adequate clearance from footpath level is provided.
 - Limited to one sign per shop entry.
- Providing for pole signs that:
 - Do not overhang any part of a road reserve.
 - Are not be erected closer to a road than a distance equal to half the height of the sign.
- Limiting signs external to activity centres to:
 - The name of the centre.
 - Identification of the major tenancies or ‘anchor’ businesses.
 - A brief description of minor tenancies (for example, “20 specialty shops”).

Clause 15.01-1L

Signs

Policy application

This policy applies to applications for the development of land for signs, except for land within Epping Central Precincts 4A, 6, and 7 as shown on the Epping Central Framework Plan, Plan 1 to Schedule 1 to Clause 37.08 Activity Centre Zone.

Objectives

To encourage signs that are designed, positioned and maintained in a manner that responds to the size and scale of development on the land.

To encourage signs that are integrated into, and do not dominate, the host building or site.

To ensure that signs in, or visible from, residential areas do not adversely impact the amenity of the area.

Strategies

General

Site signs to:

- Minimise protrusion beyond the edges of the host building.
- Avoid obscuring major view lines.
- Avoid dominating the landscape.
- Utilise the space allocated within the building design.
- Consolidate signs in one location for development with multiple tenancies.

Design signs to:

- Complement the appearance and functionality of the building or site on which they are displayed.
- Use colours and materials derived from the surrounding area or land.

Encourage signs that identify the business conducted on the property, rather than other promotions, to avoid visual clutter.

Provide an English translation where a sign is written in another language.

Avoid the use of bunting signs, banners, trailers, balloons, or streamers as permanent signs, unless they are associated with motor vehicle sales premises.

Ensure signs in association with community-based sporting clubs are located and designed to minimise the visual impact on open space.

Ensure portable signs (including A-frame, poster stand, free standing banner, teardrop signs) are located within the boundaries of the land where the advertised service is provided, and are:

- Secured or weighted at all times.
- Minimal in size and limited in numbers to avoid visual clutter.

Design signs on temporary construction hoardings and scaffolding mesh screen (or similar) to complement the locality, surrounding architecture, and the works being undertaken on the site.

Business identification signs

Encourage signs that are permanent and integrated into the façade of the building or development where the business is conducted.

Encourage businesses that share a frontage to consolidate their signs, in a consistent and proportionate approach.

Limit business signs that present towards the sky for aerial viewing to the minimum size required to assist way finding.

Promotion and major promotion signs

Ensure promotion signs are visually distinct from business identification signs.

Discourage promotion signs in Council reserves unless in association with community-based sporting clubs and where the size, height, and design are compatible with the natural and built environment of the reserve and surrounding area.

Precinct and estate signs

Encourage a precinct-based approach for the siting and design of signs in residential, commercial and industrial estates.

Encourage signs in purpose-built locations on buildings or structures.

Avoid visual saturation of display home centres and land sales office signs within an estate.

Support signs at key entry points to display home centres that create a sense of place.

Support fixed pole signs with banner flags in display home centres.

Ensure major promotion signs that advertise real estate:

- Avoid a proliferation of competing signs.
- Have regard to the existing landscape and character of the area.

Residential areas

Encourage signs that are:

- Modest in scale.
- Sensitive to the residential character and amenity of the area.
- Located within a landscaped setting inside the property boundary.

Discourage signs that are reflective or illuminated.

Shop fronts

Discourage signs on shop fronts that obscure active street frontages, passive surveillance and visual links into the premises.

Encourage signs mounted on a shop front or within windows that do not dominate the shop front nor compete with business identification signs.

Policy guidelines

Consider as relevant:

- Existing signs on a building or site when assessing new proposals.
- Achieving active shop frontages by limiting signs to comprise no more than 20 per cent of the shop front inclusive of window glazing.

Clause 15.01-1L-02

Signs

Objective

To improve the visual amenity associated with signs and encourage the form and location of signs to respect the character of buildings to which they are attached and the setting they are located within.

Strategies

General

Prevent or minimise signage clutter, particularly in rural and residential areas, while providing for individual business identification and promotion signs.

Support the co-location of signage for multiple occupancies to reduce visual clutter.

Protect areas of environmental and natural significance by limiting signage adjoining or facing waterways and council reserves.

Encourage signage for new residential and industrial estates and business parks to be designed and located to:

- Respond to the site context.
- Limit visual impacts.
- Avoid visual clutter.
- Ensure road safety.

Discourage signs that inhibit or hinder views of important landscapes, streetscapes or architectural features.

Ensure signs are located on the land to which they relate and are contained wholly within property boundaries.

Discourage signs within or overhanging road reserves and Council owned land.

Ensure the lighting of signs is designed and baffled to limit light spill beyond site boundaries.

Encourage illuminated signs to be located at ground level provided they:

- Add vitality to a centre.
- Create a safer environment at night.
- Do not abut a Category 3 - High amenity area at Clause 52.05-9 of this Scheme.

Encourage the replacement or removal of existing poorly maintained or located signs when a new sign is being installed.

Ensure signage does not dominate gateways to the City or to business centres, along major arterials or pedestrian and railway corridors.

Support signs that define a gateway and complement adjoining land uses.

Discourage the following types of signs:

- Signs in the form of trailers, bunting and balloons.
- Signs that are reflective, flashing or animated.
- Signage in a V-Board configuration on verandahs or awnings, at intersections where they impede visibility, or dominate the streetscape.
- Sky signs that have a dominant impact on streetscape.
- Signs that protrude above the height of building rooflines, beyond fascias, parapets or walls.
- Signs adjacent to freeways and/or highways.

Encourage the location and number of estate signs to be planned using a whole -of-estate approach.

Ensure major promotion and promotion signs are located at focal points within major or regional commercial centres on main roads, industrial estates or on major transport routes, and are in scale with the built form of their immediate locality.

Category 1 – Commercial areas

Ensure pole signs are set back from street frontages and are limited to one pole sign per site frontage.

Discourage signage facing residential areas or zones that would adversely impact upon the amenity of the residential area or zone.

Category 2 – Office and industrial areas

Ensure pole signs are set back from street frontages and limited to one pole sign per site frontage.

Limit signs on building façades, walls, parapets or landscaped surroundings to the minimum required to promote the use/operation.

Ensure signs at the upper level façade are proportionate to the scale of the building.

Category 3 – High amenity areas

Support signs that are respectful of residential character and are not visually dominate.

Restrict the illumination of business identification signage to the operating hours of the business to which it relates.

Encourage signs to be fixed on buildings, except on heritage buildings.

Ensure signs above front fence height are set back from the road reserve to avoid dominating the streetscape.

Support signs on heritage places that are designed, coloured and located in a manner that conserves the heritage place.

Category 4 – Sensitive areas

Encourage signs facing areas of significance to be finished in muted and/or earthy tones and colours.

Limit wording on signs facing areas of significance to business identification.

Ensure freestanding signs face away from areas of public open space, the coastline and waterways.

Policy guidelines

Consider as relevant:

New residential and employment estates

- Discouraging new estate signage that is larger than the preferred maximum area of 25 square metres.
- Limiting on-site estate signs on road frontages of less than 150 metres to one sign per road frontage.
- Allowing multiple on-site estate signs on road frontages of more than 150 metres provided there:
 - Is a minimum of 150 metres distance between each sign.
 - Are no more than four signs per frontage (excluding signage for land sales office and display homes or villages).
- Supporting off-site estate signs where:
 - The signs are located at least 200 metres from any other promotion sign advertising the same estate.
 - No more than four signs are erected per estate.
 - The signs are located within three kilometres of the subdivision to which they relate.
- Supporting display village signage where:
 - The combined maximum area of signs does not exceed 7 square metres per display home frontage.
 - Each sign does not exceed 2 square metres of advertisement area.
 - The combined maximum area of signage for land sales office does not exceed 15 square metres.
 - Perimeter signage associated with the sales office is used to screen construction works and provides opportunities for branding while the estate is in its development and sales phase.

Category 3 areas

Allowing small scale non-residential uses in a residential zone (e.g. home occupation) to display low profile business identification signage not exceeding 1.8 metres in height and a total advertising area not exceeding 1 square metre.

Limiting signs for medical centres to a maximum area of 2 square metres.

Limiting signs for large scale free-standing non-residential uses (e.g. petrol stations) to a pole sign and a low-profile parapet/wall/fascia business identification sign.

Limiting signage on windows to 50 per cent of the window area.

Attachment F – Various images of advertising signs

Refer to Powerpoint Attachment F

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Amendment C383ggee

Advertising Sign Guidelines

Transect Planning Expert Witness Statement

Attachment F

Donnybrook Road, Donnybrooke Heartford Estate



Heartford Estate Promotion Signs

Donnybrook Road

21 September 2023



Heartford Estate Promotion Signs

Donnybrook Road

21 September 2023



Heartford Estate Promotion Signs Donnybrook Road 21 September 2023



Ashbury Estate Mount Duneed 21 September 2023



Corner Horseshore Bend Road & Boundary Road



Corner Surf Coast Highway and Boundary Road

Creekview Estate Mount Duneed 21 September 2023



Whites Road

Dalgona Estate Mount Duneed 21 September 2023



Whites Road

Villawood Mount Duneed 21 September 2023



Whites Road

Villawood
Mount Duneed
21 September 2023



Surf Coast Highway

Shoalhaven Road
Mount Duneed
21 September 2023



Whites Road

Haymont Estate Charlemont 21 September 2023



Barwon Heads Road