

MINUTES

COUNCIL MEETING

Tuesday 27 February 2024
6:30 pm

Northern Aquatic and Community Hub,
1-9 Cox Road, Norlane

LIVE STREAMED ON THE CITY'S WEBSITE:

www.geelongaustralia.com.au/meetings

COUNCIL:

Cr T Sullivan (Bellarine Ward) - Mayor
Cr A Aitken (Windermere Ward) - Deputy Mayor
Cr J Mason (Bellarine Ward)
Cr E Wilkinson (Bellarine Ward)
Cr M Cadwell (Brownbill Ward)
Cr E Kontelj (Brownbill Ward)
Cr P Murrhiy (Brownbill Ward)
Cr B Harwood (Kardinia Ward)
Cr B Moloney (Kardinia Ward)
Cr R Nelson (Kardinia Ward)
Cr S Hathway (Windermere Ward)

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2.4. Amendment C383ggee - Advertising Sign Guidelines - Consideration of Panel Report and Adoption

Source: Placemaking
Executive Director: Tennille Bradley

Purpose

1. To consider the independent Panel Report with regard to Planning Scheme Amendment C383ggee and adopt the amendment.

Background

2. Amendment C383ggee seeks to replace the advertising sign guidelines incorporated in the Greater Geelong Planning Scheme with the City of Greater Geelong Sign Guidelines (February 2024).
3. **Attachment 1** provides a background summary of the amendment process.
4. Following a hearing on 16-17 October 2023, the Panel's report was received on 1 December 2023. Under section 27 of the *Planning and Environment Act 1987*, the Planning Authority must consider the Panel's report before deciding to adopt the amendment.

Key Matters

5. Exhibition of the amendment in May and June 2023 resulted in eight written submissions. All submissions requested changes, with seven objecting submissions and one supportive submission. Issues included the prescriptiveness of the guidelines, in particular specific guidelines regarding growth areas and certain sign types.
6. The submissions were considered and Council under delegation on 30 August 2023 resolved to refer all submissions to an independent Panel appointed by the Minister for Planning subject to some changes being made to the amendment.
7. The independent Panel hearing was held in October 2023 and found the amendment to be strategically supported by planning policy and recommended that it be adopted with changes, including those negotiated with submitters during the Panel Hearing.
8. Whilst most of the Panel's recommendations are supported, **Attachment 1** provides the City's detailed response to the Panel Report.

RESOLUTION - Item 2.4

Cr Mason moved, Cr Cadwell seconded -

That Council:

1. **Adopt Amendment C383ggee - Sign Guidelines in the form outlined in Attachments 2 and 3 of this report; and**
2. **Submit the adopted Amendment C434ggee together with the prescribed information to the Minister for Planning requesting approval.**

Carried

Financial Sustainability

9. There are no significant financial implications to Council. The amendment will not result in additional planning permit applications being lodged with the Council and will provide greater clarity and certainty for how discretion will be exercised when considering applications for signage. This will result in improved clarity for all parties on Council's expectations when lodging applications for signage across the municipality.

Community Engagement

10. Amendment C434ggee was exhibited in accordance with the requirements of the *Planning and Environment Act 1987*.
11. All submitters had an opportunity to be heard before an independent Panel. The Panel considered all submissions referred to it, not just the submissions presented at the hearing.
12. The City has advised submitters of the release of the independent Panel Report. Submitters will be notified of the final decision of Council and the Minister for Planning.

Social Equity and Sustainability

13. There are no significant social equity considerations.

Relevant Law/Policy/Legal Implications

14. The amendment supports the following state policies from the Planning Policy Framework:
 - Clause 15.01-1S Urban design; and
 - Clause 18.01-1S Land use and transport integration.The amendment supports the following policies from the Local Planning Policy Framework:
 - Clause 11.03-1L Activity Centres in Greater Geelong; and
 - Clause 15.04-1L-02 Pakington Street North Urban Design.The amendment supports the following clause from the Particular Provisions:
 - Clause 52.05 Signs.

Alignment to Community Plan and Vision

15. This report aligns with Our Community Plan 2021-2025 strategic priority:
Sustainable growth and environment.
16. This report aligns with the Community led 30-year Vision, "Greater Geelong: A Clever and Creative Future" community aspiration:
Sustainable development that supports population growth and protects the natural environment.

Conflict of Interest

17. No officer involved in the preparation of this report declared a general or material conflict of interest.

Risk Assessment

18. There are no notable risks associated with implementing the recommendation contained in this report.

Environmental Sustainability

19. There are no environmental sustainability implications associated with implementing the recommendations contained in this report.

Attachments

1. Attachment 1 - C 383 ggee - Background and Discussion [2.4.1 - 18 pages]
2. Attachment 2 - C 383 ggee - Planning Panel Report Executive Summary [2.4.2 - 2 pages]
3. Attachment 3 - C 383 ggee - Planning Scheme Ordinance [2.4.3 - 30 pages]
4. Attachment 4 - C 383 ggee - City of Greater Geelong Sign Guidelines (February 2024) Adoption [2.4.4 - 39 pages]
5. Attachment 5 - City of Greater Geelong Advertising Signs Issues and Options Paper (May 2022) [2.4.5 - 13 pages]

Attachment 1 – Background and Discussion

BACKGROUND

Purpose of the amendment

1. The main purpose of the Amendment is to implement new sign guidelines by updating the incorporated documents and making associated changes to the planning scheme. Specifically, the amendment:
 - Inserts new Clauses 15.01-1L-03 (Signs in urban environments) and 15.01-6L (Signs in rural areas) to require signs in urban and rural areas to comply with the City of Greater Geelong Advertising Sign Guidelines (May 2022).
 - Amends the schedule to Clause 72.04 (Documents Incorporated in this Planning Scheme) by removing Advertising Signage Guidelines, City of Greater Geelong 1997 and replacing it with *City of Greater Geelong Sign Guidelines* (February 2024) as an incorporated document.
 - Amends the schedule to Clause 72.08 (Background Documents) by inserting the *City of Greater Geelong Advertising Sign Guidelines Review – Issues and Options Paper* (May 2022) as a background document.
2. The City prepared the *City of Greater Geelong Sign Guidelines* collaboratively with Urban Design consultants Urban Fold, based on the recommended structure and issues identified in the Issues and Options Paper. These Guidelines, as well as the Issues and Options paper, have been peer reviewed by Transect Planning Consultants. Further changes were made as a result of recommendations from Planning Panel's Victoria, which are discussed below.
3. Please note, as discussed below, the panel report recommended the change of the policy document name to *City of Greater Geelong Sign Guidelines*. The date has also been updated to reflect the most recent changes. This report will refer to the new guidelines only as *City of Greater Geelong Sign Guidelines* (February 2024).

Council decisions, authorisation and public exhibition

4. On 28 February 2023 Council resolved to support the preparation and public exhibition of Amendment C383ggee.
5. The Amendment C383ggee was exhibited from 18 May and 26 June 2023.

6. Eight submissions were received during the exhibition period. These submissions addressed common issues, namely concerns that the Guidelines were overly restrictive and argued for a finer-grain approach. There was push back against sections of the Guidelines seen to have an unduly negative restriction on the 'branding' of growth area developments. Questions were raised around the specific distances in a number of guidelines. Concerns were also raised that guidelines regarding electric signs were too restrictive.
7. Council considered all submissions and on 30 August 2023, resolved:
"That Council having considered all submissions to Amendment C383ggee to the Greater Geelong Planning Scheme, resolves to:
 - 1) *Request the Minister for Planning to appoint an Independent Panel under Part 8 of the Planning and Environment Act, 1987;*
 - 2) *Refer all submissions to the Panel; and*
 - 3) *Submit to the Panel its response to the submissions generally as outlined in this report."*
8. All eight submissions were referred to an independent Panel appointed by the Minister for Planning.

Panel hearing

9. The Panel conducted an in-person hearing on 16-17 October 2023. Council officers presented to the panel as did two other parties. Council called expert evidence from a planning expert.
10. Council's submission to the Panel included some proposed changes to the wording or removal of some strategies, objectives and guideline as recommended by Council planners and Council's expert witness.
11. The Panel has provided its report which must be considered by Council as the Planning Authority before adopting the Amendment.
12. **Attachment 2** of the Council report provides the Panel's Executive Summary and the full Panel report is on the City's [C383ggee Part webpage](#).

DISCUSSION

Panel summary of key issues, conclusions and recommendations

13. The panel report describes the issues with the Guidelines as follows:

“The Panel’s review of the issues reveals parts of the 2022 Guidelines:

- *do not follow drafting guidance*
- *duplicate provisions in Clause 52.05 (Signs)*
- *are not responsive to the issues identified in the City of Greater Geelong Advertising Sign Guidelines Review – Issues and Options Paper May 2022 that informed the Amendment.*

The Panel agrees with many of the proposals put forward by submitters to encourage the display of signs in locations responsive to site conditions and context, including the dynamic condition of growth areas as they transition from farmland to thriving new communities.”

14. The Panel recommends that Greater Geelong Planning Scheme Amendment C383ggee be adopted as exhibited subject to two recommendations responded to below.

City Response to Panel report

15. The City considers that the Panel has thoroughly reviewed all the issues raised in submission to the amendment.
16. The following excerpt is a good description of the extensive and thorough review undertaken by the Panel: *“The Panel considered all written submissions made in response to the exhibition of the Amendment, observations from site visits, and submissions, evidence and other material presented to it during the Hearing. [...] All submissions and materials have been considered by the Panel in reaching its conclusions, regardless of whether they are specifically mentioned in the Report.”*
17. The City supports and accepts in principle the majority of the conclusions reached by the Panel and its two recommendations which are responded to further below:

Panel recommendation 1. Amend Clauses 15.01-1L-03 and 15.01-6L in accordance with the Panel preferred version at Appendix E (of the Planning Panel Report).

18. The City agrees with the panel’s recommendations.

19. The wording of Clauses 15.01-1L-03 and 15.01-6L was exhibited as follows:

Clause 15.01-1L-03 Signs in urban environments

Policy application

This policy applies to all urban land in the municipality

Strategies

Ensure signs are in accordance with the City of Greater Geelong Advertising Sign Guidelines (May 2022).

Clause 15.01-6L Signs in rural environments

Policy application

This policy applies to all rural land in the municipality

Strategies

Ensure signs are in accordance with the City of Greater Geelong Advertising Sign Guidelines (May 2022).

20. Council's planning expert identified an opportunity to strengthen the exhibited wording of Clauses 15.01-1L-03 and 15.01-6L. The Panel's recommended wording detailed below draws from that recommendation, and will ensure the Guidelines (May 2022) are appropriately referred to within the planning scheme.

Clause 15.01-1L-03 Signs in urban environments

Policy application

This policy applies to all urban land in the municipality.

Objectives

To encourage signs to meet the objectives of the *City of Greater Geelong Sign Guidelines* (February 2024).

Strategies

Encourage signs to meet the strategies of the *City of Greater Geelong Sign Guidelines* (February 2024).

Policy guidelines

Consider as relevant:

- Policy guidelines of the *City of Greater Geelong Sign Guidelines* (February 2024).

Policy documents

Consider as relevant:

- *City of Greater Geelong Sign Guidelines* (February 2024).

*Clause 15.01-6L Signs in rural environments***Policy application**

This policy applies to all rural land in the municipality.

Objectives

To encourage signs to meet the objectives of the *City of Greater Geelong Sign Guidelines* (February 2024).

Strategies

Encourage signs to meet the strategies of the *City of Greater Geelong Sign Guidelines* (February 2024).

Policy guidelines

Consider as relevant:

- Policy guidelines of the *City of Greater Geelong Sign Guidelines* (February 2024).

Policy documents

Consider as relevant:

- *City of Greater Geelong Sign Guidelines* (February 2024).

21. Updated ordinance detailing the changes is provided in **Attachment 3**.

Panel recommendation 2. Amend the Incorporated Document ‘Greater Geelong Advertising Sign Guidelines, 2022’.

22. The City agrees in part with the Panel’s fourteen sub-recommendations (2a-2n) which are responded to individually below.

Recommendation 2a) revise the description of policy guidelines in accordance with Document 23b

23. The City agrees with the panel’s recommendations.

Recommendation 2b) delete ‘objectives’ and ‘strategies’ that duplicate the provisions of Clause 52.05

24. The City agrees in principle with the panel’s recommendations.
25. In addition to objective and strategies deleted or amended in the Panel preferred version, Table 1 of Appendix B outlines further objectives and strategies have been deleted to comply with this recommendation.

26. Where the structure and usability of the policy documents require the objective or strategy to frame the subsequent policy guidelines, it has been retained.

Recommendation 2c) redraft detailed guidance under ‘strategies’ as ‘policy guidelines’

27. The City agrees with the panel’s recommendations.

Recommendation 2d) delete ‘guidelines’ that do not provide direct and prescriptive measures

28. The City agrees with the panel’s recommendations.

Recommendation 2e) delete ‘strategies’ and ‘guidelines’ that provide blanket opposition to specific sign types

29. The City agrees with the intent of the panel’s recommendation.

30. Drawing on the advice of the panel report and *A Practitioner’s Guide to Victorian Planning Schemes Version 1.5, April 2022*, Council officers made the following general changes:

- Where a ‘strategy’ or ‘guideline’ uses ‘conclusive’ verbs such as avoid, ensure, prevent and the use of such verbs may be read as ‘blanket opposition’ to specific sign, ‘discouraging’ verbs are used instead.

Recommendation 2f) make terminology consistent with the *Victoria Planning Provisions*, as shown in Table 5 of this report

31. The City agrees with the panel’s recommendations outlined in Table 5 of the report, reproduced below.

Table 5 Comparison of terms used in the Guidelines and Clause 73.02

2022 Guidelines term	Clause 73.02 term
Advertisement area × The height or width of a promotion sign should not exceed 6 metres and the total <u>advertisement area</u> should not exceed 8 square metres.	Display area ✓ The height or width of a promotion sign should not exceed 6 metres and the total <u>display area</u> should not exceed 8 square metres.
Advertising sign × City of Greater Geelong <u>Advertising Sign</u> Guidelines	Sign ✓ City of Greater Geelong <u>Sign</u> Guidelines
Signage × To ensure <u>signage</u> is subordinate to the built form and landscape context in which it is located.	Signs ✓ To ensure <u>signs</u> are subordinate to the built form and landscape context.

32. These changes in the wording improve consistency between the policy document and the wording within the planning scheme, particularly terms defined in Clause 73.02.
33. A key change emerging from this recommendation is the change of the policy document to be incorporated in the Planning Scheme. Council officers recommend the adoption of this change, and that the policy document should be renamed to *City of Greater Geelong Sign Guidelines*. This change will also be reflected in the various ordinance documents as required.

Recommendation 2g) revise Section 2 'General Guidelines' as shown in the Panel preferred version at Appendix F:1 of the Planning Panel Report, included in this document at Appendix B.

34. The City agrees with the panel's recommendations. While the panel preferred version of the General Guidelines removes a number of guidelines, this is acknowledged as a reasonable outcome to avoid duplication of elements of Clause 52.05 or overly prescriptive guidelines.

Recommendation 2h) revise Section 3 'Pedestrian Orientated Commercial Areas' as shown in the Panel preferred version at Appendix F:2 of the Planning Panel Report, included in this document at Appendix B.

35. The City agrees with the Panel's recommendations.

Recommendation 2i) revise Section 3 'Highway Orientated Commercial Areas' as shown in the Panel preferred version at Appendix F:3 of the Planning Panel Report, included in this document at Appendix B

36. The City agrees with the Panel's recommendations.

Recommendation 2j) revise Section 4 'Industrial Areas' as shown in the Panel preferred version at Appendix F:4 of the Planning Panel Report, included in this document at Appendix B

37. The City agrees with the Panel's recommendations.

Recommendation 2k) revise Section 7 'Interface Areas' as shown in the Panel preferred version at Appendix F:5 of the Planning Panel Report, included in this document at Appendix B

38. The City agrees with the Panel's recommendations.

Recommendation 2l) revise Section 11 'Growth Areas' as shown in the Panel preferred version at Appendix F:6 of the Planning Panel Report, included in this document at Appendix B

39. The City agrees in part with the panel's recommendations.
40. The panel recommended a number of changes to the Growth Area Guidelines which generally serve to strengthen the applicability and relevance of the policy document.
41. However, the panel recommended the deletion of the objective, derived from expert evidence received at the panel, on the grounds that it duplicates a purpose of Clause 52.05 and is therefore redundant.
42. While the City agrees with the assessment of this wording, the structure and usability of the policy documents require an objective to guide the application of the policy. The City therefore elects to keep the objective as informed by the expert witness.

Recommendation 2m) revise Section 12 'Major Promotion Signs' as shown in the Panel preferred version at Appendix F:7 of the Planning Panel Report, included in this document at Appendix B

43. The City agrees with the panel's recommendations.

44. The Panel preferred version suggests the policy guideline “*Consider as relevant: Limiting major promotion signs on walls to:*
- *20 per cent the wall area*
 - *A maximum area of [to be specified] square metres.”*
45. In relation to this policy guideline, the City elects a maximum of 25 square metres. Similar sign policies exist in other Planning Scheme. Namely, Cardinia nominates a maximum of 21 square metres. The proposed size, while indicative rather than prescriptive, will assist in managing the level of impact on surrounding amenity in accordance with the purposes of Clause 52.05 and the local policy objectives.

Recommendation 2n) *revise Section 13 ‘Electronic Signs’ as shown in the Panel preferred version at Appendix F:8 of the Planning Panel Report, included in this document at Appendix B.*

46. The City agrees to the panel’s recommendations.
47. In accordance with the panel reports discussion, the chapter has been expanded to refer to electronic and animated signs, in addition to the changes show in the Panel preferred version.

CONCLUSION

48. A full copy of the *City of Greater Geelong Sign Guidelines* (February 2024) is included as **Attachment 4**.
49. The *City of Greater Geelong Advertising Signs Issues and Options Paper* (May 2022), as exhibited and proposed for adoption, is included as **Attachment 5**.

APPENDIX A.**Table 1. Objectives and strategies non-compliant with Recommendation 2b.**

Chapter	Type	Exhibited Version
3. Highway Oriented Commercial Areas	Objective	To avoid signage that adversely affects the amenity of the host site and surrounding area.
5. High Amenity Areas	Objective	To avoid amenity impacts from intrusive signage such as illuminated and electronic signage.
6. Sensitive Areas	Strategy	Discourage illuminated signs unless it can be demonstrated that there is no adverse impact upon amenity or character.

Appendix B

Greater Geelong Planning Scheme Amendment C383ggee | Panel Report | 1 December 2023

Appendix F Panel preferred version of Sign Guidelines

F:1 Panel preferred version General Guidelines

Panel notes:

- changes are based on the Day 1 version of Advertising Sign Guidelines 2022 (Document 4)
- highlighted content subject to specific recommendations
- all other content should be reviewed in accordance with Panel threshold recommendations 2b, c, d, e and f (refer Executive Summary).

Objectives

To ensure signs respond to the natural setting and urban context in which they are located.

To ensure signs do not alter or obscure views to significant natural or built features.

To ensure signs do not dominate the streetscape, host site or building.

To ensure that signs do not interfere with movements and viewlines of pedestrians and cyclist movements and the safety of roads and railways.

Objective 5 deleted.

To facilitate the display of signs for businesses and community groups for identification and promotion where appropriate.

Strategies	Policy Guidelines
------------	-------------------

- | | |
|--|---|
| 1. Deleted | 1. Deleted |
| 2. Encourage signs to be co-located and consolidated wherever possible, particularly where there is more than one tenancy. | 2. Deleted |
| 3. Encourage signs that are integrated with and proportionate in height and scale to the host building, site and streetscape. | 3. New development should nominate consistent areas for the display of signage for each business tenancy. |
| 4. Manage the number and repetition of signs on a single lot and streetscape. | 4. Encourage the preparation of signage strategies for non-residential proposals with a large floor area or multiple tenancies. |
| 5. Avoid signs that dominate or obscure business identification signs within a site or the surrounding area. | 5. Flat signs on building walls should relate to the architecture of the building in style and placement. |
| 6. Encourage signs to integrate with the architectural or landscape features of the host site or building. | 6. Encourage use of individual letters as an alternative to large, flat signs on building walls where appropriate. |
| 7. Encourage signs that are sensitive to the movement, visibility, functionality and amenity of the public realm and infrastructure. | 7. Deleted |
| | 8. Deleted |
| | 9. Deleted |
| | 10. Encourage signage that retains existing trees and introduces new landscaping and vegetation. |
| | 11. Deleted |
| | 12. Reflective signs should be avoided. |

F:2 Panel preferred version Pedestrian Orientated Commercial Area Guidelines

Panel notes:

- changes are based on the Day 1 version of Advertising Sign Guidelines 2022 (Document 4)
- highlighted content subject to specific recommendations
- all other content should be reviewed in accordance with Panel threshold recommendations 2b, c, d, e and f (refer Executive Summary).

Objectives

To ensure signs are subordinate and not intrusive to the built form and streetscape environment.

To protect visibility between the public realm and inside buildings.

To encourage a signage character that is consistent with a human scale built form and streetscape.

To maintain open and framed views to the sky from the public realm.

To avoid signs that compromise the architectural values of buildings and landscape.

Strategies	Policy Guidelines
1. Ensure signs are of a size and height that maintain the built form and streetscape character.	Consider as relevant:
2. Discourage any sign that would block a view from the public realm between buildings and to the sky.	1. Encourage signs in the locations shown in Figure 1.
3. Limit use of electronic signs.	2. Discourage signs in the locations shown in Figure 2.
4. Avoid signs that obscure visibility through building windows to and from the street.	3. Signs should not exceed a maximum street wall or building height, or encroach an upper level setback, identified in a zone, overlay or schedule.
5. Avoid freestanding signs, unless the building which it relates to on the site is set back from road more than 20 metres.	4. Signs should not project more than one metre from the building and not be lower than 2.7 metres above a pedestrian thoroughfare.
	5. Limiting electronic signs to one sign per building.
	6. Buildings should not be painted in corporate colours, which is regarded as signage.
	7. Ground level and parapet are the preferred locations for small illuminated signs (particularly non-flashing, neon tubular art signs) and electronic signs, where appropriate.
	8. Discourage signs that cover upper level windows or other openings of buildings.
	9. Minimise signs on back or side walls of buildings, particularly at upper levels.
	10. Limit total signage for premises with less than 5 metres street frontage to a maximum of 8 square metres.
	11. Avoid sky signs, high wall signs and bunting signs.
	12. Deleted

F:3 Panel preferred version Highway Orientated Commercial Area Guidelines

Panel notes:

- changes are based on the Day 1 version of Advertising Sign Guidelines 2022 (Document 4)
- highlighted content subject to specific recommendations
- all other content should be reviewed in accordance with Panel threshold recommendations 2b, c, d, e and f (refer Executive Summary).

Objectives

To ensure signage is subordinate to the built form and landscape context in which it is located.

To provide for the clear identification of premises.

To discourage signs that interfere with the functionality of a site.

To avoid signage that adversely affects the amenity of the host site and surrounding area.

Strategies	Policy Guidelines
1. Deleted	1. Encourage signs in the locations shown in Figure 3.
2. Avoid oversized and excessive numbers of signs.	2. Discourage signs in the locations shown in Figure 4.
3. Avoid signs that interfere with pedestrian or vehicular thoroughfares or business entrances.	3. Incorporate areas for the display of signage for each business tenancy within the building design.
4. Avoid signs that result in loss of amenity or adversely affect the natural or built environment, or the safety, appearance or efficiency of a road or rail corridor.	4. Minimise the number of businesses identified on freestanding signs for multi-tenanted development.
	5. Discourage freestanding signs unless there is no opportunity for signs to be incorporated into buildings, or the building which it relates to on the site is set back from road more than 20 metres.
	6. Freestanding business identification signs should: <ul style="list-style-type: none"> - Be placed at a right (90 degree) angle to sensitive interfaces (such as open space and residential areas) - Not protrude over a dominant skyline, including buildings, structures and tree canopies, when viewed from the ground within 1 kilometre. - Be less than the height of the building to which it relates, excluding parapets, or 7 metres, whichever is lesser. - For sites with one street frontage, be restricted to one sign per premises. - For sites with more than one street frontage and the frontages are both greater than 150 metres long and each have access to a road, be limited to a total of two freestanding signs, with not more than one sign on each frontage. - Be spaced and set back from the street

consistently with the prevailing spacing and setbacks in the streetscape.

7. Avoid sky signs, high wall signs and bunting signs.

F:4 Panel preferred version Industrial Area Guidelines

Panel notes:

- *changes are based on the Day 1 version of Advertising Sign Guidelines 2022 (Document 4)*
- *highlighted content subject to specific recommendations*
- *all other content should be reviewed in accordance with Panel threshold recommendations 2b, c, d, e and f (refer Executive Summary).*

Objectives

To provide for the adequate identification of premises.

To ensure signage is subordinate to the built form and landscape context in which it is located.

To discourage signs that interfere with the functionality of a site.

Strategies

1. Ensure signs respect the built form and the landscape context, and are not the dominant feature.
2. Deleted
3. Incorporate areas for the display of signage for each business tenancy within the building design.
4. Limit freestanding signs.
5. Avoid signs that interfere with pedestrian or vehicular thoroughfares or business entrances.
6. Avoid signs that have an adverse effect on the safety, appearance and efficiency of a road.

Policy Guidelines

1. Encourage signs in the locations shown in Figure 5.
2. Discourage signs in the locations shown in Figure 6.
3. Deleted
4. Freestanding business identification signs should:
 - be placed at a right (90 degree) angle to sensitive interfaces (such as open space and residential areas).
 - not protrude over a dominant skyline, including buildings, structures and tree canopies, when viewed from the ground within 1 kilometre.
 - not exceed the dominant existing building height of an area.
 - for sites with one street frontage, be restricted to one sign per premises.
 - for sites with more than one street frontage and the frontages are both greater than 150 metres long and each have access to a road, be limited to a total of two freestanding signs, with not more than one sign on each frontage.
 - be spaced and set back from the street consistently with the prevailing spacing and setbacks in the streetscape.

F:5 Panel preferred version Interface Area Guidelines

Panel notes:

- changes are based on the Day 1 version of Advertising Sign Guidelines 2022 (Document 4)
- highlighted content subject to specific recommendations
- all other content should be reviewed in accordance with Panel threshold recommendations 2b, c, d, e and f (refer Executive Summary).

Objectives

To ensure signs in commercial and industrial areas do not have a detrimental impact on high amenity and sensitive areas.

Strategies

1. Signs should not dominate the outlook from or result in increased illumination to adjoining landscapes, passive open space or nearby dwellings.
2. Ensure signs do not have a detrimental impact on access to daylight or sunlight, or overshadowing of any sensitive space (including footpaths, public and private open space, windows) at any time of the year.[^]
3. Ensure signs near rural areas are sympathetic in scale and do not dominate any landscape, coastal or environmental features, view corridors or vistas.
4. Discourage the use of floodlit signs and ensure that they are primarily directed away from visually sensitive areas.[^]
5. Illuminated signage should be limited near residential areas, open space and other sensitive interfaces.

[^] in format of Final Day Changes

Policy Guidelines

1. Deleted
2. Limit the number of signs on any one property that are visible from the high amenity or sensitive area to the minimum number necessary to identify the premises.
3. Signage colours should be compatible with surrounding landscape.
4. Illuminated signs should be located, baffled and the level of illumination controlled to ensure there is no unreasonable spill of light beyond the area of the sign or loss of amenity.[^]
5. Discourage internally illuminated panels and boxes on or above verandah level.

F:6 Panel preferred version Growth Area Guidelines

Panel notes:

- changes are based on the Day 1 version of Advertising Sign Guidelines 2022 (Document 4)
- highlighted content subject to specific recommendations
- all other content should be reviewed in accordance with Panel threshold recommendations 2b, c, d, e and f (refer Executive Summary).

Objective	
Deleted	
Strategies	Policy Guidelines
1. Deleted	Consider as relevant:
2. Encourage a whole-of-estate approach to signs in growth areas.	<ol style="list-style-type: none"> 1. Providing a minimum of 150 metres between onsite promotion signs on the same road. 2. Limiting off site promotion signs to: <ul style="list-style-type: none"> - within 5 kilometres of the estate - 4 signs per estate - a minimum 250 metres between each sign. 3. Combined with Policy Guideline 2 4. Combined with Policy Guideline 1 5. Deleted. 6. Limiting the display of promotion signs for 5 years or until the last lot is sold, whichever is the earlier. 7. Deleted.

F:7 Panel preferred version Major Promotion Sign Guidelines

Panel notes:

- changes are based on the Day 1 version of Advertising Sign Guidelines 2022 (Document 4)
- highlighted content subject to specific recommendations
- all other content should be reviewed in accordance with Panel threshold recommendations 2b, c, d, e and f (refer Executive Summary).

Objectives

To ensure major promotion signs respect the scale and form of their built form and landscape context.

To ensure major promotion signs are developed in appropriate locations.

To ensure major promotion signs are sensitive to the character, amenity and functionality of a site or area.

To avoid major promotion signs that dominate the surrounding area.

Strategies

1. Encourage the provision of architectural interest in the design of major promotion signs.
2. Ensure major promotion signs are designed to avoid unreasonable overshadowing or result in loss of amenity to useable areas of the host site or adjoining land.
3. Ensure major promotion signs are spaced at a sufficient distance apart in order to avoid visual clutter.
4. Avoid major promotion signs that dominate buildings and uses on the host site and adjoining land.
5. Avoid major promotion signs in land near sensitive interfaces including river corridors, passive open space and residential areas, particularly where it will form part of the skyline when viewed from these areas.
6. Deleted

Policy Guidelines

Consider as relevant:

1. Providing a minimum 1 kilometre separation between major promotion signs on the same road.
2. Deleted
3. Discourage major promotion signs that would restrict the development of a site or conflict with an identified strategic development objective.
4. Avoid 'pop out' elements
5. Limiting major promotion signs to one per intersection.
6. Limiting major promotion signs on walls to:
 - 20 per cent the wall area
 - A maximum area of [to be specified] square metres.

F:8 Panel preferred version Electronic Sign Guidelines

Panel notes:

- changes are based on the Day 1 version of Advertising Sign Guidelines 2022 (Document 4)
- highlighted content subject to specific recommendations
- all other content should be reviewed in accordance with Panel threshold recommendations 2b, c, d, e and f (refer Executive Summary).

Objectives

To encourage electronic signs in appropriate locations that add vitality and light to a commercial or industrial area.

To avoid electronic signs that unreasonably affect the amenity of a site or area.[^]

To avoid electronic signs that may have an effect on road safety.

Strategies

1. Avoid electronic and animated signs that will result in unreasonable light spill, glare, disturbance, intrusion or other detrimental effects on the amenity of surrounding rural or residential areas or public open space.[^]
2. Encourage animated signs (including digital media, holographic, 3D and projections) to activate public places.
3. Ensure electronic signs prioritise road and rail safety.

[^] in format of Final Day Changes

Policy Guidelines

Consider as relevant:

1. Control electronic signs to have appropriate levels of illumination responsive to sunlight, weather conditions and time of day.
2. Limiting electronic signs to one per premises.
3. Discourage electronic signs that face a residential area, passive open space or other sensitive interfaces.
4. Deleted.
5. Deleted.
6. Deleted.

Executive summary

Planning policy in Victoria requires development to achieve high quality urban design outcomes, including through the display of signs. Greater Geelong Planning Scheme Amendment C383ggee (the Amendment) responds to this goal by proposing the introduction of a new Incorporated Document *Greater Geelong Advertising Sign Guidelines 2022* (2022 Guidelines) to guide decision making on signs. The 2022 Guidelines provide objectives, strategies and guidelines for displaying signs in specific areas and for different sign types.

Public exhibition of the Amendment attracted eight opposing submissions, the majority of which objected to guidance proposed for growth areas. Submitters argued the guidance was too restrictive and failed to account for the temporary nature of growth area signs.

A Practitioner's Guide to Victorian Planning Schemes Version 1.5, April 2022 and *Ministerial Direction: The Form and Content of Planning Schemes* provides guidance and directions on the drafting of local policy. Importantly, the guidance confirms there is a role for local policy to guide the exercise of discretion where it can be demonstrated local circumstances require it.

The Panel's review of the issues reveals parts of the 2022 Guidelines:

- do not follow drafting guidance
- duplicate provisions in Clause 52.05 (Signs)
- are not responsive to the issues identified in the *City of Greater Geelong Advertising Sign Guidelines Review – Issues and Options Paper May 2022* that informed the Amendment.

The Panel agrees with many of the proposals put forward by submitters to encourage the display of signs in locations responsive to site conditions and context, including the dynamic condition of growth areas as they transition from farmland to thriving new communities.

The Panel's recommendations reflect the need to revise the 2022 Guideline to address these matters. With these changes, the Panel is satisfied the 2022 Guidelines will add value and appropriately guide decision making on signs in Greater Geelong.

Recommendations

Based on the reasons set out in this Report, the Panel recommends that Greater Geelong Planning Scheme Amendment C383ggee be adopted as exhibited subject to the following:

1. **Amend Clauses 15.01-1L-03 and 15.01-6L in accordance with the Panel preferred version in Appendix E.**
2. **Amend the Incorporated Document 'Greater Geelong Advertising Sign Guidelines, 2022' to:**
 - a) **revise the description of policy guidelines in accordance with Document 23b**
 - b) **delete 'objectives' and 'strategies' that duplicate the provisions of Clause 52.05**
 - c) **redraft detailed guidance under 'strategies' as 'policy guidelines'**
 - d) **delete 'guidelines' that do not provide direct and prescriptive measures**
 - e) **delete 'strategies' and 'guidelines' that provide blanket opposition to specific sign types**
 - f) **make terminology consistent with the Victoria Planning Provisions, as shown in Table 5 of this report**

- g) revise Section 2 'General Guidelines' as shown in the Panel preferred version at Appendix F:1**
- h) revise Section 3 'Pedestrian Orientated Commercial Areas' as shown in the Panel preferred version at Appendix F:2**
- i) revise Section 3 'Highway Orientated Commercial Areas' as shown in the Panel preferred version at Appendix F:3**
- j) revise Section 4 'Industrial Areas' as shown in the Panel preferred version at Appendix F:4**
- k) revise Section 7 'Interface Areas' as shown in the Panel preferred version at Appendix F:5**
- l) revise Section 11 'Growth Areas' as shown in the Panel preferred version at Appendix F:6**
- m) revise Section 12 'Major Promotion Signs' as shown in the Panel preferred version at Appendix F:7**
- n) revise Section 13 'Electronic Signs' as shown in the Panel preferred version at Appendix F:8.**

Planning and Environment Act 1987

GREATER GEELONG PLANNING SCHEME

AMENDMENT C383GGEE

INSTRUCTION SHEET

The planning authority for this amendment is the Greater Geelong City Council.

The Greater Geelong Planning Scheme is amended as follows:

Planning Scheme Ordinance

The Planning Scheme Ordinance is amended as follows:

1. In **Planning Policy Framework** – insert new Clause 15.01-1L-03 in the form of the attached document.
2. In **Planning Policy Framework** – insert new Clause 15.01-6L in the form of the attached document.
3. In **Operational Provisions** – Clause 72.04, replace the Schedule with a new Schedule in the form of the attached document.
4. In **Operational Provisions** – Clause 72.08, replace the Schedule with a new Schedule in the form of the attached document.

GREATER GEELONG PLANNING SCHEME

15.01
31/07/2018
VC148

BUILT ENVIRONMENT

GREATER GEELONG PLANNING SCHEME**15.01-1S**31/07/2018
VC148**Urban design****Objective**

To create urban environments that are safe, healthy, functional and enjoyable and that contribute to a sense of place and cultural identity.

Strategies

Require development to respond to its context in terms of character, cultural identity, natural features, surrounding landscape and climate.

Ensure development contributes to community and cultural life by improving the quality of living and working environments, facilitating accessibility and providing for inclusiveness.

Ensure the interface between the private and public realm protects and enhances personal safety.

Ensure development supports public realm amenity and safe access to walking and cycling environments and public transport.

Ensure that the design and location of publicly accessible private spaces, including car parking areas, forecourts and walkways, is of a high standard, creates a safe environment for users and enables easy and efficient use.

Ensure that development provides landscaping that supports the amenity, attractiveness and safety of the public realm.

Ensure that development, including signs, minimises detrimental impacts on amenity, on the natural and built environment and on the safety and efficiency of roads.

Promote good urban design along and abutting transport corridors.

Policy documents

Consider as relevant:

- *Urban Design Guidelines for Victoria* (Department of Environment, Land, Water and Planning, 2017)

GREATER GEELONG PLANNING SCHEME**15.01-1L-01 Development in activity centres**

07/07/2022
C417ggee

Policy application

This policy applies to all buildings and works applications in activity centres.

Objective

To ensure the design and layout of new or expanding centres minimise amenity impacts on surrounding uses and contribute positively to the streetscape and surrounding area.

Strategies

Ensure blank walls and loading bays are not adjacent to sensitive land uses and key vehicle and pedestrian accessways to a centre.

Ensure illuminated signage does not impact on sensitive land uses.

Ensure new development provides visually interesting and active street frontages where buildings abut the street or a public space.

Encourage car parking areas to be located to the side or rear of a centre.

Ensure car parking areas do not visually dominate the front setback area of a centre by providing landscaping including canopy trees.

Ensure there are safe and convenient pedestrian connections from car parking areas and the surrounding footpath network to the entrance(s) of a centre.

GREATER GEELONG PLANNING SCHEME**15.01-1L-02 Pakington Street North urban design**07/07/2022
C417ggee**Policy application**

This policy applies to buildings and works and subdivision applications in Pakington Street North, Geelong West, as shown on the Pakington Street North Urban Design Area Map in this clause.

Objectives

To retain and enhance the identified elements that contribute to the preferred urban design character of Pakington Street North.

To improve the quality of the pedestrian environment and the interface of development with the street.

To support buildings that are designed to respond to the characteristics of the site and locality, and demonstrate a high standard of contemporary expression.

To encourage development that minimises impacts on adjacent residential areas.

To provide a safe and convenient environment for pedestrians and improve pedestrian permeability to the areas surrounding Pakington Street.

To minimise the visual impact of car parking areas.

Streetscape character strategies

Enhance the pedestrian environment with active frontages at ground level that relate to the footpath and street.

Discourage development that has no relationship to its site or the Pakington Street setting.

Address streets with building frontages rather than yards, car parks or servicing areas.

Orient commercial buildings towards the street with the main pedestrian entrance and display windows on the street frontage where possible.

Discourage development that presents blank walls to Pakington Street or any side streets.

Avoid the use of roller shutters over shop fronts.

Where located on a corner site, orient buildings to address both street frontages.

Discourage the removal of the diverse mix of building stock.

Encourage the retention of landmark buildings in the street by:

- Re-using landmark structures for alternative uses.
- Protecting landmark structures such as corner former hotel buildings.

Building siting and large site layout strategies

Reinforce the linear layout of the street, as part of the historic street grid of Geelong West by:

- Designing buildings to be perpendicular to the street with building frontages parallel to the front boundary.
- Siting buildings consistently on the front boundary (i.e. zero metre setback from front boundary).

Minimise the impact of commercial buildings on adjacent residential areas by locating development that may generate noise away from adjacent residential uses.

On larger sites where residential uses are permitted, site residential uses to provide a buffer between new commercial uses and the existing residential uses.

Building siting and large site layout policy guideline

Consider as relevant:

GREATER GEELONG PLANNING SCHEME

- Allowing occasional setbacks from street frontages to provide areas of public open space in front of buildings.

Building form strategies

Support buildings that respect the predominant building height in the street and of adjacent properties.

Articulate the form of buildings and elevations.

Design buildings that respect the dominance of 19th century and Inter War era places of Pakington Street in a contemporary manner.

Encourage development to provide a transition in scale to adjacent residential areas.

Design development to minimise overlooking and loss of solar access to adjacent residential areas.

Design building forms that express the fine grain pattern of facades in the Pakington Street Activity Centre, particularly on larger sites.

Building form policy guideline

Consider as relevant:

- Discouraging buildings that exceed the predominant building height in the street by more than one storey.

Building finishes and details strategies

Use simple building details and a mix of contemporary materials, colours and finishes that complement the palette of materials and colours in the street.

Use architectural detailing that integrates with the architecture of the building and contributes to the character of the street.

Discourage signs that dominate the building or streetscape and detract from the pedestrian environment.

Building finishes and details policy guidelines

Consider as relevant:

- Awnings or verandahs that reflect the architectural era of the building.
- Relating the height of the awning to the building elevation. On double storey buildings locate the awning at first floor level.
- Providing subtle down lighting under awnings wherever possible and avoiding fluorescent style, 'white' lighting.
- Incorporating subtle façade lighting on landmark buildings.
- Providing signs only on the awning fascia or under the awning wherever possible.
- If a flat wall sign is proposed, relating the sign to the architecture of the building in style and placement (i.e. individual letters as opposed to large, flat rectangular signs).
- Avoiding large, visually dominant signs, particularly above first floor level such as roof signs, sky signs and above awning signs.
- Avoiding large wall signs that do not relate to the building.

Heritage interface strategies

Design buildings to respect the scale and form of adjacent heritage buildings.

Provide a transition in scale to heritage buildings on adjoining sites.

GREATER GEELONG PLANNING SCHEME**Sustainability strategies**

Design buildings for energy efficiency, utilising sustainable energy and construction techniques wherever possible.

Design buildings to maximise solar access and opportunities for cross ventilation.

Walkability strategies

Provide weather protection to footpaths where appropriate.

Encourage pedestrian connections through larger development sites by connecting existing lanes or cul de sacs.

Discourage large internalised developments that do not connect with existing streets and residential neighbourhoods.

Discourage the use of blank walls fronting onto footpaths and other pedestrian links.

Walkability policy guidelines

Consider as relevant:

- Maintaining and extending the continuous north-south laneway access along the rear of Pakington Street properties, where possible.
- Discouraging the provision of footpaths through large ground level car parks.

Vehicle access and car parking strategies

Minimise the number and width of vehicle crossings from Pakington Street.

Locate car parking areas at the rear of the site to minimise visibility from Pakington Street and adjacent residential areas.

Minimise the width of vehicle access points to car parking areas.

Design car parking areas to minimise large expanses of unrelieved hard surface, including providing shade trees and other planting to ground level car parks.

Vehicle access and car parking policy guideline

Consider as relevant:

- Discouraging vehicle crossings that are greater in width than 2 lanes.

Policy document

Consider as relevant:

- *Pakington Street North Urban Design Guidelines* (Planisphere, 2004)

GREATER GEELONG PLANNING SCHEME

Pakington Street North Urban Design Area Map



GREATER GEELONG PLANNING SCHEME

15.01-1L-03 Signs in urban environments

Proposed C383ggee

Policy application

This policy applies to all urban land in the municipality.

Objectives

To encourage signs to meet the objectives of the *City of Greater Geelong Sign Guidelines* (February 2024).

Strategies

Encourage signs to meet the strategies of the *City of Greater Geelong Sign Guidelines* (February 2024).

Policy guidelines

Consider as relevant:

- *Policy guidelines of the City of Greater Geelong Sign Guidelines* (February 2024).

Policy documents

Consider as relevant:

- *City of Greater Geelong Sign Guidelines* (February 2024).

15.01-2S01/01/2024
VC250**Building design****Objective**

To achieve building design and siting outcomes that contribute positively to the local context, enhance the public realm and support environmentally sustainable development.

Strategies

Ensure a comprehensive site analysis forms the starting point of the design process and provides the basis for the consideration of height, scale, massing and energy performance of new development.

Ensure development responds and contributes to the strategic and cultural context of its location.

Minimise the detrimental impact of development on neighbouring properties, the public realm and the natural environment.

Improve the energy performance of buildings through siting and design measures that encourage:

- Passive design responses that minimise the need for heating, cooling and lighting.
- On-site renewable energy generation and storage technology.
- Use of low embodied energy materials.

Restrict the provision of reticulated natural gas in new dwelling development.

Ensure the layout and design of development supports resource recovery, including separation, storage and collection of waste, mixed recycling, glass, organics and e-waste.

Encourage use of recycled and reusable materials in building construction and undertake adaptive reuse of buildings, where practical.

GREATER GEELONG PLANNING SCHEME

Encourage water efficiency and the use of rainwater, stormwater and recycled water.

Minimise stormwater discharge through site layout and landscaping measures that support on-site infiltration and stormwater reuse.

Ensure the form, scale, and appearance of development enhances the function and amenity of the public realm.

Ensure buildings and their interface with the public realm support personal safety, perceptions of safety and property security.

Ensure development is designed to protect and enhance valued landmarks, views and vistas.

Ensure development considers and responds to transport movement networks and provides safe access and egress for pedestrians, cyclists and vehicles.

Encourage development to retain existing vegetation.

Ensure development provides landscaping that responds to its site context, enhances the built form, creates safe and attractive spaces and supports cooling and greening of urban areas.

Policy documents

Consider as relevant:

- *Urban Design Guidelines for Victoria* (Department of Environment, Land, Water and Planning, 2017)
- *Apartment Design Guidelines for Victoria* (Department of Environment, Land, Water and Planning, 2021)
- *Waste Management and Recycling in Multi-unit Developments* (Sustainability Victoria, 2019)

GREATER GEELONG PLANNING SCHEME

15.01-2L Environmentally sustainable development

07/07/2022
C417ggee

Policy application

This policy applies to residential and non-residential development, excluding subdivision, in accordance with the thresholds detailed in this policy other than where an ESD plan or framework has been previously approved.

Objective

To achieve best practice in environmentally sustainable development from the design stage through to construction and operation.

General strategies

Facilitate development that minimises environmental impacts.

Encourage environmentally sustainable development that:

- Is consistent with the type and scale of the development.
- Responds to site opportunities and constraints.
- Adopts best practice through a combination of methods, processes and locally available technology that demonstrably minimise environmental impacts.

Energy performance strategies

Reduce both energy use and energy peak demand through design measures such as:

- Building orientation.
- Shading to glazed surfaces.
- Optimising glazing to exposed surfaces.
- Inclusion of or space allocation for renewable technologies.

Integrated water management strategies

Reduce total operating potable water use through appropriate design measures such as water efficient fixtures, appliances, equipment, irrigation and landscaping.

Encourage the use of alternative water sources, including greywater, rainwater and stormwater.

Incorporate water sensitive urban design to improve the quality of stormwater runoff and reduce impacts on water systems and water bodies.

Indoor environment quality

Achieve a healthy indoor environment quality, including thermal comfort and access to fresh air and daylight, prioritising passive design over mechanical heating, ventilation, cooling and lighting.

Reduce indoor air pollutants by encouraging use of materials containing chemicals that have low levels of toxicity.

Minimise noise levels and noise transfer within and between buildings and associated external areas.

Transport strategies

Design development to promote the use of walking, cycling and public transport, in that order; and to minimise car dependency.

Promote the use of low emissions vehicle technologies and supporting infrastructure.

GREATER GEELONG PLANNING SCHEME**Waste management strategies**

Promote waste avoidance, reuse and recycling during the design, construction and operation stages of development.

Encourage use of durable and reuseable building materials.

Ensure sufficient space is allocated for future change in waste management needs, including (where possible) composting and green waste facilities.

Urban ecology strategies

Protect and enhance biodiversity by incorporating natural habitats and planting indigenous vegetation.

Reduce urban heat island effects through building design, landscape design, water sensitive urban design and the retention and provision of canopy trees.

Encourage the provision of space for productive gardens, particularly in larger residential developments.

Policy guidelines**Residential**

Consider as relevant:

A Sustainable Design Assessment (including an assessment using BESS, STORM or other methods) for:

- 3 - 9 dwellings.
- A building for accommodation other than dwellings with a gross floor area between 100 square metres and 1500 square metres.

A Sustainability Management Plan (including an assessment using BESS, STORM, Green star, MUSIC or other methods) and a Green Travel Plan for:

- 10 or more dwellings.
- A building for accommodation other than dwellings with a gross floor area of 1500 square metres or more.

Non-residential

Consider as relevant:

A Sustainable Design Assessment (including an assessment using BESS, STORM, MUSIC or other methods) for:

- A non-residential building with a gross floor area between 300 square metres and 1500 square metres.
- An extension to an existing non-residential building creating between 300 square metres and 1500 square metres of additional gross floor area.

A Sustainability Management Plan (including an assessment using BESS, STORM, Green star, MUSIC or other methods) and a Green Travel Plan for:

- A non-residential building with a gross floor area of 1500 square metres or more.
- An extension to an existing non-residential building creating 1500 square metres or more of additional gross floor area.

Mixed use

Consider as relevant:

GREATER GEELONG PLANNING SCHEME

Applicable assessments or plans for the residential and non-residential components of the development.

Policy documents

Consider as relevant the following tools to support a Sustainable Design Assessment or Sustainability Management Plan:

- *Sustainable Design Assessment in the Planning Process* (IMAP, 2015)
- *Built Environment Sustainability Scorecard 'BESS'* (Council Alliance for a Sustainable Built Environment 'CASBE')
- *Green Star* (Green Building Council of Australia)
- *Model for Urban Stormwater Improvement Conceptualisation 'MUSIC'* (Melbourne Water)
- *Nationwide House Energy Rating Scheme 'NatHERS'* (Department of Climate Change and Energy Efficiency)
- *Stormwater Treatment Objective - Relative Measure 'STORM'* (Melbourne Water)
- *Urban Stormwater Best Practice Environmental Management Guidelines* (Victorian Stormwater Committee, 1999)
- *Waste Management and Recycling in Multi-Unit Developments - Better Practice Guide* (Sustainability Victoria, 2018)

Commencement

This policy does not apply to applications received by the responsible authority before 17 October 2019.

Expiry

This policy will expire if it is superseded by a comparable provision in the Victoria Planning Provisions.

GREATER GEELONG PLANNING SCHEME**15.01-3S**01/01/2024
VC250**Subdivision design****Objective**

To ensure the design of subdivisions achieves attractive, safe, accessible, diverse and sustainable neighbourhoods.

Strategies

In the development of new residential areas and in the redevelopment of existing areas, subdivision should be designed to create liveable and sustainable communities by:

- Creating compact neighbourhoods that have walkable distances between activities.
- Developing activity centres in appropriate locations with a mix of uses and services and access to public transport.
- Creating neighbourhood centres that include services to meet day to day needs.
- Creating urban places with a strong sense of place that are functional, safe and attractive.
- Providing a range of lot sizes to suit a variety of dwelling and household types to meet the needs and aspirations of different groups of people.
- Creating landscaped streets and a network of open spaces to meet a variety of needs with links to regional parks where possible.
- Protecting and enhancing habitat for native flora and fauna, and providing opportunities for people to experience nature in urban areas.
- Facilitating an urban structure where neighbourhoods are clustered to support larger activity centres served by high quality public transport.
- Reduce car dependency by allowing for:
 - Convenient and safe public transport.
 - Safe and attractive spaces and networks for walking and cycling.
 - Subdivision layouts that allow easy movement within and between neighbourhoods.
 - A convenient and safe road network.
- Minimising exposure of sensitive uses to air and noise pollution from the transport system.
- Being accessible to people with disabilities.
- Creating an urban structure that:
 - Responds to climate related hazards.
 - Incorporates integrated water management, including sustainable irrigation of open space.
 - Minimises peak demand on the electricity network.
 - Supports energy efficiency and solar energy generation through urban layout and lot orientation.
 - Supports waste minimisation and increased resource recovery.
- Providing utilities and services that support the uptake of renewable energy technologies, such as microgrids and energy storage systems, including batteries.
- Providing all-electric lots.

Policy documents

Consider as relevant:

GREATER GEELONG PLANNING SCHEME

- *Urban Design Guidelines for Victoria* (Department of Environment, Land, Water and Planning, 2017)

GREATER GEELONG PLANNING SCHEME

15.01-3L Subdivision design in low density and rural residential areas

07/07/2022
C417ggee

Policy application

This policy applies to the subdivision of land in the Low Density Residential and Rural Living Zones.

Strategy

Design subdivisions to create lots with a clearly identifiable street frontage.

Policy guidelines

Consider as relevant:

- Vehicle accessways to have a minimum width of 4 metres where the length of the driveway exceeds 30 metres.
- Lots to have a minimum street front of 4 metres.

GREATER GEELONG PLANNING SCHEME**15.01-4S Healthy neighbourhoods**31/07/2018
VC148**Objective**

To achieve neighbourhoods that foster healthy and active living and community wellbeing.

Strategies

Design neighbourhoods that foster community interaction and make it easy for people of all ages and abilities to live healthy lifestyles and engage in regular physical activity by providing:

- Connected, safe, pleasant and attractive walking and cycling networks that enable and promote walking and cycling as a part of daily life.
- Streets with direct, safe and convenient access to destinations.
- Conveniently located public spaces for active recreation and leisure.
- Accessibly located public transport stops.
- Amenities and protection to support physical activity in all weather conditions.

Policy documents

Consider as relevant:

- *Urban Design Guidelines for Victoria* (Department of Environment, Land, Water and Planning, 2017)

GREATER GEELONG PLANNING SCHEME**15.01-5S Neighbourhood character**09/10/2020
VC169**Objective**

To recognise, support and protect neighbourhood character, cultural identity, and sense of place.

Strategies

Support development that respects the existing neighbourhood character or contributes to a preferred neighbourhood character.

Ensure the preferred neighbourhood character is consistent with medium and higher density housing outcomes in areas identified for increased housing.

Ensure development responds to its context and reinforces a sense of place and the valued features and characteristics of the local environment and place by respecting the:

- Pattern of local urban structure and subdivision.
- Underlying natural landscape character and significant vegetation.
- Neighbourhood character values and built form that reflect community identity.

GREATER GEELONG PLANNING SCHEME

SCHEDULE TO CLAUSE 72.04 INCORPORATED DOCUMENTS

15/01/2024
VC249

1.0

Incorporated documents

15/01/2024
VC249 Proposed C383ggee

Name of document	Introduced by:
3 Bridge Road, Barwon Heads (June 2020)	C415ggee
14 Shepherd Court, North Geelong, Cotton On Office Redevelopment (July 2011)	C257
Adventure Park Comprehensive Development Plan (May 2014)	C288
Advertising Sign Guidelines (City of Greater Geelong, November 1997, Amended October 2014)	G296
Anakie, Lara & Lovely Banks Heritage Places Incorporated Plan (May 2016)	C316
Armstrong Creek East Native Vegetation Precinct Plan (May 2010)	C206
Armstrong Creek East Precinct Structure Plan (May 2010, Amended November 2011)	C214
<i>Armstrong Creek East Precinct Development Contributions Plan</i> (Urban Enterprise, December 2023)	VC249
Armstrong Creek Horseshoe Bend Precinct Structure Plan (September 2014)	C259
<i>Armstrong Creek North East Industrial Precinct Development Contributions Plan</i> (Urban Enterprise, December 2023)	VC249
Armstrong Creek North East Industrial Precinct Growing Grass Frog Conservation Management Plan (May 2010)	C207
Armstrong Creek North East Industrial Precinct Native Vegetation Precinct Plan (May 2010)	C207
Armstrong Creek North East Industrial Precinct, Precinct Structure Plan (May 2010)	C207
Armstrong Creek South Precinct Structure Plan (February 2016)	C301
Armstrong Creek Town Centre Precinct Structure Plan (March 2014)	C267
<i>Armstrong Creek Town Centre Development Contributions Plan</i> (Urban Enterprise, December 2023)	VC249
Armstrong Creek Urban Growth Plan Framework Plan (November 2008, updated September 2012 and June 2015)	C301
<i>Armstrong Creek West Precinct Development Contributions Plan</i> (Urban Enterprise, December 2023)	VC249
Armstrong Creek West Precinct Native Vegetation Precinct Plan (November 2012)	C240
Armstrong Creek West Precinct Structure Plan (September 2012)	C240
Australian Standard AS 2021-1994, Acoustics - Aircraft Noise Intrusion - Building Siting and Construction (Standards Association of Australia, 1994)	NPS1
Barwon Heads Road (Settlement Road, Belmont to Reserve Road, Marshall) Duplication Project Incorporated Document (October 2020)	C413ggee
Batman Park, Indented Head Incorporated Plan (June 2015)	C274
BUPA Aged Care Facility, Bellarine Lakes (May 2016)	C336
<i>Central Road Drysdale Development Contributions Plan</i> (Urban Enterprise, December 2023)	VC249
Chisholm Road Prison Project, Lara, Incorporated Document (June 2019)	C389ggee

GREATER GEELONG PLANNING SCHEME

Name of document	Introduced by:
City of Greater Geelong Sign Guidelines (February 2024)	C383ggee
"Claremont" 12-16 Kinsmead Street, Waurn Ponds Design Guidelines Incorporated Plan (February 2022)	C422ggee
"Claremont Homestead" 12-16 Kinsmead Street, Waurn Ponds Statement of Significance (February 2022)	C422ggee
Commercial Tenancies at 55, 57 & 59 Kilgour Street, Geelong (July 2017)	C358
Community Care Accommodation Facility, 120 Russells Road, Mount Duneed, Incorporated Document (September 2020)	C401ggee
Drysdale Bypass (November 2017)	C369
Environmental Weeds (City of Greater Geelong, September 2008)	C129 (Part 1)
Fibre Optic Project, Integrated Approval Requirements (December 2002)	VC17
Geelong City Urban Conservation Study Vol. 1 Restoration and Infill Guidelines, Commercial and Civic Buildings (Graeme Butler for the City of Geelong, 1993)	C258
Geelong Convention and Exhibition Centre Strategic Development Site Project (April 2023)	C456ggee
Geelong Library and Heritage Centre Redevelopment (March 2013)	C287
Geelong Ring Road – Section 4C Incorporated Document (June 2010)	C232
Geelong TAC Office Development (October 2006)	C142
Geelong Waterfront Safe Harbour Precinct Project Incorporated Document (July 2019)	C398ggee
Great Western Hotel Heritage Place 177-179 Aberdeen Street, Newtown Incorporated Plan (December 2017)	C365
Heritage and Design Guidelines (City of Greater Geelong, 1997)	NPS1
HO1613 McLeods Waterholes Heritage Area Heritage Design Guidelines (City of Greater Geelong, 2022)	C417ggee
HO1613 McLeods Waterholes Heritage Area Statement of Significance (City of Greater Geelong, 2022)	C417ggee
HO1617 Rocky Point Heritage Area Heritage Design Guidelines (City of Greater Geelong, 2022)	C417ggee
HO1617 Rocky Point Heritage Area Statement of Significance (City of Greater Geelong, 2022)	C417ggee
HO1618 Woollen Mills Heritage Area Heritage Design Guidelines (City of Greater Geelong, 2022)	C417ggee
HO1618 Woollen Mills Heritage Area Statement of Significance (City of Greater Geelong, 2022)	C417ggee
HO1620 Drysdale Commercial Heritage Area Heritage Design Guidelines (City of Greater Geelong, 2022)	C417ggee
HO1620 Drysdale Commercial Heritage Area Statement of Significance (City of Greater Geelong, 2022)	C417ggee
HO1622 Latrobe Terrace Heritage Area Heritage Design Guidelines (City of Greater Geelong, 2022)	C417ggee
HO1622 Latrobe Terrace Heritage Area Statement of Significance (City of Greater Geelong, 2022)	C417ggee
HO1623 Newtown Hill Heritage Area Heritage Design Guidelines (City of Greater Geelong, 2022)	C417ggee

GREATER GEELONG PLANNING SCHEME

Name of document	Introduced by:
HO1623 Newtown Hill Heritage Area Statement of Significance (City of Greater Geelong, 2022)	C417ggee
HO1624 Latrobe Terrace Shops Heritage Area Heritage Design Guidelines (City of Greater Geelong, 2022)	C417ggee
HO1624 Latrobe Terrace Shops Heritage Area Statement of Significance (City of Greater Geelong, 2022)	C417ggee
HO1625 Chilwell and Saffron Street Heritage Area Heritage Design Guidelines (City of Greater Geelong, 2022)	C417ggee
HO1625 Chilwell and Saffron Street Heritage Area Statement of Significance (City of Greater Geelong, 2022)	C417ggee
HO1626 Aberdeen, George and Skene Streets Heritage Area Heritage Design Guidelines (City of Greater Geelong, 2022)	C417ggee
HO1626 Aberdeen, George and Skene Streets Heritage Area Statement of Significance (City of Greater Geelong, 2022)	C417ggee
HO1627 Aphrasia Street Heritage Area Heritage Design Guidelines (City of Greater Geelong, 2022)	C417ggee
HO1627 Aphrasia Street Heritage Area Statement of Significance (City of Greater Geelong, 2022)	C417ggee
HO1628 Autumn Street Heritage Area Heritage Design Guidelines (City of Greater Geelong, 2022)	C417ggee
HO1628 Autumn Street Heritage Area Statement of Significance (City of Greater Geelong, 2022)	C417ggee
HO1630 Drumcondra and Rippleside Heritage Area Heritage Design Guidelines (City of Greater Geelong, 2022)	C417ggee
HO1630 Drumcondra and Rippleside Heritage Area Statement of Significance (City of Greater Geelong, 2022)	C417ggee
HO1631 The Esplanade Heritage Area Heritage Design Guidelines (City of Greater Geelong, 2022)	C417ggee
HO1631 The Esplanade Heritage Area Statement of Significance (City of Greater Geelong, 2022)	C417ggee
HO1632 Girton Crescent Heritage Area Heritage Design Guidelines (City of Greater Geelong, 2022)	C417ggee
HO1632 Girton Crescent Heritage Area Statement of Significance (City of Greater Geelong, 2022)	C417ggee
HO1633 Lawton Avenue Heritage Area Heritage Design Guidelines (City of Greater Geelong, 2022)	C417ggee
HO1633 Lawton Avenue Heritage Area Statement of Significance (City of Greater Geelong, 2022)	C417ggee
HO1634 Pakington Street Commercial Heritage Area Heritage Design Guidelines (City of Greater Geelong 2022)	C417ggee
HO1634 Pakington Street Commercial Heritage Area Statement of Significance (City of Greater Geelong, 2022)	C417ggee
HO1635 Villamanta Street Heritage Area Heritage Design Guidelines (City of Greater Geelong, 2022)	C417ggee
HO1635 Villamanta Street Heritage Area Statement of Significance (City of Greater Geelong, 2022)	C417ggee
HO1637 Geelong Commercial Heritage Area Heritage Design Guidelines (City of Greater Geelong, 2022)	C417ggee

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Name of document	Introduced by:
HO1637 Geelong Commercial Heritage Area Statement of Significance (City of Greater Geelong, 2022)	C417ggee
HO1638 Woolstores Industrial Heritage Area Heritage Design Guidelines (City of Greater Geelong, 2022)	C417ggee
HO1638 Woolstores Industrial Heritage Area Statement of Significance (City of Greater Geelong, 2022)	C417ggee
HO1639 City East Heritage Area Heritage Design Guidelines (City of Greater Geelong, 2022)	C417ggee
HO1640 Civic Centre Heritage Area Heritage Design Guidelines (City of Greater Geelong, 2022)	C417ggee
HO1640 Civic Centre Heritage Area Statement of Significance (City of Greater Geelong, 2022)	C417ggee
HO1641 City South Residential Heritage Area Heritage Design Guidelines (City of Greater Geelong, 2022)	C417ggee
HO1641 City South Residential Heritage Area Statement of Significance (City of Greater Geelong, 2022)	C417ggee
HO1642 Early Twentieth Century Residential Heritage Area Heritage Design Guidelines (City of Greater Geelong, 2022)	C417ggee
HO1642 Early Twentieth Century Residential Heritage Area Statement of Significance (City of Greater Geelong, 2022)	C417ggee
HO1643 Post World War 1 Residential Heritage Area Heritage Design Guidelines (City of Greater Geelong, 2022)	C417ggee
HO1643 Post World War 1 Residential Heritage Area Statement of Significance (City of Greater Geelong, 2022)	C417ggee
HO1644 City South-East Residential Heritage Area Heritage Design Guidelines (City of Greater Geelong, 2022)	C417ggee
HO1644 City South-East Residential Heritage Area Statement of Significance (City of Greater Geelong, 2022)	C417ggee
HO1649 Flinders Heritage Area Heritage Design Guidelines (City of Greater Geelong, 2022)	C417ggee
HO1649 Flinders Heritage Area Statement of Significance (City of Greater Geelong, 2022)	C417ggee
HO1650 Golf Links Heritage Area Heritage Design Guidelines (City of Greater Geelong, 2022)	C417ggee
HO1650 Golf Links Heritage Area Statement of Significance (City of Greater Geelong, 2022)	C417ggee
HO1732 Fyans Heritage Area Heritage Design Guidelines (City of Greater Geelong, 2022)	C417ggee
HO1732 Fyans Heritage Area Statement of Significance (City of Greater Geelong, 2022)	C417ggee
HO1903 Wimmera Heritage Area Heritage Design Guidelines (City of Greater Geelong, 2022)	C417ggee
HO1905 Evans Heritage Area Heritage Design Guidelines (City of Greater Geelong, 2022)	C417ggee
HO1906 Kardinia Heritage Area Heritage Design Guidelines (City of Greater Geelong, 2022)	C417ggee
HO1908 Belmont Heights Estate Heritage Area Heritage Design Guidelines (City of Greater Geelong, 2022)	C417ggee

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Name of document	Introduced by:
HO1909 Elderslie Estate Heritage Area Heritage Design Guidelines (City of Greater Geelong, 2022)	C417ggee
HO1916 Aberdeen Street (Newtown) Heritage Area Heritage Design Guidelines (City of Greater Geelong, 2022)	C417ggee
HO1917 Eyre Heritage Area Heritage Design Guidelines (City of Greater Geelong, 2022)	C417ggee
HO1918 Hermitage Heritage Area Heritage Design Guidelines (City of Greater Geelong, 2022)	C417ggee
HO1919 William and Margaret Streets Heritage Area Heritage Design Guidelines (City of Greater Geelong, 2022)	C417ggee
HO1920 Shannon Avenue Heritage Area Heritage Design Guidelines (City of Greater Geelong, 2022)	C417ggee
HO1921 Clarkes Hill Heritage Area Heritage Design Guidelines (City of Greater Geelong, 2022)	C417ggee
HO1922 Bareena Estate Heritage Area Heritage Design Guidelines (City of Greater Geelong, 2022)	C417ggee
HO1923 Mercers Hill Heritage Area Heritage Design Guidelines (City of Greater Geelong, 2022)	C417ggee
HO1924 Cairns Avenue Heritage Area Heritage Design Guidelines (City of Greater Geelong, 2022)	C417ggee
HO1925 Fairview Avenue Heritage Area Heritage Design Guidelines (City of Greater Geelong, 2022)	C417ggee
HO1926 Bona Vista Heritage Area Heritage Design Guidelines (City of Greater Geelong, 2022)	C417ggee
HO1958 Ballinasloe Heritage Area Heritage Design Guidelines (City of Greater Geelong, 2022)	C417ggee
HO1959 Great Western Road Heritage Area Heritage Design Guidelines (City of Greater Geelong, 2022)	C417ggee
HO1960 Milton Heritage Area Heritage Design Guidelines (City of Greater Geelong, 2022)	C417ggee
HO1961 Pineville Heritage Area Heritage Design Guidelines (City of Greater Geelong, 2022)	C417ggee
HO1962 Waterloo Heritage Area Heritage Design Guidelines (City of Greater Geelong, 2022)	C417ggee
HO2005 Upper Skene Street Heritage Area Heritage Design Guidelines (City of Greater Geelong, 2022)	C417ggee
HO2006 Newtown West Heritage Area Heritage Design Guidelines (City of Geelong, 2022)	C417ggee
HO2007 West Melbourne Road Heritage Area Heritage Design Guidelines (City of Greater Geelong, 2022)	C417ggee
HO2016 Austin Park and Environs Heritage Area Heritage Design Guidelines (City of Greater Geelong 2022)	C417ggee
HO2017 Myers Street Heritage Area Heritage Design Guidelines (City of Greater Geelong, 2022)	C417ggee
HO2018 Western Beach Road Heritage Area Heritage Design Guidelines (City of Greater Geelong, 2022)	C417ggee
<i>Horseshoe Bend Precinct Development Contributions Plan</i> (Urban Enterprise, December 2023)	VC249

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Name of document	Introduced by:
Jetty Road Urban Growth Area Stage 1 Development Contributions Plan (Urban Enterprise, December 2023)	VC249
Lara West Development Contributions Plan (Urban Enterprise, December 2023)	VC249
Lara West Growth Area, Lara, Native Vegetation Precinct Plan (September 2013)	C246
Lara West Precinct Structure Plan, Revision J (25 September 2013)	C246
Melbourne Geelong Interconnection Project (June 2010)	C229
Manzeene Village, Lara, Native Vegetation Precinct Plan (June 2014)	C285
Mental Health Beds Expansion Program Incorporated Document (November 2020)	GC176
Native Vegetation Precinct Plan: Armstrong Creek Town Centre Precinct (July 2021)	C399ggee
Native Vegetation Precinct Plan, Geelong Ring Road Employment Precinct (March 2013)	C243
Native Vegetation Precinct Plan, Horseshoe Bend Precinct, Armstrong Creek Urban Growth Area (July 2021)	C399ggee
Newtown Heritage Study Review Report, Volume 3 (City of Greater Geelong, 2008)	C191
New Station Estate Restructure Plan (July 2010, Amended December 2017)	C376pt1ggee
Part 1 / 250 Beach Road, Avalon, August 2022	C448ggee
Rail Gauge Standardisation Project, Integrated Approval Requirements (December 2002)	VC17
Regional Fast Rail Project, Integrated Approval Requirements (December 2002)	VC17
Rail Upgrades at Geelong Port Project (May 2010)	C211
Rippleside Comprehensive Development Plan (David Lock Associates and James D. Ramsey, February 2000)	C2
Rippleside Urban Design Guidelines (David Lock Associates and Andrew Olszewski, June 2000)	C2
Saleyards Comprehensive Development Plan (April 2023)	C434ggee
Small Lot Housing Code (December 2012)	C267
Specialist Training Facility Incorporated Document (June 2019)	C392ggee
Stage 5 GMHBA Stadium Development Kardinia Park Moorabool Street, Geelong South Incorporated Document (March 2021)	C423ggee
Thirteenth Beach Golf Resort, Barwon Heads Comprehensive Development Plan (Land Design Partnership, Anthony Cashmore & Associates and the Planning Group, May 2001 amended September 2006)	C54
Warrnambool Line Upgrade Incorporated Document (December 2019)	GC121
Waterfront Geelong Design and Development Code (Keys Young, July 1996)	NPS1
Waurm Ponds Train Maintenance and Stabling Facility Project Incorporated Document (May 2020)	GC104
West Fyans-Fyans Street Precinct Structure Plan (June 2009)	C205

GREATER GEELONG PLANNING SCHEME

SCHEDULE TO CLAUSE 72.08 BACKGROUND DOCUMENTS

31/07/2018
VC148

1.0

Background documents

14/11/2023
G427ggee Proposed C383ggee

Name of background document	Amendment number - clause reference
Armstrong Creek Urban Growth Plan Background Report (City of Greater Geelong, 2006)	Clauses 02 and 17
Armstrong Creek Urban Growth Plan (Collie Pty Ltd, 2010, Amended 2012)	Clause 02
Ashby Heritage Review Stage 2 (Dr David Rowe Authentic Heritage Services Pty Ltd and Wendy Jacobs, 2009)	Clauses 02 and 15
Barwon Heads Structure Plan (City of Greater Geelong, 2010)	Clauses 02 and 11
Batman Park & Boat Sheds, The Esplanade, Indented Head, Heritage Review (Dr David Rowe Authentic Heritage Services and Wendy Jacobs, 2013)	Clauses 02 and 15
Bellarine Heritage Study Volumes 1-3 (Huddle, Howe, Lewis and Francis, 1996)	Clauses 02 and 15
Bellarine Peninsula Strategic Plan (City of Greater Geelong, 2006)	Clauses 02 and 11
Belmont Heritage Areas Report Volume 1 (Dr David Rowe, Authentic Heritage Services Pty Ltd, 2007)	Clauses 02 and 15
Belmont Heritage Areas: Inventory of Places Volume 2 (Dr David Rowe Authentic Heritage Services Pty Ltd, 2007)	Clauses 02 and 15
Belmont Heritage Report: Individual Citations Volume 3 (Dr David Rowe Authentic Heritage Services Pty Ltd, 2007)	Clauses 02 and 15
Buckley Falls Management Plan (Department of Conservation and Natural Resources, 1990)	Clause 02
Building in Wildfire Management Overlay Areas (CFA, 2002)	Clause 02 and 11
Central Geelong Framework Plan - A plan for the heart of Djilang (Department of Environment, Land, Water and Planning, 2023)	Clauses 37.08-s1, 43.02-s47, 43.04-s38 to 45
Central West Victoria Estuaries Coastal Action Plan (Western Coastal Board, 2005)	Clauses 02, 12 and 13
Central West Victoria Regional Coastal Action Plan (Western Coastal Board, 2003)	Clauses 02, 12 and 13
Ceres Heritage Citations Project (Dr David Rowe Authentic Heritage Services Pty Ltd and Wendy Jacobs, 2017 updated 2018)	Clauses 02 and 15
City Fringe Heritage Area Review Part 1 and Part 2 (RBA Architects + Conservation Consultants Pty Ltd, 2017 updated 2018)	Clauses 02 and 15
City of Geelong West Urban Conservation Study Volumes 1-2 (Huddle, Aitken and Honman, 1986)	Clauses 02 and 15
City of Greater Geelong Advertising Sign Guidelines Review – Issues and Options Paper (May 2022)	Clause 15
City of Greater Geelong Economic Development Strategy (City of Greater Geelong, 2005)	Clauses 02 and 17
City of Greater Geelong Environment Management Strategy 2006 - 2011 (City of Greater Geelong, 2006)	Clauses 02, 12 and 13
City of Greater Geelong Housing Diversity Strategy (alphaPlan, David Lock Associates and City of Greater Geelong, 2007)	Clauses 02, 11, 15 and 16

GREATER GEELONG PLANNING SCHEME

Name of background document	Amendment number - clause reference
City of Greater Geelong Housing Strategy Background and Issues Report (Swinburne University, 2005)	Clauses 02, 11, 15 and 16
City of Greater Geelong Retail Strategy 2020-2036 (City of Greater Geelong and SGS Economics and Planning, August 2020)	Clauses 02, 11, 15 and 17
City of Greater Geelong Rural Land Use Strategy (Parsons Brinckerhoff, 2007)	Clauses 02, 14, 17 and 19
City of Greater Geelong Settlement Strategy (City of Greater Geelong, August 2020)	Clauses 02, 11, 15, 16, 17, 19
City of Greater Geelong Stormwater Management Plan (WBM Oceanics Australia, 2002)	Clauses 02, 12, 13 and 19
City of Greater Geelong Urban Furniture Style Manual (Taylor and Cullity Pty Ltd, 1996)	Clauses 02, 11, 15 and 16
City of Newtown Urban Conservation Study Volumes 1-4 (Context Pty Ltd, 1991)	Clauses 02 and 15
City of Newtown Urban Conservation Study, Volumes 5(a) and 5(b) (Richard Peterson, 1997)	Clauses 02 and 15
Coastal Spaces Landscape Assessment Study (Planisphere, 2006)	Clauses 02 and 11
Code of Practice for The Greyhound Industry Dealing with Greyhound Premises and The Keeping and Welfare of Greyhounds (Greyhound Racing Victoria, March 2008)	Clauses 14
Corangamite Regional Catchment Strategy 2013-2019 (Corangamite Catchment Management Authority, 2013)	Clauses 02, 12, 13 and 19
Corio Bay Coastal Action Plan (Central Coastal Board and the City of Greater Geelong, 2005)	Clauses 02, 12, 13 and 19
Corio Norlane Structure Plan Background Report (City of Greater Geelong and the Department of Planning and Community Development, 2011)	Clause 02 and 11
Corio Norlane Structure Plan (City of Greater Geelong and Department of Planning and Community Development, 2012)	Clause 02 and 11
Drysdale-Clifton Springs Structure Plan (City of Greater Geelong, 2010)	Clauses 02 and 11
Drysdale Urban Design Framework (City of Greater Geelong, 2012)	Clauses 02 and 11
Former Dennys Lascelles Woolstore 20 Brougham Street Heritage Assessment (Dr David Rowe Authentic Heritage Services Pty Ltd and Wendy Jacobs, 2017)	Clauses 02 and 15
Geelong Biodiversity Strategy (City of Greater Geelong, 2003)	Clauses 02, 12, 13 and 19
Geelong City Urban Conservation Study 'C' Citations, Volume 4(a) (Helen Lardner, 1995)	Clauses 02 and 15
Geelong City Urban Conservation Study, Volumes 2-5 (Graeme Butler for the City of Geelong, 1991)	Clauses 02 and 15
Geelong Economic Development Strategy 2005-2010 (City of Greater Geelong, 2005)	Clause 02, 14, 17 and 18
Geelong Flood Mitigation Strategy (Gutteridge Haskins & Davey Pty Ltd, 1997)	Clauses 02, 12, 13 and 19
Geelong Region Historic Buildings and Objects Study Volumes 1-3 (Allan Willingham, 1986)	Clauses 02 and 15
Geelong Regional Floodland Study (Geelong Regional Commission, 1979)	Clauses 02, 12, 13 and 19

GREATER GEELONG PLANNING SCHEME

Name of background document	Amendment number - clause reference
Geelong Ring Road Employment Precinct Urban Design Guidelines (City of Greater Geelong, 2010)	Clauses 17 and 43.02-s18
Geelong Sale Yards Conservation Management Plan (Dr David Rowe and Wendy Jacobs, 2007)	Clauses 02 and 15
Geelong Saleyards Precinct Surface Water Management Strategy (BMT, 2021)	Clauses 02 and 11
Geelong Seafood Industry Strategy (City of Greater Geelong, 2003)	Clauses 02 and 17
Geelong Transit City Station Precinct Urban Design Framework (Hassell, Parsons Brinckerhoff and Charter Keck Cramer, 2008)	Clause 02
Geelong Transport Strategy (Victorian State Government and City of Greater Geelong, 2002)	Clauses 02, 11, 18 and 19
Geelong Verandah Study (Authentic Heritage Services Pty Ltd and Wendy Jacobs, 2006)	Clauses 02, 11, 15 and 16
Geelong Waterfront Safe Harbour Precinct - Public Access & Infrastructure Development Project Master Plan (Terroir Pty Ltd, May 2019)	Clause 02
Geelong Western Wedge Framework (Planisphere and Jones & Whitehead Pty Ltd, April 2005, updated September 2005)	Clauses 02 and 37.08 Schedule 1
Geelong Wetland Strategy (City of Greater Geelong, 2006)	Clauses 02, 12, 13 and 19
Greater Geelong Gaming Policy Framework (City of Greater Geelong, 2007)	Clauses 02 and 17
Greater Geelong Outer Areas Heritage Study Volume 1 (excluding Belmont precincts) and Volumes 2-4 (Authentic Heritage Services Pty Ltd, 2000)	Clauses 02 and 15
Goandra Estate Fence Design Guidelines (Hansen Partnership, July 2023)	Clauses 37.01-s8, 43.02-s49 and 52.02s
Heales Road Industrial Estate Framework Plan (MacroPlan Australia and the City of Greater Geelong, 2007)	Clauses 02 and 17
Heritage citation sheet for the Osborne Park bluestone pillar and cast/wrought iron gates (City of Greater Geelong, 2016)	Clauses 02 and 15
Heritage citation sheet for the Vietnam Veterans Memorial and Avenue of Honour (City of Greater Geelong, December 2016)	Clauses 02 and 15
Heritage Report 9 Bridge Road, Barwon Heads (Post-Panel Version) (Context Pty Ltd, May 2017)	Clauses 02 and 15
Hovells Creek, Lara: Flooding – December 10, 1988 (Technical Services Department Shire of Corio, 1990)	Clauses 02, 12, 13 and 19
Indented Head Structure Plan (City of Greater Geelong, 2016)	Clauses 02 and 11
Infrastructure Design Manual (Local Government Infrastructure Design Association, 2021)	Clauses 02 and 19
Jetty Road Urban Growth Plan (City of Greater Geelong, 2007 amended September 2008)	Clauses 02 and 11
Lara Heritage Review Phase 2, Volumes 1, 2 and 3 (Dr David Rowe and Wendy Jacobs, 2013 revised 2016)	Clauses 02 and 15
Lara Structure Plan (City of Greater Geelong, 2011)	Clauses 02 and 11
Lara Structure Plan Retail Development Issues (Tim Nott, 2009)	Clauses 02 and 11
Lara Town Centre Urban Design Framework (David Lock Associates, 2006)	Clauses 02 and 11

GREATER GEELONG PLANNING SCHEME

Name of background document	Amendment number - clause reference
Leopold Structure Plan (City of Greater Geelong, 2011 amended 2013)	Clauses 02 and 11
Leopold Urban Design Framework (City of Greater Geelong, 2011)	Clauses 02 and 11
Managing Development in Rural Areas, Planning Policy Review (City of Greater Geelong, 2015)	Clauses 02, 14 and 17
Moolap Coastal Strategic Framework Plan (Department of Environment, Land, Water and Planning, 2019)	Clauses 02 and 11
Newtown Heritage Study Volumes 1-3 (City of Greater Geelong, 2008)	Clauses 02 and 15
Newtown West Heritage Review, Volumes 1, 2, 3, 4 & 5 (Dr David Rowe Authentic Heritage Services Pty Ltd & Wendy Jacobs, 2016)	Clauses 02 and 15
Northern and Western Geelong Growth Areas Framework Plan (City of Greater Geelong, August 2020)	Clauses 02, 11, 15, 16 and 19
Ocean Grove Structure Plan (City of Greater Geelong, 2015 amended 2016)	Clauses 02 and 11
Ocean Grove Urban Design Framework (City of Greater Geelong, 2014)	Clauses 02 and 11
Pakington Street North Urban Design Guidelines (Planisphere, 2004)	Clause 15
Pakington Streetscape Improvements Plan (Loder & Bayly, 1990)	Clause 15
Point Lonsdale Structure Plan (Planisphere, 2009 amended 2011)	Clauses 02 and 11
Portarlinton Structure Plan (City of Greater Geelong, 2016 amended 2017)	Clauses 02 and 11
Saleyards Precinct Plan (City of Greater Geelong, 2021)	Clauses 02 and 11
St Leonards Structure Plan (City of Greater Geelong, 2015)	Clauses 02 and 11
Statement of Significance for the former stables to Armytage House and classrooms 19-21 Hermitage Road, Newtown (Dr David Rowe and Kevin Krastins, 2003)	Clauses 02 and 15
Study of Open Space Networks (City of Greater Geelong, 2001)	Clauses 02, 11, 18 and 19
Wandana Structure Plan (City of Greater Geelong, 1998)	Clause 02

GREATER GEELONG PLANNING SCHEME

15.01-5L Neighbourhood character

07/07/2022
C417ggee

Objectives

To manage the impact of urban change on existing neighbourhoods.

To protect areas with a significant garden character.

Strategies

Support medium density housing that respects the existing neighbourhood character in the General Residential Zone areas.

Design development on the periphery of the Residential Growth Zones to be responsive to and respectful of the neighbourhood character in any adjoining residential zones.

Retain existing vegetation wherever possible, particularly vegetation that contributes to the municipality's tree canopy.

Avoid gated communities.

GREATER GEELONG PLANNING SCHEME

15.01-6S Design for rural areas

31/07/2018
VC148

Objective

To ensure development respects valued areas of rural character.

Strategies

Ensure that the siting, scale and appearance of development protects and enhances rural character.

Protect the visual amenity of valued rural landscapes and character areas along township approaches and sensitive tourist routes by ensuring new development is sympathetically located.

Site and design development to minimise visual impacts on surrounding natural scenery and landscape features including ridgelines, hill tops, waterways, lakes and wetlands.

15.01-6L Signs in rural areas

Proposed C383ggee

Policy application

This policy applies to all rural land in the municipality.

Objectives

To encourage signs to meet the objectives of the *City of Greater Geelong Sign Guidelines (February 2024)*.

Strategies

To encourage signs to meet the strategies of the *City of Greater Geelong Sign Guidelines (February 2024)*.

Policy guidelines

Consider as relevant:

- *Policy guidelines of the City of Greater Geelong Sign Guidelines (February 2024)*.

Policy documents

Consider as relevant:

- *City of Greater Geelong Sign Guidelines (February 2024)*.



THE CITY OF
GREATER GEELONG

SIGN GUIDELINES

FEBRUARY 2024

CONTENTS

ACKNOWLEDGEMENT OF COUNTRY

The City of Greater Geelong acknowledges the Wadawurrung People as the Traditional Owners of this Land, Waterways and Skies.

It also acknowledges all Aboriginal and Torres Strait Islander People who are part of the Greater Geelong community today.

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USER GUIDE

01

USER GUIDE

These guidelines apply to all planning permit applications for signs in Greater Geelong, and must be considered as relevant in addition to any other relevant provisions of the Planning Scheme, including the decision guidelines of Clause 52.05 (Signs).

Before you start, you will need to know:

- The type of sign proposed, using the sign terms in Clause 73.02 of the planning scheme.
- The zone and any overlays that apply to the land the sign will be located on.
- The category area the sign is in. The category area is shown near the end of the zone ordinance, or sometimes in the schedule to the zone.
- Is a planning permit required for the sign, such as under Clause 52.05 or an overlay?
- If a permit is required for a sign under an overlay, any requirements in the overlay will need to be addressed, in addition to these Guidelines.
- If a permit is required, you will also need to know the zones and sign category area types of opposite and adjacent land.

Select from the following list all guidelines that apply to your application. Note there will often be more than one guideline that applies.

GENERAL GUIDELINES

- Use the general guidelines for all signs

Also use one of the following guidelines, for the category nominated in the zone or zone schedule where the sign will be located:

Commercial areas (Category 1) are divided into two types: Pedestrian Oriented and Highway Oriented Commercial Areas. These are described on pages 14 and 15. Use the Guidelines for the area the sign will be located in only.

CATEGORY AREA GUIDELINES

- Commercial (Category 1)
Pedestrian Oriented Commercial Area
- Commercial (Category 1)
Highway Oriented Commercial Area
- Industrial Areas (Category 2)
- High Amenity Areas (Category 3)
- Sensitive Areas (Category 4)

If they apply to the proposed sign, use one or more of the following guidelines:

PARTICULAR GUIDELINES

- Interface Areas**
Signs in a Commercial or Industrial (Category 1 or 2) area, but to or opposite a High Amenity or Sensitive (Category 3 or 4) area.
- Central Geelong**
Signs in the Central Geelong Activity Centre Zone (schedule 1) and Design and Development Overlay (schedules 17 and 46).
- Heritage Places**
Signs in a Heritage Overlay. Please note the requirements of the Heritage Overlay must also be addressed, in addition to these guidelines.
- PAD sites**
Signs located at a freestanding service station, retail premises, freeway service centre, medical centre or veterinary centre.
- Growth Areas**
Signs in greenfield and large infill development areas
- Major Promotion Signs**
- Electronic Signs**

EXAMPLES OF APPLICATIONS

Each section of the guidelines is divided into objectives, strategies and guidelines.

Objectives specify the outcomes this policy document seeks to achieve.

Strategies describe how the objectives are to be achieved.

Guidelines indicate how objectives can be met and how strategies can be implemented. A responsible authority must take a relevant policy guideline into account when it makes a decision under this planning scheme, but is not required to give effect to it. If the responsible authority is satisfied that an alternative approach meets the objective, the alternative may be considered. (Clause 71.02-2 of the Greater Geelong Planning Scheme)

Example 1

Business identification sign above verandah height in a Commercial 1 Zone, Pedestrian Oriented Commercial Area, for a freestanding service station. The adjacent and opposite land is also in a Pedestrian Oriented Commercial Area.

- General Guidelines
- Commercial (Category 1)
Pedestrian Oriented Commercial Area
- Commercial (Category 1)
Highway Oriented Commercial Area
- Industrial Areas (Category 2)
- High Amenity Areas (Category 3)
- Sensitive Areas (Category 4)
- Interface Areas
- Central Geelong
- Heritage Places
- PAD sites
- Growth Areas
- Major Promotion Signs
- Electronic Signs

Example 2

An electronic major promotion sign in Central Geelong, facing the Waterfront precinct. The land on which it is proposed is in the Activity Centre Zone and Heritage Overlay.

- General Guidelines
- Commercial (Category 1)
Pedestrian Oriented Commercial Area
- Commercial (Category 1)
Highway Oriented Commercial Area
- Industrial Areas (Category 2)
- High Amenity Areas (Category 3)
- Sensitive Areas (Category 4)
- Interface Areas
- Central Geelong
- Heritage Places
- PAD sites
- Growth Areas
- Major Promotion Signs
- Electronic and Animated Signs

GENERAL GUIDELINES

02

GENERAL

The objectives, strategies and guidelines for apply to all land in the municipality.

Objectives:

- To ensure signs respond to the natural setting and urban context in which they are located.
- To ensure signs do not alter or obscure views to significant natural or built features.
- To ensure signs do not dominate the streetscape, host site or building.
- To ensure that signs do not interfere with movements and viewlines of pedestrians and cyclists, and the safety of roads and railways.
- To facilitate the display of signs for businesses and community groups in order to provide opportunities for identification and promotion where appropriate.

Strategies:

1. Encourage signs to be co-located and consolidated wherever possible, particularly where there is more than one tenancy.
2. Encourage signs that are integrated with and proportionate in height and scale to the host building, site and streetscape.
3. Manage the number and repetition of signs on a single lot and streetscape.
4. Avoid signs that dominate or obscure business identification signs within a site or the surrounding area.
5. Encourage signs to integrate with the architectural or landscape features of the host site or building.
6. Encourage signs that are sensitive to the movement, visibility and functionality of the public realm and infrastructure.

Policy Guidelines:

1. New development should nominate consistent areas for the display of signs for each business tenancy.
2. Encourage the preparation of signage strategies for non-residential proposals with a large floor area or multiple tenancies.
3. Flat signs on building walls should relate to the architecture of the building in style and placement.
4. Encourage use of individual letters as an alternative to large, flat signs on building walls where appropriate.
5. Encourage signs that retains existing trees and introduces new landscaping and vegetation.
6. Reflective signs should be avoided.

COMMERCIAL AREAS

CATEGORY 1

Pedestrian Oriented Commercial Areas

Highway Oriented Commercial Areas

03

CATEGORY 1 COMMERCIAL AREAS

Category 1 areas in Greater Geelong are designated as either a Pedestrian Oriented Commercial Area or Highway Oriented Commercial Area.

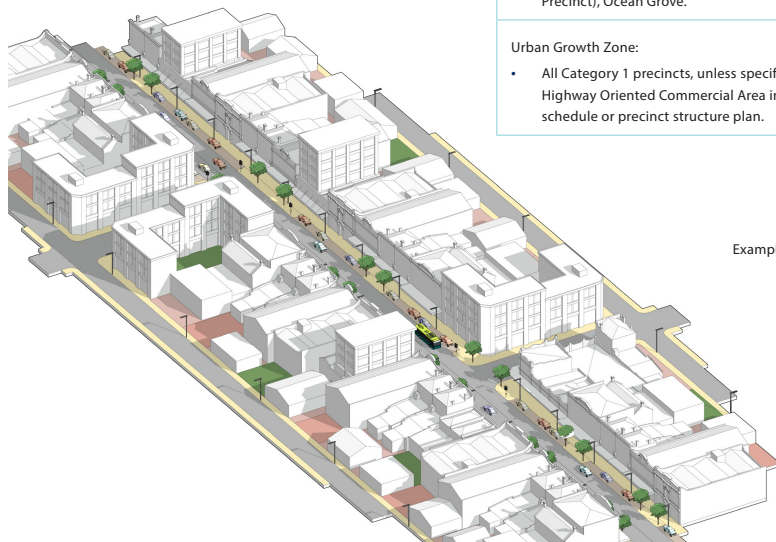
PEDESTRIAN ORIENTED COMMERCIAL AREAS

These areas are typically main streets in suburban areas or town centres, with low vehicle speeds and a walkable environment. The built form in these areas often has the following attributes:

- Zero or a minimal setback from the street, laneway and side boundaries,
- Promotes continuity of the frontage between adjacent buildings,
- Facilitates active pedestrian interaction between the building and street, and
- Incorporates other pedestrian-friendly features such as weather protection.

The objectives, strategies and guidelines for Pedestrian Oriented Commercial Areas apply to land in the following zones:

Commercial 1 Zone (excluding areas listed in Highway Oriented Commercial Areas)
Activity Centre Zone (excluding precinct 3 - Geelong Waterfront)
All land that is in the Commercial 1 or 2 Zone and Design and Development Overlay Schedule 26 (West Fyans Precinct Structure Plan), South Geelong and Newtown.
All land in a commercial zone on Pakington Street (between Church Street and Spring Street) and Gordon Avenue (between Pakington Street and Latrobe Terrace), Geelong West.
Commercial 2 Zone: <ul style="list-style-type: none"> • All lots in the area along Moorabool Street between Fyans Street and Carr Street, South Geelong. • All land that is in both the Commercial 2 Zone and Design and Development Overlay Schedule 39 (Grubb Road Activity Centre And Restricted Retail Precinct), Ocean Grove.
Urban Growth Zone: <ul style="list-style-type: none"> • All Category 1 precincts, unless specified as a Highway Oriented Commercial Area in the zone schedule or precinct structure plan.



Example Pedestrian Oriented Commercial Area

HIGHWAY ORIENTED COMMERCIAL AREAS

These areas are mainly accessed by car and often located on an arterial roads and other higher speed environments. The built form is typically characterised by:

- Substantial setbacks from the street/public realm and adjacent developments without continuity to the streetscape, and
- Large areas of the site often devoted to vehicular access, parking and landscaping to the perimeter of the development.

The objectives, strategies and guidelines for Highway Oriented Commercial Areas apply to land in the following zones:

Commercial 2 Zone (excluding areas listed in Pedestrian Oriented Commercial Areas)
Commercial 1 Zone activity centres as follows (shown in Appendix 1): <ul style="list-style-type: none"> • Wurn Ponds, Pioneer Rd, Grovedale (Wurn Ponds Plaza and 245-253 South Valley Road, Highton) • Corio Village, Bacchus Marsh Rd, Corio • Leopold Gateway Plaza, Bellarine Hwy, Leopold • Barrabool Hills, Provence Bvd, Highton • Bell Post, Anakie Rd, Norlane • Bellarine Village, Bellarine Hwy, Newcomb • Grovedale Central, Heyers Rd, Grovedale • Marketplace, Shell Rd, Ocean Grove • Newcomb Central, Bellarine Hwy, Newcomb • Surf Coast Hwy, Grovedale (142 – 158 Torquay Rd)



Example Highway Oriented Commercial Area

CATEGORY 1 COMMERCIAL AREAS

PEDESTRIAN ORIENTED COMMERCIAL AREAS

Objectives:

- To ensure signs are subordinate and not intrusive to the built form and streetscape environment.
- To protect visibility between the public realm and inside buildings.
- To encourage a signage character that is consistent with a human scale built form and streetscape.
- To maintain open and framed views to the sky from the public realm.
- To avoid signs that compromise the architectural values of buildings and landscape.

Strategies:

- Ensure signs are of a size and height that maintain the built form and streetscape character.
- Discourage any sign that would block a view from the public realm between buildings and to the sky.
- Encourage signs that ensure visibility through building windows to and from the street.
- Avoid freestanding signs, unless the building which it relates to on the site is set back from road more than 20 m.

Policy Guidelines:

Consider as relevant:

- Encourage signs in the locations shown in Figure 1.
- Discourage signs in the locations shown in Figure 2.
- Signs should not exceed a maximum street wall or building height, or encroach an upper level setback, identified in a zone, overlay or schedule.
- Signs should not project more than one metre from the building and not be lower than 2.7 m above a pedestrian thoroughfare.
- Limiting electronic signs to one per building.
- Buildings should not be painted in corporate colours, which is regarded as signage.
- Ground level and parapet are the preferred locations for small illuminated signs (particularly non-flashing, neon tubular art signs) and electronic signs, where appropriate.
- Discourage signs that cover upper level windows or other openings of buildings.
- Minimise signs on back or side walls of buildings, particularly at upper levels.
- Limit total signs for premises with less than 5 metres street frontage to a maximum of 8 square metres.
- Discourage sky signs, high wall signs and bunting signs.

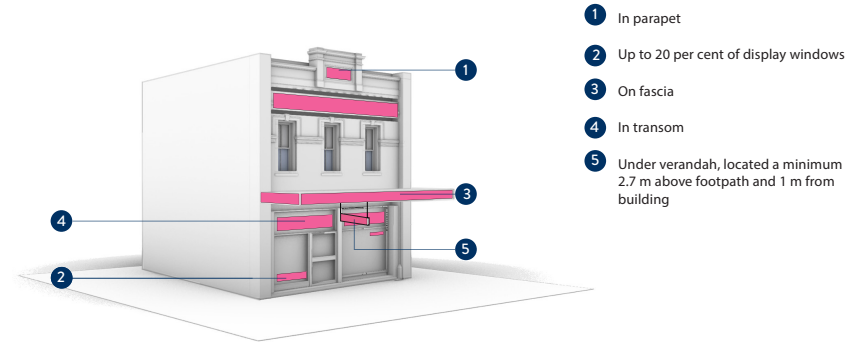


Figure 1 Appropriate Signage Locations in Pedestrian Oriented Commercial Areas

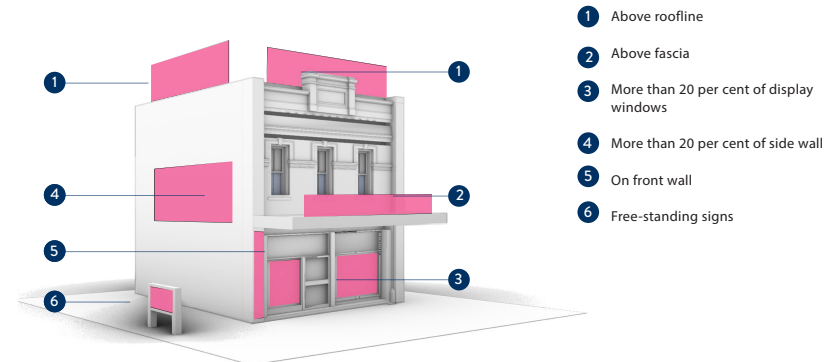


Figure 2 Inappropriate Signage Locations in Pedestrian Oriented Commercial Areas

CATEGORY 1 COMMERCIAL AREAS

HIGHWAY ORIENTED COMMERCIAL AREAS

Objectives:

- To ensure signs are subordinate to the built form and landscape context in which it is located.
- To provide for the clear identification of premises.
- To discourage signs that interfere with the functionality of a site.

Policy Guidelines:

- Encourage signs in the locations shown in Figure 3.
- Discourage signs in the locations shown in Figure 4.
- Incorporate areas for the display of signs for each business tenancy within the building design.
- Minimise the number of businesses identified on freestanding signs for multi-tenanted development.
- Discourage freestanding signs unless there is no opportunity for signs to be incorporated into buildings, or the building which it relates to on the site is set back from road more than 20 m.
- Freestanding business identification signs should:
 - Be placed at a right (90 degree) angle to sensitive interfaces (such as open space and residential areas)
 - Not protrude over a dominant skyline, including buildings, structures and tree canopies, when viewed from the ground within 1 km.
 - Be less than the height of the building to which it relates, excluding parapets, or 7 m, whichever is lesser.
 - For sites with one street frontage, be restricted to one sign per premises.
 - For sites with more than one street frontage and the frontages are both greater than 150 m long and each have access to a road, be limited to a total of two freestanding signs, with not more than one sign on each frontage.
 - Be spaced and set back from the street consistently with the prevailing spacing and setbacks in the streetscape.
- Discourage sky signs, high wall signs and bunting

Strategies:

- Avoid oversized and excessive numbers of signs.
- Avoid signs that interfere with pedestrian or vehicular thoroughfares or business entrances.
- Avoid signs that result in loss of amenity or adversely affect the natural or built environment, or the safety, appearance or efficiency of a road or rail corridor.

- Parapet
- Fascia
- Transom
- Up to 20 per cent of display windows
- Signage integrated into the building
- If building is set back from street by more than 20 metres appropriately scaled freestanding signage may be considered

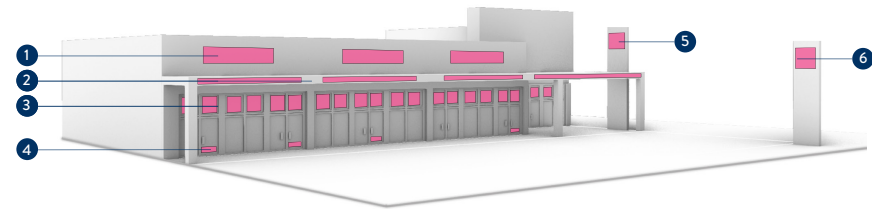


Figure 3 Appropriate Signage Locations in Highway Oriented Commercial Areas

- Above roofline
- Above parapet
- Above fascia
- More than 20 per cent of display windows
- Taller than building
- More than 20 per cent of side wall

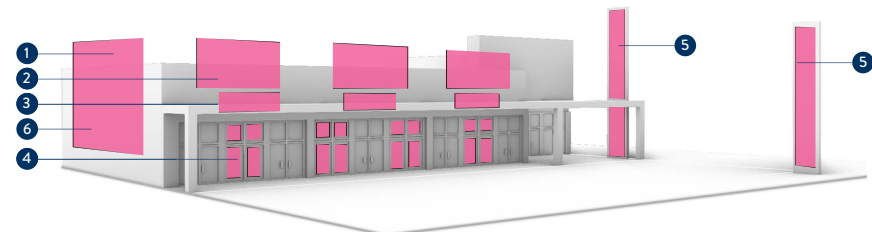


Figure 4 Inappropriate Signage Locations in Highway Oriented Commercial Areas

INDUSTRIAL AREAS

CATEGORY 2

04

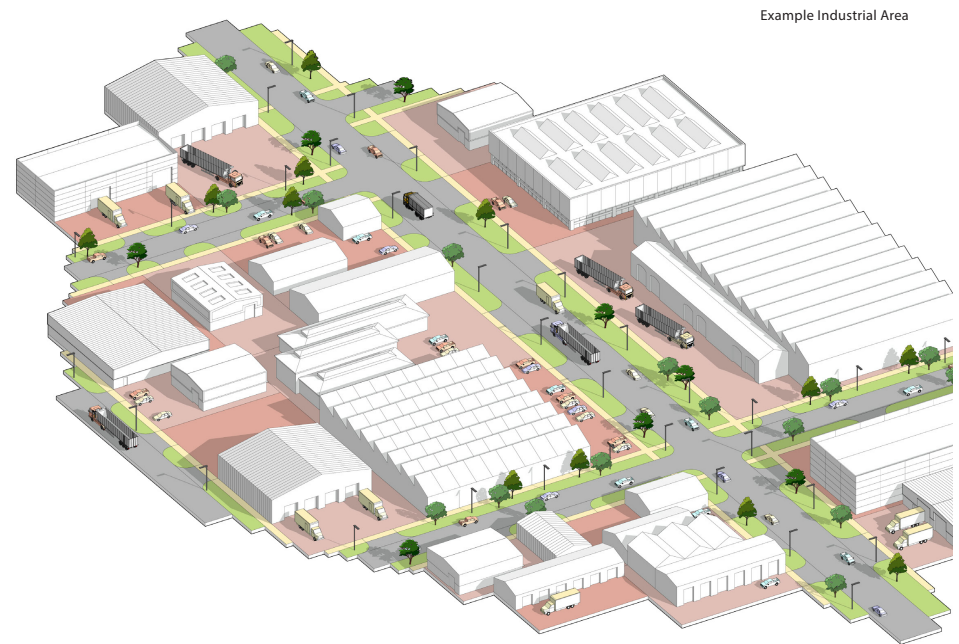
CATEGORY 2 INDUSTRIAL AREAS

The following objectives, strategies and guidelines apply to land in the following zones:

Industrial zone, Port Zone and, where nominated, in schedules to the Special Use Zone, Urban Growth Zone and Public Park and Recreation Zone (the sports stadium at Kardinia Park).

Objectives:

- To provide for the adequate identification of premises.
- To ensure signs are subordinate to the built form and landscape context in which it is located.
- To discourage signs that interfere with the functionality of a site.



Example Industrial Area

Strategies:

1. Ensure signs respect the built form and the landscape context, and is not the dominant feature.
2. Incorporate areas for the display of signs for each business tenancy within the building design.
3. Limit freestanding signs.
4. Avoid signs that interfere with pedestrian or vehicular thoroughfares or business entrances.
5. Avoid signs that have an adverse effect on the safety, appearance and efficiency of a road.

Policy Guidelines:

1. Encourage signs in the locations shown in Figure 5.
2. Discourage signs in the locations shown in Figure 6.
3. Freestanding business identification signs should:
 - Be placed at a right (90 degree) angle to sensitive interfaces (such as open space and residential areas)
 - Not protrude over a dominant skyline, including buildings, structures and tree canopies, when viewed from the ground within 1 km.
 - Not exceed the dominant existing building height of an area.
 - For sites with one street frontage, be restricted to one sign per premises.
 - For sites with more than one street frontage and the frontages are both greater than 150 m long and each have access to a road, be limited to a total of two freestanding signs, with not more than one sign on each frontage.
 - Be spaced and set back from the street consistently with the prevailing spacing and setbacks in the streetscape.

- 1 Up to 20 per cent of front facade
- 2 Up to 20 per cent of window
- 3 If building is set back from street by more than more than 20 m, appropriately scaled freestanding signage may be considered

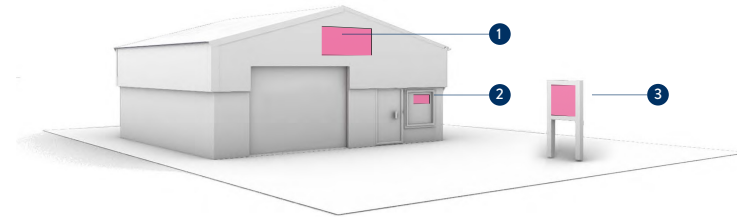


Figure 5 Appropriate Signage Locations in Industrial Areas

- 1 Above roofline
- 2 More than 20 per cent of side wall or front facade
- 3 Large freestanding signs
- 4 More than 20 per cent of window

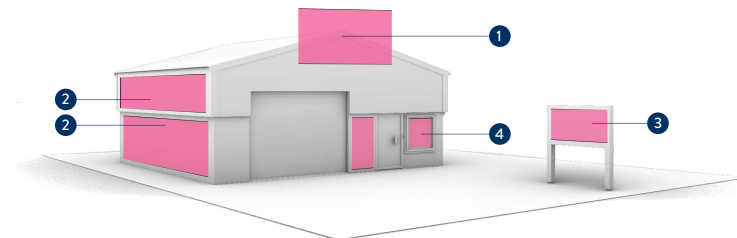


Figure 6 Inappropriate Signage Locations in Industrial Areas

HIGH AMENITY AREAS

CATEGORY 3

05

CATEGORY 3 HIGH AMENITY AREAS

Note: For an application for estate promotional signs (a sign that promotes the sale of land or dwellings, whether or not the sign is located on the land for sale) in a Growth Area, these guidelines do not apply. Instead refer to Chapter 11 Growth Areas.

The following objectives, strategies and guidelines apply to land in the following zones:

- Residential zones,
- Rural Living Zone,
- Mixed Use, Special Use and Comprehensive Development zones, other than those in which the schedule to the zone specifies a different category,
- Central Geelong Waterfront (Activity Centre Zone schedule),
- Precinct 5 of the Armstrong Creek Town Centre (Urban Growth Zone, schedule 5), and
- Ocean Grove Park (Public Park and Recreation Zone).

Objectives:

- To protect the character of residential and other high amenity areas.



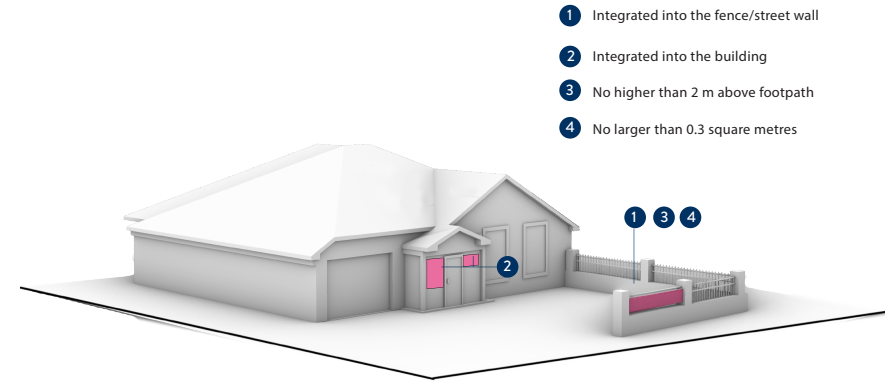
Example High Amenity Area

Strategies:

1. Ensure signs are appropriately scaled to the host site and building as well as the surrounding built form character.
2. Ensure signs do not dominate the streetscape.
3. Encourage signs that are fully integrated into the built form of either the building or front fence.
4. Discourage illuminated, floodlit, animated, electronic and reflective signs, unless there is no adverse impact upon high amenity or sensitive land uses.
5. Minimise the number of signs on any one property necessary to identify the premises.
6. Avoid signs that obscure views through building windows to and from the street.
7. Avoid signs that have a detrimental impact on access to daylight or sunlight, including perception of light and shadow, or overshadowing of any sensitive space (including footpaths, public and private open space, windows) at any time of year.
8. Minimise signs that do not relate to the site on which they are located.

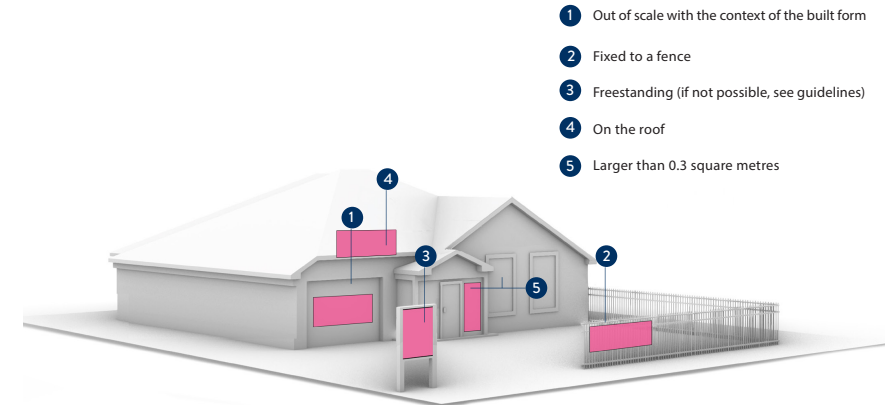
Policy Guidelines:

1. Encourage signs in the locations shown in Figure 7.
2. Discourage signs in the locations shown in Figure 8.
3. Where possible, consolidate the number of signs for businesses on a lot to a single sign only
4. If there are no options for integrating signs into the built form (including fence) and it must be freestanding the signs should be:
 - Placed at a right (90 degree) angle to sensitive interfaces (such as open space and dwellings)
 - Located in the front setback of the building
 - Located on the street frontage with the greatest amount of traffic, if the site has more than one street frontage.
 - No higher than 2 m above footpath level
 - Incorporated into the landscape treatment
5. Illuminated signs should be located, baffled and the level of illumination controlled to ensure there is no spill of light beyond the area of the sign.



- 1 Integrated into the fence/street wall
- 2 Integrated into the building
- 3 No higher than 2 m above footpath
- 4 No larger than 0.3 square metres

Figure 7 Appropriate Signage Locations in High Amenity Areas



- 1 Out of scale with the context of the built form
- 2 Fixed to a fence
- 3 Freestanding (if not possible, see guidelines)
- 4 On the roof
- 5 Larger than 0.3 square metres

Figure 8 Inappropriate Signage Locations in High Amenity Areas

SENSITIVE AREAS

CATEGORY 4

06

CATEGORY 4 SENSITIVE AREAS

The following objectives, strategies and guidelines apply to land in the following zones:

Rural and public land zones,

Urban Floodway Zone is included in this category, and

Schedules 1, 5 and 13 of the Special Use Zone.

Objectives:

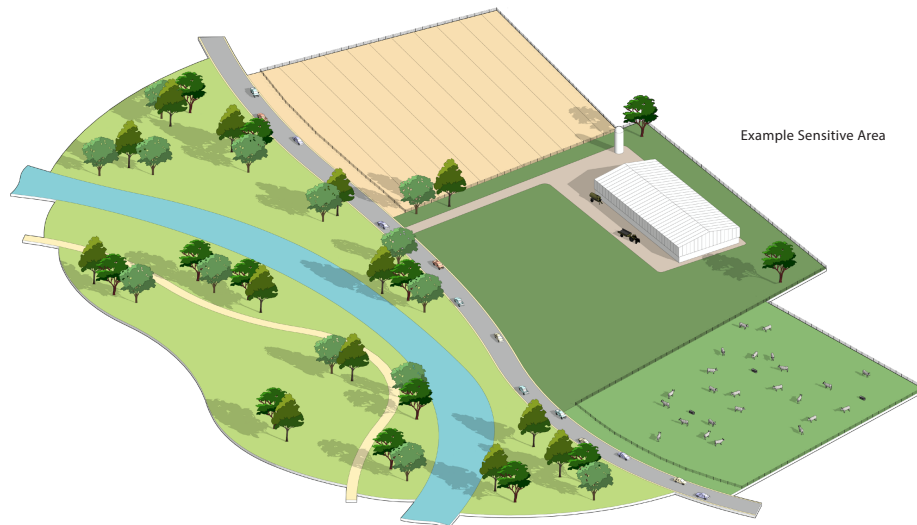
- To ensure that signs do not have a physical effect on the surrounding landscape in public spaces, rural environments and natural environments.
- To discourage signs that dominate the surrounding landscape.
- To minimise the number of signs in sensitive areas.
- To avoid the intrusive effects of illuminated signs

Strategies:

1. Ensure that signs in rural or natural areas are sympathetic in scale and form to rural and coastal landscapes, environmental features, view corridors and vistas.
2. Ensure that the physical effects of signs do not include overshadowing, blocking of daylight/sunlight or interfere with the existing perception of light or shadow.
3. Restrict the number of signs on any one property to a single sign.

Policy Guidelines:

1. Signs should be of a low height and scale and not stand out above the horizon.
2. Business identification signs should be limited to one per site.
3. Signs should be:
 - Attached to a fence or freestanding, located near the front of the site
 - No more than 2 m above ground height, and
 - Incorporated into landscape treatment along the boundary of the property.
4. Colours used in any signs should be compatible with the surrounding landscape



INTERFACE AREAS

SIGNS IN A COMMERCIAL OR INDUSTRIAL AREA,
WHICH ARE ADJOINING OR OPPOSITE A HIGH
AMENITY OR SENSITIVE AREA.

07

INTERFACE AREAS

The following objectives, strategies and guidelines apply to:

Proposals for signs on land within a Category 1 or 2 area, which are adjoining or opposite land in a Category 3 or 4 area.

Objectives:

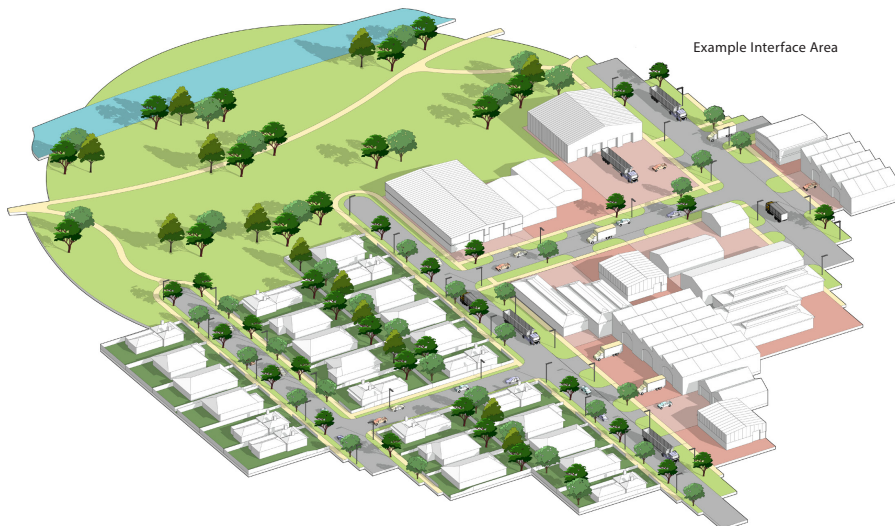
- To ensure signs in commercial and industrial areas do not have a detrimental impact on High Amenity and Sensitive areas.

Strategies:

- Signs should not dominate the outlook from or result in increased illumination to adjoining landscapes, passive open space or nearby dwellings.
- Ensure signs do not have a detrimental impact on access to daylight or sunlight, including perception of light and shadow, or overshadowing of any sensitive space (including footpaths, public and private open space, windows) at any time of the year.
- Ensure signs near rural areas are sympathetic in scale and do not dominate any landscape, coastal or environmental features, view corridors or vistas.
- Discourage the use of floodlit signs and ensure that they are primarily directed away from visually sensitive areas.
- Illuminated signs should be limited near residential areas, open space and other sensitive interfaces.

Policy Guidelines:

- Limit the number of signs on any one property that are visible from the High Amenity or Sensitive area to the minimum number necessary to identify the premises.
- Sign colours should be compatible with surrounding landscape.
- Illuminated signs should be located, baffled and the level of illumination controlled to ensure there is no unreasonable spill of light beyond the area of the sign or loss of amenity.
- Discourage internally illuminated panels and boxes on or above verandah level.



CENTRAL GEELONG

ACTIVITY CENTRE ZONE (SCHEDULE 1) AND DESIGN
AND DEVELOPMENT OVERLAY (SCHEDULES 17 AND 46)

08

CENTRAL GEELONG

The objectives, strategies and guidelines apply to:

- All land within the Activity Centre Zone (schedule 1) and Design and Development Overlay (schedules 17 and 46)

Objectives

- To ensure that signs do not impact opportunities to view the wider geographic setting from within Central Geelong.
- To ensure signs respond to their built form context and contribute to an undulating city skyline that tapers down to the Geelong waterfront and the edges of the Activity Centre.
- To ensure that signs are visually subordinate to the architectural and built form elements, particularly at a pedestrian level.
- To encourage signs that are compatible with the objectives of the precinct in which they are located, as described in the zone or overlay schedule.
- To maintain shared access to bay views.
- To protect the heritage built form, character and scenic qualities along and fronting the Waterfront precinct.

Strategies

- Protect views to Corio Bay, the You Yangs/Wurdi Youang beyond and church spires, particularly from buildings and along key north-south street corridors identified in schedule 1 to Clause 37.08 (Activity Centre Zone) and schedule 46 to Clause 43.02 (Design and Development Overlay).
- Protect and enhance the undulating skyline of Central Geelong and key views of the city from Cunningham Pier, Corio Bay, the Esplanade and from neighbouring suburbs to the east, south and west.
- Ensure signs do not have a detrimental impact on access to daylight or sunlight, including perception of light and shadow, or overshadowing of any sensitive space (including footpaths, public and private open space, windows) at any time of the year.
- Ensure signs do not obscure views to the sky, landmarks and other views and vistas between buildings from the street.
- Encourage signs in the Retail Core Precinct that complement or enhances the character of the area.
- Discourage sky signs unless they replace lawfully existing sign(s) and improve the amenity of an area or appearance of the host building and streetscape.
- Discourage freestanding major promotion signs.
- Discourage promotion signs in the cultural precinct that are unrelated to the key arts, culture or education functions of this district.
- Discourage signs located above seven storeys height.
- Manage overall signs in the area between Malop Street, Yarra Street, Ryrie Street and Moorabool Streets.

Policy Guidelines

- Discourage signs between buildings (Figure 10).
- Major promotion signs in Central Geelong should be located only where they abut Ryrie Street, Moorabool Street, Gheringhap Street, Malop Street, Latrobe Terrace.
- Major promotion signs should not be:
 - Located in the Waterfront, West Village, York and Station precincts,
 - Located or protrude above an established building line or parapet or above seven storeys above ground level
- Signs in laneways and narrow streets should be of human scale, aimed at pedestrians and located below verandah level.
- Signs should not project more than 1 m from wall face of the host building.
- Signs should retain any prominent architectural features as the dominant visual elements at a pedestrian level.
- Encourage signs that activate existing blank walls or garage doors (longer than 3 m) in laneways at street level, where appropriate.
- Minimise signs on elevations in areas surrounding the Waterfront Precinct that would be visible from the Waterfront Precinct.

1 Discourage signs between buildings

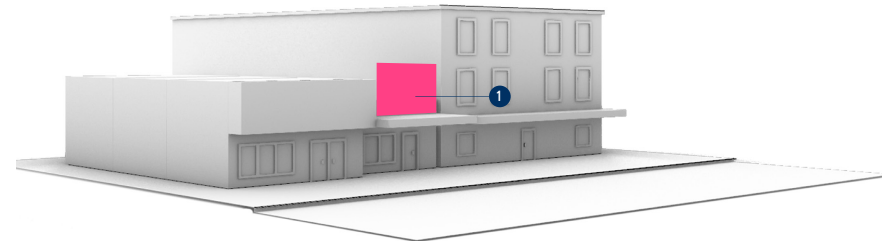


Figure 10 Inappropriate sign between buildings

HERITAGE PLACES

09

HERITAGE PLACES

The objectives, strategies and guidelines apply when a permit is required under the Heritage Overlay. They must be read in addition to the requirements of the overlay.

Objectives:

- To ensure that the heritage value and significance of a building or place is not diminished by signs.
- To ensure illuminated or electronic signs are appropriate and responsive to the heritage area or heritage building.
- To encourage the retention of signs with heritage value.

Strategies:

1. Ensure signs are of a size and height that is subordinate to the heritage character and will not detract from the heritage qualities and integrity of the buildings.
2. Ensure new signs preserve the architectural features of the building or site to remain the dominant feature.
3. Discourage mock heritage sign design.
4. Restrict the removal or alteration of signs with heritage value.
5. Restrict the use of electronic signs in heritage places.
6. Avoid signs which physically damage the heritage fabric.
7. Avoid signs that conceal specific building features or historic painted signs.

Policy Guidelines:

1. Use clear, simple lettering styles with not more than two type faces.
2. Buildings should not be painted in corporate colours, which is regarded as signage.
3. Promote the use individual letters instead of large, flat rectangular signs.
4. Ensure that the erection, display and removal of signs does not damage any part of the significant building fabric both during and after any works.
5. Encourage signs to only be located on the parts of a building which were traditionally used as advertising areas - in parapet frame, on fascia, or below verandah.
6. Encourage innovative illuminated signs where appropriate, such as back-lit individually illuminated letters.
7. Encourage new signs associated with heritage places that are in keeping with historical signs in terms of size and proportion.
8. Discourage internally illuminated panels and boxes on or above verandah level.
9. Avoid signs in excessively bright colours.
10. Avoid sky signs and bunting signs.

PAD SITES

FREESTANDING SERVICE STATIONS, RETAIL PREMISES,
FREEWAY SERVICE CENTRES, MEDICAL CENTRES AND
VETERINARY CENTRES.

10

PAD SITES

PAD sites are locations for freestanding commercial buildings, which are typically based on access by car. Parking is generally provided onsite with direct access to a road. They are often located on prominent corner sites and/or on freeways, highways and main roads. Common examples are service stations and drive through convenience restaurants.

Development (or redevelopment) of pad sites often requires a package of signs as part of a planning permit application for use and development.

The following objectives, strategies and guidelines apply to:

Freestanding service stations, retail premises, freeway service centres, medical centres and veterinary centres.

Objectives:

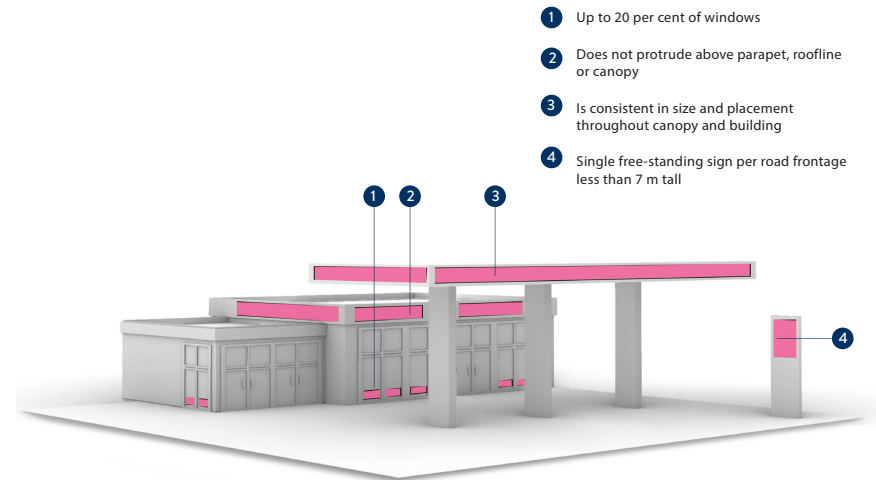
- To encourage signs that respect the character and amenity of the surrounding area
- To minimise the number and size of signs to what is necessary to identify the use and function of the site.

Strategies:

- Ensure signs are entirely integrated into the design of the built form and architecture.
- Discourage signs other than business identification signs.
- Limit use of corporate colours, which is regarded as signage.
- Strongly discourage bunting signs.

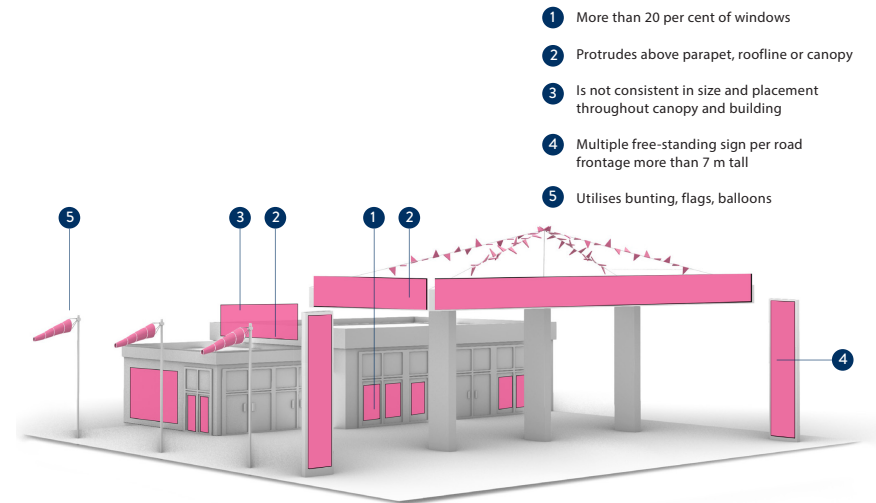
Policy Guidelines:

- Encourage signs in the locations shown in Figure 11.
- Discourage signs in the locations shown in Figure 12.
- Freestanding business identification signs should:
 - Be limited to one sign per road frontage.
 - Be less than the height of the building to which it relates, excluding parapets, or 7 m, whichever is lesser.
 - Be incorporated into landscaping treatment.
 - Not have adverse impacts upon residential amenity.
- Directional signs for a pad site should:
 - Be limited to one per road entry point.
 - Not exceed 0.3 square metres in size.



- Up to 20 per cent of windows
- Does not protrude above parapet, roofline or canopy
- Is consistent in size and placement throughout canopy and building
- Single free-standing sign per road frontage less than 7 m tall

Figure 11 Appropriate Signage Locations on PAD Sites



- More than 20 per cent of windows
- Protrudes above parapet, roofline or canopy
- Is not consistent in size and placement throughout canopy and building
- Multiple free-standing sign per road frontage more than 7 m tall
- Utilises bunting, flags, balloons

Figure 12 Inappropriate Signage Locations on PAD Sites

GROWTH AREAS

GREENFIELD AND LARGE INFILL DEVELOPMENT AREAS

11

GROWTH AREAS

The following objectives, strategies and guidelines apply to:

Greenfield and large infill development areas, generally included in the Urban Growth Zone, Development Plan Overlay, Design and Development Overlay.

The term 'estate promotional signs' refers to a sign that promotes the sale of land or dwellings, whether or not the sign is located on the land for sale.

Objectives:

- To appropriately manage the visual impact of signs in areas of new development and to avoid unreasonable visual clutter.

Strategies:

1. Encourage a precinct or whole-of-estate approach to subdivision and new estate signs.

Policy Guidelines:

Consider as relevant:

1. Providing a minimum of 150 metres between onsite estate promotion signs on the same road.
2. Limiting offsite estate promotional signs to:
 - Within 5 kilometres of the estate
 - 4 signs per estate
 - a minimum 250 metres between each sign
3. Limiting the display of estate promotion signs for 5 years or until the last lot is sold, whichever is the earlier.

MAJOR PROMOTION SIGNS

12

MAJOR PROMOTION SIGNS

The following objectives, strategies and guidelines apply to:

- Major promotional signs as defined in the planning scheme.

Objectives:

- To ensure major promotion signs respect the scale and form of their built form and landscape context.
- To discourage major promotion signs in inappropriate locations.
- To avoid major promotion signs that adversely affect the character, amenity and functionality of a site or area.
- To avoid major promotion signs that dominate the surrounding area

Strategies:

- Encourage the provision of architectural interest in the design of major promotion signs.
- Ensure major promotion signs are not located in, overshadow or result in loss of amenity to usable areas of the host site or adjoining land.
- Ensure major promotion signs are spaced at a sufficient distance apart.
- Avoid major promotion signs that dominate buildings and uses on the host site and adjoining land.
- Avoid major promotion signs in land near sensitive interfaces including river corridors, passive open space and residential areas, particularly where it will form part of the skyline when viewed from these areas.

Policy Guidelines:

Consider as relevant:

- Providing a minimum 1 kilometre separation between major promotion signs on the same road
- Discourage major promotion signs that would restrict the development of a site or conflict with an identified strategic development objective.
- Discourage 'pop out' elements.
- Discourage more than one major promotion sign at any intersection.
- Limiting major promotion signs on walls to:
 - 20 per cent of the wall area
 - A maximum area of 25 square metres

ELECTRONIC AND ANIMATED SIGNS

13

ELECTRONIC AND ANIMATED SIGNS

The following objectives, strategies and guidelines apply to:

- Electronic and animated signs as defined in the planning scheme.

Objectives:

- To encourage electronic and animated signs in appropriate locations that add vitality and light to a commercial or industrial area.
- To avoid electronic and animated signs that unreasonably affect the amenity of a site or area.
- To avoid electronic and animated signs that may have an adverse effect on road or rail safety.

Strategies:

1. Avoid electronic and animated signs that will result in unreasonable light spill, glare, disturbance, intrusion or other detrimental effects on the amenity of surrounding rural or residential areas or public open space.
2. Encourage animated signs (including digital media, holographic, 3D and projections) to activate public places.
3. Ensure electronic and animated signs prioritise road and rail safety.

Policy Guidelines:

Consider as relevant:

1. Control electronic and animated signs to have appropriate levels of illumination responsive to sunlight, weather conditions and time of day.
2. Limit the number of electronic signs to one per premises.
3. Discourage electronic signs that face a residential area, passive open space or other sensitive interfaces.

CITY OF GREATER GEELONG


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CUSTOMER SERVICE CENTRE

100 Brougham Street
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APPENDIX 1:

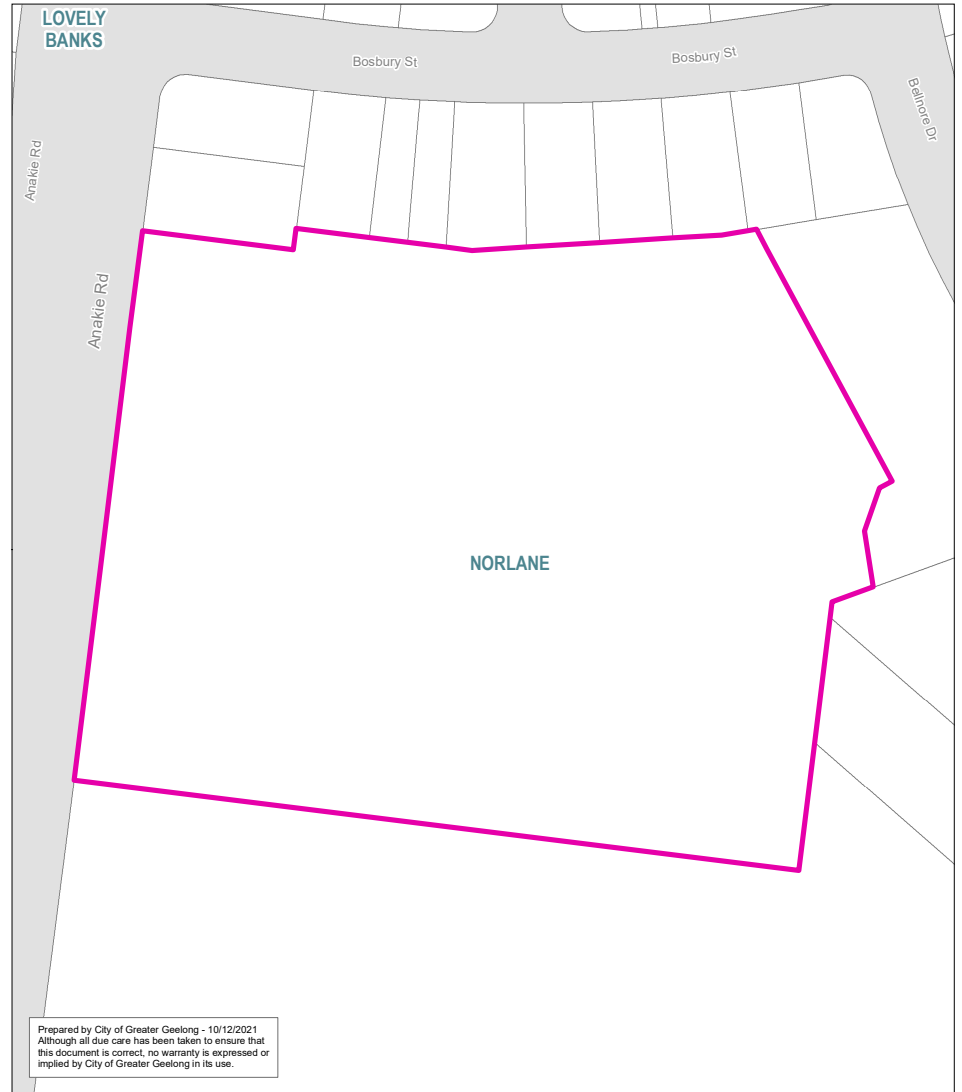
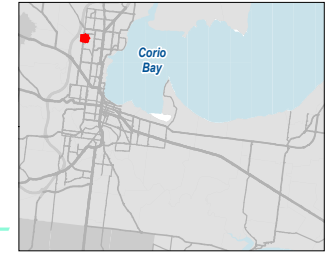
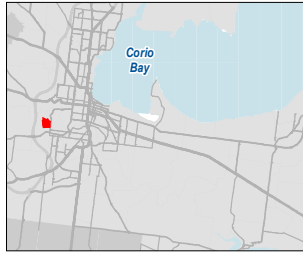
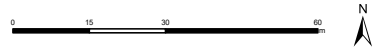
MAPS OF HIGHWAY ORIENTED COMMERCIAL AREAS IN THE COMMERCIAL 1 ZONE

BARRABOOL HILLS, PROVENCE BVD, HIGHTON

BELL POST, ANAKIE RD, NORLANE

 Activity Centre Boundary


 Activity Centre Boundary

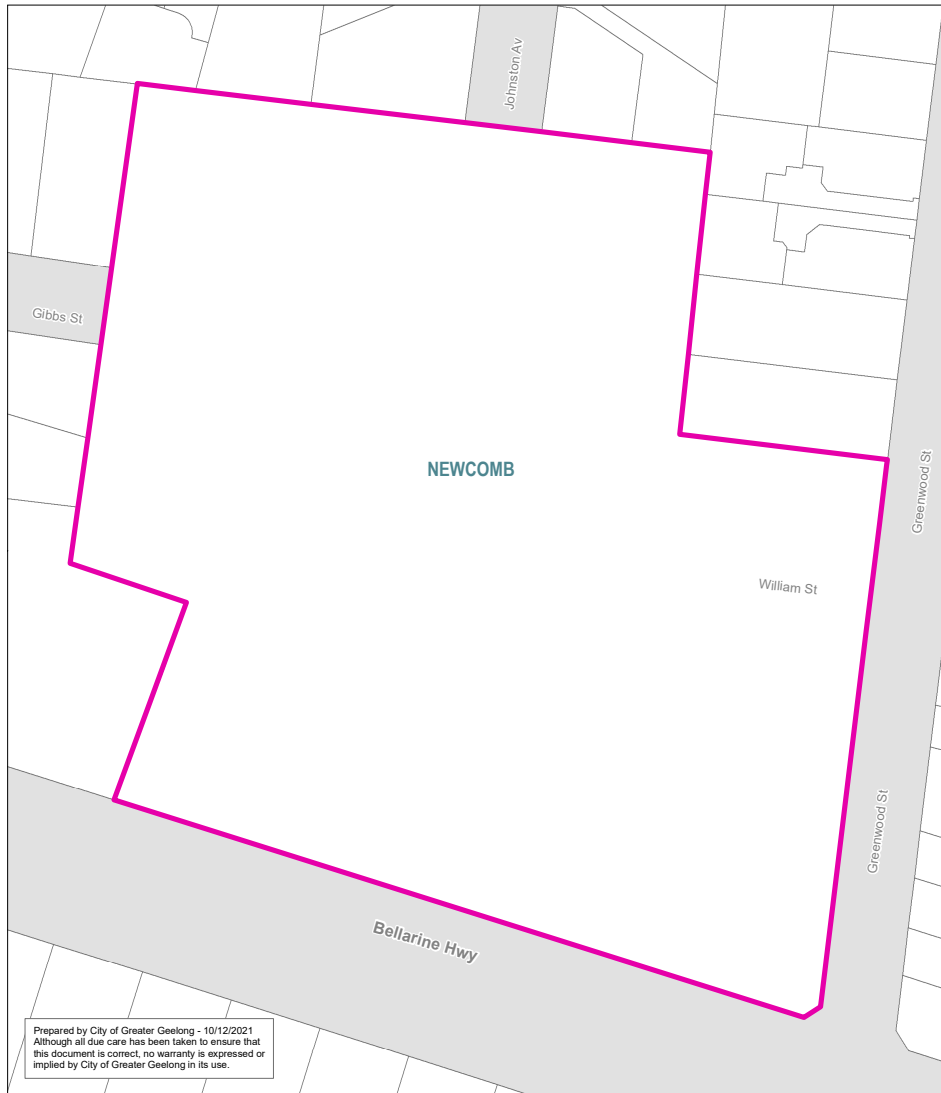
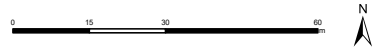


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BELLARINE VILLAGE, BELLARINE HWY, NEWCOMB

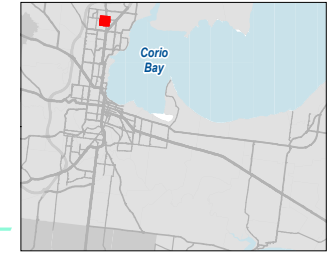
 Activity Centre Boundary



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CORIO VILLAGE, BACCHUS MARSH RD, CORIO

 Activity Centre Boundary



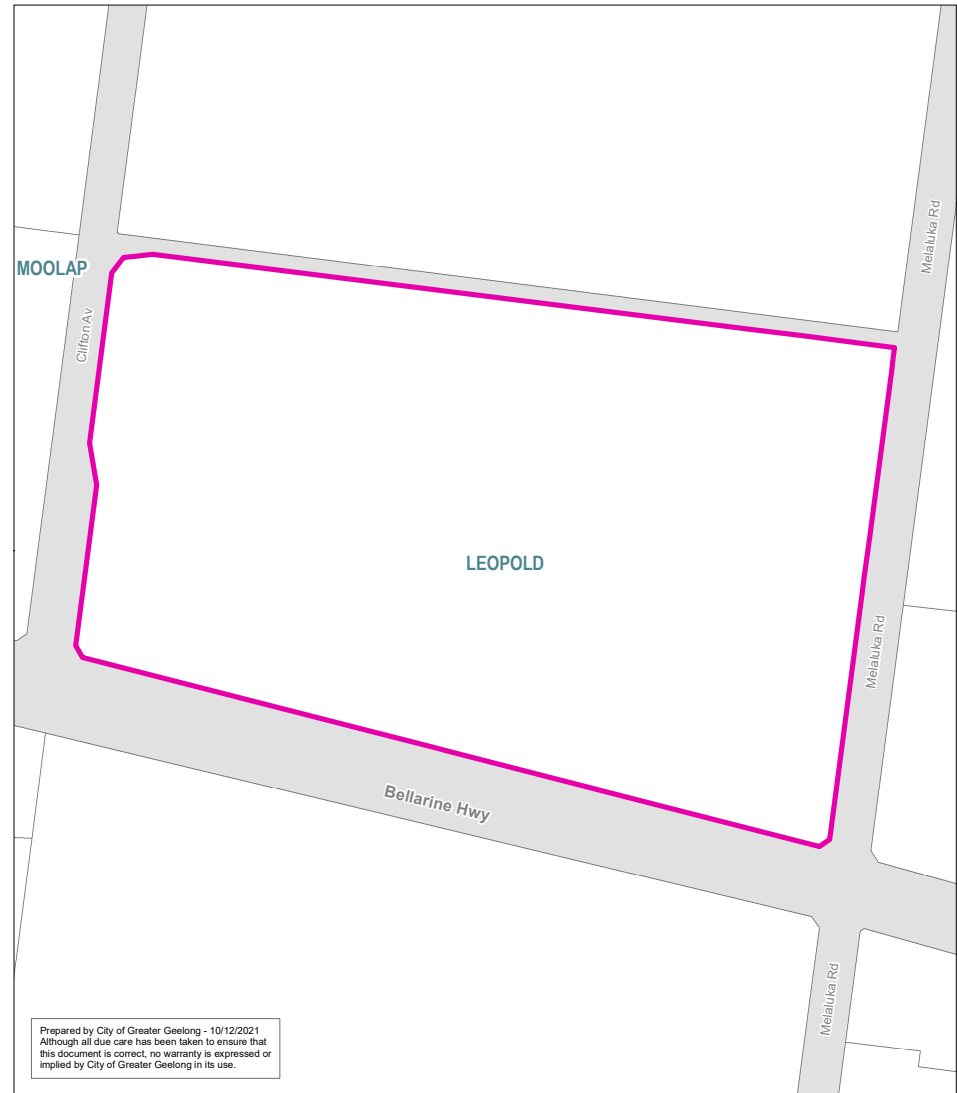
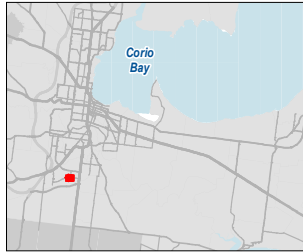
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GROVEDALE CENTRAL, HEYERS RD, GROVEDALE

LEOPOLD GATEWAY PLAZA, BELLARINE HWY, LEOPOLD

Activity Centre Boundary


Activity Centre Boundary

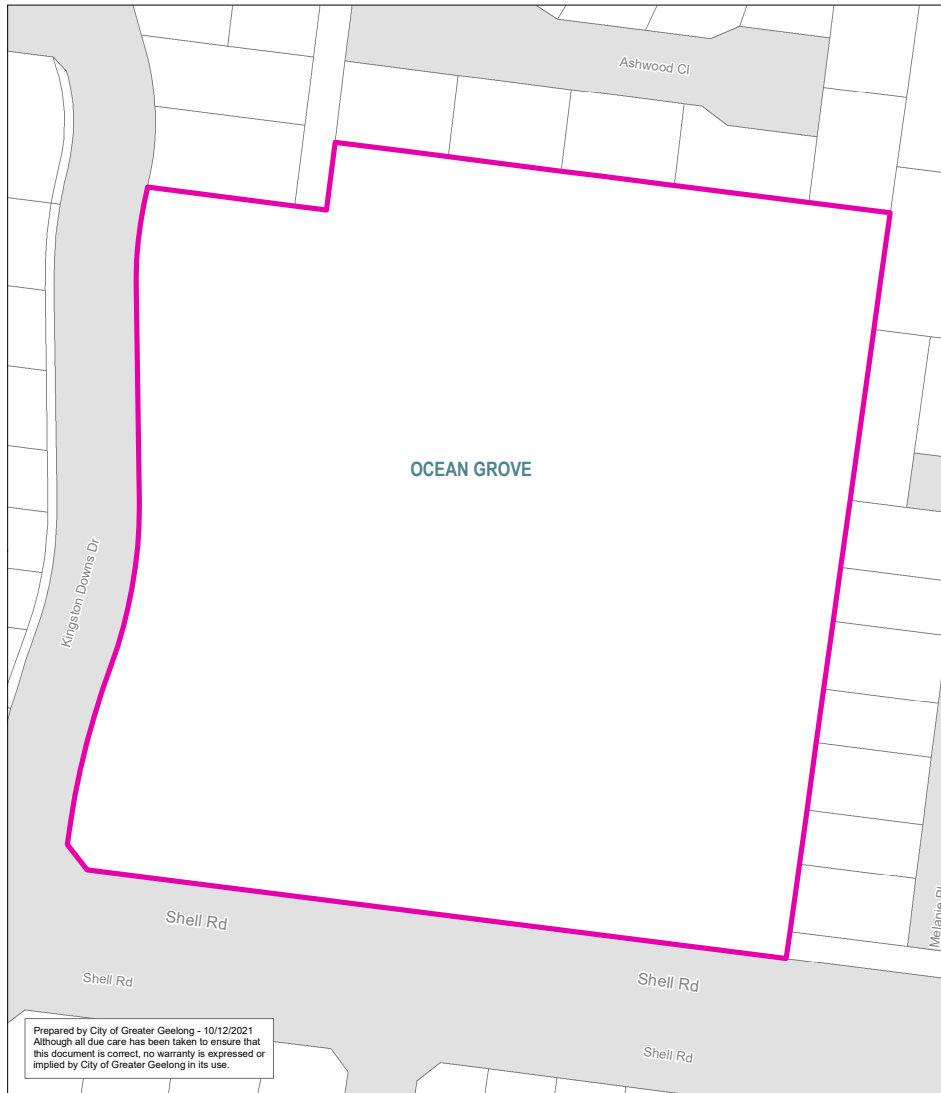
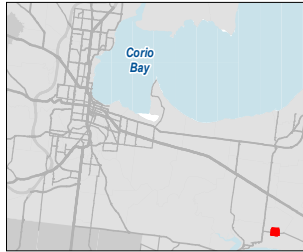


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MARKETPLACE, SHELL RD, OCEAN GROVE

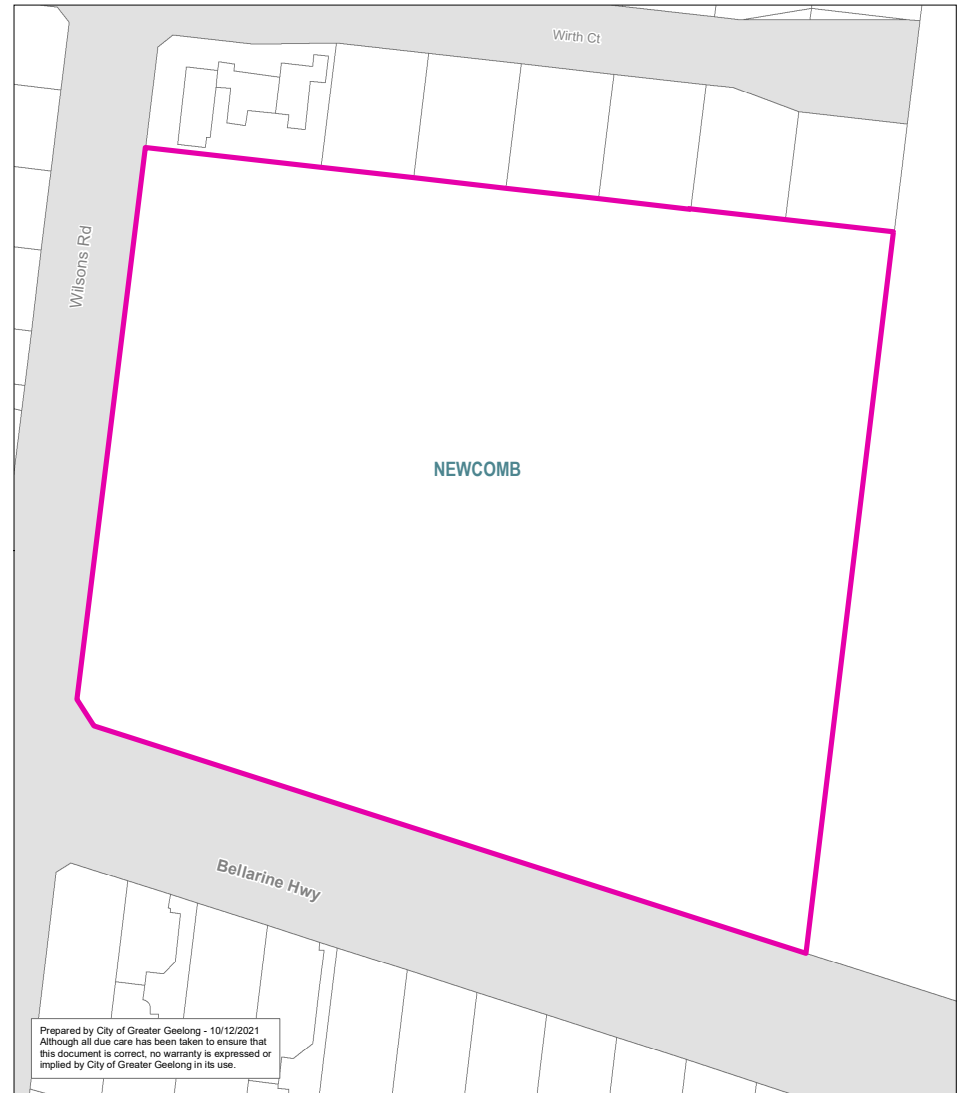
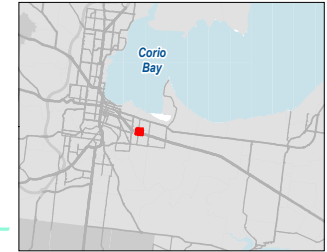
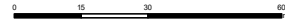
 Activity Centre Boundary



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NEWCOMB CENTRAL, BELLARINE HWY, NEWCOMB

 Activity Centre Boundary



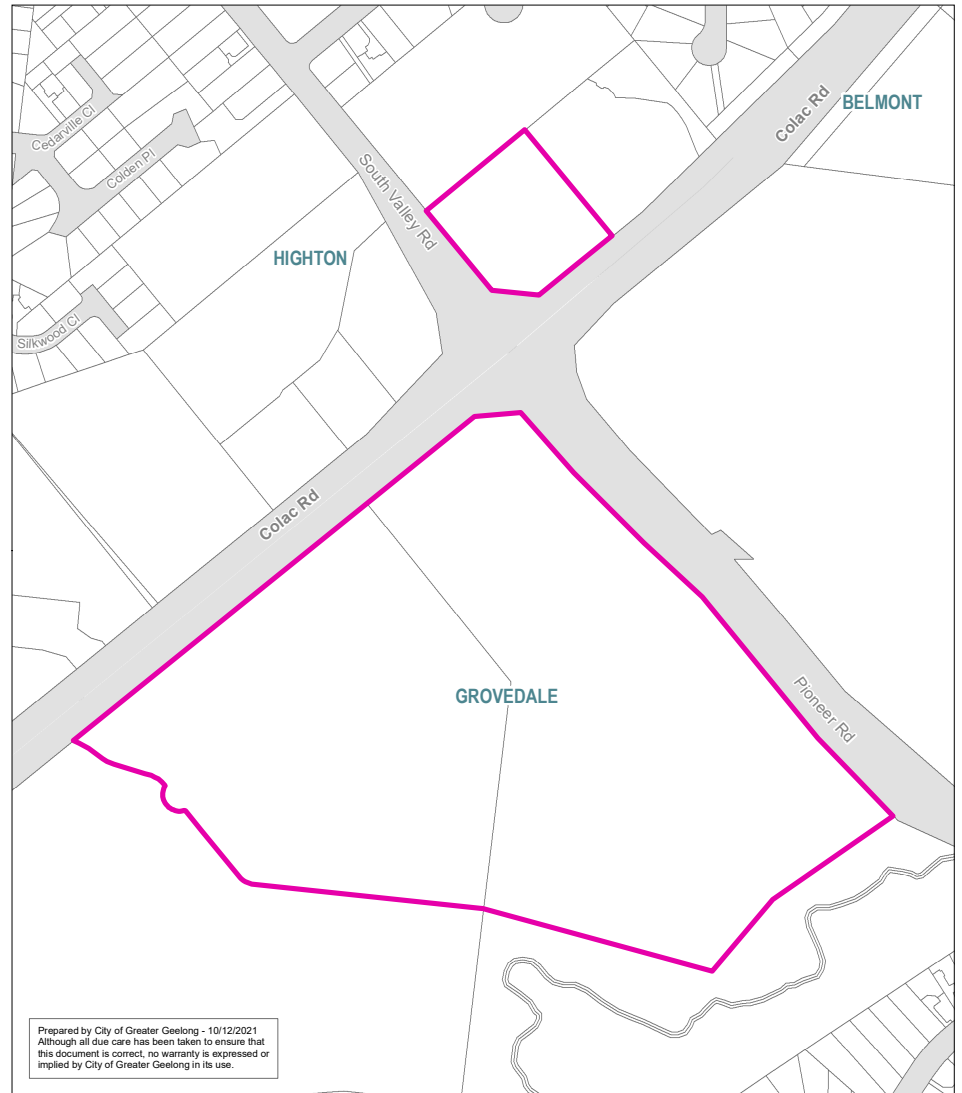
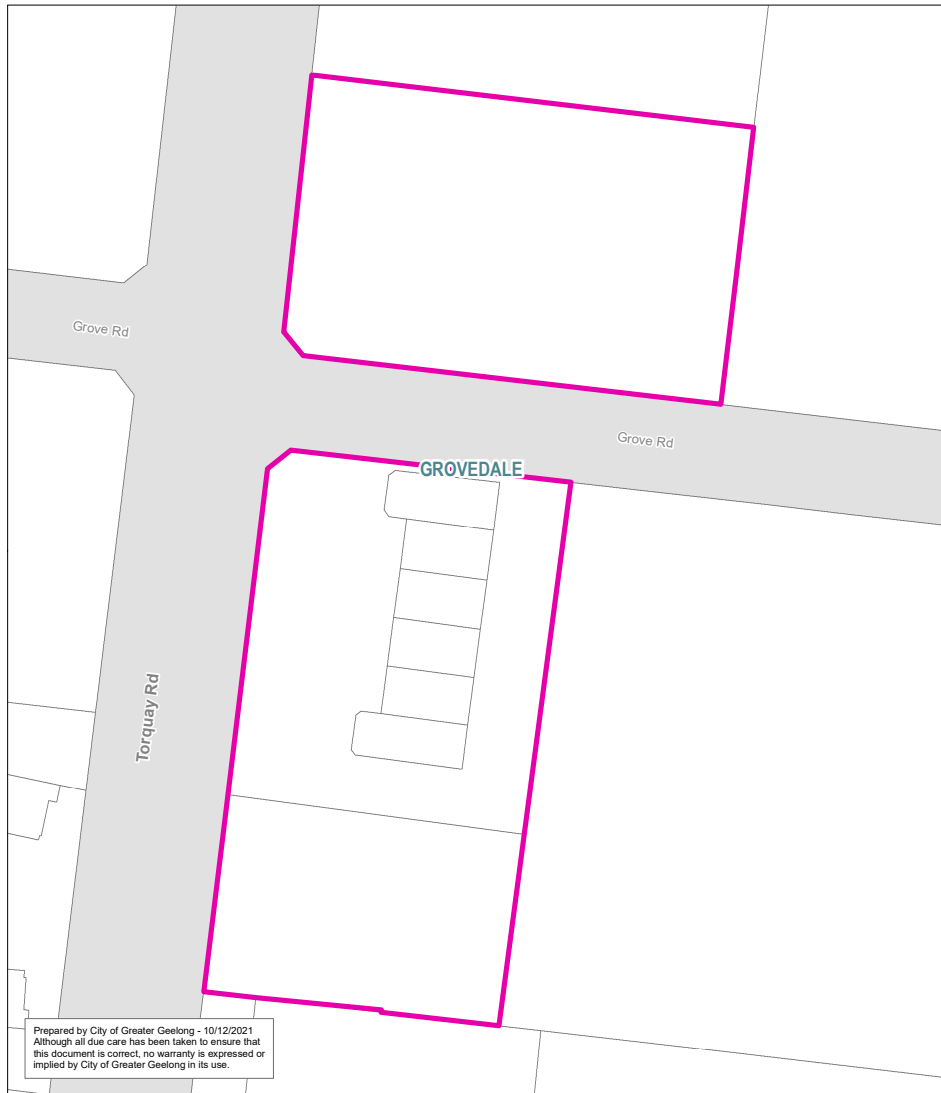
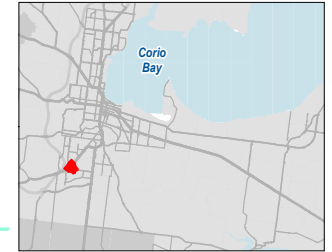
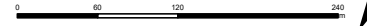
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SURF COAST HWY, GROVEDALE (142-158 TORQUAY RD)

WAURN PONDS, PIONEER RD, GROVEDALE

Activity Centre Boundary

Activity Centre Boundary



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THE CITY OF
GREATER GEELONG

ADVERTISING SIGN GUIDELINES REVIEW

ISSUES AND OPTIONS PAPER

CONTENTS

ACKNOWLEDGEMENT OF COUNTRY

The City of Greater Geelong acknowledges the Wadawurrung People as the Traditional Owners of this Land, Waterways and Skies.

It also acknowledges all Aboriginal and Torres Strait Islander People who are part of the Greater Geelong community today.

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Purpose	5
Policy and Statutory Context	6
Issues	9
Options	20
Recommendations	22

EXECUTIVE SUMMARY

The issues and recommendations of this review have focussed on the impacts of advertising signs, grouped into areas where they most commonly occur. The areas identified are as follows:

- Central Geelong
- Pedestrian oriented commercial areas
- Highway oriented commercial areas
- Industrial areas
- Heritage places
- Open space
- Residential areas
- Growth areas
- Major promotion signs

Some issues common across all areas are also identified, which are:

- Visual clutter resulting from excessive numbers and sizes of signs, as well as their placement (such as where they block out a competing sign).
- Impacts on buildings, particularly where signage is not in proportion to the building or alters or obscures architectural features.
- Impacts on the area, such as from signs that are of a size or height that dominate the built form character and streetscape.
- Signs that obscure or dominate views or vistas to significant natural or man-made features, as well as to the sky or between buildings from public places (such as the street or parks).
- Use of variable messaging signs to promote sales or other commercial activities and the detrimental impact they have on road users and the amenity of an area.

Issues identified with the current statutory and policy framework are:

- Age of the current incorporated document (Advertising Signage Guidelines, City of Greater Geelong 1997)
- Generalisation of different types of commercial areas in the current Advertising Signage Guidelines
- Need to update in the Planning Policy Framework context

The options suggested include the development of new guidelines to replace the current ones, to be included in the planning scheme as either a background or incorporated document, and/or a local policy in the Planning Scheme.

The recommended option is to prepare a succinct local planning policy and new Advertising Guidelines, as an incorporated document.

The recommended structure of the guidelines would be based on the areas and issues identified, as follows:

1. General
2. Central Geelong precincts (excluding Waterfront)
3. Category 1 areas. These areas are commercial and most are identified in the City of Greater Geelong Retail Strategy 2020-2036 (August 2020). There are two main development types, with different preferred signage characters:
 - a. Pedestrian oriented commercial areas. This will include most Commercial 1 Zone areas, as well as a small number of Commercial 2 and Urban Growth Zone areas with this development type. Typically these areas have, or are planned to, a 'main street' built environment.
 - b. Highway oriented commercial areas. Most Commercial 2 Zone areas and a number of Commercial 1 Zone places that have a different established signage and built form character to Pedestrian oriented commercial areas. These include large format retail (bulky goods) and shopping centres surrounded by large carparking areas.

To enable ease of use, the incorporated document should include a list of Commercial 2 Zone areas that are in Pedestrian oriented commercial areas and Commercial 1 Zone areas that are in Highway oriented commercial areas.

4. Category 2 areas. These areas are chiefly industrial, but also include some in the Armstrong Creek growth area.
5. Category 3 areas
 - a. Residential areas.
 - b. Central Geelong Waterfront.
6. Category 4 areas (Rural and public land)
7. Heritage places
8. Interfaces with sensitive areas
9. Growth Areas
10. Major promotion signs
11. Electronic signs

PURPOSE

Advertising signage is an important part of the economy, helping to promote and generate business. Some signs help identify the location of businesses and places, or promote local events. Others, such as large billboards, can promote projects of regional significance (such as new housing estates) or road safety messages.

Done well, signage can also add to the vitality of an area and contribute to its character. A corporate logo on an office building can provide a landmark that helps orient city users. It can also provide a sense of connection between a business and its locality and signify its importance to the local economy, such as the Worksafe building in central Geelong.

Done poorly, however, the opposite can be true. Signage can block important views of natural or architectural features, or create an unattractive, cluttered appearance to an area. Signage that is too large or high can also dominate and detract from the amenity of a public place, such as a square or park.

There is a need to update the City of Greater Geelong Advertising Signage Guidelines (1997), which are over 20 years old and have not been changed since their introduction. Since this time there have been numerous changes to the planning scheme, including to the number and types of commercial zones, as well as to the advertising sign particular provision (Clause 52.05). The evolving nature of advertising signage and urban design also require updated direction for planning permit applications.

In addition, Geelong's status as a UNESCO City of Design provides a strong basis for the quality of its natural and built environments to be enhanced, in which signage has an important contributing role.

The purpose of this report is therefore to:

- Outline the current statutory and policy context for advertising signage in Greater Geelong;
- Identify and discuss relevant signage issues in different environments, including a number of case studies in Geelong and other municipalities.
- Identify and discuss issues with the current statutory framework, particularly the Advertising Signage Guidelines (City of Greater Geelong, 1997).
- Review emerging technology in advertising signage, including digital signs.
- Provide options (including a recommended option) to update the Planning Scheme, including the format and structure of a new Advertising Guidelines document.

POLICY AND STATUTORY CONTEXT

STATE

There are two strategies for signage in state policy:

- Clause 15.01-1S (Urban design)
Ensure that development, including signs, minimises detrimental impacts on amenity, on the natural and built environment and on the safety and efficiency of roads.
- Clause 18.01-1S (Land use and transport integration)
Design the transport system and adjacent areas to achieve visual outcomes that are responsible to local context with particular reference to landscaping, the placement of signs and providing buffer zones and resting places.

It is noted the Urban Design Guidelines, which are a reference document in Clause 15.01-1S, provide little guidance for signage and instead redirect users to Clause 52.05.

Clause 52.05 (Signs) is the primary section in the planning scheme which addresses signage requirements. It includes permit triggers and decision guidelines. A 'category' based system is used, which is as follows:

- Category 1 - minimum limitation. Includes Commercial 1 and 2 zones. It also applies to:
 - All precincts of the Central Geelong Activity Centre Zone schedule except precinct 3 (Waterfront).
 - Precinct 1 in the Armstrong Creek Town Centre (Urban Growth Zone, schedule 5).
 - Precincts 4, 5 and 6 of the Armstrong Creek North East Industrial Precinct (Urban Growth Zone, schedule 1).
- Category 2 - low limitation. Includes Industrial 1, 2 and 3 zones, as well as the Port Zone. It also applies to:
 - Special Use Zone schedules 4 (Beckley Park) and 12 (Lara Energetic Materials Manufacturing Plant).
 - Precincts 2, 3 and 4 of the Armstrong Creek Town Centre (Urban Growth Zone, schedule 5).
 - Precincts 1, 2 and 3 of the Armstrong Creek North East Industrial Precinct (Urban Growth Zone, schedule 1).
 - The sports stadium at Kardinia Park (Public Park and Recreation Zone).

- Category 3 – medium limitation. This category applies to most residential areas (including the Rural Living Zone). This category is the default category for the Mixed Use, Special Use and Comprehensive Development zones, other than those in which the schedule to the zone specifies a different category. It also applies to:
 - Central Geelong Waterfront (Activity Centre Zone schedule).
 - Precinct 5 of the Armstrong Creek Town Centre (Urban Growth Zone, schedule 5).
 - Ocean Grove Park (Public Park and Recreation Zone).
- Category 4 – maximum limitation. These areas include rural and public land zones. The Urban Floodway Zone is included in this category. The category also applies to schedules 1, 5 and 13 of the Special Use Zone.

In a Road Zone and Public Use Zone 4 (Transport), the sign category which generally applies is the category which applies to the adjoining zone nearest to the land.

Clause 73.02 (Sign terms) provides definitions of different types of signage.

It is noted local policy provisions must be consistent with and be within the scope of these state provisions.

LOCAL

The Advertising Signage Guidelines (City of Greater Geelong, 1997) provide directions for signage and are an incorporated document in the scheme. A minor amendment to the Guidelines was made in 2014 to address a specific requirement for signage at Kardinia Park. There has not, however, been a comprehensive revision of the guidelines since their introduction.

Notably the Guidelines do not provide guidance for electronic signs or major promotion signs and includes some outdated references to sign types and policies that are inconsistent with the current scheme provisions.

There are a number of objectives, strategies and policies in the following local provisions and schedules in the scheme:

- Clause 15.01-1L-02 (Pakington Street North Urban Design)
- Schedule to Clause 37.08 (Activity Centre Zone)
- The following schedules to Clause 43.02 (Design and Development Overlay):
 - Schedule 17 (Central Geelong Western Wedge)
 - Schedule 18 (Geelong Ring Road Employment Precinct)
 - Schedule 20 (Industrial 1, 2 and 3 Zones)
 - Schedule 21 (Portarlington town centre)
 - Schedule 24 (St Leonards town centre)
 - Schedule 25 (Barwon Heads town centre)
 - Schedule 26 (West Fyans Precinct Structure Plan)
 - Schedule 29 (Lara Town Centre expansion area)
 - Schedule 31 (Bellarine Hwy mixed use centre - Leopold)
 - Schedule 39 (Grubb Rd Activity Centre - Commercial 1 and 2 zones)
 - Schedule 40 (Ocean Grove town centre)
- The following schedules to Clause 42.03 (Significant Landscape Overlay):
 - Schedule 10 (Lake Connewarre)
 - Schedule 11 (Lake Victoria)
 - Schedule 12 (Swan Bay)
 - Schedule 14 (Clifton Springs - Portarlington coast)

COUNCIL POLICIES (NON-PLANNING)

The following council policies are applicable to signs requiring approval under local laws.

Recreation Reserve Advertising Signage Policy

This policy establishes guidelines for approval of advertising and sponsorship signage at Council sporting reserves. It relates to all Council owned and managed reserves and associated facilities, except for the sports stadium at Kardinia Park. This policy is proposed to be revoked and superseded by a new set of *Recreation Reserve Advertising Signage Guidelines* which are currently under development.

Footpath and Designated Roads Trading and Activity Policy

This policy sets out requirements for the conduct of trading and other activities on Council's footpaths, including signs.

General Signage (Including Electoral Advertising Signs) On Council Road Reserves and Land

This policy provides direction on the assessment and determination of applications to place general signage on any Council land, municipal building or road. It does not include signs relating to the placement of a sign on a Council footpath, which are covered in the Footpath and Designated Roads Trading and Activity Policy. It does not include directions on the placement of electoral signs, which are covered in the Placement of Electoral Signs Policy. This policy is being revoked and an updated set of guidelines are under development.

Guidelines For The Placement of Electoral Signs

This policy sets the guidelines for the placement of electoral signs in Greater Geelong.

GEELONG UNESCO CITY OF DESIGN

On 31 October 2017 Geelong was designated a member of the UNESCO Creative Cities Network. The aim of the network is to make creativity an essential driver for sustainable urban renewal and development. Cities in the network are designated one of seven creative fields which include crafts and folk art, design, film, gastronomy, literature, music and media arts. Geelong is the only city in Australia to receive this designation.

As a Creative City of Design, Council has committed to:

Integrating design thinking into all aspects of urban planning and development, as well as raising Geelong's international profile as a clever and creative city

UNESCO – Creative Cities Network website
<https://en.unesco.org/creative-cities/node/982>

This is supported in Council's thirty year vision A Clever and Creative Future (City of Greater Geelong, 2017) which outlines a blueprint for the City as a 'Clever and Creative' city-region. While there are no specific directions for signage, some broader principles are relevant, including:

- an active street culture involving student and café precincts
- urban design that encourages activity and comfortable open public areas in all seasons
- revitalisation of Central Geelong

ISSUES

IMPACTS OF ADVERTISING SIGNS

The issues relating to this topic have been grouped into places where they most commonly occur. Many issues will, however, be relevant to a number of settings.

Some of the issues are common across all areas, which are as follows:

- Visual clutter resulting from excessive numbers and sizes of signs, as well as their placement (such as where they block out a competing sign).
- Impacts on buildings, particularly where signage is not in proportion to the building or alters or obscures architectural features.
- Impacts on the area, such as from signs that are of a size or height that dominate the built form character and streetscape.
- Signs that obscure or dominate views or vistas to significant natural or man-made features, as well as to the sky or between buildings from public places (such as the street or parks).
- Use of variable messaging signs to promote sales or other commercial activities and the detrimental impact they have on road users and the amenity of an area.

The following places, or local environments, are based on the different types of urban environments in the municipality. They were identified in a review of the current City of Greater Geelong Advertising Signage Guidelines (1997), Clause 52.05 category area types and a number of key strategic documents described in the following section.

Two distinct sub-types of commercial environments were identified, following a review of the activity centres described in the City of Geelong retail strategy. These have been described as 'pedestrian oriented' and 'highway oriented' commercial areas. Comparative policies and VCAT cases have also been examined to provide insight into contemporary policy in other municipalities.

A separate non-place group is identified for major promotion signs.

Central Geelong

The Activity Centre Zone applies to much of Central Geelong. Amendment C341ggee has been prepared, which includes a draft framework plan (containing a new structure plan and urban design guidelines) and schedule to the zone. This was placed on exhibition 25 May 2021 and hearings and a committee report is scheduled for the second half of 2021.

The draft framework plan and zone schedule do not include directions for advertising signage. The current Central Geelong Urban Design Guidelines (October 2008) do include guidance, although there is only limited direction in the current zone schedule. Therefore if the proposed zone schedule and framework plan proceed, there will be no local signage policy for Central Geelong.

It is further noted the age of the guidelines was criticised by the Tribunal in *Drive By Developments Pty Ltd v Greater Geelong CC* (2016).



Central Geelong Framework Plan (as shown in draft schedule to the Activity Centre Zone, May 2021)

Central Geelong has some significant sensitivities, including heritage, views and a need for the different precincts to develop a character. Built form and streetscapes will play a key role and advertising signage can either help or hinder this being achieved.

The cultural precinct will be sensitive to signage. The Central Geelong Arts and Cultural Precinct Masterplan 2017 seeks to create a distinctive character for this area through public realm streetscape treatments. Art is proposed to be integrated into the public realm and built form, such as through projections and installations on blank walls. While some advertising related to the functions of this district would be appropriate (such as for performances or exhibitions), the introduction of unrelated commercial advertising would likely threaten this character.

Laneways are also a key feature of Central Geelong. There is a need for signage in these spaces to be human scale – particularly aimed at pedestrians and minimised to avoid visual clutter. The Laneways Action Plan, a background document to the proposed framework plan, seeks to avoid blank walls and long garage doors. Signs may have a role to play in activating these.

The proposed draft Central Geelong urban design guidelines also notes that buildings above seven storeys height will form part of the skyline. Likewise signs above this level will have the potential to form part of the skyline and consideration should be given to whether they (particularly major promotion signs) should be limited to seven storeys.

The proposed zone schedule designates all precincts, other than the Waterfront (which is mainly open space) as 'Category 1' signage areas, which have the lowest level of limitation. Two of the precincts, York and Station, are proposed to be principally residential (with some allowance for commercial uses). Policy direction is needed to ensure signs in these areas do not conflict with the character sought.

Similarly while the Waterfront is included in a Category 3 area (medium limitation), there would be no guidance for signage to ensure signage does not have a detrimental impact on this renowned space.

The lack of policy for signs in the current and proposed zone schedules also does not reflect the prioritisation of the Retail Core precinct as the focus for commercial activity.

CASE STUDY: CENTRAL GEELONG

131 Malop Street, Geelong - Drive By Developments Pty Ltd v Greater Geelong CC [2016] VCAT



Image above: Electronic signage approved on heritage building in Central Geelong

The Tribunal issued a planning permit for an electronic major promotional sky sign, placed on top of a single storey building on a street corner in Central Geelong.

While council officers raised concerns with the compatibility of the sign with the area and its dominance of the host building, the Tribunal found the proposal was not incompatible with the 'bulk and scale of the robust buildings' of the area. The Tribunal also gave little weight to the current Central Geelong Urban Design Guidelines, due to their age.

Commercial areas

Commercial areas in Greater Geelong are outlined in Clause 02.03-1 (Settlement), which is based on the City of Greater Geelong Retail Strategy 2020-2036 (August 2020). Under Clause 02.03, there are six types of centres: one regional centre (Central Geelong), five sub-regional centres (Belmont, Waurn Ponds, Corio, Leopold and Armstrong Creek), six town centres (Ocean Grove, Drysdale, Lara, Barwon Heads, Portarlington and St Leonards). There is also one Specialised Centre (Pakington Street), twenty four Neighbourhood Centres and eight restricted retail centres.

The built form of these commercial areas can vary significantly, with some being in the form of traditional shopping strips, such as Hitchcock Avenue in Barwon Heads and Ormond Road in East Geelong.

Other commercial areas are largely based around access by car. These are often located along main roads and highways and include enclosed shopping centres surrounded by large carparking areas, as well as bulky goods 'homemaker' centres. Freestanding (or 'pad site') development, such as service stations and drive-through restaurants, are also included in this type.

These two main types of commercial areas have significantly different signage types and issues. It is acknowledged some areas have attributes of both built form environments, such as large 'standalone' supermarkets set behind large carparks in main street environment, or older restricted retail strips with buildings close to a highway frontage. Most areas can, however, be grouped into either of the two commercial area types and therefore are discussed separately under the following headings.

Pedestrian oriented commercial areas

Examples: High Street, Belmont; Hitchcock Avenue, Barwon Heads; Ormond Road, East Geelong

These areas are characterised in the advertising signage local policy of the Greater Dandenong planning scheme, as having the following attributes:

- zero or a minimal setback from the street, laneway and side boundaries;
- promotes continuity of the frontage between adjacent developments;
- facilitates active pedestrian interaction between the building and street; and
- incorporates other pedestrian-friendly features such as weather protection.

Often these areas are also in a low vehicular speed environment (under 50 km/h), although there are exceptions (such as Ormond Road, East Geelong).

Much of Central Geelong and Commercial 1 zoned activity centres are in this type of area (at street level), as are a number of suburban commercial areas and town centres.



Example of pedestrian oriented development in Belmont

Issues that have been identified in these areas are:

- Signage that blocks views between people on the street and people on the ground and upper floors of buildings. This can have a detrimental impact on safety and activity in the street.
- Animated signs and large signs (particularly electronic and illuminated ones) can dominate and have a major detrimental impact on these types of centres.
- Signs that interfere with pedestrian sightlines and movements.
- Large signs that are disproportionate to their host building and streetscape.
- Signs located above verandah can dominate the host building and streetscape, particularly if they form part of the skyline.
- Painting of whole buildings in corporate colours.
- Freestanding signs, such as pole or pylon signs, can be inconsistent with the built form character.

Highway oriented commercial areas

(Examples: Colac Road, Waurn Ponds and Grovedale; Melbourne Road, Norlane; Murradoc Road, Drysdale)

This type of commercial area is generally accessed by car and characterised by:

- substantial setbacks from the street/public realm and adjacent developments without continuity to the streetscape and,
- large areas of the site often devoted to vehicular access, parking and landscaping to the perimeter of the development

Most areas in the Commercial 2 Zone have these characteristics, as well as some in the Commercial 1 Zone.

These areas are often located along arterial roads and highways and include car based, enclosed shopping centres surrounded by large carparking areas, as well as bulky goods 'homemaker' centres. Freestanding (or 'pad site') development, such as service stations and drive-through restaurants are other examples. Signage is often aimed at passing vehicles in a higher speed environment.

The issues identified in these areas are:

- Excessive number of freestanding signs.
- Freestanding signs, particularly major promotion signs and pylon signs, that are of a height and size disproportionate to the streetscape (such protruding above a skyline of trees or buildings).
- Signs (particularly major promotion signs) that interfere with the function and visibility of other signs. In particular signs that block, obscure or dominate business identification signs should be avoided.

- Freestanding major promotion signs that adversely affect the amenity and functionality of a site or area, including the land on which they are located. This is particularly the case where a sign would be located on a 'key development' or 'significant building' site identified in a strategy, such as in Central Geelong or Ocean Grove.



Example of car-based stand-alone development from Cardinia Advertising Signage Design Guidelines (Cardinia Shire Council, 2020)

Industrial areas

Industrial areas in Greater Geelong typically have similar built form environment and signage to Highway oriented commercial areas. The issues experienced in these areas are the same as those in the Highway oriented commercial areas.

Heritage places

A number of older commercial areas have substantial numbers of heritage buildings, including in Central Geelong, Pakington Street (Geelong West), East Geelong, Drysdale and Portarlington. Older industrial areas in Corio, North Geelong, Newtown and South Geelong also have significant heritage.

Issues in these heritage areas, in addition to those identified earlier, as follows:

- Impact on heritage buildings and places, such as concealing architectural features and details or become a dominant feature.
- Retention of existing signs with heritage value
- Signs which damage the heritage fabric (physical material of the place).
- Multiple signs on a single site, typically where there are multiple tenancies.
- Digital signs are generally incompatible with the character of heritage places.
- Illuminated signage have previously been discouraged (including in the current Guidelines), but recent technology has provided opportunities for certain types of sign lighting (such as subtle illuminated of letters).

CASE STUDY: HERITAGE PLACES

165 Moorabool Street, Geelong (PP-1273/2013)



Image above: Electronic signage approved on heritage building in Central Geelong

This proposal involved digital signage on a heritage building, in which case Council took the view the signage would add some vibrancy to the city centre and that this outweighed what was considered 'limited adverse heritage impact'. This decision is an example of tensions between heritage and place activation objectives relating to signage.

It is noted this decision was prior to 2014 and there has been considerable change in Central Geelong since then, which should be taken into account when considering new signage guidelines, particularly relating to impacts on heritage buildings and places.

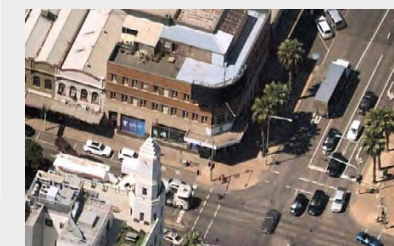


Image above: Electronic signage as constructed at 165 Moorabool Street, Geelong (Nearmap, 25 November 2020)

Open space

Open space includes sport open space (often referred to as ‘active’ open space) and various types of other open space (often referred to as ‘passive’ open space) such as community parks, town squares and significantly landscaped streetscapes.

The issues identified for open space are:

- Signage that dominates open space (particularly non-sporting open space), particularly significant areas such as the Geelong Waterfront.
- Intrusive effects of illuminated, electronic and animated signs on open space.
- Physical effects of signage such as overshadowing, access to daylight and sunlight, perception of light and shadow, of open space and other sensitive spaces such as footpaths and private open space, windows at different times of the year.
- Impact of signs in industrial areas adjacent to waterways and open space, such as in Breakwater, South Geelong, Newtown and Fyansford which are all located adjacent to the Barwon River environs.

CASE STUDIES: OPEN SPACE

120 Barwon Terrace, South Geelong (PP-1248-2020)

A planning permit application was lodged for an electronic major promotion sign proposed adjacent to a bridge that crosses the Barwon River, in an industrial zone.



Image above: Location of sign proposed in PP-1248-2020 shown with green marker (Places Weave, April 2019)

In this scenario, there is a potential conflict between the decision guidelines of Clause 52.05, which discourage major promotion signs around waterways and require consideration of the sensitivity of waterways and open space, while also encouraging them in industrial locations.

The application was refused by Council and the decision upheld by the Tribunal in *Joystic Pty Ltd v Greater Geelong CC* (2022). The Tribunal noted the industrial zoning but held the sign would be out of place and have a negative impact on the amenity of nearby dwellings.



Image above: Illustration of proposed major promotion sign in PP-1248-2020, viewed west from the Breakwater Road bridge (anonymous, 2020).

Armstrong Creek Town Centre (PP-146-2020)

The current Advertising Sign guidelines do not provide direction for how signage should address open space. In this planning permit application, an 8.5sqm internally illuminated Coles sign was shown above the entrance of a shopping centre, adjacent to a town square (public open space), as shown in the image below.



Image above: Coles sign adjacent to town square (LHS) in PP-146-2020. The Armstrong Creek Town Centre logo is shown immediately right of the sign, in addition to lettering on the adjacent wall

This example offers an opportunity to reflect on the impact signage has on this type of open space. The sign, in terms of its size, height above ground, colour and illumination is prominent and therefore a dominant feature.

Residential areas

Non-residential uses in or adjoining residential often need signage. Residential areas are, however, particularly sensitive to impacts from signage.

The issues identified for these areas are:

- Signs that face adjoining dwellings, such as from adjoining commercial sites.
- Excessive signage in residential areas can have a detrimental impact on the neighbourhood character.
- Illuminated and electronic signs can be particularly intrusive in residential areas and can result in light spill and glare on nearby dwellings.
- Signs can have detrimental amenity impacts similar to those in open space (such as perception of light and shadow and access to daylight) discussed earlier.
- Signs that dominate the outlook from dwellings, such as major promotion signs that may be located some distance away but above the skyline.
- The character and amenity of rural living areas are particularly sensitive to signs.
- Ensure that the amenity of residential areas is not adversely affected by the provision of outdoor signage for non-residential uses, particularly along non-arterial roads.

Growth areas

The issues identified for these areas are:

- Visual clutter from excessive developer or real estate signage in and around new estates.
- Signs that are put up distant from the actual development site.
- Signage is sometimes unattractive, such as when attached to shipping containers or other structures.
- Use of trailer mounted signs.

CASE STUDY: RESIDENTIAL AREAS

Maple Media Pty Ltd v Port Phillip CC [2018] VCAT

Maple concerned a case where the applicant sought the endorsement of amended plans based on as-built rooftop signage. The key point of interest in this decision was that the Tribunal noted ResCode standards did not directly apply and instead applied a ‘more qualitative’ approach. It considered impacts on light courts, daylight and sunlight access, as well as the perception of light and shadow. It is noted in this case shadows were assessed at the equinox.

The Tribunal allowed a permit to be issued in this case, but the consideration of the physical impacts of signage, such as overshadowing, suggests a holistic approach to the impacts of signage should be applied when determining an application for signs. This is particularly relevant when assessing amenity impacts of signs, particularly for sensitive spaces such as footpaths, public and private open space, as well as windows and any other area that would be detrimentally impacted by loss of light.

The effect of signs on light access and overshadowing are not addressed in the current City of Greater Geelong Advertising Guidelines, or in the decision guidelines of Clause 52.05. Inclusion of these matters for consideration in the planning scheme would be beneficial, particularly for urban areas such as Central Geelong or other commercial areas where residential amenity needs to be balanced with the competing need for signage.

Major promotion signs

These signs are defined in the planning scheme as promotion signs over 18 sqm in size, such as large billboards. These are often located along main roads on freestanding structures, or on buildings. Many of the issues identified earlier are applicable to this type of sign. In addition to these, some issues that are particularly relevant to these signs are:

- Dominance of other signs, particularly business identification signs.
- Loss of amenity either within or external to a site, such as through overshadowing.
- Impact of large freestanding major promotion signs on the functionality of the host site.
- Major promotion signs can be particularly dominant if located on a vacant site.
- Visual clutter from major promotion signs without sufficient spacing between, such as along highway routes.
- Major promotion signs that require removal of established trees or landscaping.
- Where a major promotion sign would restrict the development of a site or conflict with an identified strategic development objective.
- Electronic major promotion signs that are not in a major activity centre or adjacent to a freeway which has only a commercial, office or industrial interface.

CASE STUDY: MAJOR PROMOTION SIGNS

Total Outdoor Media Pty Ltd v Buloke SC [2019] VCAT

The Tribunal considered a proposal for a two-sided major promotion sign, with a display area of 42.2sqm to each side and a total height of 7 metres above ground. It was to be located in a commercial area at the entrance into the Charlton township.

The Buloke planning scheme did not include an advertising sign policy, but included a strategy to 'consider the presentation of town entrances and streetscapes...', which was given weight in the decision.

In the decision to uphold Council's refusal of the application, the Tribunal gave weight to the strategy.

There are numerous townships and urban areas in the City of Greater Geelong that could benefit from a similar strategy derived from this one in Buloke.

CASE STUDY: MAJOR PROMOTION SIGNS

26 Rossack Drive, Wauron Ponds - iOM Pty Ltd v Greater Geelong CC [2014] VCAT

In this example the Victorian Civil and Administrative Tribunal issued a permit for a freestanding major promotion sign, which has since been constructed. The sign is located in the carpark of a site occupied by a multi-tenanted restricted retail complex (known as Wauron Ponds Plaza), as well as a convenience restaurant close to the sign.



Image above: Location of sign shown with green marker (Places Weave, April 2019)



Image above: Major promotion sign in carpark of Wauron Ponds Plaza

The sign has a significant impact on its host site and the buildings and other signs on them. It is located only 4m (approximately) from the convenience restaurant, but is substantially higher and has a large footprint. It dominates the site and has resulted in visual clutter, with substantial business identification and promotional signage within the site, as well as directional road signage in front.

STATUTORY AND POLICY FRAMEWORK

Age of the current incorporated document

The Advertising Signage Guidelines (City of Greater Geelong, 1997) have not been substantively revised since adoption in 1997 and inclusion in the new format planning scheme in 2000. Since then, changes have been made to the Victoria Planning Provisions, including to Clause 52.05 (Signs), 73.02 (Sign terms) and the introduction of VicSmart. There also have been changes in the types of signage, including the emergence of animated and electronic displays, which are not addressed in the guidelines.

Generalisation of commercial areas in current Advertising Signage Guidelines

Clause 52.05 includes pedestrian oriented commercial areas and highway oriented commercial areas in the same signage category (Category 1). These two types of areas have a significantly different built form environment, as described earlier. The current Advertising Sign Guidelines provide directions based on each category in Clause 52.05, as well as individual sign types, which does not address the differences in environment.



Image above: Corio Village shopping centre (Places Weave, viewed 29 June 2021)



Image above: Corio Village, viewed from Bacchus Marsh Road and Purnell Road intersection

This approach results in large indoor shopping centres, such as Corio Village, having the same guidelines as traditional street-based activity centres, such as Ormond Road, East Geelong.



Image above: Ormond Road shopping area (Places Weave, viewed 29 June 2021)



Image above: Ormond Road shopping area, East Geelong. Viewed south along Garden Street, from Ormond Road intersection

Some issues with this approach are:

- There is little direction for planners about how to apply the guidelines to different built form environments.
- Some guidelines do not reflect the sensitivity of the area. An example is the guidance given for pylon (or pole) signs, which could be viewed as too restrictive for Highway oriented commercial areas or too permissive in Pedestrian oriented commercial areas.

Need to update in the Planning Policy Framework context

There is no 'stand alone' policy for signage in the scheme.

Clause 52.05 sets out a list of decision guidelines, but does not allow for localised content other than notice and review exemptions in the schedule. Given they are decision guidelines, they set out matters which require consideration and do not (except for major promotion signs) provide guidance on what is acceptable. For instance, it states some considerations are:

- The relationship to the streetscape, setting or landscape:
 - The proportion, scale and form of the proposed sign relative to the streetscape, setting or landscape.
 - The position of the sign, including the extent to which it protrudes above existing buildings or landscape and natural elements.

Clause 52.05 does not elaborate on what an acceptable proportion or position for a sign would be, which is potentially a scenario for which local policy could provide further guidance for applicants, planners, councillors and the community.

NEW TECHNOLOGY AND DIGITAL SIGNS

The current guidelines do not address electronic signage and as noted earlier, the draft Central Geelong Urban Design Guidelines do not address signage. Issues associated with digital advertising signs include:

- Dwell time of images and flashing.
- Excessive levels and intensity of illumination, including light spill.
- Visually obtrusive light fixtures, such as exposed cabling/conduit systems and junction boxes.
- Inappropriate content.
- Use of audio to accompany advertisements.
- Projections (including holographs). A recent high profile example was the projection of a horse racing promotion onto the Sydney Opera House in 2018, which received a substantial public backlash at the time.
- Road safety impacts.

New forms of digital signs are also emerging, which include the following technology:

- Interactive signage:
 - The use of QR codes allow for a direct engagement between the business and viewer, as has become prevalent during the Covid pandemic. There are also opportunities that could provide public benefit, such as wayfinding and making advertisements more accessible.
 - Touchscreens can also be used. Gesture recognition (which has already been trialled in some cities) may increase the use of this type of advertising in future.
 - Use of locational data (including 'real time') and facial recognition software for the delivery of more targeted outdoor advertising.
- Three dimensional billboards, ranging from a simple V-format sign to holographic displays. The images displayed in these can appear to 'pop out' of a building.
- The potential for signage to provide (and fund) electric vehicle charging stations. This has recently been trialled in Adelaide in a study part-funded by the federal government (Metro Advertising Revenue Funded Electric Vehicle Charging Trial Project, Jolt Charge 2021).

CASE STUDY: ELECTRONIC SIGN

[Westfield Limited v Manningham CC \[2011\] VCAT](#)

In Westfield a very large (112 sqm) electronic sign was proposed at a congested intersection. The proposal was opposed by Council and VicRoads on road safety grounds. The Tribunal upheld Council's refusal and found the precautionary principle should apply, noting that while there is no evidence showing a link between traffic accidents and signs, this does not mean it does not exist.

This is as applicable to Geelong as it is in Melbourne, particularly noting the expected significant population growth and corresponding increase in traffic. Direction for electronic signs should be provided in the Guidelines to prioritise driver safety over other considerations, in accordance with this case.

OPTIONS

Implementation into the planning scheme

A number of options are available to respond to the issues raised. It is considered new guidelines or local policy are required, which could be implemented in the planning scheme as follows:

1. Insert the Guidelines into the planning scheme as an Incorporated Document.
2. Reference the Guidelines in the planning scheme as a Background Document.
3. Insert the Guidelines into the planning scheme as a local policy.
4. Insert the Guidelines as an Incorporated Document in addition to a brief local policy that would cross reference the Guidelines

A fifth option is also available to remove the current guidelines as an Incorporated Document and insert relevant guidelines in zone or overlay schedules where they currently apply.

The merits of each option are discussed as follows:

1. Insert the Guidelines into the planning scheme as an Incorporated Document.

An advantage of including the design guidelines as an Incorporated Document is that they are part of the planning scheme and have statutory weight. A disadvantage is that any change to the Incorporated Document requires a planning scheme amendment.

2. Reference the Guidelines in the planning scheme as a Background Document.

If the guidelines are included as a background document, they could be used to provide information that helps better understand the reasons for advertising sign policy in the Scheme. Unlike incorporated documents, however, background documents are not part of the planning scheme and therefore cannot directly affect decision making.

3. Insert the Guidelines into the planning scheme as a local policy.

A comprehensive local policy could potentially avoid reliance on the guidelines, which are currently not as easily located by users of the planning scheme. If the guidelines are a background document, then a comprehensive policy would provide the statutory weight required for decision making.

This approach would limit the directions available for signage to what can be included in the planning scheme. There would be limited opportunities to provide visual direction, compared with a guidelines document. An information sheet could assist in meeting this shortfall.

This option appears to be the most common approach, including Wyndham, Bendigo, Boroondara and Knox Councils. All of these have a comprehensive local policy. Moreland City Council also has primarily a local policy (which is succinct), although includes an incorporated document for signs specifically for sports grounds. Melbourne City Council also has a comprehensive policy and includes guideline documents for specific sites and areas such as Citylink and Melbourne Aquarium.

A number of Councils have an approach that combines options 2 and 3, including:

- Cardinia Shire Council which, in addition to a guidelines background document, is proposing a number of comprehensive local policies addressing advertising signs.
- Monash City Council, which has a comprehensive local policy and an 'Outdoor advertising brochure' background document.
- Banyule City Council with a succinct local policy and also a background document for advertising signs.

4. Insert the Guidelines as an Incorporated Document in addition to a brief local policy that would cross reference the Guidelines.

A brief local policy would meet the overall direction for the planning scheme to be as concise as possible. If the guidelines as an incorporated document, they would still be part of the scheme and carry statutory weight.

5. Remove current guidelines (as an Incorporated Document) and insert relevant guidelines in zone or overlay schedules where they currently apply.

This approach would remove obsolete directions in the current guidelines. It would not provide guidance for applicants, planners, councillors and the community for advertising signage beyond the current directions in the planning scheme.

Place specific sign requirements could be included, such as those currently included in a number of Design and Development Overlay schedules, listed earlier in the 'Policy and statutory context' section of this report.

Structure of Advertising Sign Guidelines

There are a number of ways a guidelines document could be structured. Guidelines could be developed to address one or more of different sign types, zones, areas, locations, built form or categories identified in Clause 52.05 (Signs). The current City of Greater Geelong Advertising Sign Guidelines groups policy guidance in the following structure:

- Categories (as identified in Clause 52.05)
- Heritage overlay areas
- Drysdale commercial area sign controls
- Sign types

The approach taken by councils in their advertising sign and/or guidelines documents structure is quite varied across the state. The different structures appear to be predominantly based on one of the following:

- Sign categories, as identified in Clause 52.05 (Wyndham and Knox councils).
 - This allows for easy cross-reference from Clause 52.05 and is the format of the first section of the current advertising guidelines. A disadvantage of this approach is the categories in Clause 52.05 are based primarily on land use and not built form. Therefore 'homemaker centres' (restricted retail) and industrial areas, which often have a similar built form environment, are in different signage categories. Similarly traditional main streets, bulky goods 'homemaker centres' and fast food drive-throughs, which have significantly different built form, are all in the 'Category 1' commercial area under Clause 52.05.

- Area types, such as commercial, industrial and restricted retail, residential, new residential estates and rural areas. Some guidelines provide for different environments, such as major activity centres and traditional main street commercial areas and freestanding shopping centres. Policy and/or guidelines of Melbourne, Greater Dandenong and Banyule councils have this structure.
 - This approach allows for signs to be considered in the context of their built form environment, without the duplication that is necessary in a structure based on sign categories. The disadvantages of this approach are that not all built form in these areas will be the same, such as a standalone supermarket located in an otherwise traditional main street shopping area. It also places greater reliance on the applicant and assessing planner to identify the area type, unless this is identified in policy or the guidelines document.
- A combination of guidelines based on sign and area types (Cardinia, Melton and Monash).
 - This is perhaps not the easiest format to use, as it requires users to review different sections of policy or guidelines. There is certainly a basis for some signs (such as major promotion and electronic signs) to have specific guidance, but the benefit of this for each sign type is uncertain.
- Issues, such as maintaining active frontages. This structure is reflected in Boroondara and Bendigo advertising sign policy.
 - The major disadvantage of this approach is it provides guidance for only the issues addressed.

RECOMMENDATIONS

It is considered the best option is to prepare a succinct local policy provision for advertising signage, as well as new advertising sign guidelines that would be included in the planning scheme as an incorporated document. There is sufficient strategic justification for this given the age of the current guidelines and the need to provide contemporary guidance for signage, particularly in the local context.

There is a need for the guidelines to be an incorporated document as it would provide essential guidance, particularly visually, for planners, applicants and the community for advertising signage (where a planning permit is required). As the guidelines cover most areas in the municipality, it would also be too large to include as a local policy.

The guidelines could have a structure based on the area types identified earlier, as well as the categories in Clause 52.05. The different area types can enable informed decisions for how advertising signs should be designed and adapted to different locations in Greater Geelong. Further guidelines are also required to address particular signage issues. The guidelines should also address areas not discussed in this report, such as rural. An example structure is as follows:

1. General
2. Central Geelong precincts (excluding Waterfront)
3. Category 1 areas. These areas are commercial and most are identified in the City of Greater Geelong Retail Strategy 2020-2036 (August 2020). There are two main development types, with different preferred signage characters:
 - a. Pedestrian oriented commercial areas. This will include most Commercial 1 Zone areas, as well as a small number of Commercial 2 and Urban Growth Zone areas with this development type. Typically these areas have, or are planned to, a 'main street' built environment.

- b. Highway oriented commercial areas. Most Commercial 2 Zone areas and a number of Commercial 1 Zone places that have a different established signage and built form character to Pedestrian oriented commercial areas. These include large format retail (bulky goods) and shopping centres surrounded by large carparking areas.

To enable ease of use, the incorporated document should include a list of Commercial 2 Zone areas that are in Pedestrian oriented commercial areas and Commercial 1 Zone areas that are in Highway oriented commercial areas.

4. Category 2 areas. These areas are chiefly industrial, but also include some in the Armstrong Creek growth area.
5. Category 3 areas
 - a. Residential areas.
 - b. Central Geelong Waterfront.
6. Category 4 areas (Rural and public land)
7. Heritage places
8. Interfaces with sensitive areas
9. Growth Areas
10. Major promotion signs
11. Electronic signs

The local policy and incorporated document will need to be consistent with state provisions as well as avoid conflict with existing local provisions, such as Design and Development Overlay schedules and other incorporated documents, including Precinct Structure Plans. They should also provide guidance for signage in places that are not easily categorised, such as freestanding petrol stations and supermarkets

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