

GOANDRA ESTATE

FENCE DESIGN GUIDELINES

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for the **City of Greater Geelong**

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Introduction

The following guidelines are to be used to assess fencing within the Goandra Estate. They are designed to ensure a consistent and clear approach is taken to fencing to protect and enhance the unique characteristics of the estate.

Fence controls have been in place within the estate since it first started to develop in the early 2000s. These controls were introduced to protect the environmental qualities of the area. The estate is strongly characterised by its open bushland setting, with significant vegetation creating a strong presence. The use and type of fencing, particularly where visible from the public realm, can have an influence on this character so it is important that it contributes positively to the valued attributes.

These guidelines seek to reinforce and provide clarity around acceptable types of fences that are reflective of the valued characteristics of the estate. They are aimed at decision makers to assist in the process of assessing proposed new fencing.



Property along Goandra Drive

Fence Character Analysis

The following provides an overview of the existing fence character of the Goandra Estate, identifies the valued characteristics that require protection, and determines a preferred fence character for the estate.

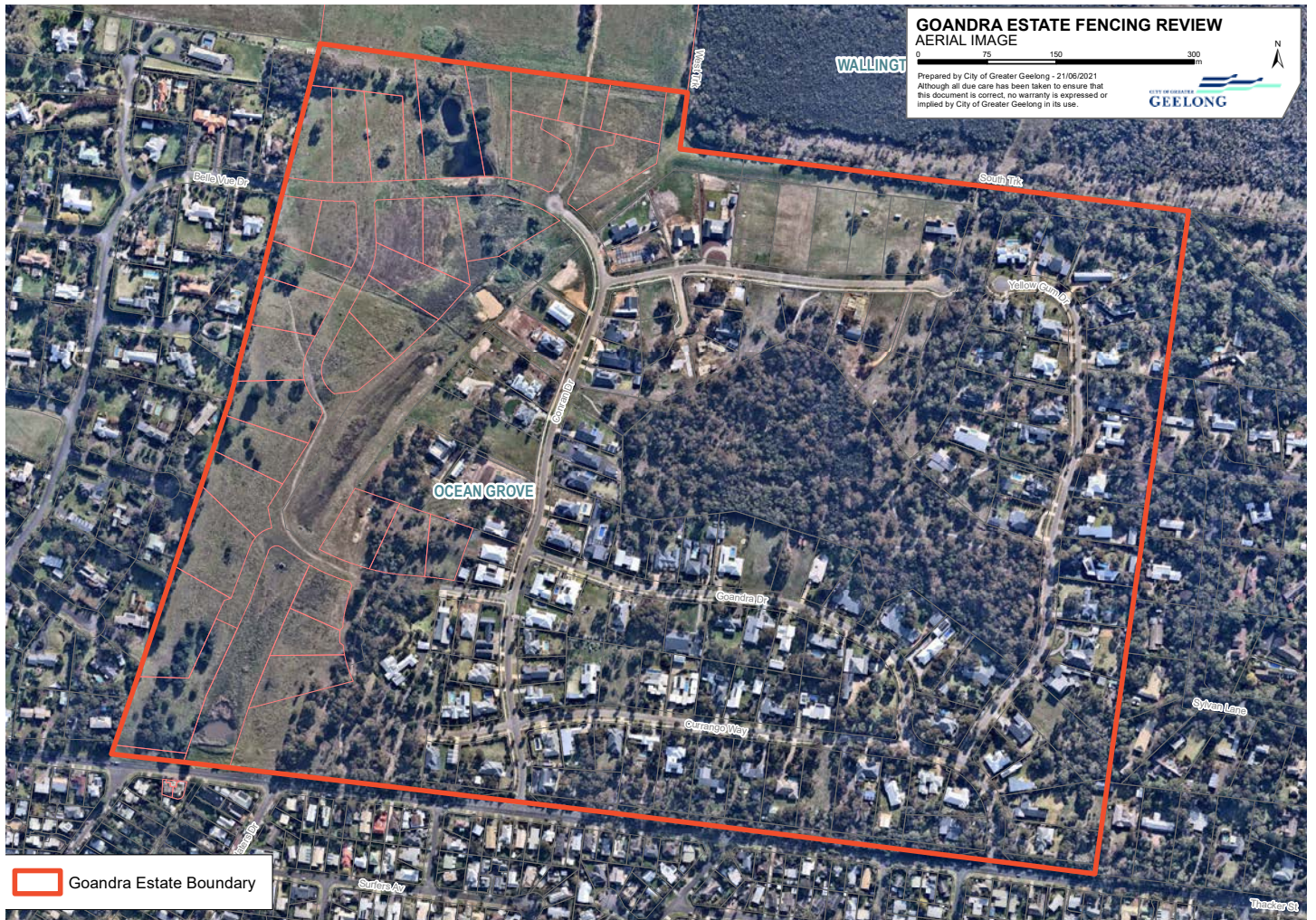


Figure 1. Goandra Estate Aerial



Currango Way



Property along Goandra Drive



Conran Drive

Existing Fence Character Description

The Goandra Estate comprises of a low-density residential development situated within a bushland to open woodland setting. Housing consists of predominantly single storey detached dwellings, on lots ranging from 1,500sqm to 7,000sqm. Dwellings are typically set back 10m to 15m from the front boundary.

The remnant native vegetation, which significantly includes the endangered Bellarine Yellow Gum as well as other significant vegetation such as Manna Gums and Sheoaks, is a defining feature of the estate. This vegetation contributes significantly to the bushland character of the estate, in particular, the south-eastern half, which contains the majority of the vegetation. The vegetation is most significantly present within the centrally located Yellow Gum Reserve, which provides a backdrop to adjoining residential properties. Dense patches to scattered trees are also present on private land. The vegetation therefore creates a strong presence within the estate that underpins its valued character.

The restrictions on fencing within the Special Use Zone (SUZ8) have led to a distinctive character that contributes to the low-density bushland character of the estate. The permit trigger for fencing other than a post and wire typology has meant that fences are of a secondary visual element within the estate and streetscape. The lack of high, solid, and opaque fencing and the use of highly transparent fencing, such as post and rail or wire, provides direct views into front gardens and through properties. This creates a sense of openness and space between buildings and the public realm that allows the natural landscaping of the estate to remain the dominant characteristic.



Goandra Drive looking north



Fencing adjoining Yellow Gum Bushland Reserve



Properties along Goandra Drive

Front Fences

Front boundary treatments within the estate overwhelmingly consist of no fencing or post and wire or rail typologies. This includes fences forward of the front wall of the building, typically along common boundaries, where low or transparent fences have been constructed usually of natural materials such as timber or brush. Hedging or landscaping is often used in place of fencing which provides for a more natural interface with the public realm that is in keeping with the landscape character.

While some of the later sections of the estate have produced a more suburban outcome, such as the southern end of Conran Drive where lots are generally smaller and vegetation is less of a dominant feature, the lack of front fencing, or use highly transparent fencing, is still a defining feature of these locations, even where timber paling fences have been utilised along the side boundary.

The approach to front fences in the estate, more readily and significantly contributes to the character of the estate than the side and rear fences. The lack of fencing provides a visual permeance from the public realm that allows for a consistency along the streetscape where the native landscaping and trees forms a strong visual presence that is uninterrupted along the majority of the streets. This creates a less suburban and more low-density bushland character.



Properties on the southern side of Goandra Drive

Side and Rear Fences

The approach to side and rear fences is more mixed compared with front fences in the estate. Along side boundaries, existing fencing either continues the post and wire typology from the front or utilises a more solid variety, such as a timber paling fence, that seeks to protect privacy and increase security from adjoining properties.

Many properties include solid fences that run perpendicular from the side boundary to the dwelling just behind or close to the front wall of the dwelling ('wing' fences). These fences read more as side fences rather than front fences and provide a level of privacy, security, and screening from the public realm towards areas of private open space and limits access down the sides of properties.

Larger lots typically retain the post and wire fence, but in many instances, include sections of timber paling fences in locations requiring increased privacy. The smaller lots within the estate that adjoin other properties at the side or rear, provide a more suburban fence typology, typically timber paling or in some instances, Colorbond.

Where a mixed approach to side or rear fencing has been undertaken, the character of the estate has generally not been compromised, particularly where natural materials are utilised for solid elements and the fence is well set back, hidden from the public realm, or located outside the front setback. A balanced approach that allows for increased privacy and security along boundary fences as well as ensuring fencing remains a secondary element can therefore be achieved without compromising character.

A total of 36 properties within the estate interface with the central Yellow Gum Reserve or the linear reserve that connects the central reserve to the Ocean Grove Nature Reserve to the north. All properties interfacing with the reserve provide a post and wire treatment to the shared boundary. This open typology is important for protecting the open bushland character of the reserves, ensuring their environmental protection, and facilitating the movement of native wildlife.



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GOANDRA ESTATE FENCE GUIDELINES

Existing Boundary Fence Typologies

Legend

- Post and wire/rail fence █
- Mixed post and wire/rail and solid fence █
- Solid fence █
- No fence █



Project Ref:
Scale:
Date:
Revision:

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Valued Elements Contributing to Character

- No or low front fences allowing for views to landscaping and through properties to remnant vegetation.
- Highly transparent front fences such as post and wire or rail typologies.
- Fences utilising natural materials such as timber or brush.
- Fencing used for privacy screening that is well set back and utilises natural materials.
- Post and wire fencing interfacing with public bushland reserves.
- Landscape elements instead of formal fencing.



Valued: highly transparent and low post and wire front fence

Issues / Threats

- High solid fences particularly viewed from the public realm
- Masonry or fences utilising unnatural materials.
- Solid fences adjoining bushland reserves.
- Fence colours that are bright and inconsistent with the natural bushland character.



Threat: high, solid front fences



Valued: solid perimeter fence that provides privacy between properties



Threat: masonry fence

Preferred Fence Character Statement

The Goandra Estate will either provide no front fences or highly transparent ones that form a secondary element within the streetscape in a way that contributes to and enhances the open bushland character. Low post and wire or rail fences will be the preferred typology where fences are proposed. Side and rear fences will be of a more mixed typology and height that balances character and privacy/security outcomes. Where a more solid variety of fencing is proposed, it will be constructed of natural materials and utilised for discrete privacy and security related purposes that does not undermine the more common open style fencing. Interfaces to the bushland reserve will be protected and enhanced by encouraging the retention of post and wire or rail fences along these interfaces and restricting solid fences that undermine the valued bushland characteristics.



Fence Design Guidelines

The Goandra Estate Fence Guidelines provide detailed design guidelines for the construction and consideration of a fence that is informed by the existing and preferred fence character for the Goandra Estate.

- **Design Objectives:** outlines the overarching fence design outcomes to be achieved in the estate.
- **Preferred Typology:** specifies the preferred fence style.
- **Design Response:** identifies how the objectives are to be achieved through quantitative and qualitative measures across a range of fence character elements.
- **Avoid / Discourage:** specifies outcomes that are to be avoided across the fence character elements.
- **Decision Guidelines:** provides a scope of consideration to guide decision making about fences that do not comply with the objectives and design responses.

Corresponding diagrams and precedent images are provided for each Fence Zone to help guide the consideration of decision makers.

Design Objectives

To enhance the low-density open bushland character of the Goandra Estate by limiting highly visible fence typologies.

To encourage no, low, or visually permeable front fencing that provides for a sense of openness between properties and the public realm.

To encourage fencing materials that are natural, consistent with the bushland character, and utilise finishes and colours that complement the natural landscape.

To ensure the protection and visual dominance of native vegetation from the public realm and provide for an appropriate interface with the bushland reserve.

To allow for fencing where it is used for privacy reasons provided it is in keeping with the character of the estate and contributes to the open natural setting.

To ensure a level of consistency and uniformity to the fence pattern along the streetscape.

Fencing Zones

The fence guidelines apply to all fencing within the Goandra Estate, including front, rear and side boundary fences, as well as fences that do not follow these boundaries across a property. Importantly, the guidelines do not apply to pool fences and other fencing required by the Building Regulations.

For the purposes of the guidelines, fences have been separated into three 'Fence Zones' across an individual property. Each 'Fence Zone' has different requirements and limitations owing to their different levels of visibility and relation to the valued characteristics of the estate.

The 'Fence Zones' are identified as follows:

- **Zone A (Front Fences):** includes all fencing forward of the front wall of a dwelling, including fences along common property boundaries. The front wall of a dwelling rather than a garage that sits forward of a dwelling should be used as the measure.
- **Zone B (Side & Rear):** includes all fencing behind the front wall of a dwelling including side and rear fences. Side fences also include 'wing' fences that run perpendicular from the dwelling on a site to the boundary.
- **Zone C (Reserve Interface):** exclusively applies to properties that interface with the Yellow Gum Bushland Reserve and includes all fencing behind the rear wall of a dwelling.

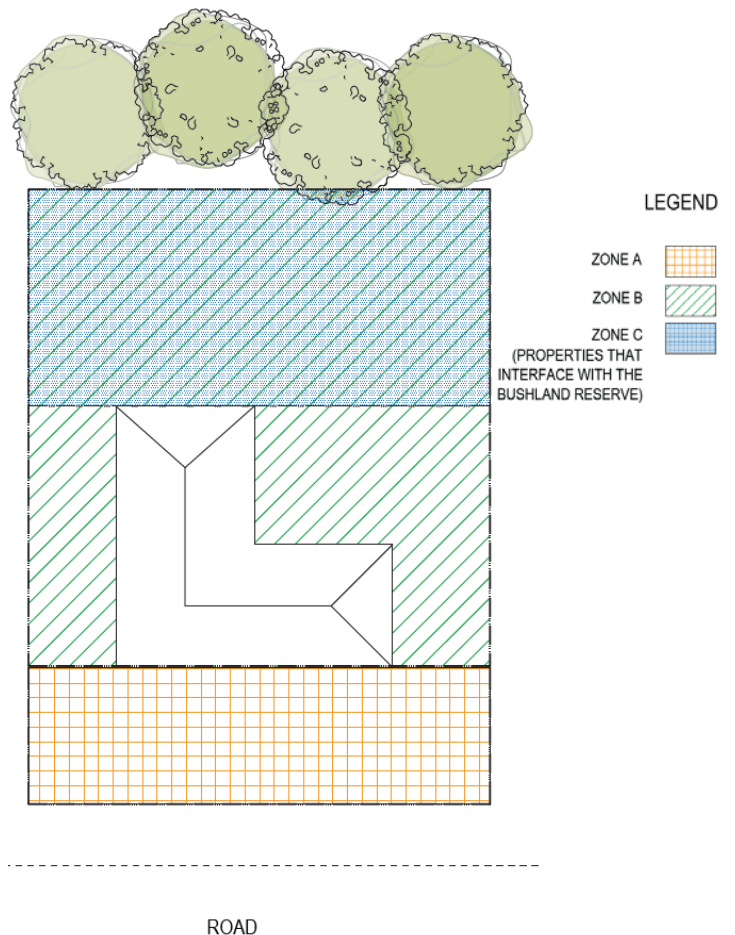


Figure 1. Fence Zone Diagram

Requirements

Zone A (Front Fences)

Preferred Typology		
Where proposed, ensure front fences are of a post and wire or rail typology or of a similar transparency and height suitable to the character of the estate.		
Element	Design Response	Avoid / Discourage
Height	<ul style="list-style-type: none"> No portion of a post and rail or wire front fence should be higher than 1.5 metres in height measured from ground level, excluding retaining walls and similar structures. All other types of fences should be no higher than 1.2 metres in height. 	<ul style="list-style-type: none"> Fencing over 1.5 metres in height.
Transparency	<ul style="list-style-type: none"> The fence should be at least 50 per cent transparent. Consideration can be given to less transparent front fences along common boundaries within the front setback where it is serving a privacy protection purpose. 	<ul style="list-style-type: none"> High solid fences.
Colours & Materials	<ul style="list-style-type: none"> If a post and wire or rail fence is not proposed, the fence should be constructed from predominantly lightweight natural materials such as timber or lightweight wire mesh materials. Ensure fences are finished with muted colours and tones that relate to the bushland character. 	<ul style="list-style-type: none"> Unnatural materials such as Colorbond, thick steel, concrete, brick, and masonry. Bright colours that visually stand out or dominate the streetscape.

Precedent Images



Diagrams

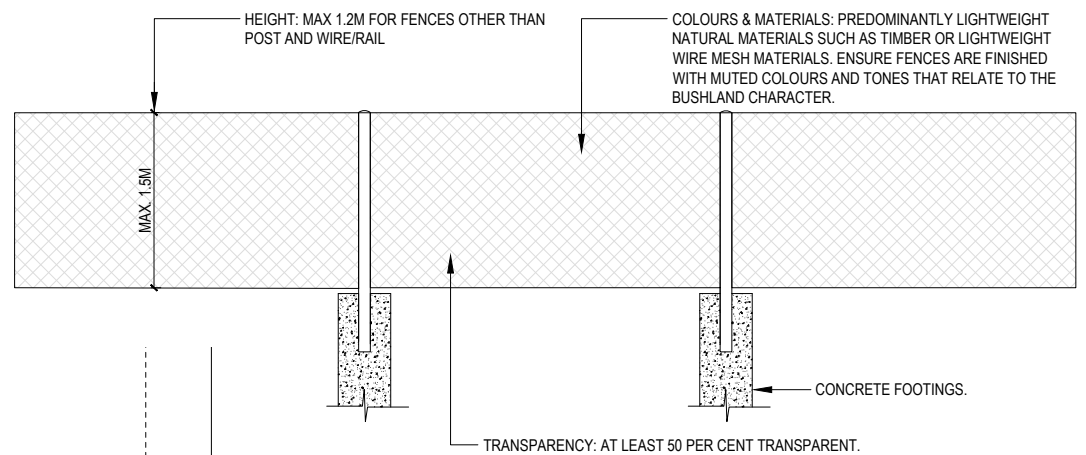


Figure 2. Front fence elevation

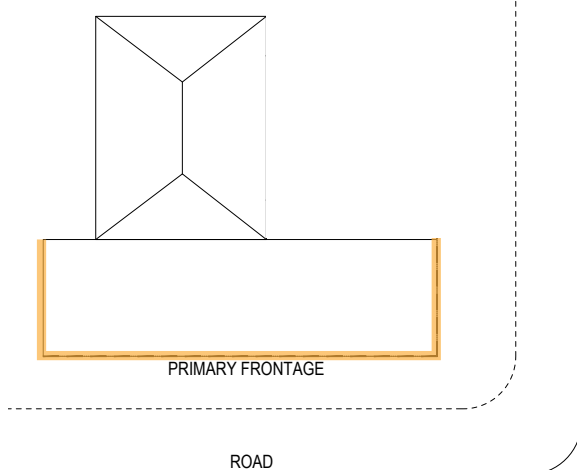


Figure 3. Zone A potential fence locations

Zone B (Rear & Side Fences)

Preferred Typology		
<p>Side and rear fencing should be of a post and wire or rail typology. Consideration can be given to other fence typologies that provide increased privacy screening and security including 'wing' fences that run perpendicular between the dwelling and side boundary.</p>		
Element	Design Response	Avoid / Discourage
Height	<ul style="list-style-type: none"> No portion of a fence should be higher than 2 metres in height from natural ground level. On corner sites, no portion of a fence should be higher than 1.5 metres in height when facing a side street or 1.8 metres where areas of private open space are observable from this secondary frontage. 	<ul style="list-style-type: none"> Fencing over 2 metres in height. Fencing over 1.8 metres in height for side fences facing side streets.
Transparency	<ul style="list-style-type: none"> Fencing may be 100 per cent opaque. On corner sites, fences should be at least 50 per cent transparent when facing a side street. Fences may be may be 100 per cent opaque where required for privacy reasons. 	<ul style="list-style-type: none"> High solid fences.
Colours & Materials	<ul style="list-style-type: none"> Fencing should be constructed from predominantly natural light weight materials such as timber or brush. Colours should be muted where visible from the street or public reserve. 	<ul style="list-style-type: none"> Unnatural materials such as Colorbond, thick steel, concrete, brick, and masonry. Bright colours that visually stand out from the street or reserve.

Precedent Images





Diagrams

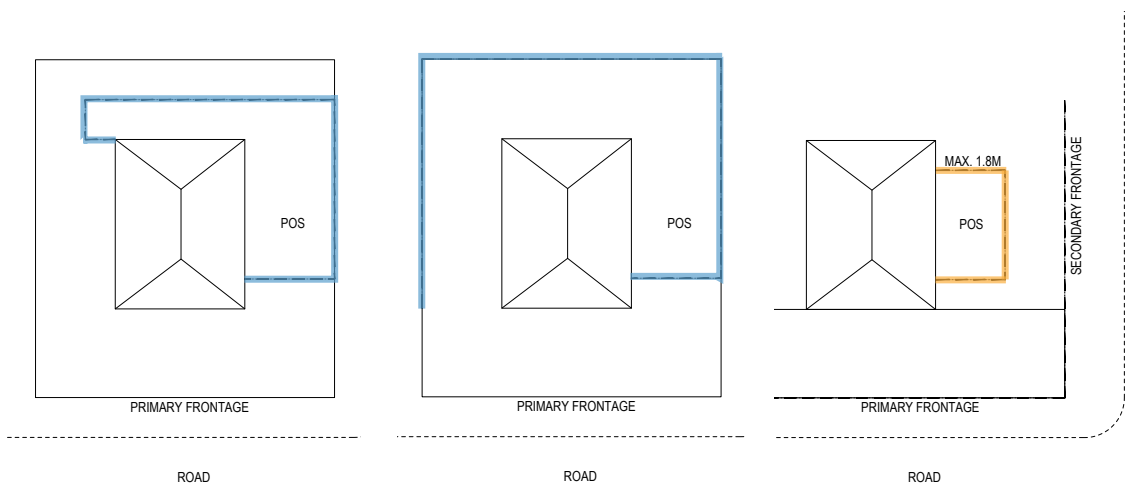


Figure 4. Potential Zone B fence locations

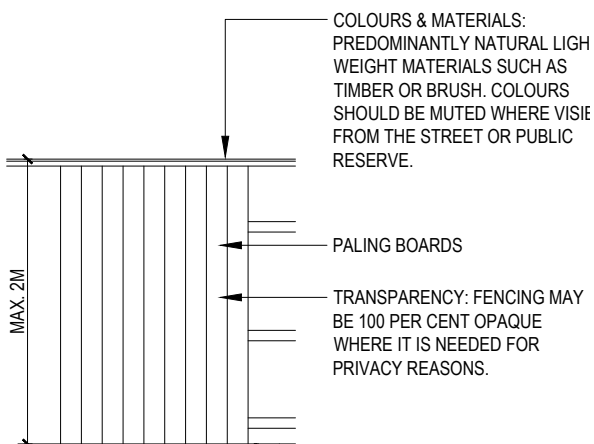


Figure 5. Zone B fence elevation

Zone C (Reserve Interface)

Preferred Typology		
Fences adjoining the Yellow Gum Reserve and other public reserves should be of a post and wire or rail typology. Consideration can be given to other fence typologies that provide increased privacy screening in discrete locations.		
Element	Design Response	Avoid / Discourage
Height	<ul style="list-style-type: none"> ▪ No portion of a fence should be higher than 1.5 metres in height from natural ground level. ▪ The fence should provide a 200mm clearance from ground level to allow for the passage of small native wildlife. 	<ul style="list-style-type: none"> ▪ Fencing over 1.5 metres in height.
Transparency	<ul style="list-style-type: none"> ▪ The fence should be at least 50 per cent transparent (not including 200mm clearance). ▪ Less transparent fences can only be considered for privacy reasons and where a landscape response cannot achieve the same outcome. 	<ul style="list-style-type: none"> ▪ High solid fences.
Colours & Materials	<ul style="list-style-type: none"> ▪ Fencing should be constructed from predominantly natural light weight materials such as timber. ▪ Ensure fences are finished with muted colours and tones that relate to the bushland character. 	<ul style="list-style-type: none"> ▪ Unnatural materials such as Colorbond, thick steel, concrete, brick, and masonry. ▪ Bright colours that visually stand out from the reserve.

Precedent Images





Diagrams

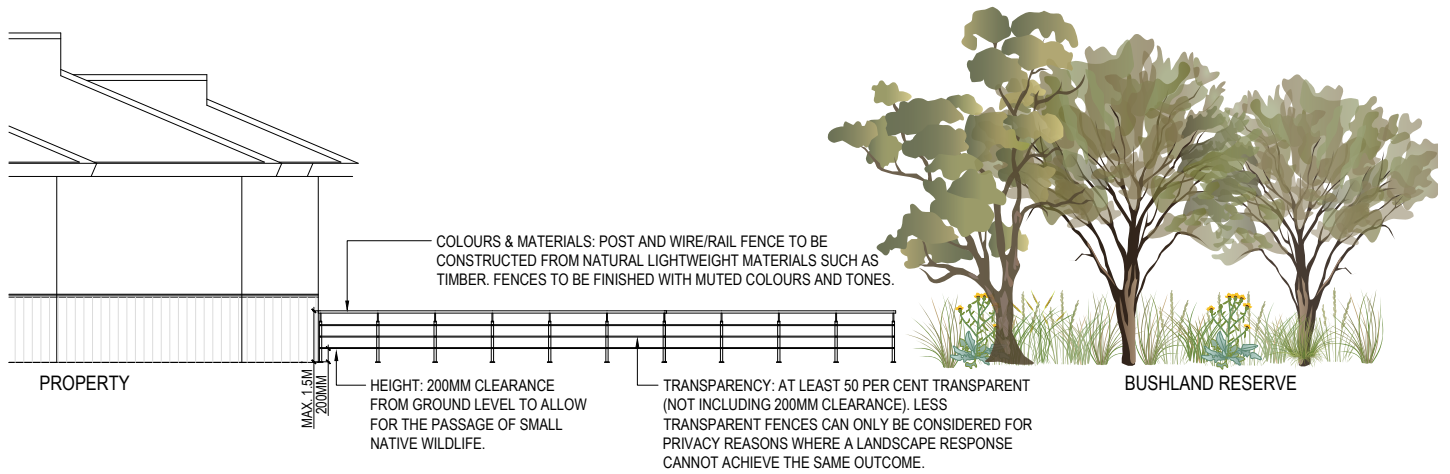


Figure 6. Zone C fence elevation

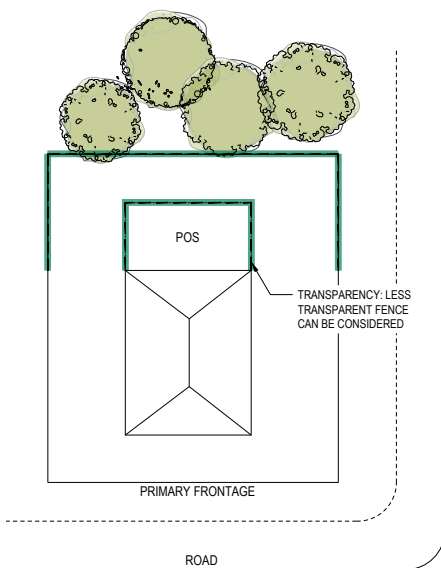


Figure 7. Potential Zone C fence locations

Decision Guidelines

The following decision guidelines are to be used where a variation to the design response is proposed:

- Whether solid fencing has been used in moderation to directly protect the privacy of private open space or habitable room windows.
- Whether a landscape response rather than a solid fence can achieve the same outcome in terms of the protection of privacy.
- Whether the fence will result in the removal or destruction of vegetation.
- Whether the primary area of private open space is forward of the side wall of a dwelling on a corner site and viewable from a side street.
- Whether a front fence greater than 1.2 metres in height will still allow for views into front gardens.
- Whether a fence less transparent than the requirement for Zone C is well setback from the bushland reserve and only used to screen primary areas of private open space.
- Whether the fence materials will contribute to the bushland character of the estate and is of a light-weight material.
- Whether the fence will allow for the safe passage of native wildlife.
- Whether the fence allows for the strong presence of native vegetation within the estate.





Appendix 2: Draft Design and Development Overlay Schedule

xx/xx/xxxx
CXXXggee**SCHEDULE XX TO CLAUSE 43.02 DESIGN AND DEVELOPMENT OVERLAY**

Shown on the planning scheme map as **DDOXX**.

GOANDRA ESTATE, OCEAN GROVE FENCE GUIDELINES**1.0 Design objectives**xx/xx/xxxx
CXXXggee

To protect and enhance the open bushland character of the Goandra Estate by limiting visually dominant or solid fence typologies.

To encourage no or low front fences that are visually permeable and constructed of natural materials and colours that complement the natural landscape.

To allow for fencing that protects privacy and provides security in appropriate locations that does not detract from the open bushland character.

To ensure the protection and visibility of native vegetation from the public realm and provide for an appropriate interface with the bushland reserve.

2.0 Buildings and worksxx/xx/xxxx
CXXXggee**Permit Requirement**

A permit is not required to construct a building or construct or carry out works.

A permit is required to construct a fence. This does not apply to:

- A timber post and wire or rail fence that is no more than 1.5m in height.
- A pool fence or other fence required under the Victorian *Building Regulations 2018*.
- A fence located within Zone B as shown on Figure 1 and that meets the following requirements:
 - Is constructed of timber paling or brush materials.
 - Is no more than 2m in height.
 - Is not located within the area forward of the side wall of a dwelling along a side street.

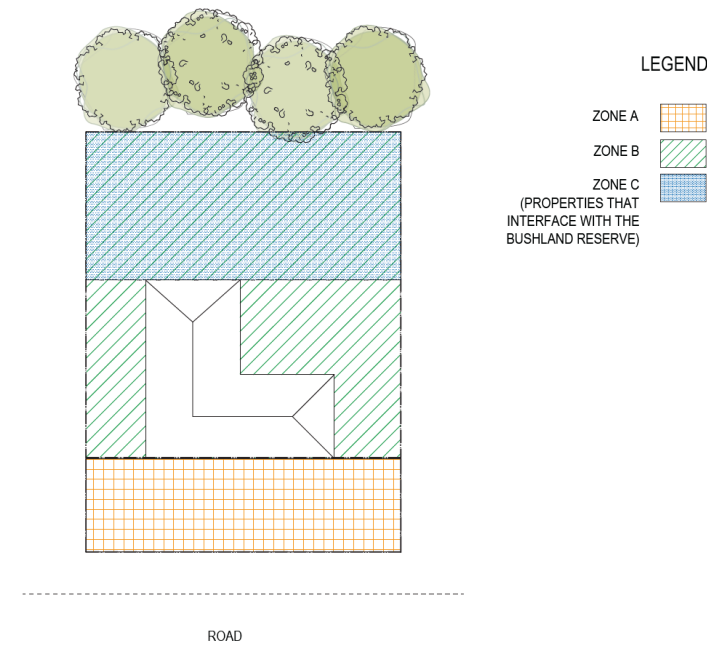
Requirements

The following requirements apply to an application to construct a fence:

- A fence located forward of the front wall of a dwelling (Zone A in Figure 1) should:
 - Be no higher than 1.5m in height if a timber post and wire or rail typology and no higher than 1.2m if any other typology.
 - Be at least 50 per cent transparent.
 - Be constructed of lightweight natural materials such as timber and utilise muted colours.
- A fence located behind the front wall of a dwelling (Zone B in Figure 1) should:
 - Be constructed of lightweight natural materials.
- On corner sites, a fence located forward of the side wall of a dwelling facing a side street in Zone B, should:
 - Be no higher than 1.5m in height and at least 50 per cent transparent where primary areas of private open space are not located within this secondary frontage.
 - Be no greater than 1.8m and less than 50 per cent transparent where primary areas of private open space are located within this secondary frontage.
 - Be constructed of lightweight natural materials.
- For properties that interface with the Yellow Gum Bushland Reserve, a fence located behind the rear wall of a dwelling (Zone C in Figure 1):

- Must be of a post and wire or rail typology along the boundary that directly interfaces with the Yellow Gum Bushland Reserve. A permit cannot be granted to construct a fence that does not meet this requirement.
- Should be of a post and wire or rail typology along all other boundaries and locations within Zone C.
- Should allow for a 200mm clearance from the ground level to allow for the passage of small native wildlife.

Figure 1: Fencing Zones



Notice and Review Requirements

An application to construct a fence is exempt from the notice requirements of section 52(1)(a), (b) and (d), the decision requirements of section 64(1), (2) and (3) and the review rights of section 82(1) of the Act.

3.0 Subdivision

xx/xx/xxxx
CXXXggee

None specified.

4.0 Signs

xx/xx/xxxx
CXXXggee

None specified.

5.0 Application requirements

xx/xx/xxxx
CXXXggee

The following application requirements apply to an application for a permit under Clause 43.02, in addition to those specified elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority:

- A site plan indicating the location of the proposed fence.
- Elevation plans indicating the proposed height, transparency, materials, and colours of the proposed fence.
- A written response to the relevant objectives and requirements of this schedule and the *Goandra Estate Fence Design Guidelines (2022)*.

6.0 Decision guidelines

xx/xx/xxxx
CXXxggee

The following decision guidelines apply to an application for a permit under Clause 43.02, in addition to those specified in Clause 43.02 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- Whether the proposed fence is consistent with the *Goandra Estate Fence Design Guidelines (2022)*.
- Whether the fence materials will contribute to the bushland character of the estate and are of a lightweight natural material and muted colours.
- Whether the primary area of private open space is forward of the side wall of a dwelling on a corner site and viewable from a side street.
- Whether the primary area of private open space in Zone C is located behind the rear wall of a dwelling.
- Whether solid or less transparent fencing has been used in moderation to directly protect the privacy of primary areas of private open space or habitable room windows.
- Whether a fence less transparent than the requirement for Zone C is well setback from the bushland reserve and only used to screen primary areas of private open space.
- Whether a landscape response, such as perimeter planting, rather than a solid fence cannot achieve the same outcome in terms of protecting privacy.
- Whether a front fence greater than 1.2 metres in height will still allow for views into front gardens.
- Whether the fence will result in the removal or destruction of vegetation and will allow for the safe passage of wildlife.

